

# DRIVE-THRU CAR WASH AND GAS STATION ISLAND WITH CANOPY

14975 OLYMPIC DRIVE, CLEARLAKE, CA 85422

## GENERAL NOTES, REGULATIONS AND STANDARDS:

ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF TITLE-24 OF THE CALIFORNIA CODE OF REGULATIONS, KNOWN AS THE CALIFORNIA BUILDING STANDARD CODE - PART 1 THRU PART 6 & PART 9 NAMELY: 2022 EDITIONS OF CSBAC, CBC, CEC, CMC, CPC, CALIFORNIA ENERGY CODE, CALIFORNIA FIRE CODE, CALIFORNIA GREEN BUILDING STANDARD CODE, CALIFORNIA BUILDING CODE AND THE CLEARLAKE MUNICIPAL CODE.

THIS PROJECT SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN THIS INFORMATION DIRECTLY FROM THE LOCAL BUILDING DEPARTMENT AND REGULATORY AGENCIES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE PERFORMING ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ERRORS AND OMISSIONS IN THE DRAWINGS WHEN PERFORMING THE WORK. THE CONTRACTOR NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS. WHERE DISCREPANCIES APPEAR, THE MORE STRINGENT SHALL APPLY. DETAILS AND CONSTRUCTION NOT SPECIFICALLY SHOWN SHALL BE PER UBC "CONVENTIONAL BUILDING STANDARDS".

## DESIGN CODES

ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING STANDARDS COMMISSION (CBCS) - PARTS 1 THRU PART 12

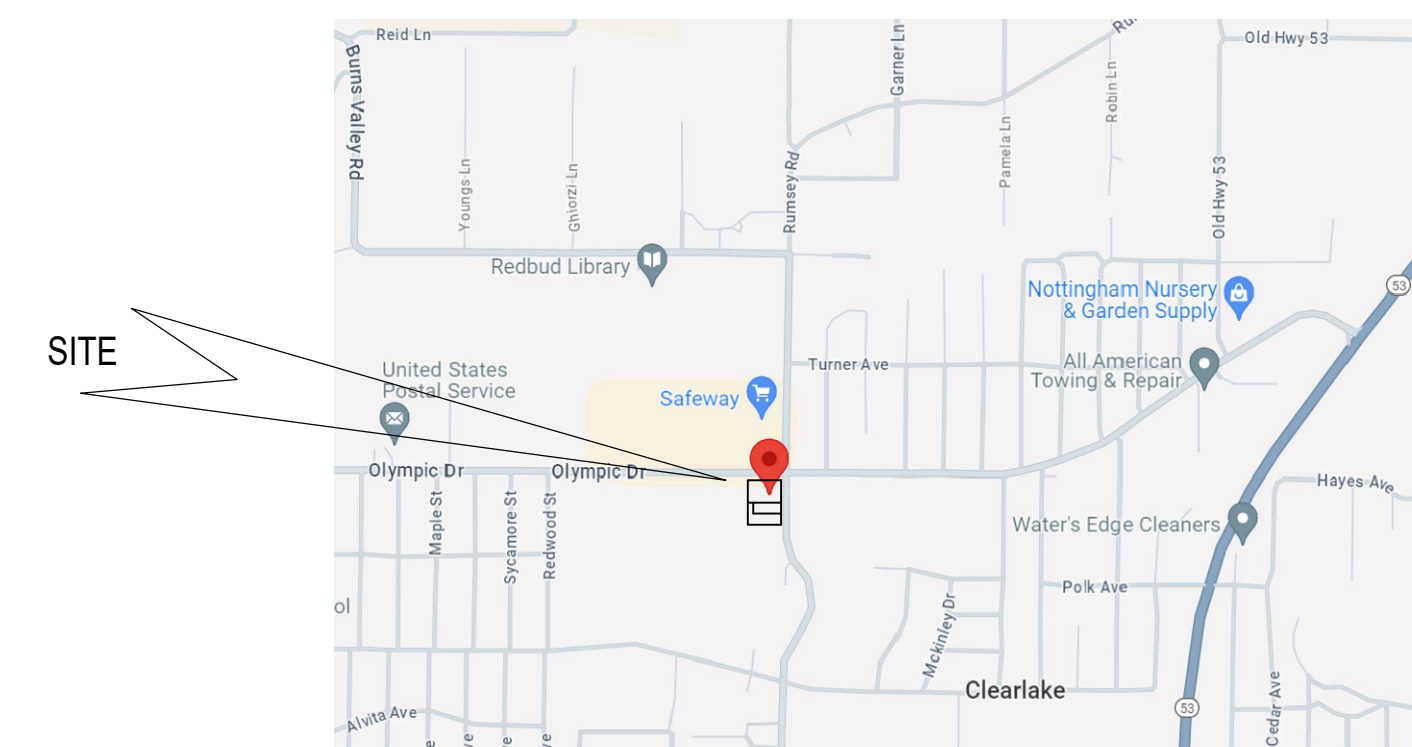
- A. PART 1 - CALIFORNIA ADMINISTRATIVE CODE
- B. PART 2, VOLUME 1 OF 2 - CALIFORNIA BUILDING CODE (CBC)
- C. PART 2, VOLUME 2 OF 2 - CALIFORNIA BUILDING CODE (CBC)
- D. PART 3 - CALIFORNIA ELECTRICAL CODE (CEC)
- E. PART 4 - CALIFORNIA MECHANICAL CODE (CMC)
- F. PART 5 - CALIFORNIA PLUMBING CODE (CPC)
- G. PART 6 - CALIFORNIA ENERGY CODE
- H. PART 9 - 2016 CALIFORNIA FIRE CODE
- I. PART 10 - CALIFORNIA CODE FOR BUILDING CONSERVATION
- J. PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
- K. PART 12 - CALIFORNIA REFERENCED STANDARDS CODE (CALGreen)

ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE CALIFORNIA CODE OF REGULATIONS (CCR), OFFICE OF ADMINISTRATIVE LAW.

- A. TITLE 19 C.C.R., PUBLIC SAFETY
- B. TITLE 24 C.C.R., BUILDING STANDARDS CODE

ALL WORK SHALL COMPLY WITH THE CURRENT FOLLOWING AUTHORITIES AND THEIR STANDARDS:

- A. BUILDING & SAFETY DIVISION
- B. PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
- C. PUBLIC WORKS DEPARTMENT
- D. FIRE DEPARTMENT
- E. AMERICANS WITH DISABILITIES ACT - (ADA)



**VICINITY MAP**  
N.T.S.

### PROJECT DATA

PROJECT OWNER: NORCAL FUELWORXZ INC.  
 LOCATION: 14975 OLYMPIC DRIVE, CLEARLAKE CA 95422  
 CURRENT ZONING: C (COMMERCIAL)  
 APN #: 039-550-510-000, 039-550-200-000  
 TOTAL LOT AREA: 2.0 Ac, 0.49 Ac

PARKING REQUIRED PER USE LIST = GAS STATION WITH CONV. STORE @ 1/200 S.F. (26)

RESTAURANT @ 1/60 S.F. DINING AREA + 1/100 S.F. KITCHEN (8)

CAR WASH: 3 SPACES + 2 SPACES PER BAY (18-20.090, TABLE 23.) (5)

PARKING PROVIDED: 72 SPACES (INCLUDING PROPOSED VACUUM STATION, PLUS MINIMUM 10-CAR QUEUE FOR DRIVE-THROUGH)

TYPE OF CONSTRUCTION: V-B  
 SPRINKLER: YES  
 STORIES: ONE

### SCOPE OF WORK:

NEW CONSTRUCTION OF 3,470 SQUARE FOOT GAS PUMP ISLAND WITH CANOPY AND 3,600 SQUARE FEET CARWASH.

### BUILDING AREA TABULATION:

CONVENIENCE STORE W/GAS STN	5,106 SF
QUICK SERVE FOOD (DINING AREA)	1,286 SF
QUICK SERVE FOOD (KITCHEN AREA)	795 SF
CASHIER AREA	430 SF
C-STORE AREA	7,617 SF
CARWASH OFFICE	588 SF
CARWASH EQUIPMENT ROOM	852 SF
CARWASH AREA	2,160 SF
TOTAL CARWASH AREA	3,600 SF
TOTAL BUILDING AREA	11,217 SF

### INDEX OF DRAWINGS

SHEET NO.	TITLE
C0.0	COVER SHEET
C0.1	SITE PLAN
C1.0	GRADING PLAN
A1.0	GAS PUMP FLOOR PLAN
A2.0	CARWASH FLOOR PLAN
A3.0	CARWASH ELEVATION FRONT AND REAR
A3.1	CARWASH ELEVATION RIGHT AND LEFT
A4.0	RENDERING - GAS PUMP
A4.1	RENDERING - CAR WASH
A4.2	SITE PICTURES
LS1.0	LANDSCAPING PLAN

### CONTACTS:

OWNER:  
 NORCAL FUELWORXZ INC.  
 1729 CRYSTAL CT.,  
 OLIVEHURST, CA 95916  
 CONTACT PERSON: TONY MEHROKE  
 TEL.: 916-753-0177  
 E-MAIL: tonymehroke@yahoo.com

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PROJECT

3565 OLD HWAY 53

CLEARLAKE, CA 85422

PROJECT

MERGED GAS PUMP AND CARWASH SITE PLAN



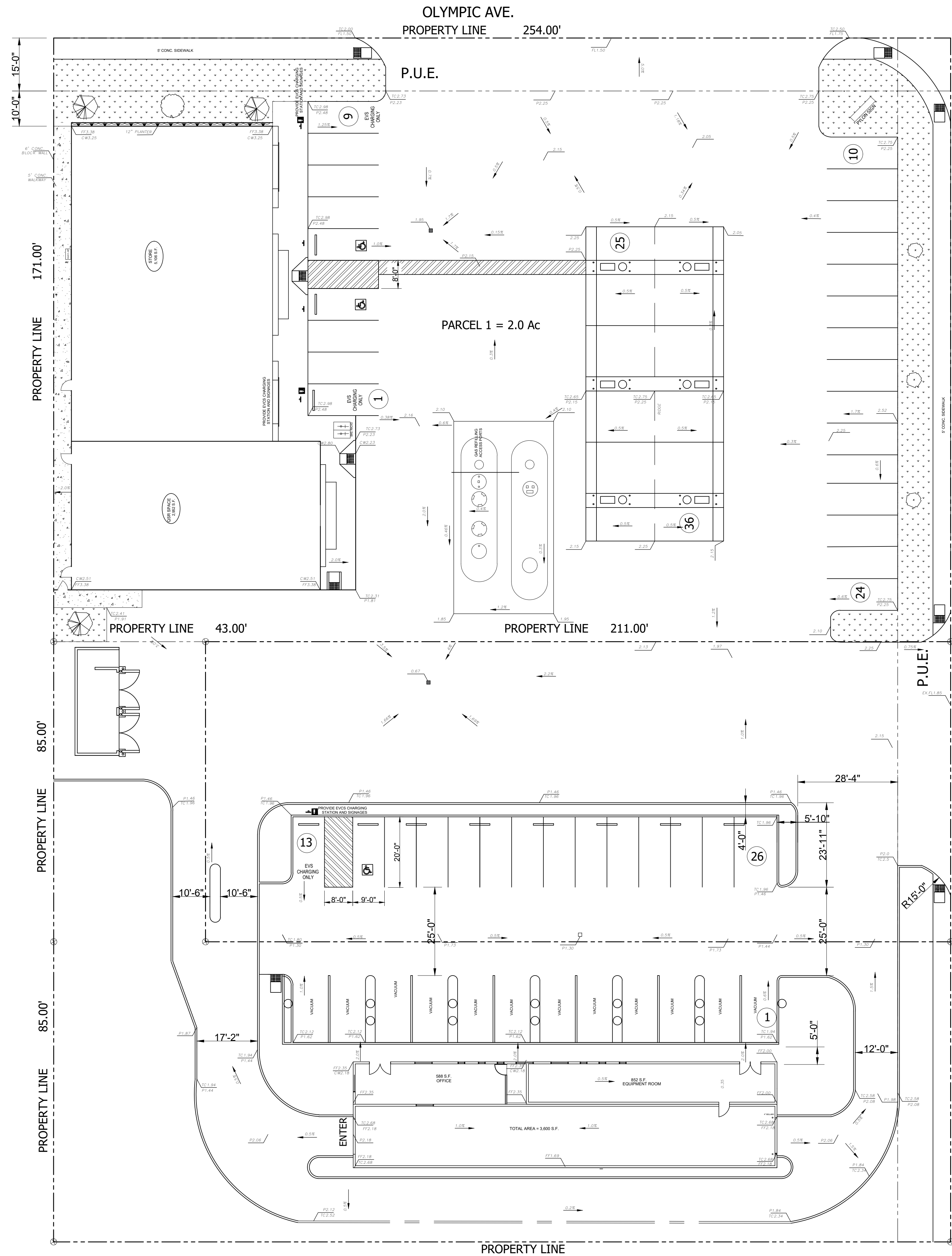
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 CHECKED BY:  
 FILENAME: CLEARLAKE

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SHEET-NUMBER



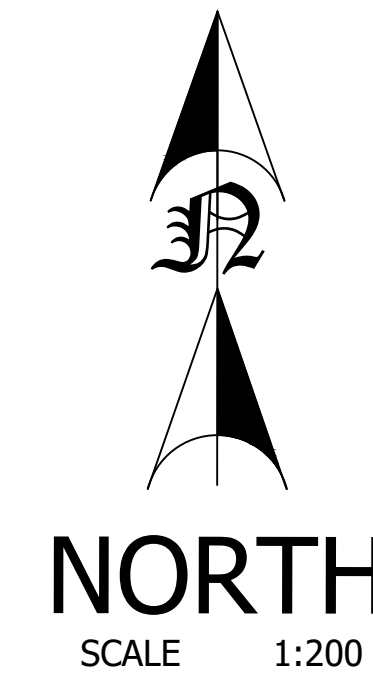




**GENERAL NOTES:**

- ALL WORKS CONFORM TO THE CITY OF CLEARLAKE LATEST ORDINANCE ON GRADING AND CONSTRUCTION.
- SUBMITTAL DOCUMENTS SHALL AT A MINIMUM, CONFORM TO ALL OF SECTIONS 107 AND 110 OF THE CALIFORNIA BUILDING CODE, INCLUDING THE FOLLOWING:
  - GRADING PLAN WITH SITE PLAN SHOWING TO SCALE THE SIZE AND LOCATION OF NES CONSTRUCTION.
  - HORIZONTAL AND VERTICAL DISTANCES AND ELEVATIONS IN RELATION TO THE PROPERTY LOT LINES FOR TOPOGRAPHICAL CONTROL.
- THE CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FOR ALL WORK WITHIN THE STREET RIGHT-OF-WAY. TEMPORARY A.C. PAVING SHALL BE PLACED WHERE SIDEWALK REMOVAL EXTEND LONGER THAN TWENTY-FOUR (24) HOURS AS DIRECTED BY THE CITY INSPECTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE UTILITIES OF EVERY NATURE WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
- TEMPORARY TRAFFIC CONTROL AND PEDESTRIAN ACCESS SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL CONFORM TO THE DEPARTMENT OF PUBLIC WORKS AND DEVELOPMENT'S LATEST PUBLIC CONVENIENCE AND TRAFFIC CONTROL SPECIFICATION SHEET, THE WATCH MANUAL AS PUBLISHED BY THE APWA, CHAPTER 33 OF THE CBC AND THE REQUIREMENTS OF THE CITY ENGINEER.
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED, RELOCATED OR REMOVED TO THE SATISFACTION OF THE CITY ENGINEER.

OLD HYWAY 53



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**3565 OLD HIWAY 53**  
CLEARLAKE, CA 85422

PROJECT

GRADING PLAN



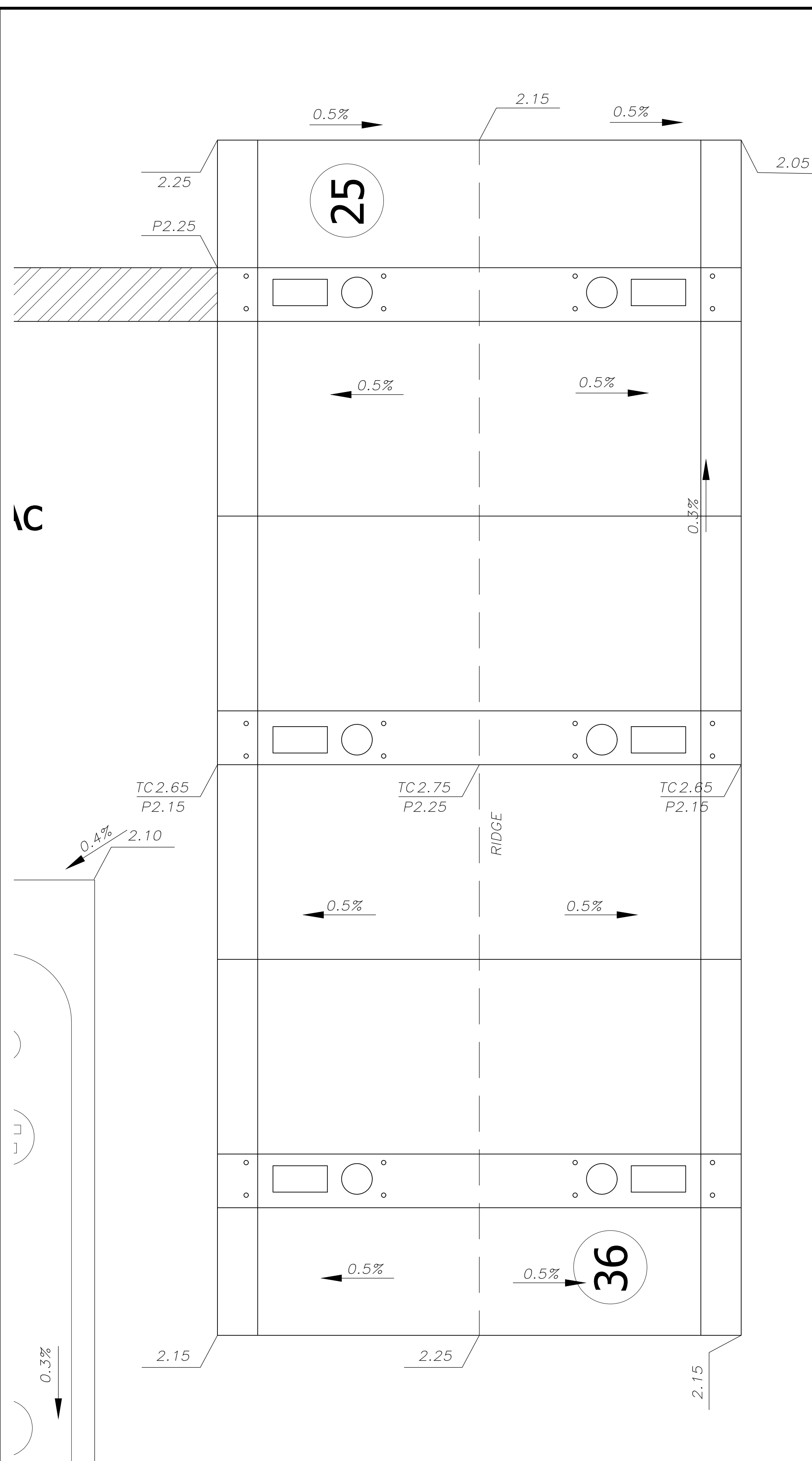
PLANS PREPARED BY:  
ED GONZALEZ  
CLEARLAKE, CA 94505  
No. C51991  
Exp. 08-30-24  
CIVIL  
STATE OF CALIFORNIA

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DRAWN BY: EMG  
CHECKED BY:  
FILENAME: CLEARLAKE

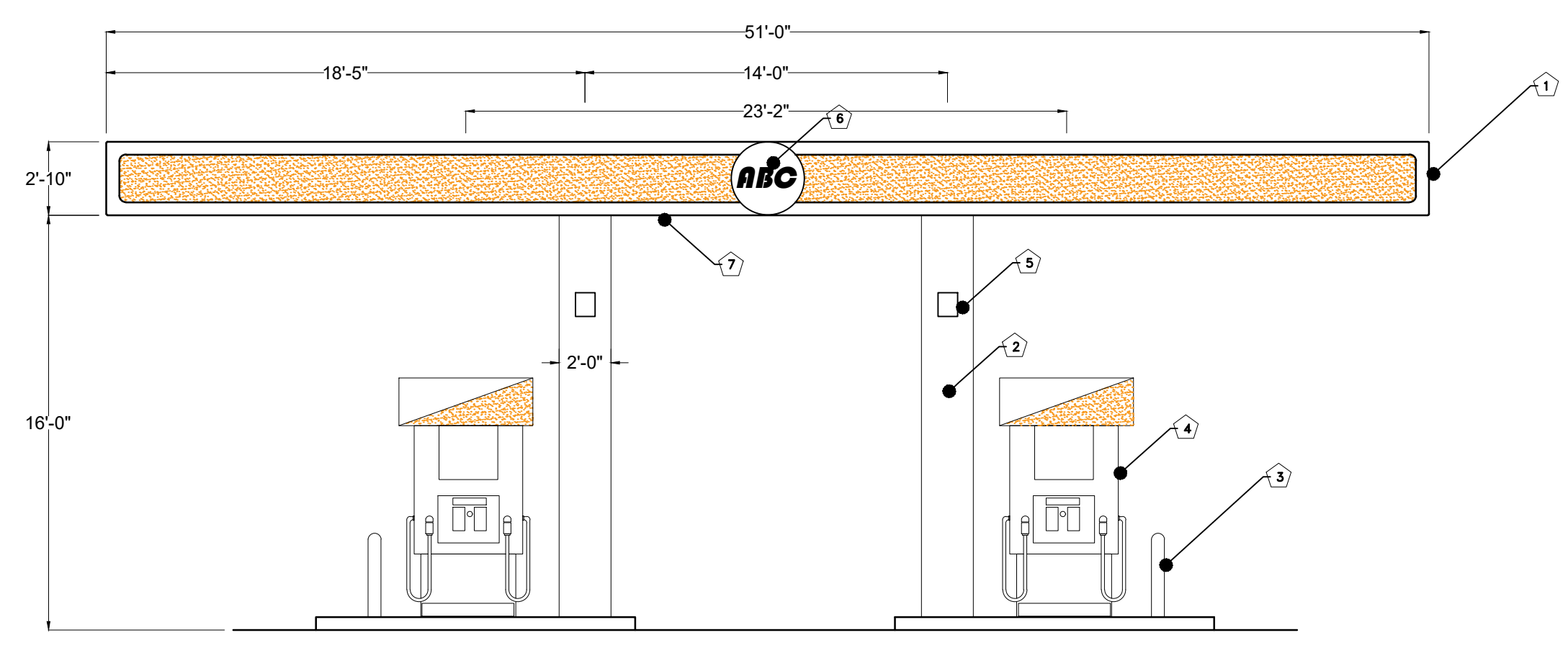
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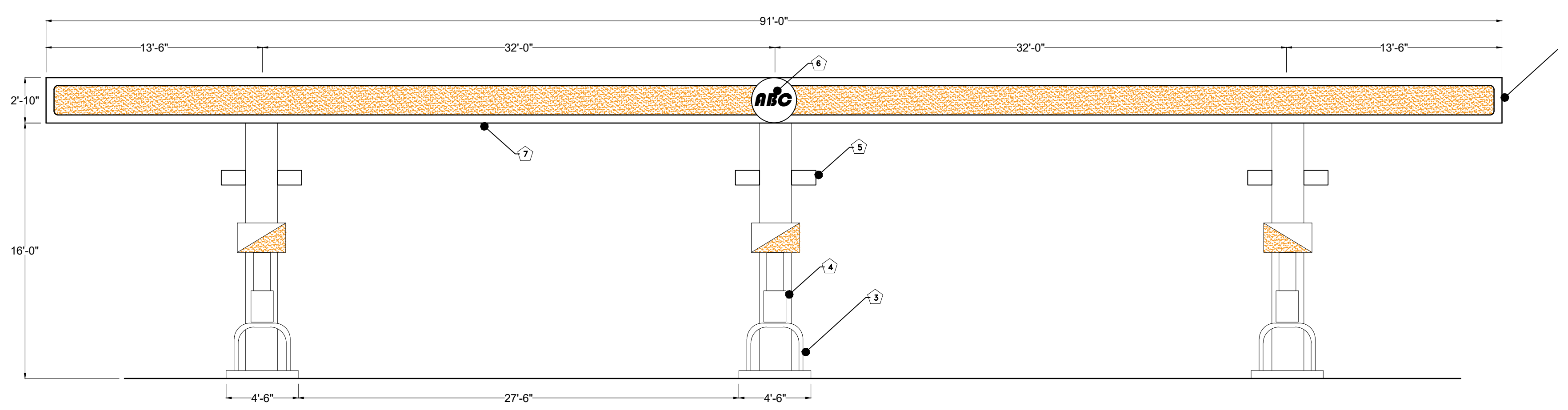




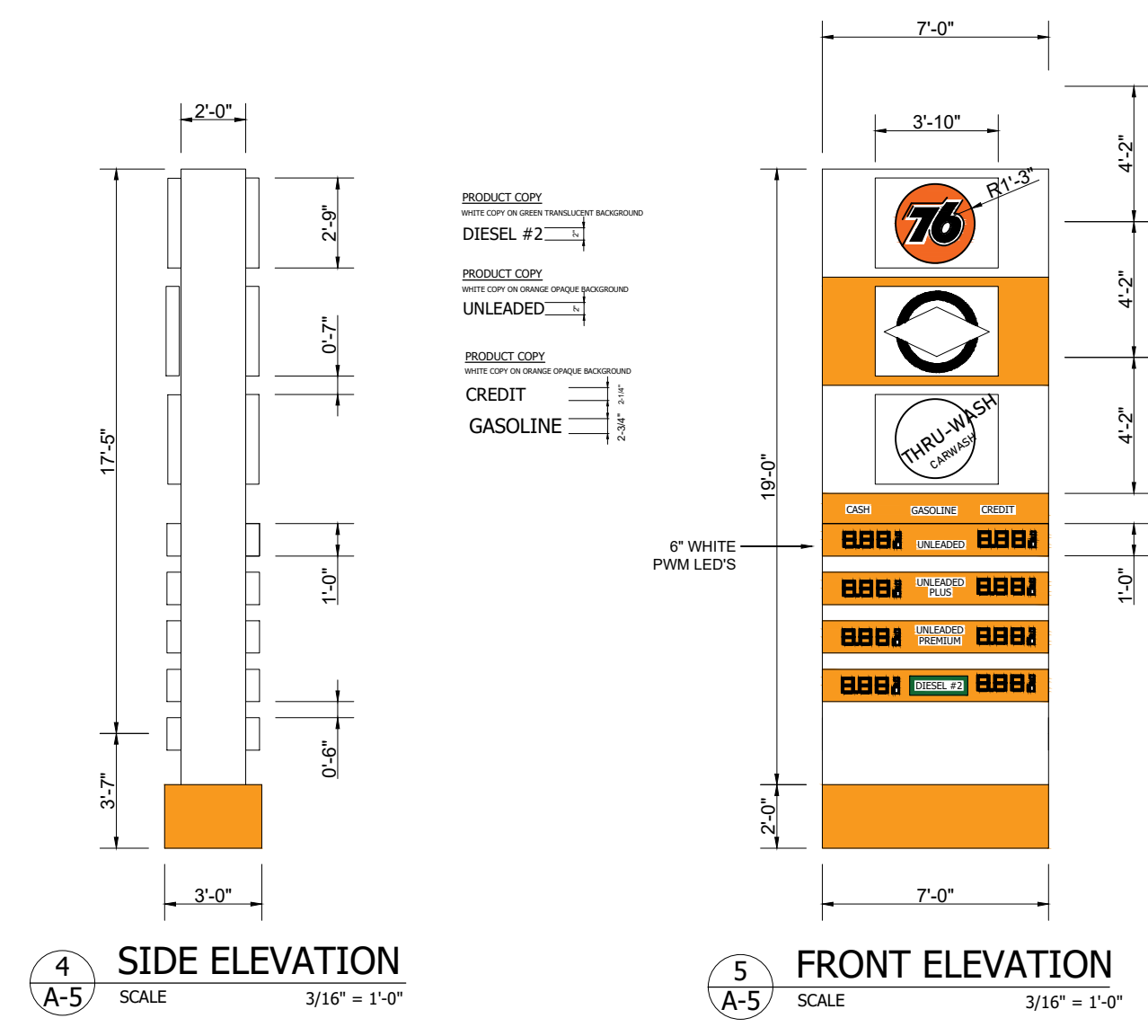
**1 PUMP STATION LAYOUT**  
 SCALE 3/16" = 1'-0"  
 E-4



**2 PUMP STATION SIDE ELEVATION**  
 SCALE 3/16" = 1'-0"  
 A-1



**3 PUMP STATION FRONT ELEVATION**  
 SCALE 3/16" = 1'-0"  
 A-1



**MONUMENT SIGN**

**KEY NOTES:**

- 1. CANOPY ACM FASCIA PANEL W/15" PRINTED BULLNOSE DECAL AND SILVER LED
- 2. FURRED-OUT CANOPY COLUMN W/PLASTER FINISH
- 3. 3" BOLLARD
- 4. FUEL DISPENSER
- 5. DISPENSER NUMBERING SYSTEM
- 6. 20"H ALUMINUM CHANNEL LETTERS W/LED INTERNAL ILLUMINATION
- 7. CANOPY UNDER DECKING

**COLOR LEGEND:**

- BP PEARL - BENJAMIN MOORE, 0C-8, ELEPHANT TUSK - P28 DTM
- BP YELLOW - BENJAMINE MOORE, 2022-10, YELLOW - P28 DTM
- BENJAMINE MOORE, 2123-70, ICE MIST - P28 DTM

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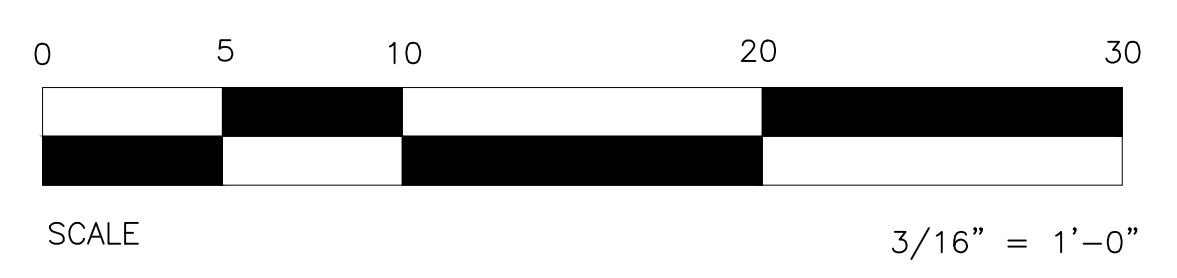
**PROJECT**  
 3565 OLD HWAY 53  
 CLEARLAKE, CA 85422

**FLOOR PLAN**



PLANS PREPARED BY:  
 J. HOFF  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA  
 No. C51991  
 Exp. 08-30-2024

PROJECT NUMBER: 08824  
 ISSUED:  
 DRAWN BY: EMG  
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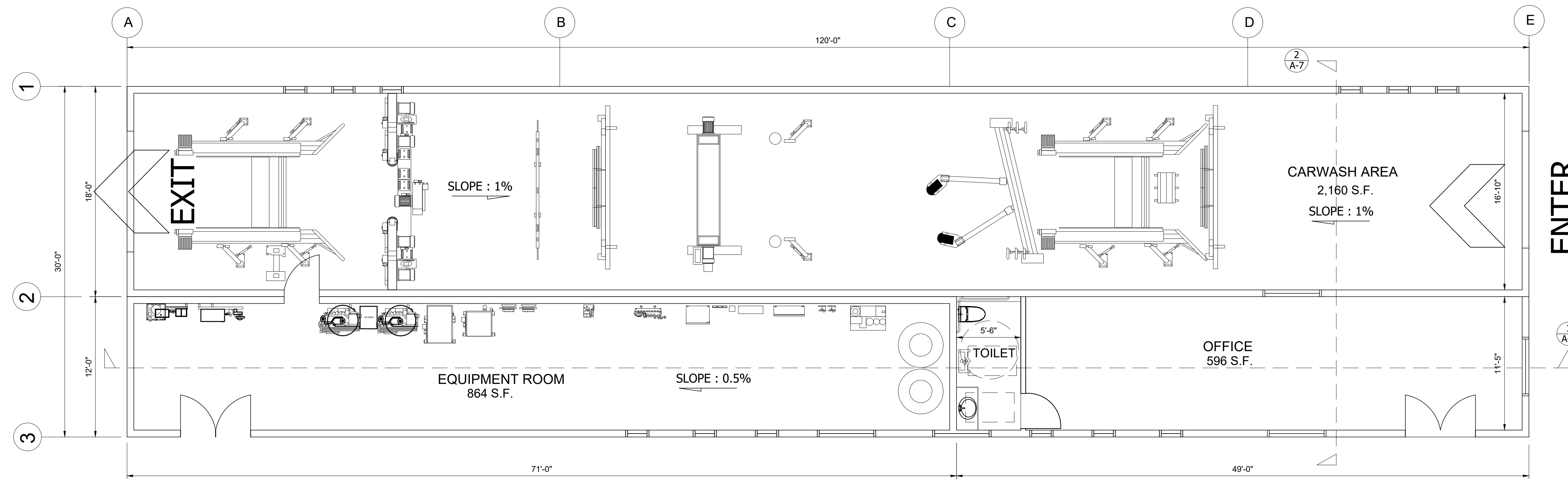


**A1.0**

**SHEET-NUMBER**



DRIVE-THRU CAR WASH  
14975 OLYMPIC DRIVE, CLEARLAKE, CA 85422



**1 CAR WASH FLOOR PLAN**  
A-1 SCALE 3/16" = 1'-0"

**EQUIPMENT ROOM LIST:** ○

1. EQUIPMENT AIR PANELS
2. MAIN AIR MANIFOLD
3. AUTODATA CARWASH CONTROLLER
4. LOW HORSE POWER PANEL
5. ANTI-COLLISION CONTROL BOX
6. EQUIPMENT FLASHERS
7. GLOW WASH PANEL
8. ACCUSHOT DILUTION SYSTEM
9. WATER PUMP
10. WATER PUMP
11. SINGLE DILUTION CENTER
12. SINGLE NON-FOAM DILUTION STATION
13. SINGLE NON-FOAM DILUTION STATION
14. 2-4PORT NON-FOAM DILUTION STATION
15. SINGLE HIGH PRESSURE PUMP STATION
16. DUAL HIGH PRESSURE PUMP STATION
17. 2-AIR COMPRESSOR
18. AIR DRYER
19. HIGH HORSEPOWER PANEL
20. DRY-N-SHINE CONTROL PANEL
21. SPIN SHINE CONTROL PANEL
22. HYDRAULIC UNIT
23. 2-WATER STORAGE TANK
24. R/O SPOT FREE UNIT
25. RECLAIMER UNIT

**CAR WASH EQUIPMENT LIST:** □

1. ROLLER COLLECTOR
2. AUTO DOLLIE TREADLE
3. XD CONVEYOR
4. HIGH PRESSURE PREP GUNS
5. MANUAL PREP GUN
6. ENTRANCE PHOTO EYES
7. GRAND ENTRY ARCH
8. ALPHA WTA
9. UNDERCARRIAGE
10. ACCELERATOR TOP WHEEL
11. BULLDOG WHEEL BRUSH ELECTRIC
12. HIGH PRESSURE WHEEL BLASTERS
13. TRIPLE FOAM STREAMERS
14. MOTOR CITY LOW RIDER ELECTRIC
15. CROSSOVER WRAP AROUND ELECTRIC
16. ACCELERATOR TOP WHEEL
17. SINGLE FOAMER
18. MOTOR CITY HIGH BOYS ELECTRIC
19. AXIS II ARCH
20. GRAND ENTRY ARCH
21. COLOR SKIN ARCH
22. COLOR SKIN ARCH
23. 90 HP PROFILER AIR ONE DRYER SYSTEM
24. DRY-N-SHINE TOP WHEEL
25. SPIN SHINE ELECTRIC

**GENERAL NOTES:**

1. VERIFY WITH CAR WASH EQUIPMENT SUPPLIER ON EQUIPMENT DETAILS AND SPECIFICATIONS.
2. VERIFY WITH CAR WASH EQUIPMENT SUPPLIER ON FLOOR DRAIN DETAIL REQUIREMENT.

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**PROJECT**  
3565 OLD HWAY 53  
CLEARLAKE, CA 85422

**FLOOR PLAN**



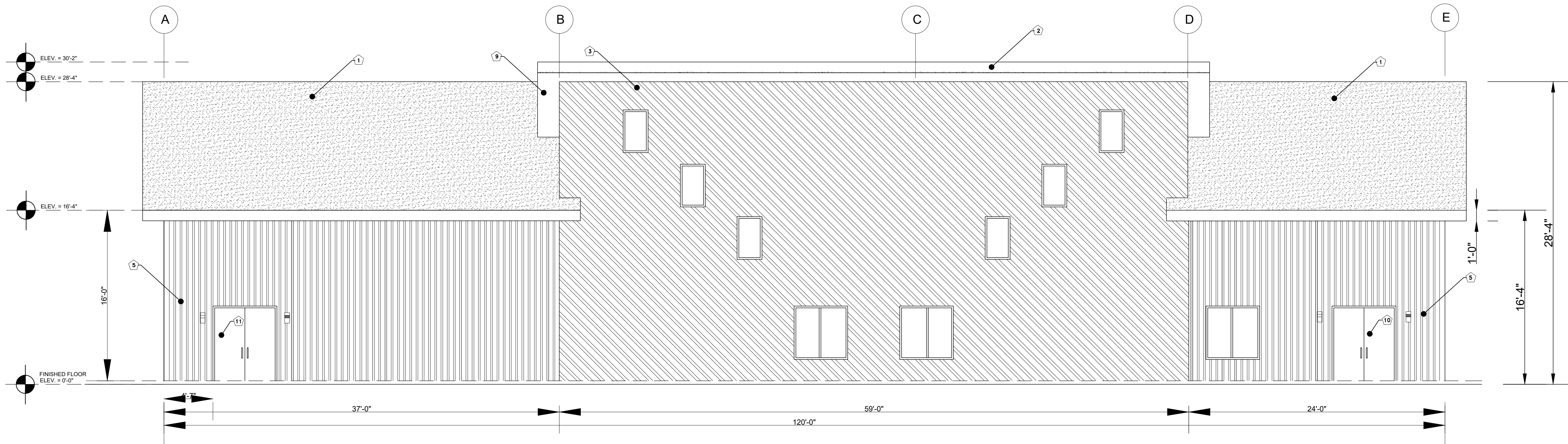
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FILENAME: CLEARLAKE



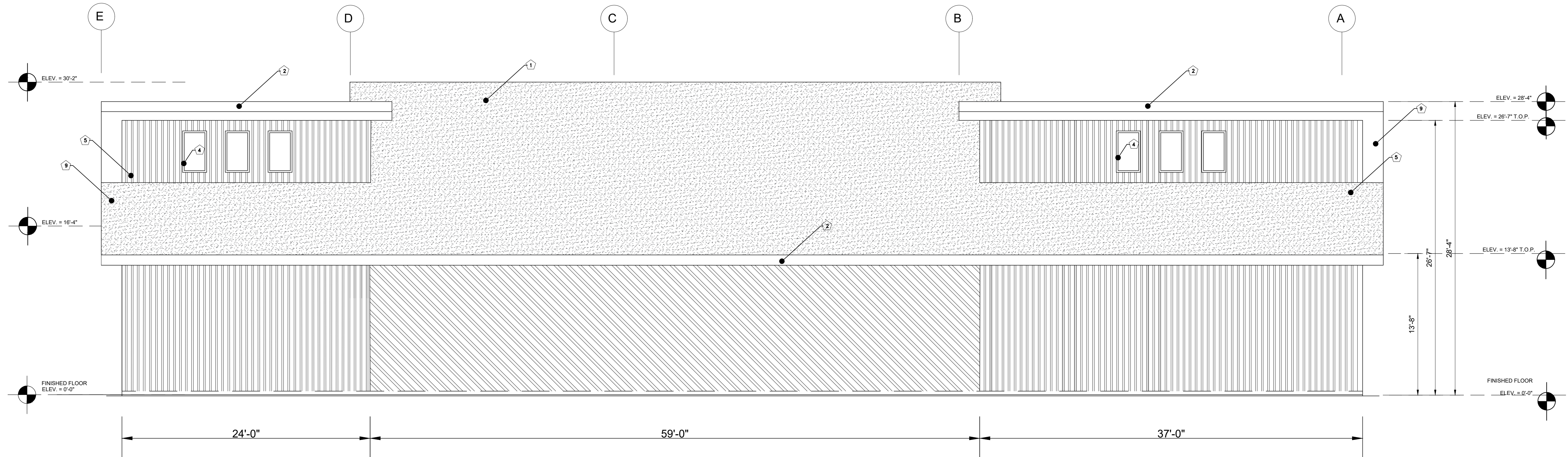
**A2.0**  
SHEET-NUMBER

# DRIVE-THRU CAR WASH

14975 OLYMPIC DRIVE, CLEARLAKE, CA 85422



**1 FRONT ELEVATION**  
A-3.0 SCALE 3/16" = 1'-0"



**2 REAR ELEVATION**  
A-3.0 SCALE 3/16" = 1'-0"



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3565 OLD HIWAY 53  
CLEARLAKE, CA 85422

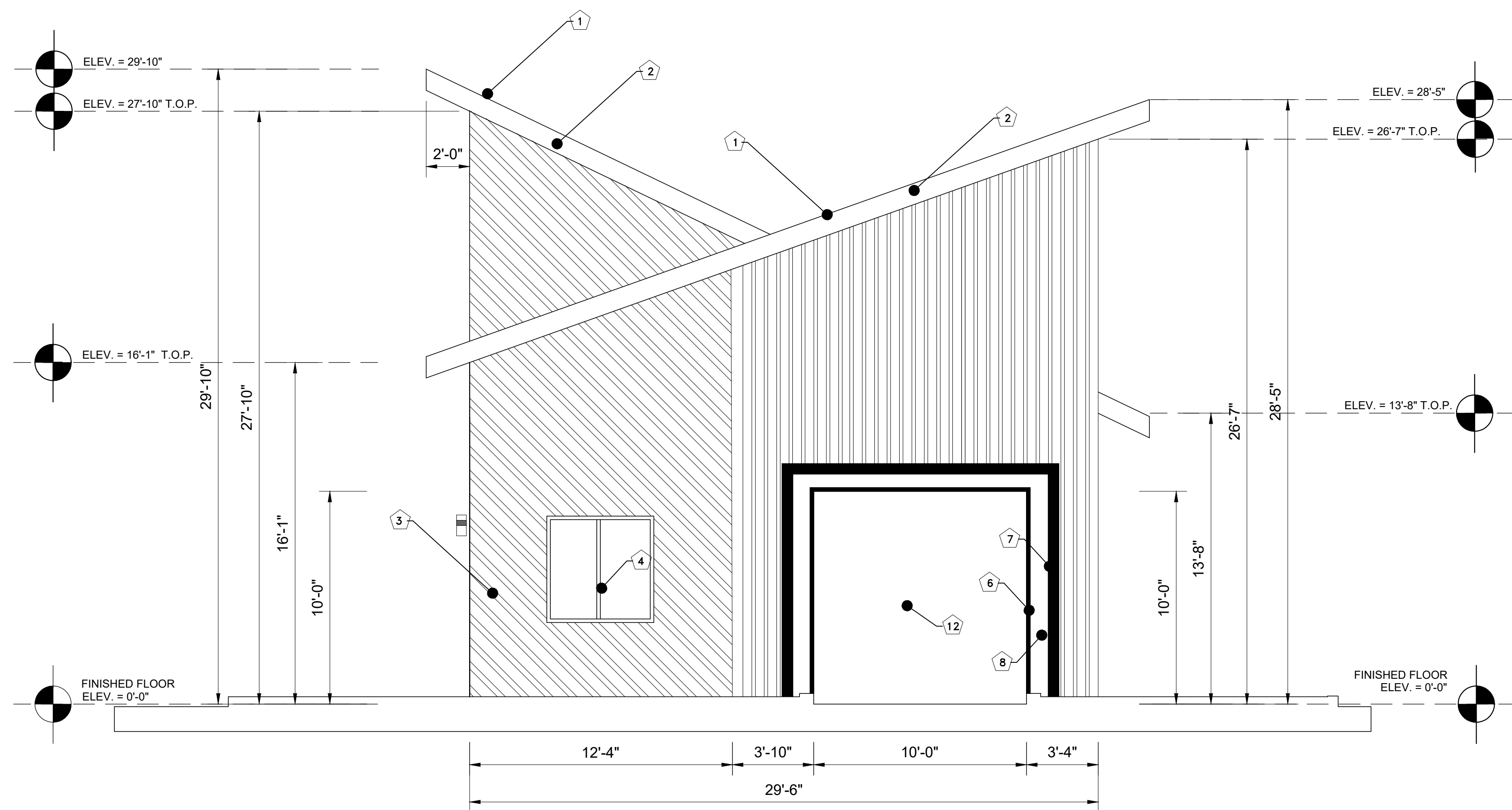
**ELEVATION**



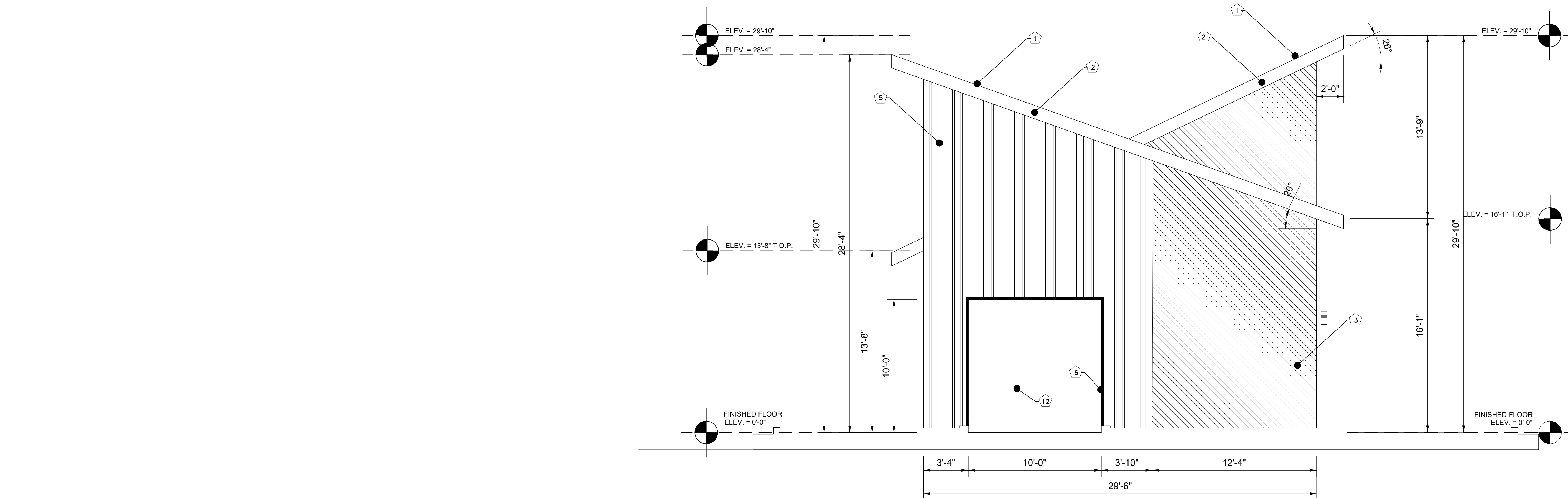
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FILENAME: CLEARLAKE

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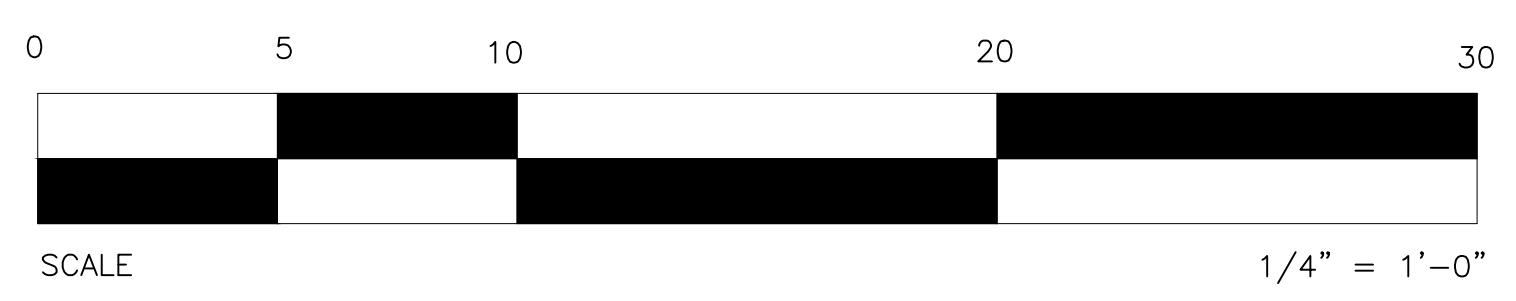




**1 RIGHT ELEVATION**  
 A-3.1 SCALE 1/4" = 1'-0"



**2 LEFT ELEVATION**  
 A-3.1 SCALE 1/4" = 1'-0"



**EXTERIOR FINISH SCHEDULE:**

1. ROOF FINISH: GAF RUBEROID TORCH SMOOTH OR EQUAL OVER MEMBRANE PRIMER OVER ROOFING INSULATION OVER APA APPROVED SHEETING
2. FACIA BOARD: HARDISORFIT SNOW OWL DECORATIVE PANEL OR 2X12 DF#1 OR EQUAL
3. EXTERIOR WALL FINISH: MS PBR PANEL (PATRIOT RED) OR EQUAL, 26 GA., MS COLORFAST45 COATED OR EQUAL AND DIAGONALLY INSTALLED OVER APA RATED SHEATHING W/ 8D COMMON NAILS AT 6" O.C. AT EDGES AND AT 12" O.C. ON FIELD. SHEARWALL IS TO EXTEND TO ROOF. PROVIDE 5/8" X 10" ANCHOR BOLTS AT 32" O.C. ALL SHEARWALLS ARE TO BE FULLY BLOCK. SHEAR NAILING: 16D @ 4" O.C.
4. WINDOW: FIXED GRID VINYL WHITE LOW-E U.N.O.
5. EXTERIOR WALL FINISH: MS PBR PANEL (ACRYLIC COATED GALVALUME® (41)), 26 GA., MS COLORFAST45 COATED OR EQUAL VERTICALLY INSTALLED OVER APA RATED SHEATHING W/ 8D COMMON NAILS AT 6" O.C. AT EDGES AND AT 12" O.C. ON FIELD. SHEARWALL IS TO EXTEND TO ROOF. PROVIDE 5/8" X 10" ANCHOR BOLTS AT 32" O.C. ALL SHEARWALLS ARE TO BE FULLY BLOCK. SHEAR NAILING: 16D @ 4" O.C.
6. DOOR TRIM: 2"x10"x2" BENDED MS PBR SHEET (ACRYLIC COATED GALVALUME® (41)), 24 GA., MS COLORFAST45 COATED OR EQUAL
7. DOOR TRIM: 2"x6"x2" BENDED MS PBR SHEET (ACRYLIC COATED GALVALUME® (41)), 24 GA., MS COLORFAST45 COATED OR EQUAL
8. DECORATIVE WALL TRIM: MS PBR SHEET (OCEAN BLUE), 26 GA., MS COLORFAST45 COATED OR EQUAL
9. EAVES: DURACLAD PVC INTERLOCKING LINER PANEL, WHITE
10. DOOR: 3068 SELF-CLOSING DOUBLE DOOR, FRAMELESS, TEMPERED GLASS WITH MAGNETIC LOCK
11. DOOR: 1-1/2-HR FIRE-RATED HOLLOW-CORE STEEL DOOR, SELF-CLOSING WITH PANIC HARDWARE, ACRYLIC COATED GALVALUME® (41) FINISH OR EQUAL
12. CAR WASH ROLL-UP DOOR: WHITE WAYNE DALTON CLASSIC STEEL MODEL 9100 10-FT X 10-FT INSULATED RANCH STYLE GARAGE DOOR. SEE CODE REQUIREMENT FOR FIRE AND WIND COMPLIANCE



**INTERIOR FINISH SCHEDULE:**

1. WALL FINISH: SHERWIN-WILLIAMS PAINT COLORS, SWISS COFFEE 7002-16, OR EQUAL
2. CEILING FINISH: SHERWIN-WILLIAMS PAINT COLORS, NAVAJO WHITE HGSW4046 OR EQUAL
3. TOILET FLOOR FINISH: STAINMASTER - CALACATTA SILVER 12-IN X 24-IN MATTE PORCELAIN MARBLE LOOK FLOOR TILE (1.95-SQ. FT/PIECE), SLIP-RESISTANT OR EQUAL
4. TOILET WALLS FINISH: SATORI 12X24, BRILLIANT WHITE MOTION GLOSSY RECTIFIED CERAMIC TILE OR EQUAL
5. FLOOR FINISH: GRIND AND SEAL BARE CONCRETE FLOOR WITH BONDREY PENETRATING PERMANENT CONCRETE SEALER OR EQUAL
6. WALL FINISH: VALSPAR ULTRA INTERIOR PAINT, WASHABLE, SEMI-GLOSS WHITE OR EQUAL

**WINDOW SCHEDULES:**

LOCATION:	QNTY.	SIZE	NOTES
LINE 1:	1	5050	XO TEMP.
LINE 1:	6	2040	FX TEMP.
LINE 2:	2	5050	XO TEMP. GRID
LINE 3:	6	2040	FX TEMP.
	2	5050	FX TEMP. (DUMMY WINDOW OVER WALL)
	1	5050	XO TEMP.

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENING WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. MI 5800 VINYL WHITE OR EQUAL

**DOOR SCHEDULES:**

1. OFFICE DOOR - 3068 SELF-CLOSING DOUBLE DOOR, FRAMELESS, TEMPERED GLASS WITH MAGNETIC LOCK
2. EQUIPMENT ROOM DOOR - 3068 1-1/2-HR FIRE-RATED HOLLOW-CORE STEEL DOOR, SELF-CLOSING WITH PANIC HARDWARE
3. RESTROOMS - 3068 SWING WITH DOOR CLOSER, HOLLOW-CORE WITH PRIVACY LOCK
4. CAR WASH ROLL-UP DOOR - WHITE WAYNE DALTON CLASSIC STEEL MODEL 9100 10-FT X 10-FT INSULATED RANCH STYLE GARAGE DOOR. SEE CODE REQUIREMENT FOR FIRE AND WIND COMPLIANCE

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**3565 OLD HIWAY 53**  
 CLEARLAKE, CA 85422

PROJECT  
**ELEVATION**



PROJECT NUMBER: 08824  
 ISSUED:  
 DRAWN BY: EMG  
 CHECKED BY:  
 FILENAME: CLEARLAKE

**A3.1**  
 SHEET-NUMBER





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PROJECT

**14975 OLYMPIC DRIVE**  
 CLEARLAKE, CA 85422

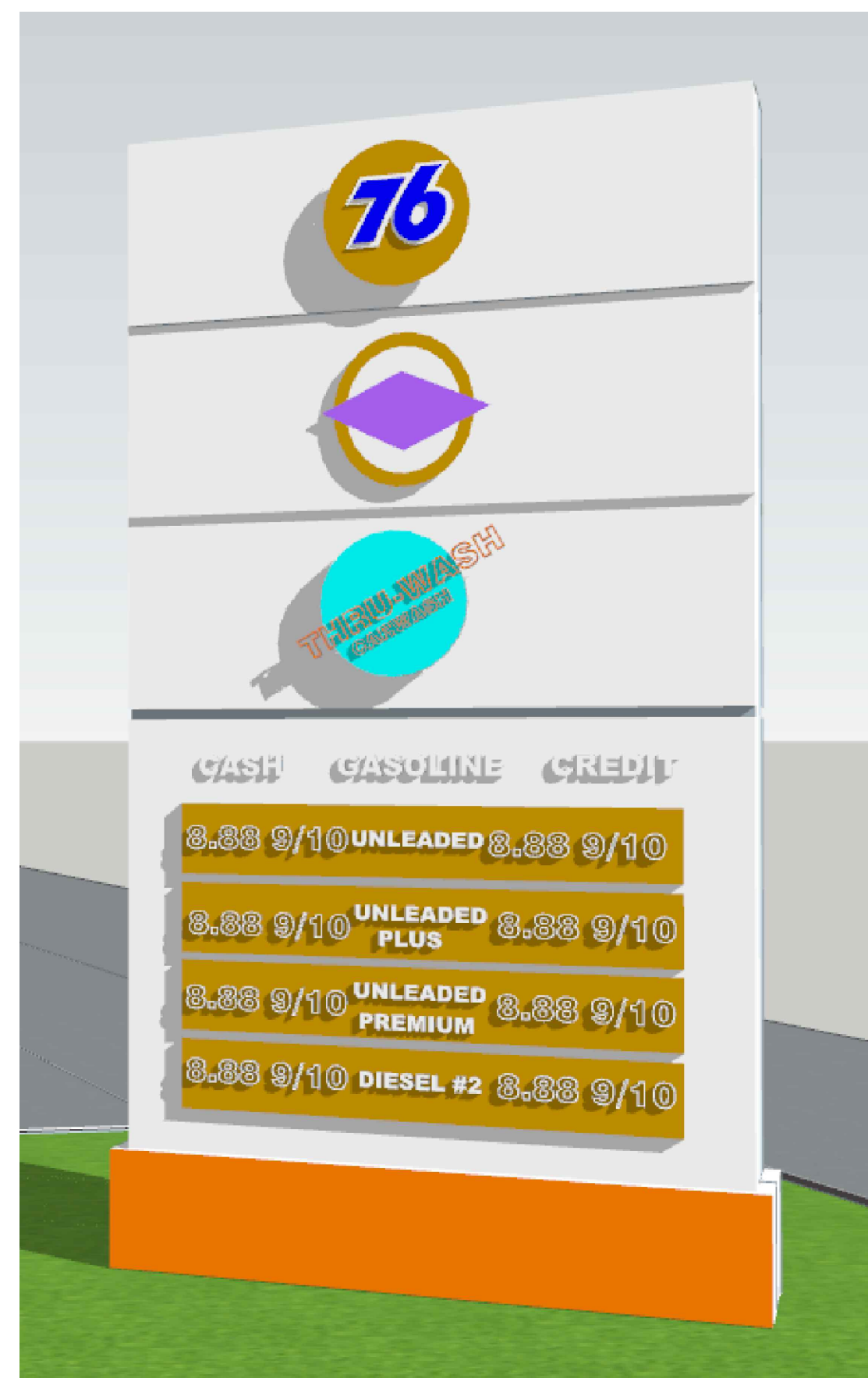
RENDERING

PLANS PREPARED BY:  
 ED GONZALES  
 LICENSE NO. C51991  
 CIVIL  
 STATE OF CALIFORNIA

PROJECT NUMBER: 08824  
 ISSUED:  
 DRAWN BY: EMG  
 CHECKED BY:  
 FILENAME: CLEARLAKE

**A4.0**  
 SHEET-NUMBER





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PROJECT

14975 OLYMPIC DRIVE  
CLEARLAKE, CA 85422

RENDERING

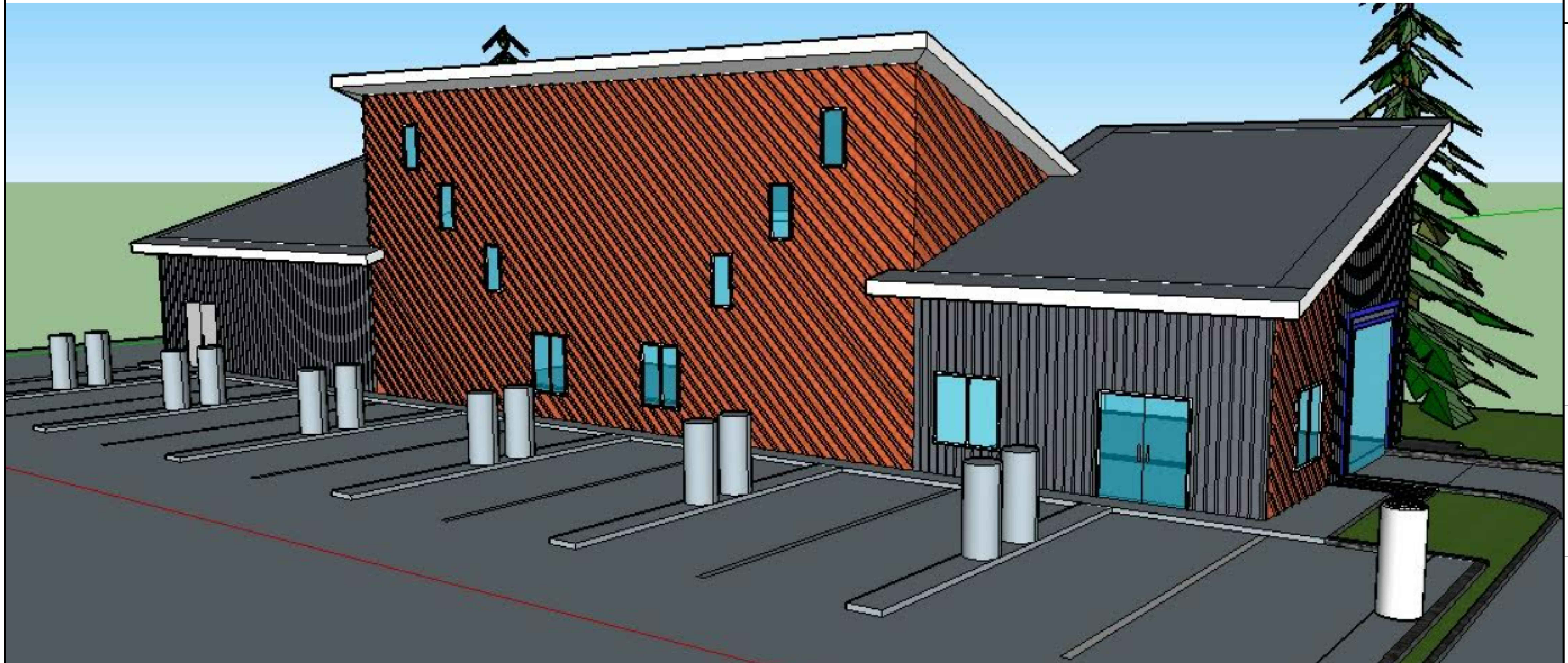


PLANS PREPARED BY:  
ED GONZALES  
LOUIS AN. SHAWKIN  
8/20/20

PROJECT NUMBER: 08824  
ISSUED:  
DRAWN BY: EMG  
CHECKED BY:  
FILENAME: CLEARLAKE

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 CLEARLAKE, CA 85422

RENDER



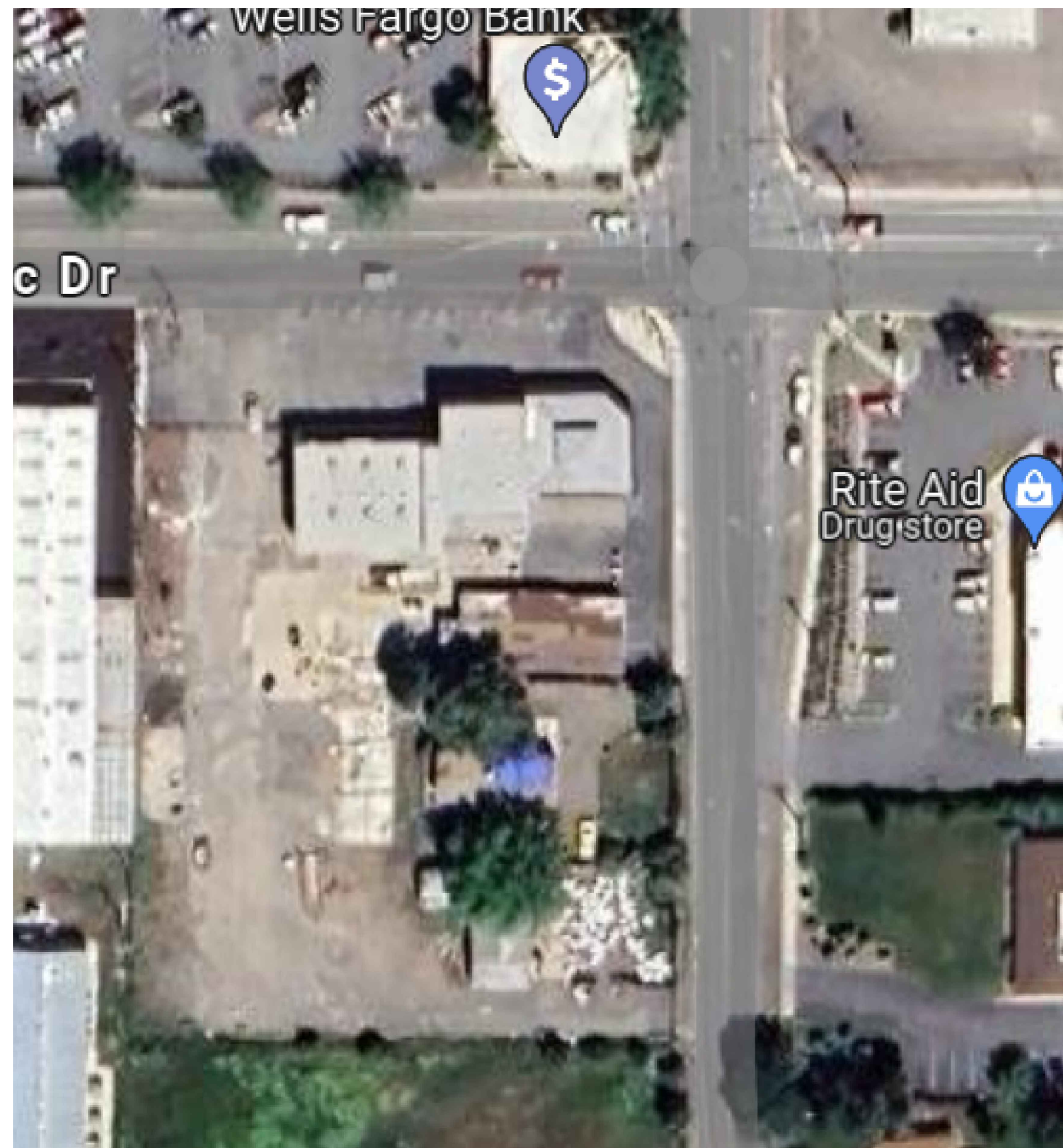
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PLANS PREPARED BY:  
 ED. GONZALES  
 LICENSE NO. 54308000  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA  
 8/31/24

PROJECT NUMBER: 08824  
 ISSUED:  
 DRAWN BY: EMG  
 CHECKED BY:  
 FILENAME: CLEARLAKE

A4.1  
 SHEET-NUMBER

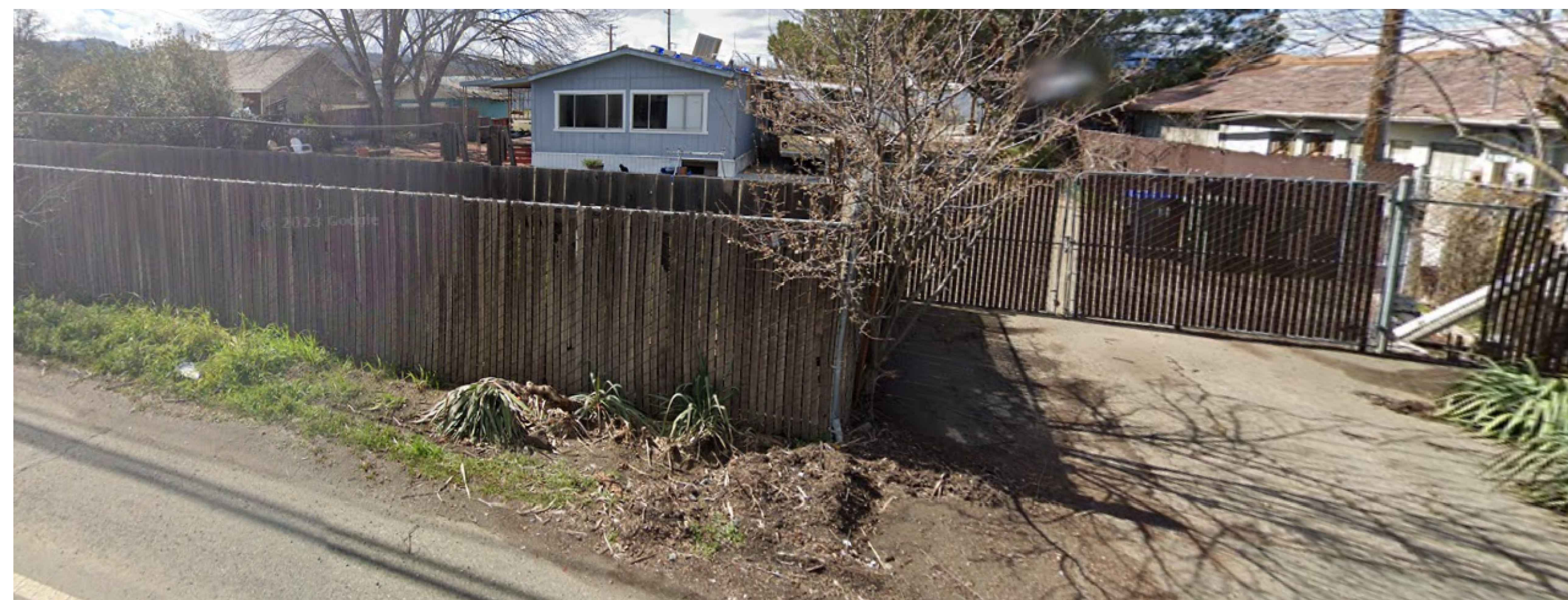




AERIAL VIEW



EAST SIDE ALONG OLD HIWAY 53



EAST SIDE ALONG OLD HIWAY 53



CORNER VIEW @ OLD HIWAY 53 AND OLYMPIC DR.



CORNER VIEW @ OLYMPIC DR. AND OLD HIWAY 53



WEST SIDE ALONG OLYMPIC DR.

SOUTHEAST CORNER

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PROJECT  
**3565 OLD HIWAY 53**  
 CLEARLAKE, CA 85422

SITE PHOTO



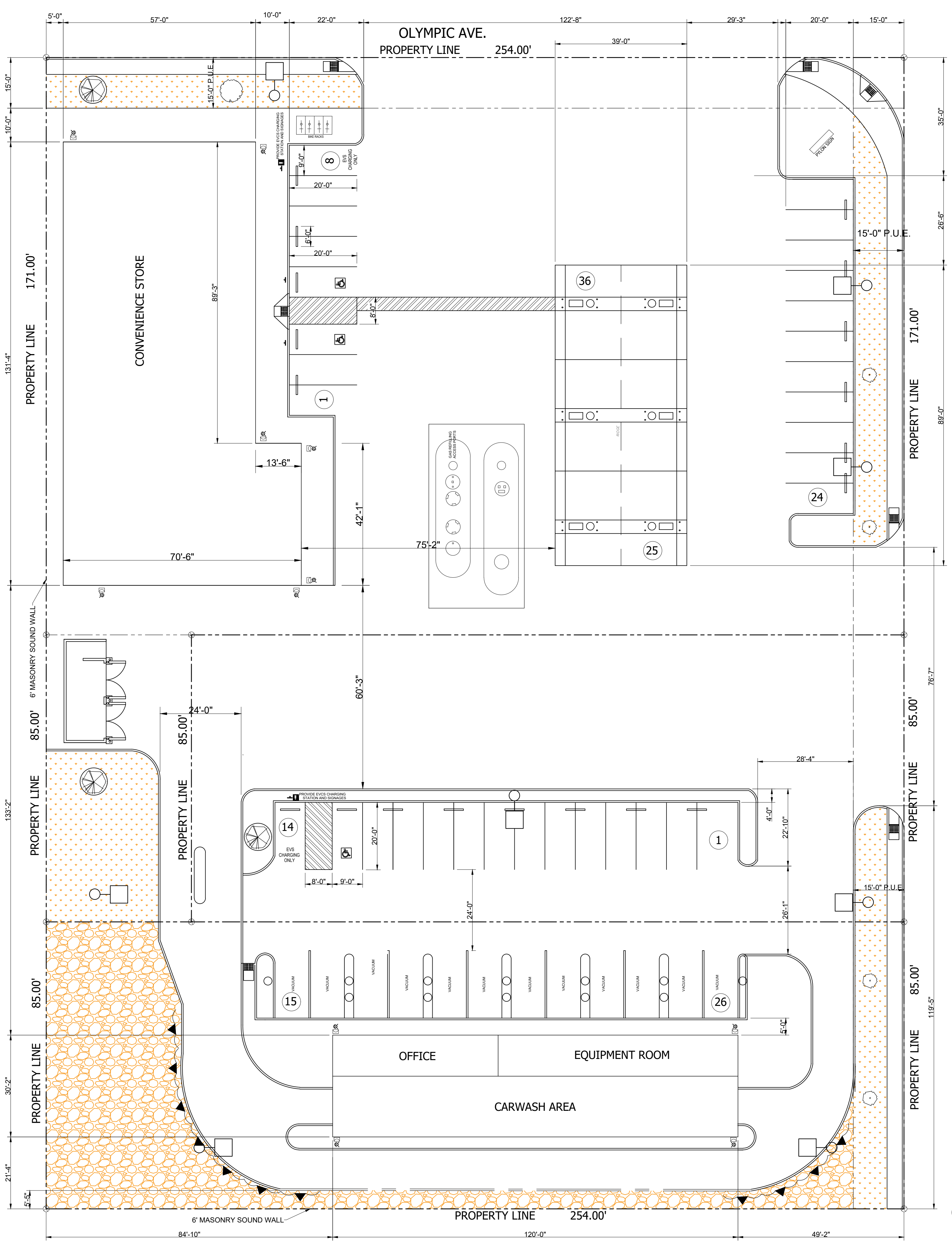
PLANS PREPARED BY:  
 ED. GONZALES  
 LICENSE NO. 44848  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA  
 9/20/05

PROJECT NUMBER: 08824  
 ISSUED:  
 DRAWN BY: EMG  
 CHECKED BY:  
 FILENAME: CLEARLAKE

**A5.1**

SHEET-NUMBER





**PROPOSED PLANT LEGEND:**

TREE SPECIES					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QNTY	WATER USAGE
	QUERCUS LOBATA	VALLEY OAK	24" BOX	3	LOW
	PISTACIA CHINENSIS 'KEITH DAVEY'	FRUITLESS CHINESE PISTACHE	15 GAL	1	LOW
	LAGERSTROEMIA INDICA 'CHEROKEE'	RED CRAPE MYRTLE	15 GAL	4	LOW

VINE SPECIES						
ABBR.	SYM	BOTANICAL NAME	COMMON NAME	SIZE	QNTY	WATER USAGE
LT		CLYTOSTOMA	VIOLET TRUMPET VINE	1 GAL	12	LOW

**SITE LUMINAIRE SCHEDULE**

CALLOUT	SYMBOL	MOUNTING	DESCRIPTION	MODEL	WATTAGE	LAMP	BALLAST	VOLTS	NOTES
C1		CEILING	CANOPY LIGHT	CREE- CPY250-B-DM-F-B-UL-XX-40K OR EQUAL	96	(1) 96W LED	ELECTRONIC	120V 1P	
G2		WALL	LED WALL PACK	CREE- XSPW-B-WM-2ME-4L-57K-ULO-BZ OR EQUAL	31	(1) 31W LED	ELECTRONIC	120V 1P	
P1		POLE	POLE LIGHT WITH MOTION SENSOR	CREE- XSPLG-D-HT-3ME-1BL-40K7-UL-BZ-N (15' POLE: SSS-4-11-15-CW-BS-BZ) OR EQUAL	135	(1) 135W LED	DIMMING	120V 1P	WSN-DPM MOTION SENSOR
P2		POLE	POLE LIGHT WITH MOTION SENSOR	CREE- XSPLG-D-HT-4ME-1BL-40K7-UL-BZ-N (15' POLE: SSS-4-11-15-CW-BS-BZ) OR EQUAL	135	(1) 135W LED	DIMMING	120V 1P	WSN-DPM MOTION SENSOR
Y1		GROUND	GROUND SPOT SPOT LIGHT	6L 40W 120V GROUND MOUNTED SPOT LIGHT W/ PHOTOCELL OR LED EQUAL	40	(1) 40W LED	ELECTRONIC	120V 1P	
Y2		WALL	YARD LIGHT WITH PHOTO-SENSOR SWITCH	200W OR LED EQUAL; WALL MOUNTED	200	(1) 40W LED	ELECTRONIC	120V 1P	

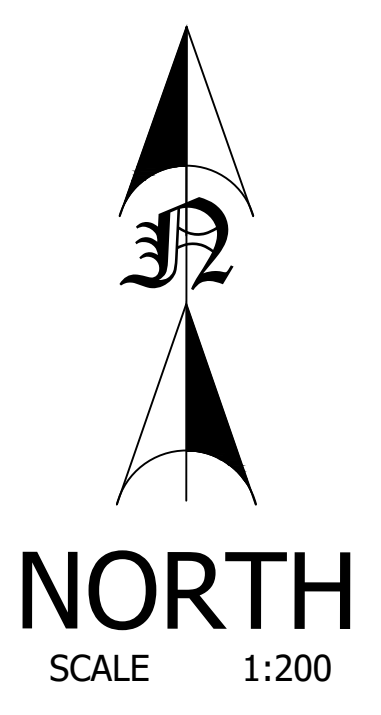
**IRRIGATION:**

THE ENTIRE SITE WILL BE IRRIGATED USING A FULLY AUTOMATIC SYSTEM AND DESIGN IN ACCORDANCE WITH THE CITY WATER EFFICIENT LANDSCAPING ORDINANCE. THE IRRIGATION SYSTEM WILL LARGELY BE LOW-VOLUME DESIGN WITH NO USE OF POP-UP SPRAYS. THE SYSTEM WILL INCLUDE IN-LINE VALVES, QUICK COUPLERS AND GATE VALVES. NEW IRRIGATION CONTROLLER WILL BE HUNTER, IRRITROL OR EQUAL "SMART" CONTROLLER WITH WEATHER STATION. A WIRELESS WEATHER SENSOR WILL COMMUNICATE WITH THE CONTROLLER FOR RAIN/FREEZ SHUT-OFF ABILITIES.

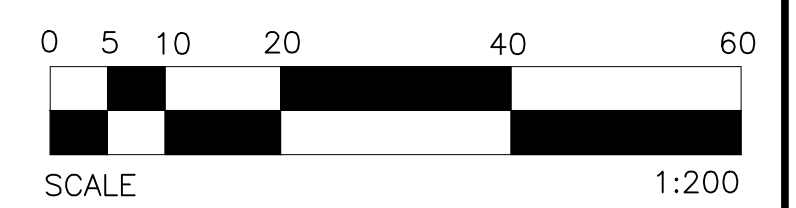
**TREE ROOT BARRIER:**

- ALL TREES DENOTED TO HAVE ROOT BARRIER INSTALLED DURING TREE INSTALLATION ALONG THE INSIDE EDGE OF THE ADJACENT CURB OR SIDEWALK. SEE RECOMMENDED ROOT BARRIER BY PLANT SUPPLIER.
- TREE LOCATIONS TO BE A MINIMUM OF 5' AWAY FROM UTILITIES SUCH AS WATER LINES, BACKFLOW PREVENTERS, STORM DRAINS, ETC.
- ROOT BARRIERS SHALL BE INSTALLED FOR ALL TREES PLANTED WITHIN 5' OF PUBLIC SIDEWALKS

OLD HYWAY 53



1 LANDSCAPING PLAN



REVISIONS	BY

PROJECT  
**14975 OLYMPIC DRIVE**  
 CLEARLAKE, CA 85422

LANDSCAPE PLAN



PROJECT NUMBER: 08824  
 ISSUED:  
 DRAWN BY: EMG  
 CHECKED BY:  
 FILENAME: CLEARLAKE

**LS1.0**

SHEET-NUMBER





# City of Clearlake

14050 Olympic Drive, Clearlake, California 95422  
(707) 994-8201 Fax (707) 995-2653

## Planning Application CONDITIONAL USE PERMIT CEQA: Categorical Exemption

OFFICE USE ONLY	INITIAL FEES
Permit Fee	2,200.00
Categorical Exemption Fee	150.00
General Plan Maintenance Fee	25.00
Technology Fee (2%)	47.50
County Clerk Processing Fee for CE/MND (County Requirement)	50.00
<b>Subtotal</b>	<b>2,472.50</b>
3% CC/DC Processing Fee (\$74.18)	
<b>Total</b>	
Date:	
Receipt Number:	
File Number:	CUP 20 --
	CE 20

### APPLICANT

NAME: TONY MEHROKE  
 MAILING ADDRESS: 9397 MIKO CIR  
 CITY: ELKGROVE  
 STATE: CA ZIP CODE: 95624  
 PRIMARY PHONE: (916) 753-0177  
 EMAIL: tonymehroke@yahoo.com  
 SIGNATURE: *Kuljeth Mehroke*

I declare under penalty of perjury that I am the owner of said property or have written authority from the property owner to file this application. I certify that all the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application.

### PROPERTY OWNER (IF NOT APPLICANT)

NAME: NORCAL FUELWORXZ INC.  
 MAILING ADDRESS: 1729 CRYSTAL CT  
 CITY: OLIVEHURST  
 STATE: CA ZIP CODE: 95961  
 PRIMARY PHONE: (916) 753-0177  
 EMAIL: tonymehroke@yahoo.com  
 SIGNATURE: *Kuljeth Mehroke*

I declare under penalty of perjury that I am the owner of said property or have written authority from the property owner to file this application. I certify that all the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application.

### PROJECT LOCATION

ADDRESS: 3565 OLD HIWAY 53, CLEARLAKE  
 ASSESSOR PARCEL NUMBERS: 039-550-200-000  
 PRESENT USE OF LAND: COMMERCIAL  
 WATER SUPPLY:  PUBLIC  GROUNDWATER WELL  
 SANITATION:  PUBLIC SEWER  SEPTIC SYSTEM  
 FLOOD ZONE: \_\_\_\_\_

### OFFICE USE ONLY

ZONING DISTRICT: \_\_\_\_\_  
 GENERAL PLAN DESIGNATION: \_\_\_\_\_  
 RELATED FILE NUMBERS: \_\_\_\_\_  
 NOTES: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

### DESCRIPTION OF PROJECT

DRIVE-THRU CARWASH AND GAS PUMP ISLAND

# Supplemental Data for Use Permit

Please answer the following questions as thoroughly as possible. If questions do not apply to your project, please provide an explanation of why. Use separate sheets of paper if necessary. **IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE CITY OF CLEARLAKE - PLANNING DIVISION.**

Description of objective of project and its operational characteristics:

Type of Business: LLC

Product or service provided: DRIVE-THRU CARWASH

Hours of operation: 9 AM TO 5 PM

Days of operation: 7 DAYS / WEEK

Number of shifts (normal): 1

Number of shifts (peak): 1

Employees per shift (normal): 3

Employees per shift (peak): 3

Number of deliveries per day: 0

Number of customer per day: 30-50

Number of pick-ups per day: N/A

Lot size: 0.49 Ac

Number and type of company Vehicles: 0

Type of loading facilities: N/A

Floor area of existing structures: 2,000 SF

Proposed building floor area: 3,600 SF

Number of existing parking spaces: OPEN

Number of proposed parking spaces: 36

Number of floors: 1

Additional relevant information: WITH SELF SERVICE VACUUM BAYS

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## Supplemental Data Continued)

When do you anticipate starting construction?

3RD QTR 2024

How long will construction take?

6-9 MONTHS

What days/times will construction occur?

WEEK DAYS - 8AM-5PM

What type of construction equipment will be used?

LIGHT EQUIPMENTS (BOBCAT)

How many truck/vehicle trips will be necessary for construction?

3-5 / DY AS NEEDED

Will equipment be idling during construction?

NO

Where will construction equipment be staged/stored?

AT SITE

Will any trees or vegetation be removed? If yes, please provide type and amounts.

1 X 12" DIA. AND 1 X 6" SHADE TREE

## Supplemental Data (Continued)

How much grading is anticipated to occur and where?

MINIMAL GRADING AS THE EXISTING GROUND IS FLAT

Will soil be imported or exported to/from the site? If so from where and what amount?

NO SOIL IMPORT / EXPORT PROJECTED

Is trenching required? If yes, please provide location, dimensions and cubic yards.

NO TRENCHING PROJECTED

How much water will be used for construction, operation and maintenance? What is the water source?

30=50 GALS / DAY AS NEEDED. PUBLIC WATER SUPPLY

Describe how scenic views or vistas are impacted by the cultivation site.

NO VISUAL EFFECT

What lighting is proposed for the project? Will areas be lit at night?

LED YARD LIGHTS ONLY.

What type of hazardous materials may and/or will occur on site? How will the hazardous material be disposed of?

LUMBER AND DRYWALL. CONTRACTOR TO DISPOSE OF CONSTRUCTION DEBRIS



## Supplemental Data for (Continued)

Will this project result in the loss of forest land? If so, describe how many acres and what type of trees.

NOT APPLICABLE

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How will dust, ash, smoke, fumes or odors generated by the cultivation site be managed?

MINIMAL DUST ANTICIPATED. MINOR GRADING PROJECTED. CONTRACTOR TO

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IMPLEMENT DUST CONTROL

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Are there any water features (drainages, streams, creeks, lakes, rivers, vernal pools, wetlands, etc.) on-site or immediately adjacent to the project? If yes, will any work take place in or near them?

NONE

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Will there be a loss of any wetland or streamside vegetation? If yes, describe where, total area, and type of vegetation lost.

NO

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Describe and site or buildings have any archaeological or historical significance.

NONE

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What are the slopes on project site?

EXISTING FLAT GROUND

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## Supplemental Data (Continued)

Describe the soils found at the site and their potential for landslides, erosion, lateral spreading, subsidence, liquefaction, or collapse.

EXISTING SANDY SOIL ON FLAT GROUND

Describe methods to be taken to reduce greenhouse gases.

CONTRACTOR TO ADHERE TO CAL GREEN CODE AND CONSTRUCTION BEST PRACTICE

Will solid waste be produced? If yes, how will it be disposed of?

NONE

Will hazardous waste be produced? If yes, how will it be disposed of?

NONE

How will vegetative waste be managed?

CONTRACTOR TO ADHERE TO CAL GREEN CODE AND CONSTRUCTION BEST PRACTICE

How will growth medium waste be managed?

CONTRACTOR TO ADHERE TO CAL GREEN CODE AND CONSTRUCTION BEST PRACTICE

Will any material be taken to a landfill? If yes, which one and how much material is anticipated?

LUMBER AND SCAP METALS. APPROX. 3-5 TONS



## Supplemental Data (Continued)

Describe risk of an explosion or release of hazardous substances in case of an accident.

NO HAZARDOUS OR EXPLOSIVE CHEMICALS PROJECTED IN THE PROJECT

Do portions of the cultivation site periodically flood?

NO

Describe the existing drainage patterns on the site and how they may be alternated and to what degree as a result of this project.

EXISTING GROUND IS FLAT

What Best Management Practices (BMP's) or measures will be implemented in order to prevent erosion and impacts to water quality?

WATTLES, BALES FOR EROSION CONTROL AND GROUND COVER FOR DIRT PILE WITH YARD WATERING WHERE NEEDED TO BE EXERCISED

Is wastewater treatment required for the project? If yes, what is the source?

NO

Describe how this project is consistent with the City's General Plan and Zoning Ordinance.

THE PROPERTY IS AN EXISTING COMMERCIAL SITE. CHANGE IN SITE UTILIZATION TO BE SUBMITTED FOR USE PERMIT TO COMPLY WITH CITY REQUIREMENTS

Describe the level and frequency of noise or vibration that will be generated from this project.

NO HEAVY CONSTRUCTION ANTICIPATED

## Supplemental Data for Initial Study (Continued)

Describe what measures have been taken to maintain or improve level of service for the appropriate emergency services (Fire, Police, etc.).

PROJECT PLANNING HAS INCORPORATED FIRE AND SAFETY GUIDELINES AS REQUIRED BY CODE

How is the site accessed?

SITE IS ADJACENT TO OLD HIWAY 53 AND ACCESSIBLE TO DIRECT VEHICULAR TRAFFIC

Describe the amount of traffic the project will generate.

NO VARIATION TO REGULAR TRAFFIC WITH THE PROJECT BEING OF LIGHT CONSTRUCTION

Are there any road improvements that would be required? If yes, please provide specs (type of materials and dimensions).

NONE

Describe if this project will result increased traffic hazards to motor vehicles, bicyclists, or pedestrians?

NONE PROJECTED

Are greenhouses or other accessory structures proposed? If yes, what are the dimensions of the structures and materials/colors they will be constructed out of?

NONE

What sources of energy will be used?

PUBLIC UTILITY