

SR0004486

Distribution Date: 10/27/2021

Return by Date: 11/19/2021



City of Clearlake

14050 Olympic Drive, Clearlake, California 95422

(707) 994-8201 Fax (707) 995-2653

Received

OCT 28 2021

Environmental Health

Community Development Dept. Request for Review And AB 52

| Local Departments | Regional Departments | State/Federal Departments | Tribal Organizations | Other |
|---|---|---|---|---------------------------------------|
| <input checked="" type="checkbox"/> Building | <input checked="" type="checkbox"/> Air Quality Mgmt | <input checked="" type="checkbox"/> Caltrans | <input type="checkbox"/> Elem Indian Colony | <input type="checkbox"/> Cal Cannabis |
| <input checked="" type="checkbox"/> Code Enforcement | <input checked="" type="checkbox"/> Assessor/Recorder | <input type="checkbox"/> CA Air Board | <input type="checkbox"/> Middletown Ranch. | <input type="checkbox"/> CA Dept PH |
| <input checked="" type="checkbox"/> Police Department | <input checked="" type="checkbox"/> Env Health | <input checked="" type="checkbox"/> CA Dept F&W | <input checked="" type="checkbox"/> Koi Nation of NCA | <input type="checkbox"/> BCC |
| <input checked="" type="checkbox"/> Engineering | <input type="checkbox"/> Lakebed Mgmt | <input type="checkbox"/> USA Corps of Eng | <input type="checkbox"/> NAHC | <input type="checkbox"/> CDFA |
| <input checked="" type="checkbox"/> Fire | <input type="checkbox"/> LC Surveyor | <input type="checkbox"/> US F&W Serv | <input type="checkbox"/> HERC | |
| <input type="checkbox"/> PGE | <input type="checkbox"/> LC Water Resources | <input checked="" type="checkbox"/> Sonoma State | | |
| <input type="checkbox"/> Golden State Water | <input checked="" type="checkbox"/> LC Tax Collector | <input checked="" type="checkbox"/> CHP | | |
| <input type="checkbox"/> Konocti Water | <input type="checkbox"/> LC Transit | <input checked="" type="checkbox"/> ABC | | |
| <input checked="" type="checkbox"/> Highlands Water | <input type="checkbox"/> Lake Area Plng Cncl | <input checked="" type="checkbox"/> CA Water Boards | | |

Request: Please review the enclosed application packet material and return any comments by November 19, 2021¹ via email: mroberts@clearlake.ca.us, or postage: Clearlake City Hall attn. Planning Department, 14050 Olympic Drive, Clearlake, CA 95422.

Project Description:

The applicant is requesting approval of a Conditional Use Permit to allow the development of a mixed-use commercial development. The development consists of two parcels notated on the drawings as: Lot 1 and Lot 2. The development, includes but is not limited to:

Lot One: (1) 1495 Sq. Ft. Apartment; (1) 1600 Sq. Ft. Apartment; (1) 3095 Sq. Ft. Convenience store including storage and maintenance facility; (12) Parking spaces Trash pickup designated area.

Lot Two: (1) 500 Sq. Ft. Water Purification facility; (1) 1540 Sq. Ft Coined Laundromat (1) 980 Sq. Ft. Retail space including storage and maintenance; (1) 1315 Sq. Ft. Pizza (1) 480 Sq. Ft Deli; (1) 450 Sq. Ft Ice Cream Shop; (24) Parking spaces.

For a full detailed description, please refer to the enclosed Project Narrative and Architectural and Engineering Plans.

From: Mark Roberts

File: CUP 2021-35 and IS 2021-09 (CEQA)

Applicant: Wafaa Almahamid

Owner: Sunil Joshi


Location: 6653 & 6673 Old HWY 53

APN: 040-376-20 and 21

Zoning: "GC" General Commercial

General Plan: "GC" General Commercial

¹ [Tribal Organizations Only] Please note: In accordance with Section 21080.3.1(b) of the PRC, Consultation request under AB52 must be received in writing within 30 days of receipt of this notice on 12-1-2021. We are responding to your request to be notified of projects in our jurisdiction that will be reviewed under CEQA and hereby notifying you of an opportunity to consult with us regarding the potential for this project to impact Tribal Cultural Resources, as defined in Section 21074 of the PRC.

Comment Below: 

Click or tap here to enter text.

See attached memorandum

Date Received: 10/28/21

Signature: Eina Rubini



COUNTY OF LAKE
Health Services Department
Environmental Health Division
922 Bevins Court
Lakeport, California 95453-9739
Telephone 707/263-1164
FAX 707/263-1681

Carol Huchingson
Interim Health Services Director

Gary Pace, MD, MPH
Interim Health Officer

Craig Wetherbee
Environmental Health Director

MEMORANDUM

DATE: October 28, 2021

TO: Mark Roberts, Planning Dept.

FROM: Tina Dawn-Rubin, Environmental Health Aide

RE: CUP 2021-35 Conditional Use Permit; IS 2021-09 (CEQA)
JS Market

APN: 043-376-20 6653 Old Hwy 53, Clearlake
043-376-21 6673 Old Hwy 53, Clearlake

Environmental Health Division does not have any concerns on the wastewater treatment system since the property is connected to a public sewer system and public water.

The applicant must comply with the California Retail Food Code Regulations and applicant must have a potable water supply.

The applicant must apply and pay for plan check application: submit three sets of complete plans and supporting documents for review of any proposed retail food facility and must obtain approval from the Division of Environmental Health for construction before obtaining any building permits. Food facilities must be permitted and inspected prior to opening to the public.

If the applicant stores hazardous materials equal or greater than 55 gallons of a liquid, 500 pounds of a solid or 200 cubic feet of compressed gas, the applicant will be required to submit a Hazardous Materials Inventory Disclosure Statement/ Business Plan to the Environmental Health Division via the California Electronic Reporting System (CERS) and it shall be renewed and updated annually or if quantities increase.

If the amount of hazardous materials is less than the above quantities, the applicant will need to complete and submit a Hazardous Materials/Waste Declaration stating the name of the material and the quantity to be stored on site.



COUNTY OF LAKE
SPECIAL DISTRICTS ADMINISTRATION
230 N. Main Street
Lakeport, California 95453
Telephone (707) 263-0119
Fax (707) 263-3836

Scott Harter
Administrator

November 19, 2021

City of Clearlake Planning Department
14050 Olympic Drive
Clearlake, CA 95422
ATTN: Mark Roberts, Senior Planner

**RE: JS MARKET – 6653 & 6673 OLD HWY 53, APN: 040-376-20 & 21
CUP 2021-35 AND IS 2021-09 (CEQA)**

Dear Mr. Roberts

Lake County Special Districts has completed the requested plan review for the above referenced project.

Our review comments are as follows:

- Title Sheet
 - Add standard signature block for Entity approvals.
- Sheet C1 – Grading Plan
 - Plan View – All elevations based on ??????
 - Note 10 – Shouldn't the subgrade also be compacted to 95% relative compaction?
- Sheet C2 – Drainage Plan
 - Check invert elevations.
 - Drainage pipes are flowing in opposite directions. Check invert elevations.
 - Check New D.I. invert elevation of 1440.00'.
- Sheet C3 – Utility Plan
 - For sewer, reference LACOSAN Standard Details 513, 517, and 518.
 - Include these Standard Details on a detail sheet.
 - Existing Structure – Future Laundry Service & Water Purification Facility
 - Show location and size of existing sewer service lateral and property line cleanout from existing structure to sewer mainline.

- Owner and/or Engineer to verify existing sewer service lateral is of sufficient size to handle the flow from the new laundry service facility.
- More information is required to determine if a second sewer service lateral and property line cleanout is needed for water purification facility.
- New Convenience Store and Dwelling Units
 - A 6" sewer service lateral and property line cleanout will be required for this new structure.
 - More information is required for this structure to determine if a grease trap will be required for this structure.
- New Retail Space – Pizza, Deli, and Ice Cream Shop
 - A 6" sewer service lateral and property line cleanout will be required for this new structure.
 - A grease trap is required for food prep locations. Tank capacity to be determined at the time of permit application.
 - Note: If these are separate businesses then each business will need their own grease trap, sewer service lateral, and property line cleanout.

NOTE:

1. Additional information is required from the owner to be able to calculate the capacity expansion fees for this project and determine if a sewer analysis will be required by the District.

Regards,



Steve Phillips
Utility Systems Compliance Coordinator

Cc: Mark Roberts, Senior Planner, City of Clearlake
Cc: Dale Goodman, Public Works Director, City of Clearlake
Cc: File

— Scott As 11.3.21

Lake County Special District Comments

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Comment Below: 

Click or tap here to enter text.

Date Received: _____

Signature: _____



City of Clearlake

14050 Olympic Drive, Clearlake, California 95422
(707) 994-8201 Fax (707) 995-2653

INITIAL FEES:

Admin Permit

Use Permit

CEQA

Receipt #

Received By

Date

CUP 2021-35

IS 2021-09

MR

10/26/2021

(Please type or print)

Planning Application

Use Permit

Project Name: JS Market

Assessor's Parcel #: 040-376-20 and 21

CUP 2021-35

Initial Study (CEQA), IS 2021-009

APPLICANT:

NAME: Wafaa Almahamid

MAILING ADDRESS: 1984 Heaton Cir

CITY: Concord

STATE: CA

ZIP: 94520

PRIMARY PHONE: 925 360-0552

EMAIL: wafaa@waa-design.com

SIGNATURE: *Wafaa Almahamid*

I declare under penalty of perjury that I am the owner of said property or have written authority from property owner to file this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application

PROPERTY OWNER (IF NOT APPLICANT):

NAME: Sunil Joshi

MAILING ADDRESS: 25 C Street

CITY: Lakeport

STATE: CA

ZIP: 95453

PRIMARY PHONE: 404 992-0561

EMAIL: sunil_143us@yahoo.com

SIGNATURE: *Sunil Joshi*

I declare under penalty of perjury that I am the owner of said property or have written authority from property owner to file this application. I certify that all of the submitted information is true and correct to the best of my knowledge and belief. I understand that any misrepresentation of submitted data may invalidate any approval of this application

PROJECT LOCATION:

ADDRESS: 6653 Old Highway 53, Clearlake, CA 95422

PROPERTY SIZE: 7,047 SQ FT.

PRESENT USE OF LAND: Commercial Market Space

WATER SUPPLY: Highlands Mutual Water Company

SEWER/SEPTIC: Lakeport

FLOOD ZONE: Zone X

OFFICE ONLY:

ZONING:

GENERAL PLAN:

APPROVED:

DATE:

RELATED FILES:

NOTES:

DESCRIPTION OF PROJECT:

Converting an existing on-site market into coin operated laundry service

Constructing a new ground up of approximately 3000 sq. ft including pizza, deli space with outdoor seating and drive through and a retail space (sell-only construction to be rented out to future tenants)

Constructing a new ground up of approximately 6000 sq. ft super market / convenience store with two condo units on top

JS MARKET

6653 OLD HIGHWAY 53
CLEAR LAKE, CA

10/25/21

DESIGN REVIEW NARRATIVES

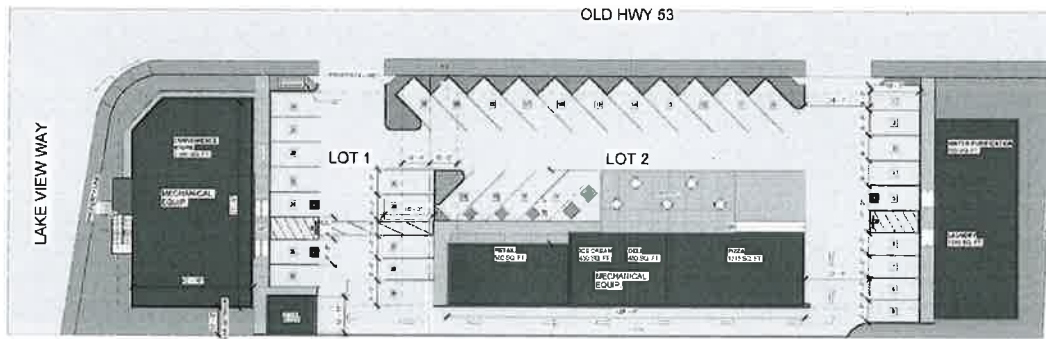


General

The proposed mixed-use commercial development is located at 6653 and 6673 Old Highway 53 in the City of Clearlake. The development consists of two parcels notated on the drawings as: Lot 1 and Lot 2. The zoning classification for the two parcels is GC general commercial.

The proposed development is designed in accordance with the City of Clearlake zoning ordinance and design guidelines. The site proposal includes the tenant improvement of an existing market space on Lot 2 to be converted into a coined laundromat, and a newly proposed retail space encompassing a drive through pizzeria, deli, ice cream shop, and outdoor dining area. On Lot 1, the development will include a two-story mixed use building with a convenience store on the ground floor and two residential units on the second floor.

The development will facilitate the following:



- Lot 1
- (1) 1495 Sq. Ft. Apartment
 - (1) 1600 Sq. Ft. Apartment
 - (1) 3095 Sq. Ft. Convenience store including storage and maintenance facility
 - (12) Parking spaces
 - Trash pickup designated area

- Lot 2
- (1) 500 Sq. Ft. Water Purification facility
 - (1) 1540 Sq. Ft Coined Laundromat
 - (1) 980 Sq. Ft. Retail space including storage and maintenance
 - (1) 1315 Sq. Ft. Pizza
 - (1) 480 Sq. Ft Deli
 - (1) 450 Sq. Ft Ice Cream Shop
 - (24) Parking spaces
- grease traps*

Access to the development site

way The proposed development takes place on two adjacent parcels located at the intersection of Old Hwy 53 and Lakeview Ave. Old Hwy 53 will serve as the frontage road. The private driveway is accessible from two points on Old Hwy 53; on the eastern end it wraps around in an L shape to exit from the western end,

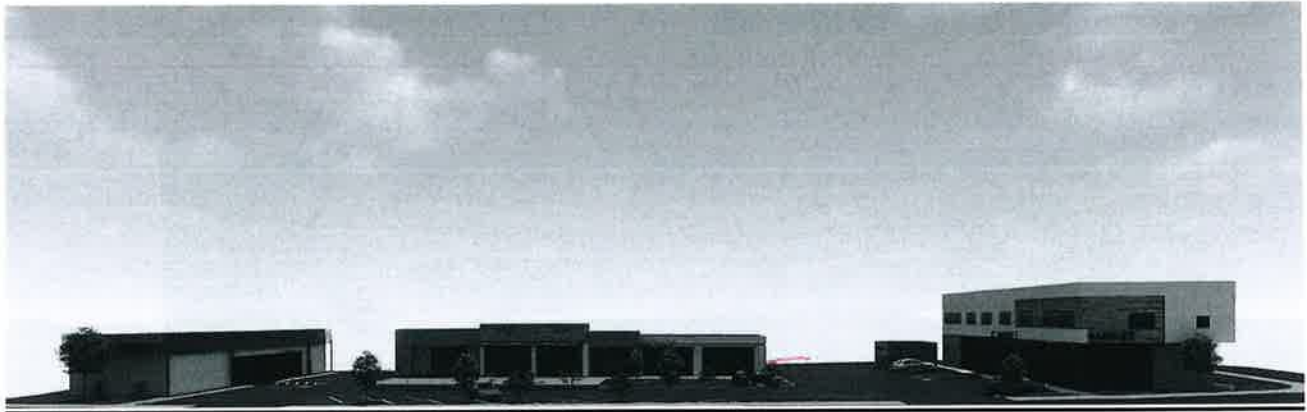
Design & Services

and on the western end continues to the drive-thru to exit from the Eastern end. Both lots are easily accessible by pedestrians from both Avenues, with a private stair entrance to the residential units on Lot 1. Pedestrian walkways will connect to the public sidewalks along Old Hwy 63 and Lakeview Ave.

The number of Parking spaces provided for each parcel meets Clearlake planning parking requirements. Service vehicles such as solid waste will access the parcels entering from the Old Hwy 53 Western Entrance and exiting from the Western Entrance.

looks tight to navigate.

Location, Alignment, and Setbacks



Setbacks requirements per local zoning ordinance are met for each parcel individually. Fencing between the site and neighboring residences is proposed along the southern property line.

Civil

The project calls for the development of the entire lot. Approximately 65 percent of the site is covered completely with impervious surfaces. Drainage for the site and surrounding area is managed by 2-36" corrugated metal culverts that cross the site. The inlet is located in the center of property along Old Hwy 53 and drains approximately 50 acres of the surrounding area to the North East. A preliminary hydrology study calculates 22 CFS of run-off during a peak 10 year event. The 2-36" CMP culverts have a capacity of over 50 CFS. The culverts will need to be replaced and relocated per the plan. The South West portion of the site will need to be cut to provide appropriate grading across the site for parking and accessibility access. The total cut quantity for the project is approximately 500 CY. New curb, gutter and sidewalks will need to be installed along Lakeview Way and Old Hwy 53. The entire parking area will be regraded and repaved. New utilities including water, sewer, and fire mains will need to be installed to service the new project. Existing water mains and sewer mains are located in Old Hwy 53 and will provide connection to the site

Landscape and Stormwater Management

The landscape planting and irrigation design conforms to the Lake County Low Impact Development Standards and the City of Clearlake's Water Efficient Landscaping and the Landscaping Design Standards and Guidelines.

The landscape design plan meets the maximum applied water allowance calculation. All plant materials, even those in the bio-swale areas, are low water use as defined by the Water Use Classifications of Landscape Species (WUCOLS) update #4 for the California climate zone #2. The planting design would easily satisfy the MWEL requirements.

Four Valley Oaks are incorporated in the plan to offset the removal of the Blue Oaks on site. These trees will be quicker growing and just as drought tolerant once established as the Blue Oaks.

when only mitigate at a 1:1 ratio, and there are more trees required.
Species selection is in consideration of significant pedestrian and guest use of the site. The design also seeks to ease maintenance to ensure an attractive and functional landscape as an improvement to the surrounding neighborhood. Numerous California and western states natives, as well as wildlife attracting species, have been integrated into the design.

Architectural Design, Colors, and Materials

The design for the proposed retail storefronts utilizes gray stucco, metal wall panels, and black anodized aluminum curtain wall trims for a sleek, modern aesthetic. Additionally, secondary accents of cedar wood siding are added to bring warmth and a natural feel to the design. The existing building will be covered by a perforated metal screen to match the aesthetic of the new additions and create a more cohesive feel to the site. Entrances will be distinguished by metal canopies which will also allow opportunities for lighting, and a designated space for outdoor dining. The convenience store will continue this approach, while the residential units will be distinguished by the use of additional cedar wood placed strategically in elegant recessions to create a clean, volumetric look.

The design will convey an image of quality and durability whilst maintaining a natural feel.



Conclusion

The development of the two separate parcels located at the intersection of Old Hwy 53 and Lakeview Ave offers a significant improvement and value to the neighborhood. It allows opportunities for local business growth and introduces spacious, tenant-friendly living spaces.

Scott Harker 11-19-21

City Received: Oct. 26, 2021



JS MARKET

6653 OLD HIGHWAY 53
CLEAR LAKE, CA 95422

**WaArchitecture +
Design**

Wafaa Almahamid
Architect, WELL AP, LEED AP

1984 Heaton Circle
Concord, GA 94520
825-360-0552

wafaa@waa-design.com
www.waa-design.com

STAMP:

[illegible]

CONSULTANTS:

OWNER:
Owner

PROJECT DIRECTORY

PROJECT DATA

SCOPE OF WORK

DRAWINGS LIST

OWNERS:

SUNIL JOSHI
25 C STREET
LAKEPORT, CA 95453

ARCHITECT

WAA DESIGN
1984 HEATON CIR.
CONCORD, CA 94520

WAFAA ALMAHAMID
925-360-0552
WAFAA@WAA-DESIGN.COM

CIVIL ENGINEER

LAKE COUNTY CONTRACTORS
301 INDUSTRIAL AVE
LAKEPORT, CA 95453

MARK MITCHELL
707-357-0630
MARK@LAKECOUNTYCONTRACTORS.COM

LANDSCAPE ARCHITECT

FORBES LAND DESIGN
UKIAH, CA 95482

NICHOLAS F. THAYER
707-362-0680
NICHOLASTHAYER@ICLOUD.COM

LEGAL OWNER:

SUNIL JOSHI

PROJECT ADDRESS

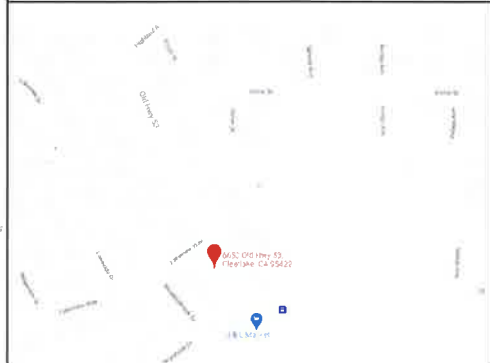
6653 OLD HIGHWAY 53
CLEAR LAKE, CA 95422

ZONING

APN:
040-376-20 and 040-376-21

- TENANT IMPROVEMENT OF AN EXISTING MARKET SPACE ON LOT 2 TO BE CONVERTED INTO A COINED LAUNDROMAT
- A NEWLY PROPOSED RETAIL SPACE ENCOMPASSING A DRIVE-THROUGH PIZZERIA, DELI, ICE CREAM SHOP, AND OUTDOOR DINING AREA.
- ON LOT 1, THE DEVELOPMENT WILL INCLUDE A TWO-STORY MIXED USE BUILDING WITH A CONVENIENCE STORE ON THE GROUND FLOOR AND TWO RESIDENTIAL UNITS ON THE SECOND FLOOR.

VICINITY MAP



| | |
|------|-----------------------------------|
| A100 | TITLE SHEET |
| A101 | PROPOSED IMAGES |
| A201 | SITE PLAN AND OVERALL FLOOR PLAN |
| A202 | SIGNAGE PLAN |
| A203 | CONDO PLANS |
| A301 | PROPOSED MARKET/ CONDO ELEVATIONS |
| A302 | PROPOSED RETAIL ELEVATIONS |
| A303 | BUILDING SECTIONS |
| C1 | GRADING PLAN |
| C2 | DRAINAGE PLAN |
| C3 | UTILITY PLAN |
| C4 | EROSION CONTROL |
| C5 | DETAILS |
| C6 | DETAILS |
| L1 | NORTHWEST PLANTING PLAN |
| L2 | SOUTHEAST PLANTING PLAN |
| L3 | SITE IRRIGATION PLAN |

ADD SIGNATURE BLOCK for APPROVALS

JS MARKET
6653 OLD HIGHWAY 53
CLEAR LAKE, CA

| | |
|---------|--------------|
| DRAWN | HA |
| CHECKED | WA |
| PROJECT | 00 |
| SCAL | As indicated |

TITLE SHEET

City Received: Oct. 26, 2021



**WaArchitecture +
Design**

Wafaa Almahamid
Architect, WELL AP, LEED AP

1984 Heaton Circle
Concord, CA 94520
925-360-0552

wafaa@waa-design.com
www.waa-design.com

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CONSULTANTS:

OWNER:
Owner

JS MARKET
6653 OLD HIGHWAY 53
CLEAR LAKE, CA

| | |
|---------|----|
| DRAWN | HA |
| CHECKED | WA |
| PROJECT | 00 |
| SCAL | |

PROPOSED
IMAGES

A101

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OLD HWY 53



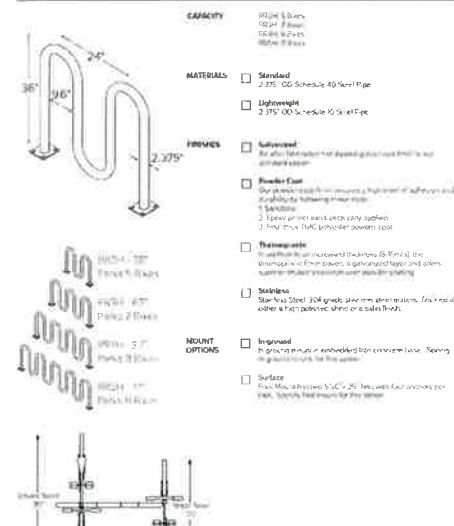
SITE PLAN | **2**
1/16" = 1'-0"

OLD HWY 53



OVER ALL FLOOR PLAN 1
1/16" = 1'-0"

ROLLING RACK
Submittal Sheet



| PARKING CALCULATIONS | | | | |
|----------------------------|---------------------------------|---------------------------|---------------------|------------------------------|
| USE TYPE | REQUIRED PARKING SPACES | REQ'D LOADING SPACES | BUILDING SQ.FT. | # OF PARKING SPACES PROVIDED |
| CONVENIENCE STORE | 1 PER 200 SQ.FT | N/A | 3,095 SQ.FT. | 11 |
| RETAIL | 1 PER 200 SQ.FT | N/A | 980 SQ. FT. | 4 |
| LAUNDRY SERVICE | 3 PER 1000 SQ. FT. + 1 | 1 SPACE PER 75,000 SQ. FT | 1,540 SQ.FT. | 5 |
| DWELLING UNIT | 1.5 PER 2BD, RM. + 0.5 PER UNIT | N/A | (2) 2 BED RM. UNITS | 5 |
| PIZZA, DELI, AND ICE CREAM | 3 PER 1000 SQ. FT. + 1 | 1 SPACE | 2,245 SQ. FT. | 11 |

| RETAIL NET AREA CALCULATIONS | |
|------------------------------|---------------|
| CONVENIENCE STORE | 3,095 SQ. FT. |
| RETAIL | 980 SQ. FT. |
| ICE CREAM | 450 SQ. FT. |
| DELI | 480 SQ. FT. |
| LAUNDRY | 1540 SQ. FT. |
| WATER PURIFICATION | 502 |

LEGEND

| | |
|---|---------------------------|
|  | ROOF AND PROJECTION AREAS |
|  | RETAIL SPACE |
|  | LANDSCAPE AREA |
|  | PARKING AREA |
|  | CONCRETE WALKS |
|  | PUBLIC WALKWAY |

**WaArchitecture +
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STAMP:

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JS MARKET
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CLEAR LAKE, CA

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|---------|--------------|
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SITE PLAN
AND
OVERALL

City Received: Oct. 26, 2021

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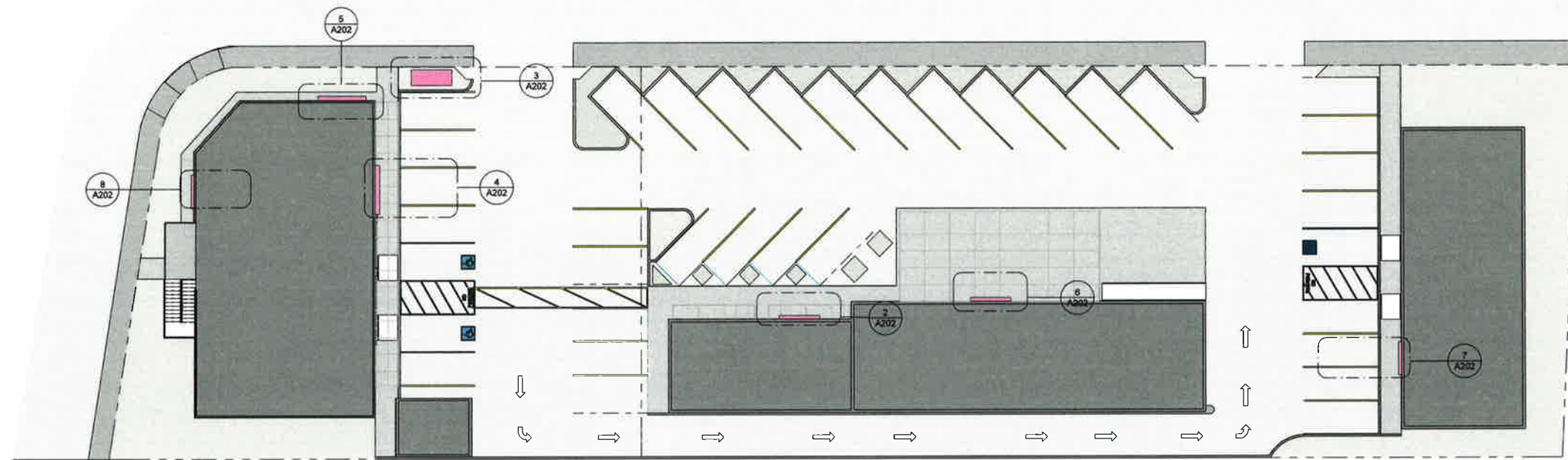
CONSULTANTS:

OWNER:
Owner

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6653 OLD HIGHWAY 53
CLEAR LAKE, CA

| | |
|---------|--------------|
| DRAWN | Author |
| CHECKED | Checker |
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SIGNAGE
PLAN
A202



① **SIGNAGE PLAN**
1/16" = 1'-0"



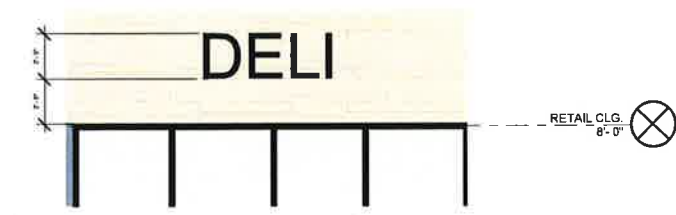
⑧ CONDO SIGN
1/4" = 1'-0"



⑦ LAUNDROMAT SIGN
1/4" = 1'-0"



④ JS MARKET ENTRANCE SIGN
1/4" = 1'-0"



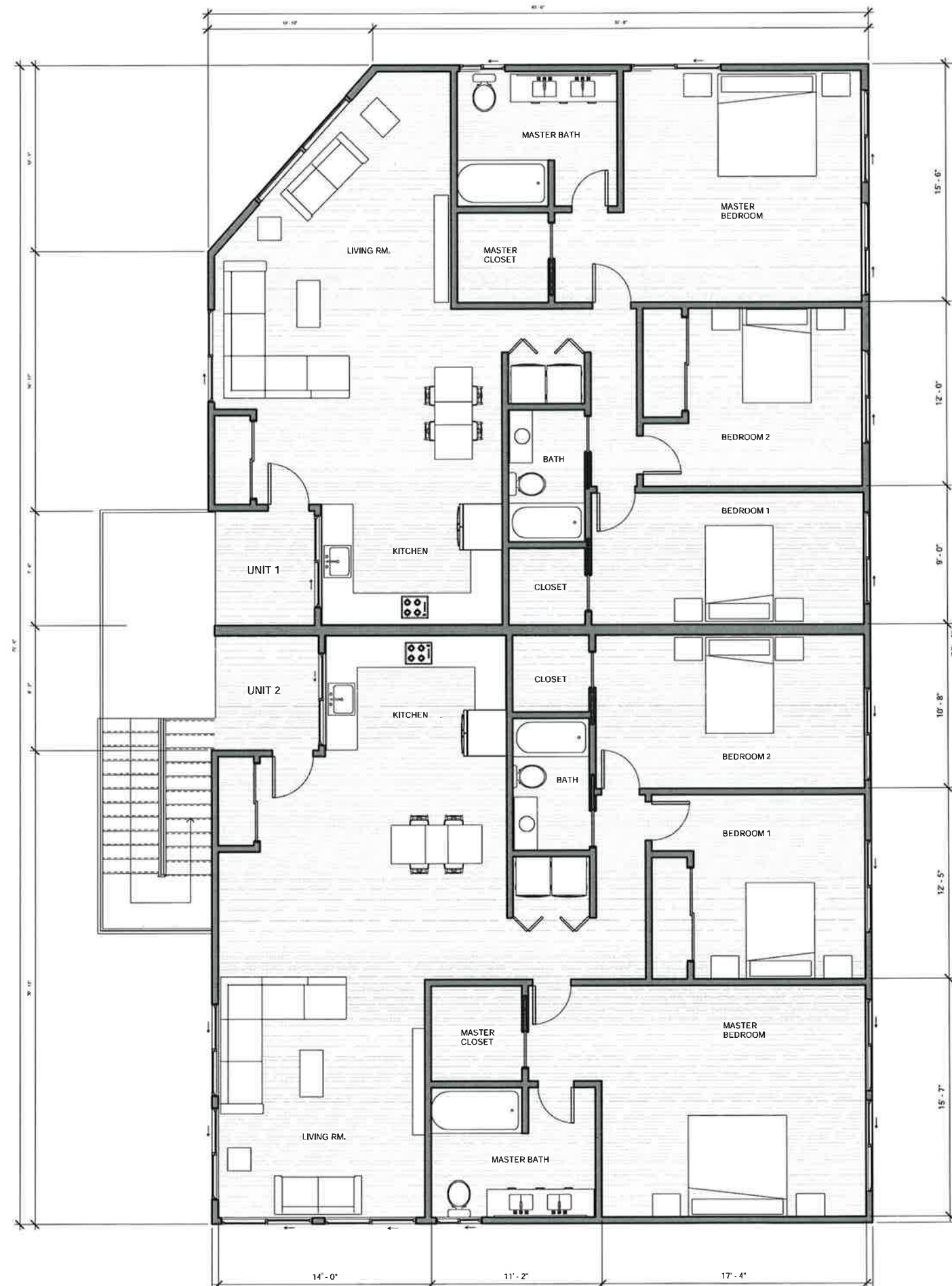
⑥ DELI & PIZZERIA SIGNAGE
1/4" = 1'-0"



LEGEND

- | | |
|---|---------------------------|
|  | ROOF AND PROJECTION AREAS |
|  | SIGNAGE |
|  | LANDSCAPE AREA |
|  | PARKING AREA |
|  | CONCRETE WALKS |
|  | PUBLIC WALKWAY |

City Received: Oct. 26, 2021



**WaArchitecture +
Design**

Wafaa Almahamid
Architect, WELL AP, LEED AP

1984 Heaton Circle
Concord, CA 94520
925-360-0552

wafaa@waa-design.com
www.waa-design.com

STAMP:

[illegible]

CONSULTANTS:

OWNER:
Owner

JS MARKET
6653 OLD HIGHWAY 53
CLEAR LAKE, CA

| | |
|---------|--------------|
| DRAWN | HA |
| CHECKED | WA |
| PROJECT | 00 |
| SCAL | 1/4" = 1'-0" |

CONDO
PLANS
A 202

City Received: Oct. 26, 2021

ELEVATIONS MATERIAL LEGEND

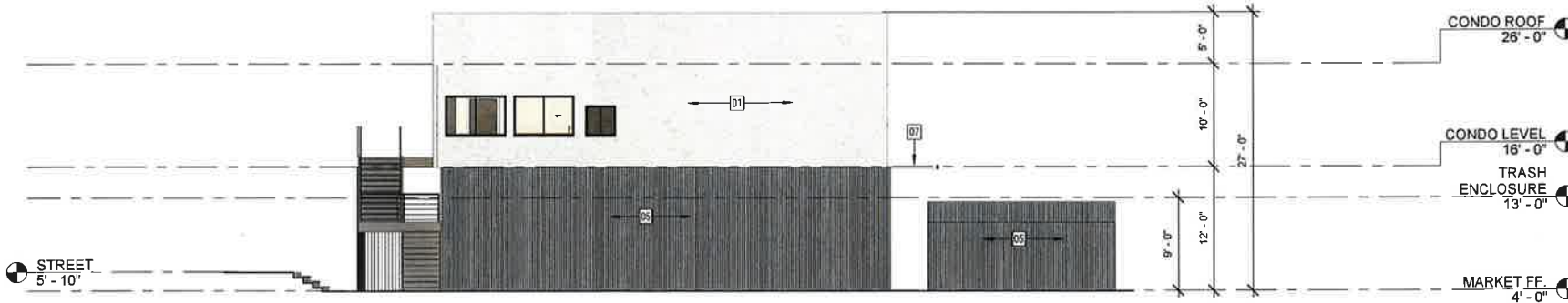
- 01 STUCCO - COLOR LIGHT GRAY
- 02 EXTERIOR CEDAR WOOD SIDING
- 03 PERFORATED ALUMINUM SCREEN
- 04 3/4" GALVANIZED METAL REVEAL- COLOR GRAY
- 05 METAL SIDING PANELS- COLOR DARK GRAY
- 06 STORE FRONT GLASS - ALUMINUM FRAME
- 07 METAL CANOPY- COLOR BLACK
- 08 VERTICAL LOUVERS: ALUMINUM
- 09 METAL SIDING PANELS- COLOR BLACK



PROPOSED MARKET EAST ELEVATION 4
1/8" = 1'-0"



PROPOSED MARKET WEST ELEVATION 3
1/8" = 1'-0"



PROPOSED MARKET SOUTH ELEVATION 2
1/8" = 1'-0"



WaArchitecture + Design

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Architect, WELL AP, LEED AP
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Concord, CA 94520
925-360-0552
wafaad@waa-design.com
www.waa-design.com



| ISSUE INFORMATION | | |
|-------------------|-------------|------|
| No. | Description | Date |
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CONSULTANTS:

OWNER:
Owner

JS MARKET
6653 OLD HIGHWAY 53
CLEAR LAKE, CA

| | |
|---------|--------------|
| DRAWN | HA |
| CHECKED | WA |
| PROJECT | 00 |
| SCAL | 1/8" = 1'-0" |

PROPOSED
MARKET/
CONDO
ELEVATIONS

A301

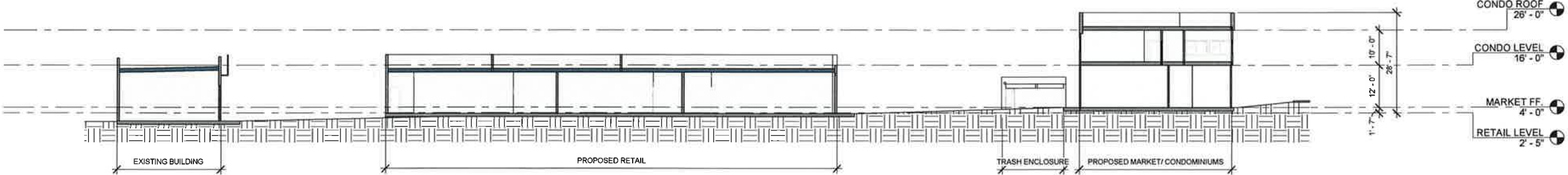
| | |
|----|--|
| 01 | STUCCO - COLOR LIGHT GRAY |
| 02 | EXTERIOR CEDAR WOOD SIDING |
| 03 | PERFORATED ALUMINUM SCREEN |
| 04 | 3/4" GALVANIZED METAL REVEAL- COLOR GRAY |
| 05 | METAL SIDING PANELS- COLOR DARK GRAY |
| 06 | STORE FRONT GLASS - ALUMINUM FRAME |
| 07 | METAL CANOPY- COLOR BLACK |
| 08 | VERTICAL LOUVERS: ALUMINUM |
| 09 | METAL SIDING PANELS- COLOR BLACK |



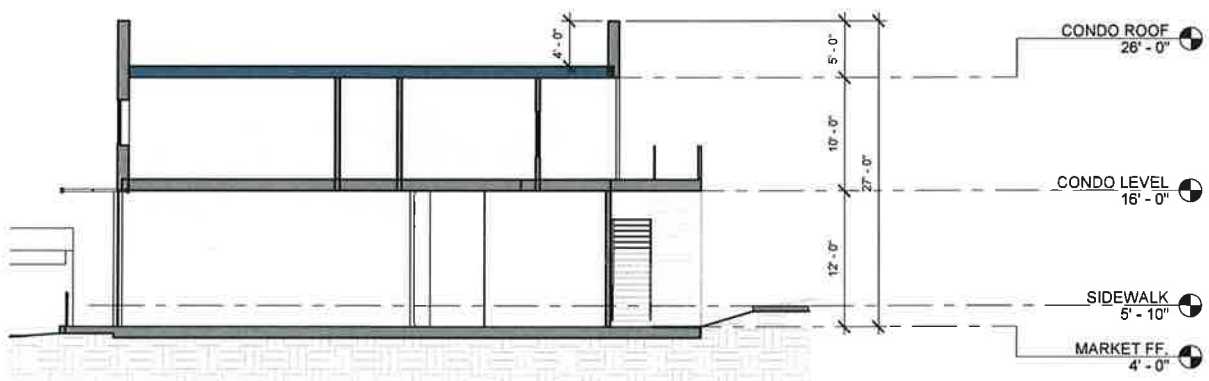
PROPOSED
RETAIL
ELEVATIONS

A302

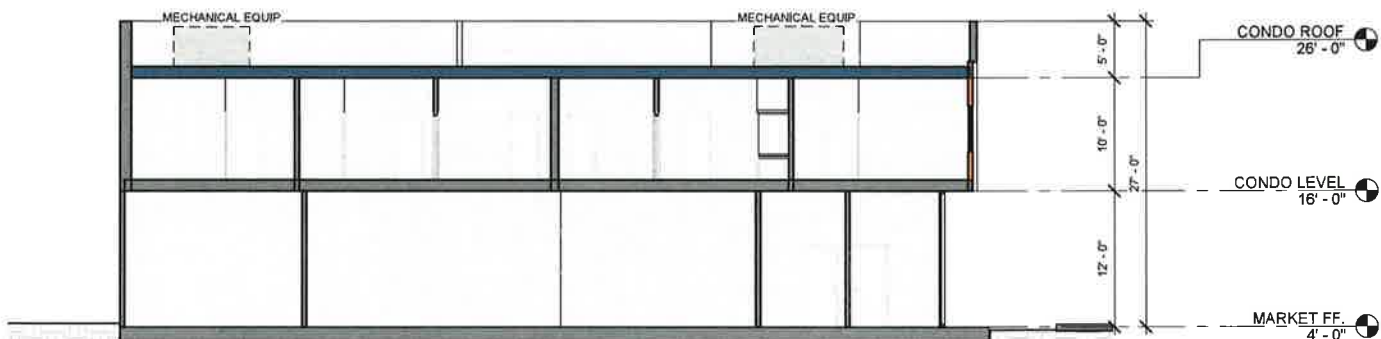
City Received: Oct. 26, 2021



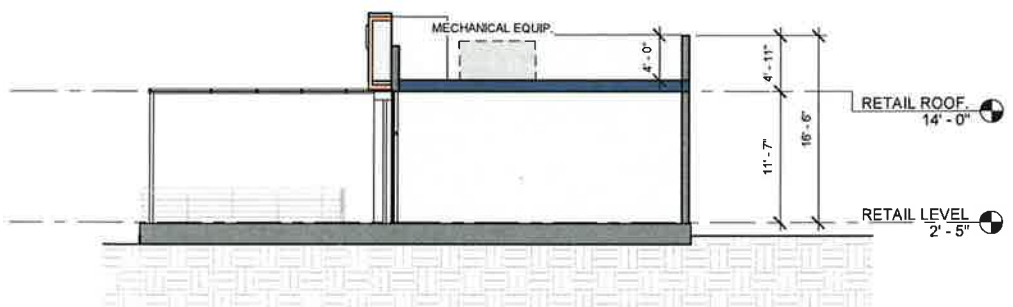
SITE SECTION 4
1/16" = 1'-0"



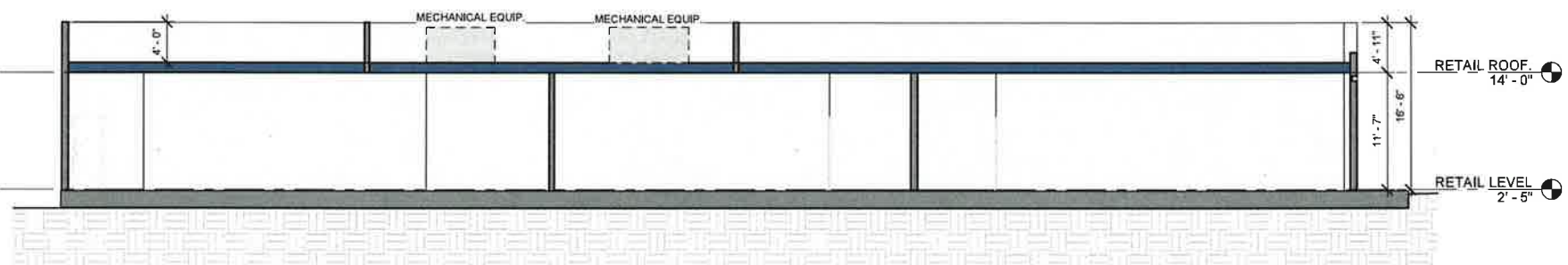
MARKET SECTION 10
1/8" = 1'-0"



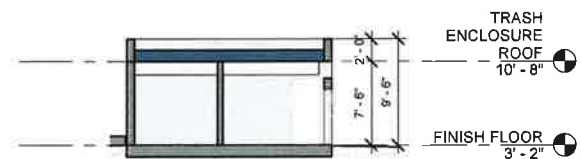
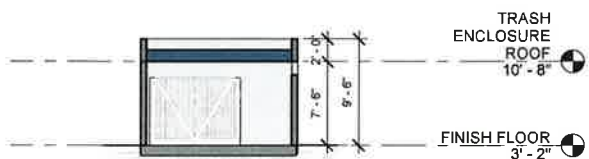
MARKET CROSS SECTION 3
1/8" = 1'-0"



RETAIL SECTION 9
1/8" = 1'-0"



RETAIL CROSS SECTION 2
1/8" = 1'-0"



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925-360-0552
wafaa@waa-design.com
www.waa-design.com



| ISSUE INFORMATION | | |
|-------------------|-------------|------|
| No. | Description | Date |
| | | |
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CONSULTANTS:

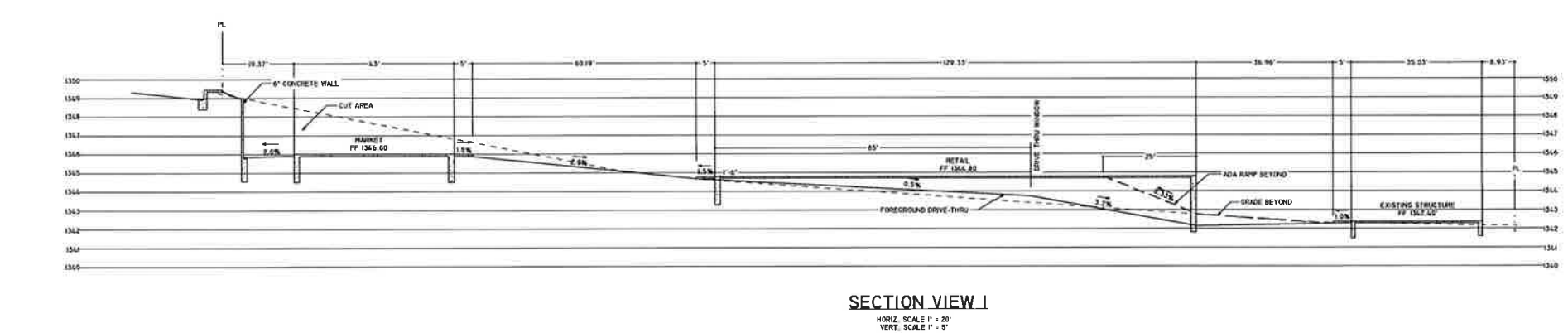
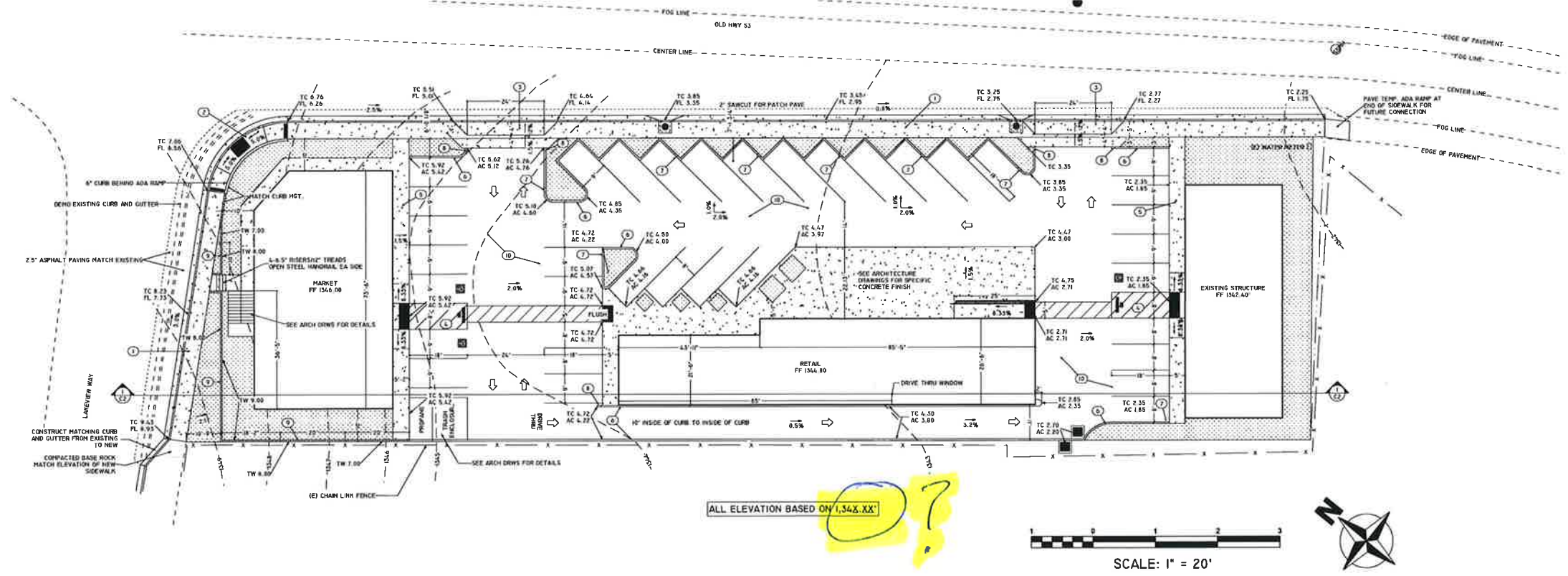
OWNER:
Owner

JS MARKET
6653 OLD HIGHWAY 53
CLEAR LAKE, CA

| | |
|---------|--------------|
| DRAWN | HA |
| CHECKED | WA |
| PROJECT | 00 |
| SCALE | As indicated |

BUILDING SECTIONS
A 303

| NO. | DATE | REVISION |
|-----|------|----------|
| | | |
| | | |
| | | |
| | | |

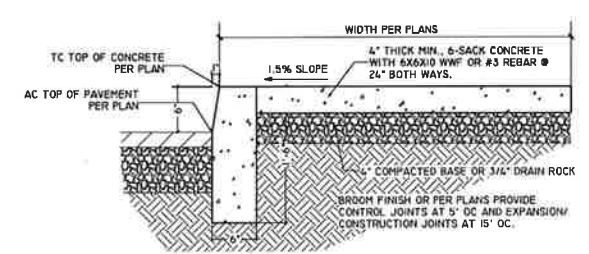


GRADING PLAN - 1 IN = 20 FT

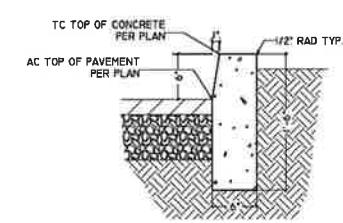
NOTES:

- ① TYPICAL CURB, GUTTER AND SIDEWALK DETAIL PER 205/C7
- ② TYPE "C" ACCESSIBLE RAMP PER 208/C8
- ③ ACCESSIBLE DRIVEWAY APPROACH PER 209/C8
- ④ TYPICAL ACCESSIBLE PARKING PER 507/C8
- ⑤ PRIVATE SIDEWALK PER 5/C3
- ⑥ TYPICAL VERTICAL CURB PER 6/C3
- ⑦ TYPICAL CURB OPENING PER 7/C3
- ⑧ TYPICAL END OF CURB TAPPER PER 8/C3
- ⑨ RETAINING WALL PER 9/C3
- ⑩ ASPHALT PARKING: 2.5" HMA OVER 6" CLASS II AGGREGATE BASE AT 95% RELATIVE COMPACTION OVER 8" MIN. SCARIFY AND RE-COMPACT TO 90% RELATIVE COMPACTION.

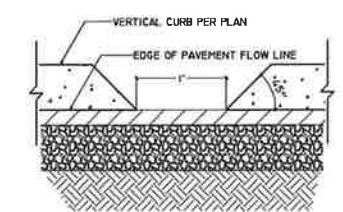
SEE CITY OF CLEARLAKE CONSTRUCTION STANDARDS 100 ON SHEET C5. GENERAL OR GRADING CONTRACTOR MUST OBTAIN AN ENCROACHMENT PERMIT FOR ALL WORK PERFORMED WITHIN THE CITY RIGHT-OF-WAY. CONTACT THE CITY OF CLEARLAKE ENGINEERING DEPARTMENT AT 707-994-8201. APPLICATION CAN BE OBTAINED ON-LINE AT CLEARLAKE.CA.US/166/ENGINEERING



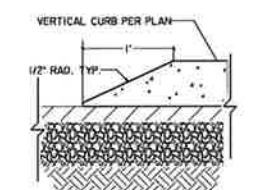
5-TYPICAL PRIVATE SIDEWALK



6-TYPICAL VERTICAL CURB



7-CURB OPENING



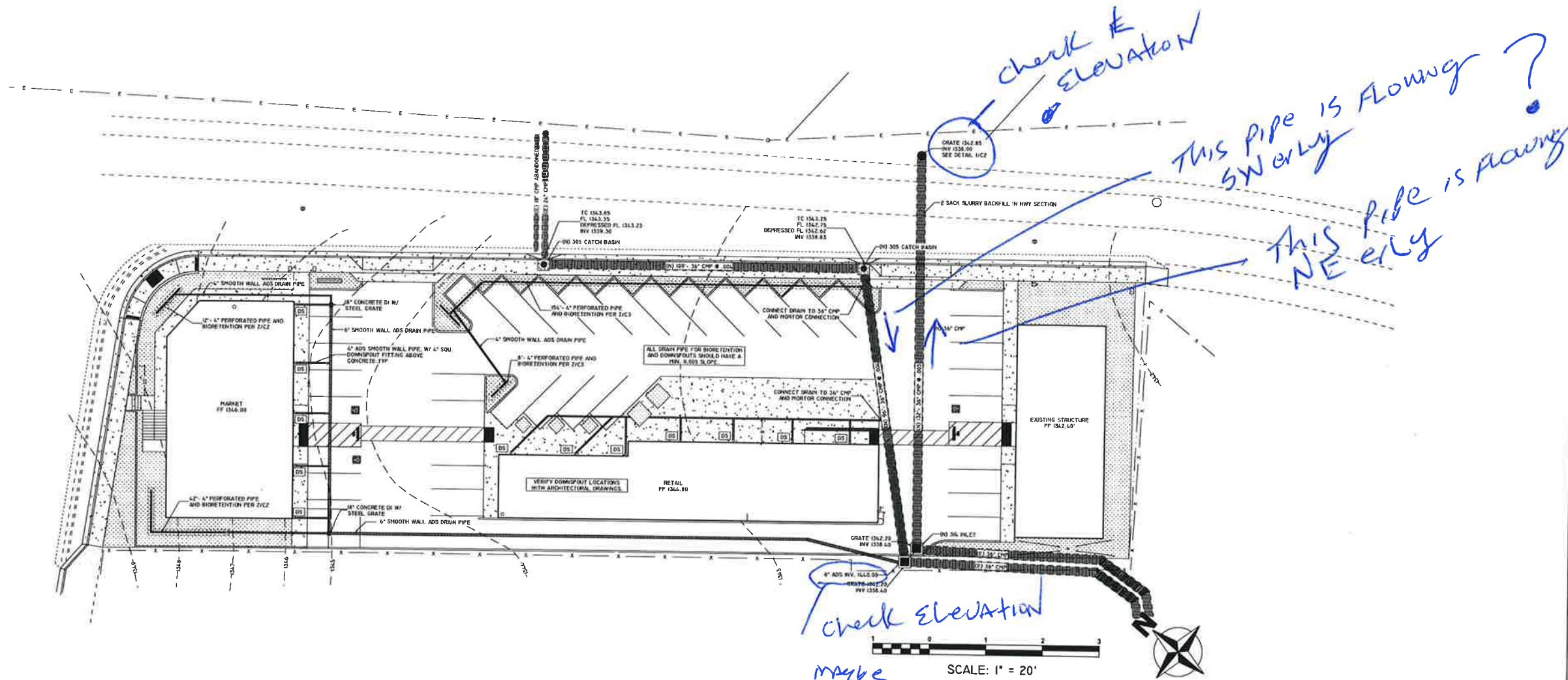
8-TYPICAL END OF CURB TAPPER

INDEX:

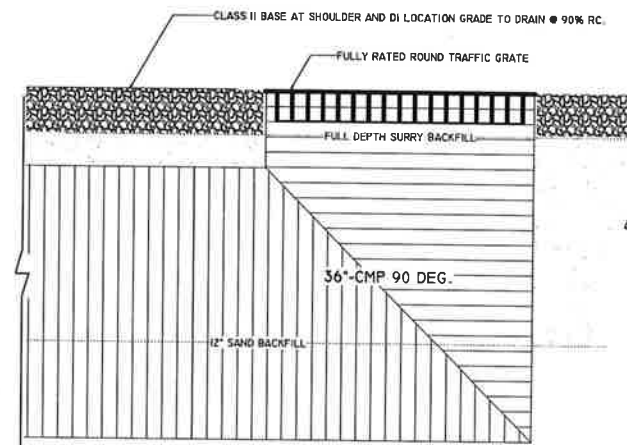
- C1 GRADING PLAN
- C2 DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 EROSION CONTROL
- C5 DETAILS
- C6 DETAILS

QUESTIONS: MARK MITCHELL, LAKE COUNTY CONTRACTORS, 707-263-8482.

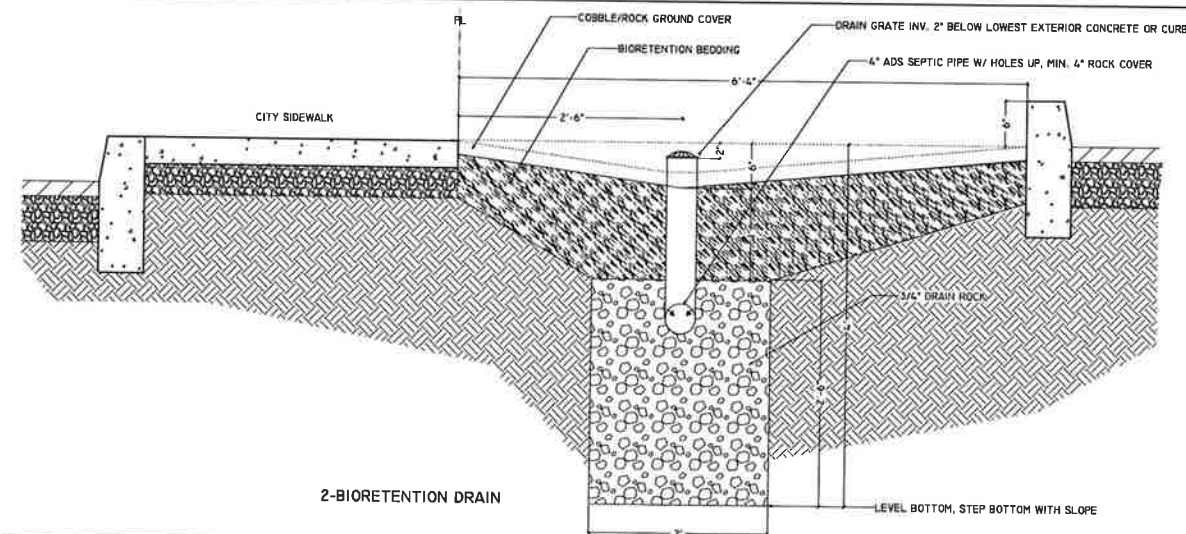
Grading Plan



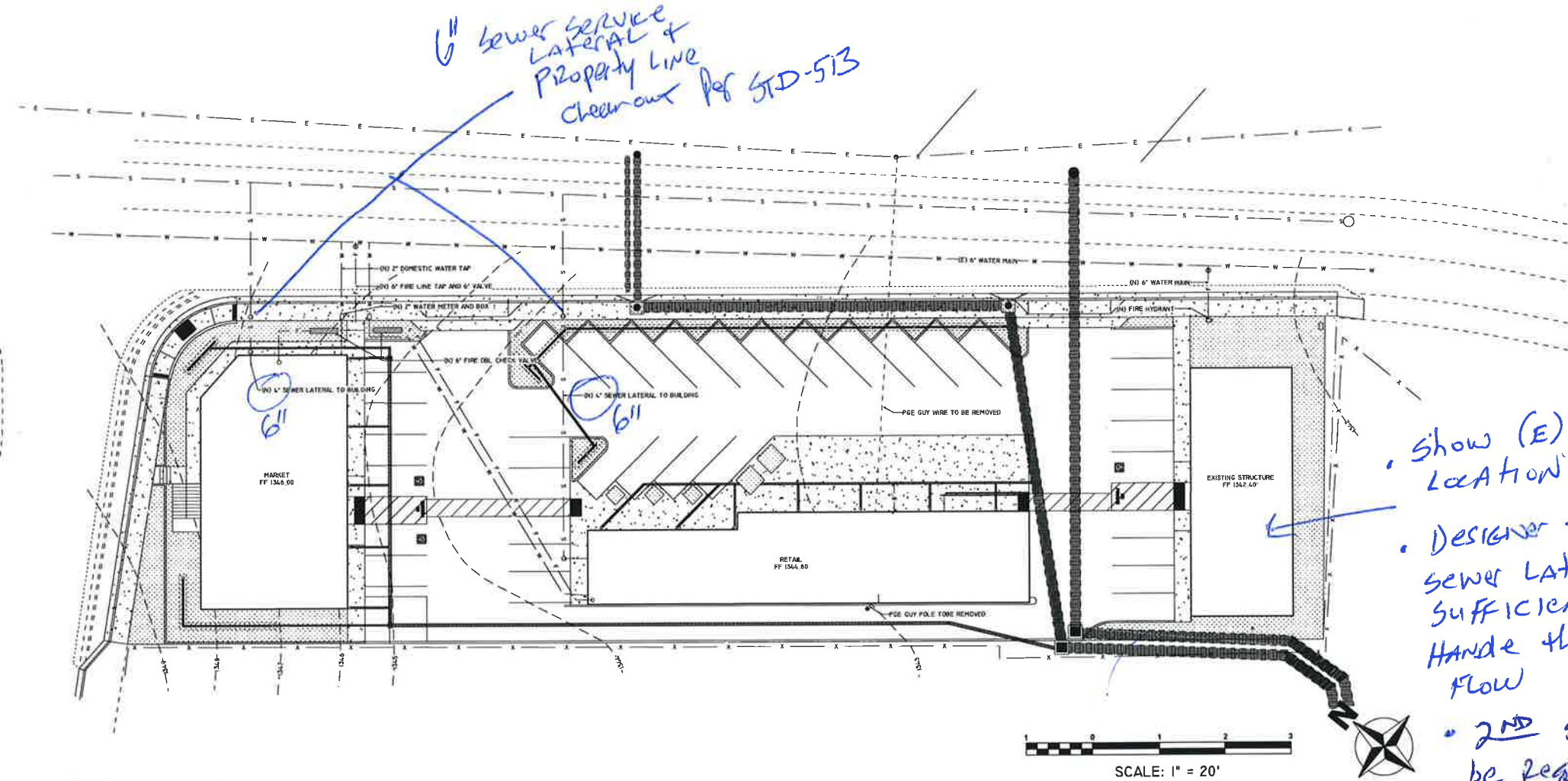
DRAINAGE PLAN - 1 IN = 20 FT



1- 36" CMP 90 DEG. DRAIN INLET



2-BIORETENTION DRAIN



- Show (E) sewer Lateral & C.O. Location's
- Designer to Verify (E) sewer Lateral is of sufficient size to Handle the Laundry service flow
- 2nd sewer Lateral will be required for water purification ~~power~~ plant facility

- For sewer reference to LACOSAN standards 513, 518, 517, 313
- need grease traps for food prep locations.
- 524 or 520 TANK capacity to be determined at the time of permit Application

UTILITIES PLAN - 1 IN = 20 FT

JS MARKET
 6653 OLD HIGHWAY 53 CLEARLAKE CA 95422

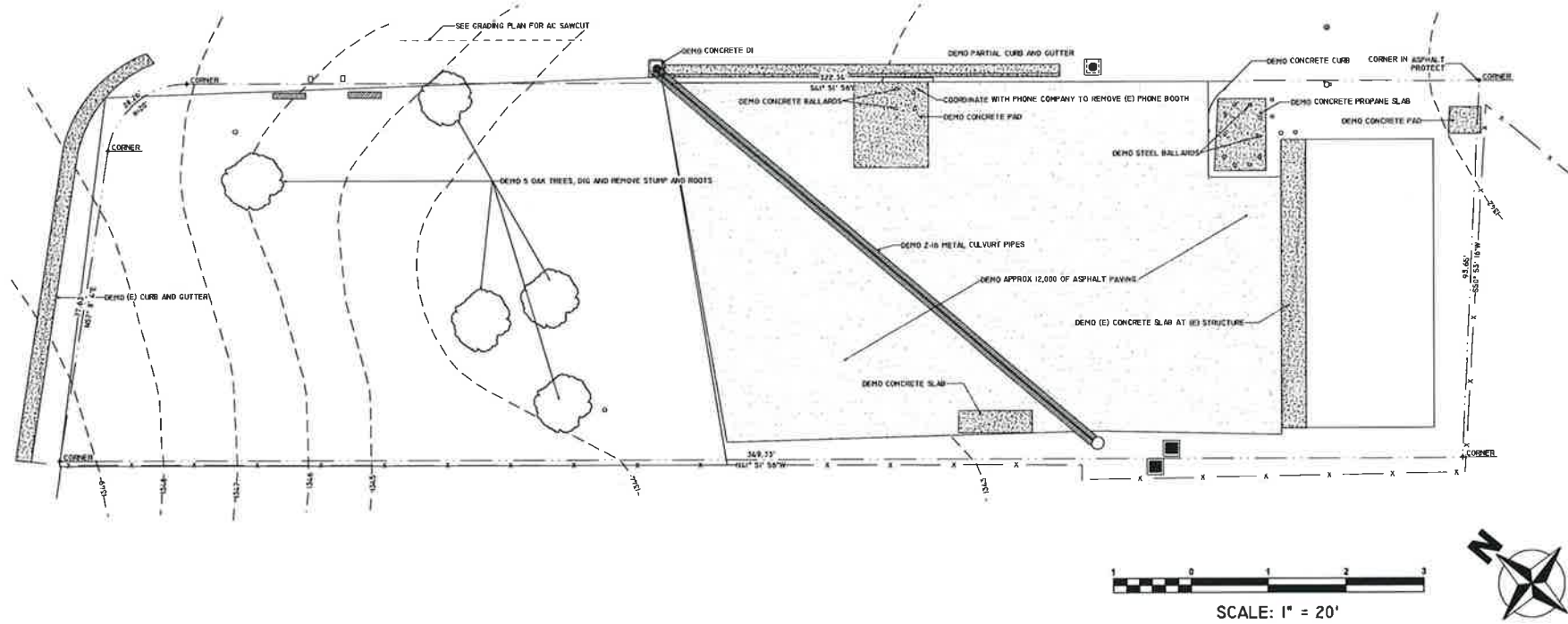
CLIENT INFORM
 SUNIL JOSHI RAN
 6653 OLD HIGHWAY
 CLEARLAKE CA 9
 707-696-1010
 040-376-21

© 2020 Sunil Joshi / Google Earth /
 Market/CHM Plan & Map

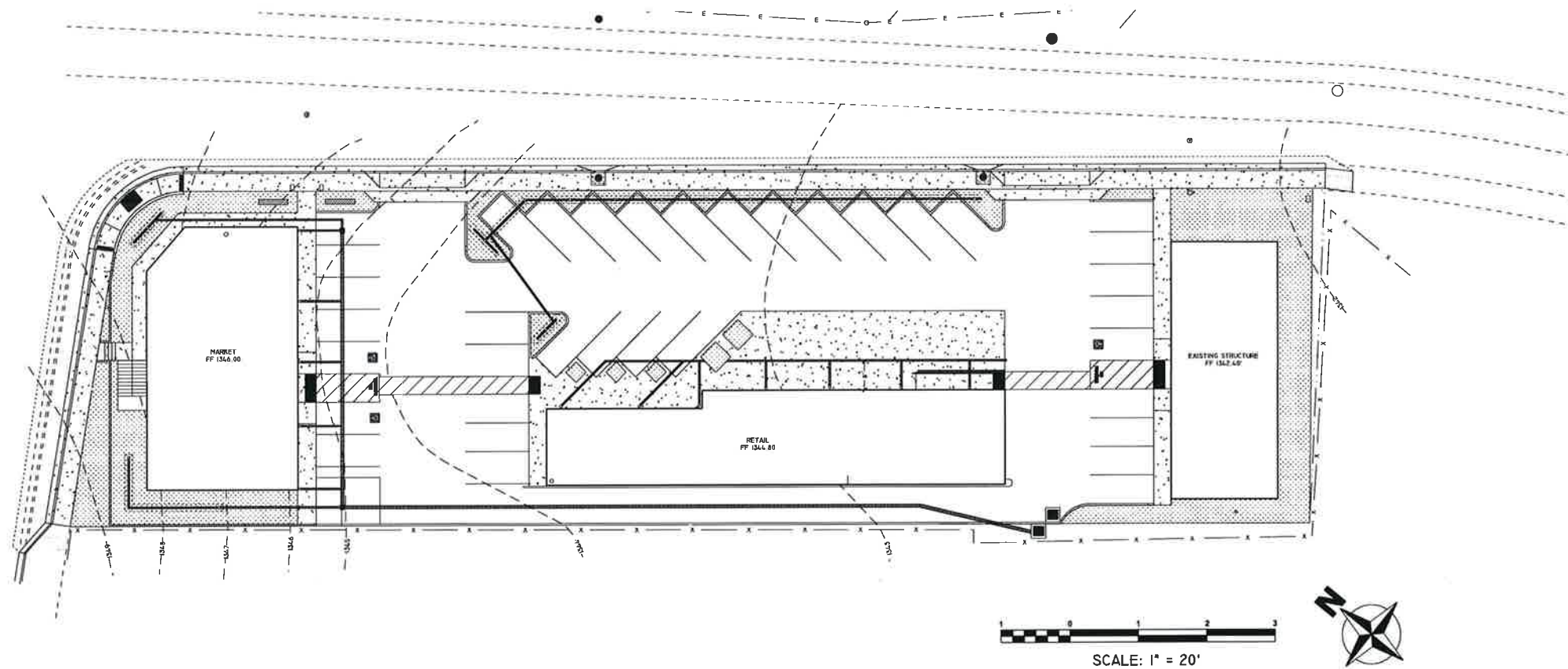
| Rev. | Date | By | Check |
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| | | | |
| | | | |

C3

UTILITY PLAN



DEMOLITION PLAN - 1 IN = 20 FT



EROSION CONTROL PLAN - 1 IN = 20 FT

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 09:34 AM

| GENERAL NOTES | |
|---------------|---|
| 1. | ALL MATERIAL WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE CITY OF CLEARLAKE STANDARD SPECIFICATIONS AND STANDARD PLANS. |
| 2. | CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CLEARLAKE, 14050 OLYMPIC DRIVE, CLEARLAKE, CA. 95422 BEFORE START OF WORK. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE PERMIT. |
| 3. | CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK. |
| 4. | CONTRACTOR SHALL GIVE THE CITY OF CLEARLAKE PUBLIC WORKS DEPARTMENT 48 HOURS NOTICE BEFORE STARTING WORK. CALL (707) 994-8201 OR CONTACT AT 14050 OLYMPIC DRIVE, CLEARLAKE, CA. 95422 FOR INSPECTION SERVICES. |
| 5. | A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO BEGINNING OF WORK. CONTACT THE CITY ENGINEER TO SCHEDULE SUCH MEETING. |
| 6. | WORK HOURS ARE LIMITED TO FROM MONDAY THROUGH FRIDAY 7:00 A.M. TO 6:00 P.M. INSPECTION WILL BE AVAILABLE MONDAY THROUGH FRIDAY FROM 8:00 A.M. TO 4:30 P.M. CONTRACTORS SHALL SCHEDULE INSPECTIONS 48 HRS. IN ADVANCE BY CALLING 994-8201. |
| 7. | ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER AND THE OWNER IMMEDIATELY UPON DISCOVERY. SAID NOTIFICATION SHALL BE IN WRITING. |
| 8. | GRADE BREAKS ON CURBS AND SIDEWALKS SHALL BE ROUNDED OFF IN FORMS AND SURFACE FINISHING. |
| 9. | SIDEWALK WARPS SHALL BE PROVIDED TO ALLOW A CLEAR 4-FOOT WALKWAY IN ALL LOCATIONS INCLUDING WHERE MAILBOXES, UTILITY POLES, FIRE HYDRANTS, AND GUY WIRES ARE TO BE INSTALLED. |
| 10. | THE DEVELOPER ASSUMES ALL RESPONSIBILITY FOR THE APPROVAL OF MAIL BOX LOCATIONS BY THE LOCAL BRANCH OF THE UNITED STATES POST OFFICE. SIDEWALK WARPS ARE REQUIRED PER STANDARD DETAIL OF THE CITY OF CLEARLAKE. |

| | |
|----------------------------|----------------|
| SHEET 1 of 6 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 100 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 09:34 AM

| GRADING NOTES | |
|---------------|---|
| 1. | A GRADING OR ENCROACHMENT PERMIT, SHALL BE ISSUED BY THE CITY OF CLEARLAKE PUBLIC WORKS DEPARTMENT PRIOR TO ANY GRADING SHOWN ON THESE PLANS. |
| 2. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE SOILS ENGINEER. ALL GRADING SHALL BE PERFORMED TO THE SATISFACTION OF THE SOILS ENGINEER AND SHALL BE IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT AND CHAPTER 70 - APPENDIX OF THE ADOPTED U.B.C. |

| | |
|----------------------------|----------------|
| SHEET 2 of 6 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 100 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 09:34 AM

| GENERAL UNDERGROUND NOTES | |
|---------------------------|--|
| 1. | NO GUARANTEE IS INTENDED THAT UNDERGROUND OBSTRUCTIONS, NOT SHOWN ON THESE PLANS, MAY BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE OWNER, THE ENGINEER, AND THE CITY OF CLEARLAKE ASSUME NO RESPONSIBILITY FOR ANY OBSTRUCTIONS EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY COMPANIES WORKING WITHIN THE LIMITS OF THIS PROJECT. |

| | |
|----------------------------|----------------|
| SHEET 3 of 6 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 100 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 09:34 AM

| CONSTRUCTION GENERAL NOTES | |
|----------------------------|--|
| 3. | UNDERGROUND SERVICE ALERT: CALL TOLL FREE (800) 642-2444 AT LEAST 48 HOURS PRIOR TO EXCAVATION. |
| 4. | CONTRACTOR SHALL UNCOVER EXISTING BURIED UTILITIES WITH UTILITY OWNER TO VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES. BURIED UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER MAINS AND LATERALS, SEWER LINES, STORM DRAINS, GAS MAINS AND LATERALS, ELECTRICAL DISTRIBUTION LINES AND TELEPHONE LINES. ALL UTILITIES CONFLICTING WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED PRIOR TO THE START OF CONSTRUCTION. |
| 5. | THE CONTRACTOR SHALL VERIFY EXISTING INVERTS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. THE PROJECT AND/OR DESIGN ENGINEER MAY ADJUST THE GRADE OF NEW SEWER CONSTRUCTION ACCORDINGLY WITH CONCURRENCE FROM THE APPROPRIATE AGENCIES. |
| 6. | DISTANCES AND INVERTS ARE TO AND AT THE CENTER OF THE MANHOLES, CLEANOUTS, DROP INLETS, CATCH BASINS, AND YARD DRAINS OR AS MARKED ON THE DRAWINGS. |
| 7. | ALL EXISTING OVERHEAD UTILITIES ON SITE AND ALONG PROJECT BOUNDARIES SHALL BE PLACED UNDERGROUND UNLESS OTHERWISE APPROVED BY THE CITY. |
| 8. | ALL UNDERGROUND IMPROVEMENTS SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING. |
| 9. | THE CONTRACTOR SHALL STAMP THE LETTER "S" ON THE FACE OF CURB DIRECTLY ABOVE THE SEWER LATERAL, AND THE LETTER "W" ON THE FACE OF CURB DIRECTLY ABOVE WATER SERVICES, AND "B" ON FACE OF CURB DIRECTLY ABOVE A BLOW OFF OR AIR RELIEF VALVE. AT A DRIVEWAY THE STAMP SHALL BE PLACED AT THE BACK OF RAMP. THE LETTERS SHALL BE 4" HIGH AND COMPLETELY LEGIBLE. |
| 10. | ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION DETAILS SHALL CONFORM TO THE CITY OF CLEARLAKE DESIGN AND CONSTRUCTION STANDARD SPECIFICATIONS, INCLUDING ALL ADDENDA, STANDARD PLAN REVISIONS AND SPECIAL PROVISIONS. |
| 11. | ITEMS SPECIFIED ON THE STANDARD PLANS ARE APPROVED FOR USE BY THE CITY OF CLEARLAKE. ALL SUBSTITUTES OR ALTERATIONS SHALL BE SUBMITTED TO THE CITY OF CLEARLAKE FOR APPROVAL. |
| 12. | SURFACE MOUNTED TRANSFORMERS SHALL NOT BE USED UNLESS LOCATION OF SUCH UTILITIES ARE SHOWN ON THE PLANS AND APPROVED BY THE CITY. |

| | |
|----------------------------|----------------|
| SHEET 4 of 6 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 100 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 09:34 AM

| STORM DRAIN NOTES | |
|-------------------|---|
| 1. | STORM DRAIN CONDUITS SHALL BE R.C.P. PIPE OR H.D.P.E PIPE CONFORMING TO CITY STANDARD SPECIFICATION SECTION 2. MINIMUM COVER OVER PIPE TO BE 24". THE MAXIMUM ALLOWABLE COVER SHALL BE LIMITED TO 11 FEET FOR ALL SIZES. |
| 2. | ALL STORM DRAIN MANHOLES SHALL BE A MINIMUM OF 48" IN DIAMETER UNLESS OTHERWISE NOTED. MANHOLE FRAME AND COVER SHALL HAVE 24" CLEAR OPENING, AND BE HEAVY DUTY NON-ROCKING. RAISED LETTERS ON TOP OF THE COVER SHALL READ "STORM DRAIN". PIPES SHALL NOT PROTRUDE INSIDE THE MANHOLE. PIPE ENDS SHALL BE ROUNDED. |
| 3. | STORM DRAIN MARKER "DRAINS TO LAKE" SHALL BE APPLIED PER CITY STANDARD NO. 313. |
| 4. | REINFORCED CONCRETE PIPE AND CAST-IN-PLACE STORM DRAIN PIPE SHALL BE PLACED AND BACKFILLED IN ACCORDANCE WITH CITY STANDARD 301. STORM DRAIN WITHIN CITY MAINTAINED ROADS SHALL BE MINIMUM 18 INCH DIAMETER, WITH THE EXCEPTION OF LATERALS WHICH MAY BE 15 IN. DIAMETER. |

| | |
|----------------------------|----------------|
| SHEET 5 of 6 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 100 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 09:34 AM

| SIGNING, STRIPING AND PAVEMENT MARKINGS (CONTINUED) | |
|---|--|
| 8. | MARKERS AND DELINEATORS: MARKERS AND DELINEATORS SHALL BE AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE PROVISIONS OF SECTION B2, "MARKERS AND DELINEATORS" OF THE STANDARD SPECIFICATIONS AND AS DIRECTED BY THE CITY ENGINEER. |
| 9. | LOCATION OF ALL MARKERS AND DELINEATORS SHALL BE AS SHOWN ON THE CITY STANDARD PLANS AND AS DIRECTED BY THE CITY ENGINEER. |
| 10. | TRAFFIC STRIPES AND PAVEMENT MARKINGS: TRAFFIC STRIPES AND PAVEMENT MARKINGS SHALL BE AS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE PROVISIONS OF SECTION B4, "TRAFFIC STRIPES AND PAVEMENT MARKINGS" OF THE STANDARD SPECIFICATIONS AND THESE SPECIAL PROVISIONS, AND AS DIRECTED BY THE CITY. |
| 11. | ALL TRAFFIC STRIPES AND PAVEMENT MARKINGS, INCLUDING STOP LINES, AND ALL CHANNELIZING LINES SHALL BE THERMOPLASTIC. |
| 12. | THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS: THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS SHALL CONFORM TO THE PROVISIONS OF SECTION B4-2, "THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS" OF THE STANDARD SPECIFICATIONS. |
| 13. | THERMOPLASTIC MATERIAL SHALL BE APPLIED AT A MINIMUM THICKNESS OF .125 INCH. |
| 14. | PAVEMENT MARKERS: PAVEMENT MARKERS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION B5, "PAVEMENT MARKERS" OF THE STANDARD SPECIFICATIONS. PAVEMENT MARKERS SHALL BE PLACED TO THE LINE ESTABLISHED BY THE CITY. |
| 15. | PAINTED/THERMOPLASTIC STRIPES AND PAVEMENT MARKINGS: EXISTING PAINTED/THERMOPLASTIC TRAFFIC STRIPES AND PAVEMENT MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC STRIPING AND PAVEMENT MARKING PLANS SHALL BE REMOVED BY THE CONTRACTOR, IN ACCORDANCE WITH SECTION 15 OF STANDARD SPECIFICATIONS, EXCEPT THAT BLAST CLEANING SHALL NOT BE PERMITTED. |
| 16. | RAISED PAVEMENT MARKER REMOVAL: EXISTING RAISED PAVEMENT MARKERS WHICH CONFLICT WITH THE NEW TRAFFIC STRIPING AND PAVEMENT MARKING PLAN SHALL BE REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH SECTION 15 OF THE STANDARD SPECIFICATIONS. |

| | |
|----------------------------|----------------|
| SHEET 6 of 6 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 100 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 11:35 AM

| STREET SECTION | |
|---|--|
| RESIDENTIAL, INDUSTRIAL AND COLLECTOR STREETS | |
| ARTERIAL STREETS | |

| | |
|----------------------------|----------------|
| SHEET 1 of 2 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 204 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

Project: Clearlake Inlet Bridge, Phase 1, (SHEEP-STEEL) CLEARLAKE, CA 95422, State Update: 2017/04/14, 10:00 AM, Logon Name: 100-1, Plot Date: Jun 26, 2012 at 11:35 AM

| CURB, GUTTER AND SIDEWALK | |
|---------------------------|--|
| STANDARD CURB AND GUTTER | |
| STANDARD VERTICAL CURB | |
| STANDARD SIDEWALK | |

| | |
|----------------------------|----------------|
| SHEET 2 of 2 | |
| CONSTRUCTION GENERAL NOTES | |
| SCALE: NONE | STD. NO. 205 |
| DRAWN: DRH | DATE: JUN 2012 |
| CHK: PWV | |
| APPROV: JLW | |

City Received: Oct. 26, 2021

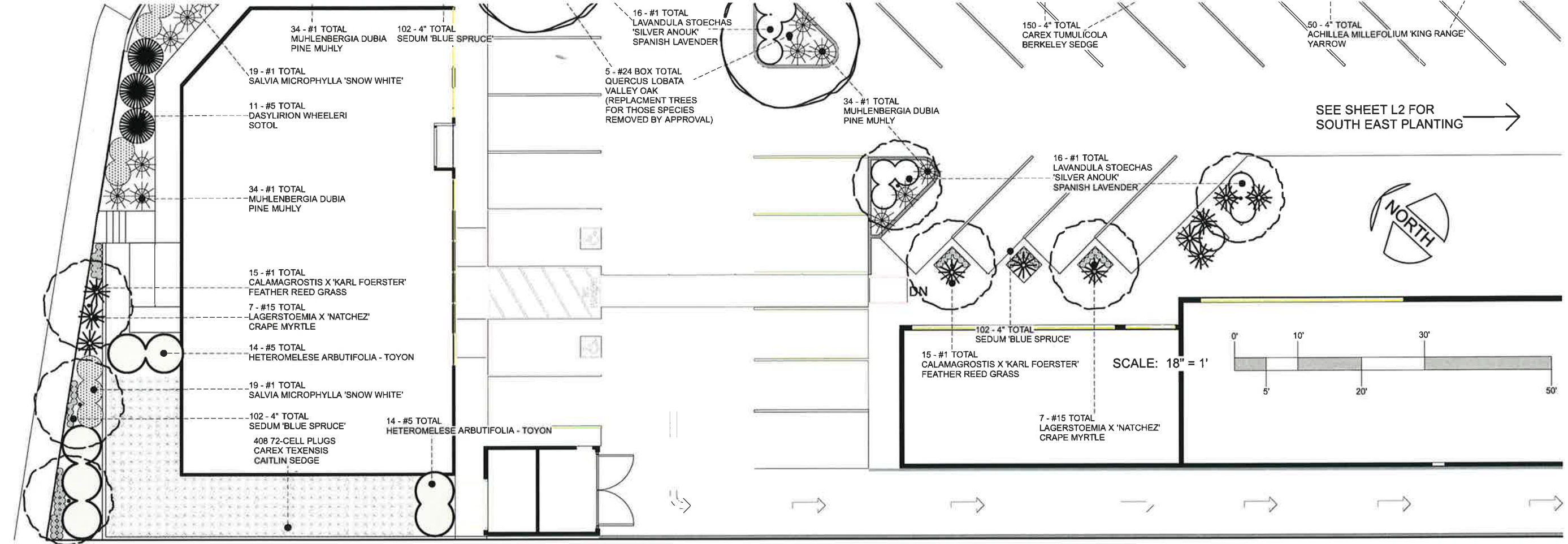


M.L. Flamer & Associates
Professional Engineer
No. 17688
Exp. 1/2021
City of Clearlake

CLIENT INFORMA
SUNIL JOSHI RAN
6653 OLD HIGHWAY
CLEARLAKE CA 9
707-696-1010
040-376-21

JS MARKET
6653 OLD HIGHWAY 53C CLEARLAKE CA 95422

C5
DETAILS



PLANT LEGEND - NOT TO SCALE

why only 11 replacement?

5 - #24 BOX TOTAL - QUERCUS LOBATA VALLEY OAK
WUCOLS LISTING "LOW" WATER USE, REPLACEMENT TREES FOR THOSE SPECIES REMOVED BY APPROVAL

7 - #15 TOTAL - LAGERSTOEMIA X 'NATCHEZ' CRAPE MYRTLE
WUCOLS LISTING "LOW" WATER USE

14 - #5 TOTAL - HETEROMELESE ARBUTIFOLIA TOYON
WUCOLS LISTING "LOW" WATER USE

11 - #5 TOTAL - DASYLIRION WHEELERI WHEELER'S SOTOL
WUCOLS LISTING "LOW" WATER USE

34 - #1 TOTAL - MUHLENBERGIA DUBIA PINE MUHLY
WUCOLS LISTING "LOW" WATER USE

15 - #1 TOTAL - CALAMAGROSTIS X 'KARL FOERSTER' REED GRASS
WUCOLS LISTING "LOW" WATER USE

19 - #1 TOTAL - SALVIA 'SNOW WHITE' LITTLE LEAF SAGE
WUCOLS LISTING "LOW" WATER USE

16 - #1 TOTAL - LAVANDULA 'SILVER ANOUK' SPANISH LAVENDER
WUCOLS LISTING "LOW" WATER USE

102 - 4" TOTAL - SEDUM REFLEXUM 'BLUE SPRUCE'
WUCOLS LISTING "LOW" WATER USE

150 - 4" TOTAL CAREX TUMULICOLA BERKELEY SEDGE
WUCOLS LISTING "LOW" WATER USE

50 - 4" TOTAL - ACHILLEA MILLEFOLIUM 'KING RANGE' YARROW
WUCOLS LISTING "LOW" WATER USE

408 72-CELL PLUGS - CAREX TEXENSIS CAITLIN SEDGE
WUCOLS LISTING "LOW" WATER USE

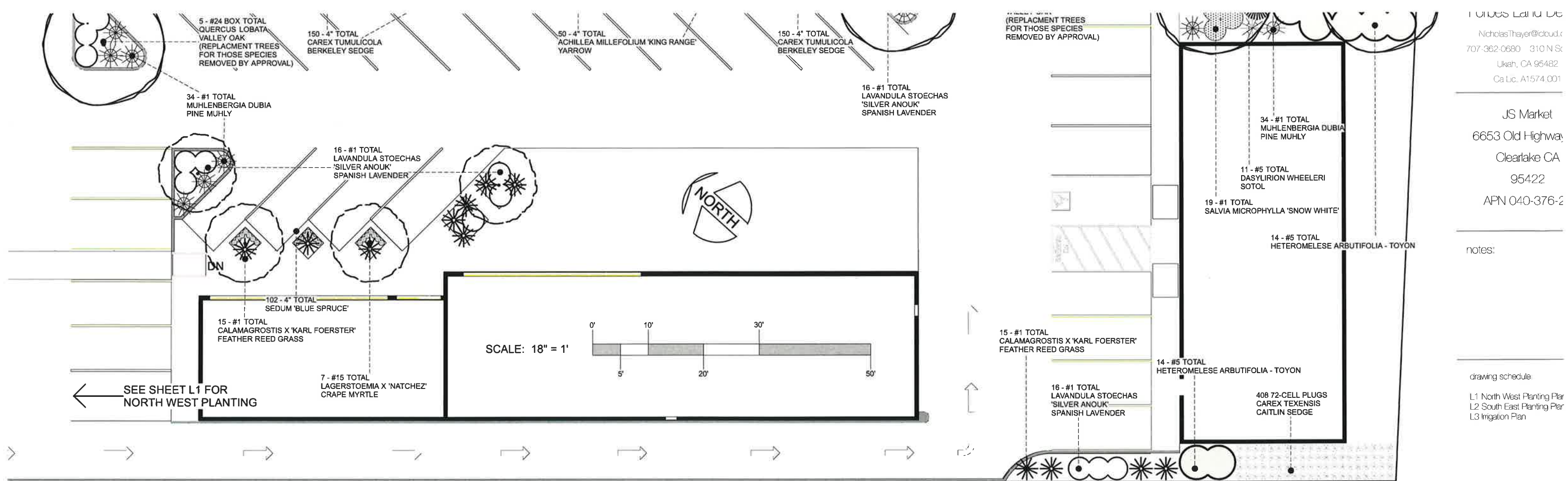
PLANT MATERIAL NOTES:
+WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) DESIGNATION IS FOR ZONE 2 - CENTRAL VALLEY
+ALL PLANT MATERIAL ARE RATED "LOW" WATER USE

City Received: Oct. 26, 2021

DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE LANDSCAPE DESIGNER. THE DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT CONSENT OF LANDSCAPE DESIGNER.

IF THIS DRAWING IS NOT 24"x36", THEN THE DRAWING HAS BEEN REVISED FROM ITS ORIGINAL SIZE. NOTED SCALES MUST BE ADJUSTED. THIS LINE SHOULD BE EQUAL TO ONE INCH

Underground Service Alert
Call: TOLL FREE 1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG



NicholasThayer@cloud.c
707-362-0680 310 N St
Ukiah, CA 95482
Ca Lic. A1574 001

JS Market
6653 Old Highway
Clearlake CA
95422
APN 040-376-2

notes:

drawing schedule
L1 North West Planting Plan
L2 South East Planting Plan
L3 Irrigation Plan

PLANT LEGEND - NOT TO SCALE

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Underground Service Alert

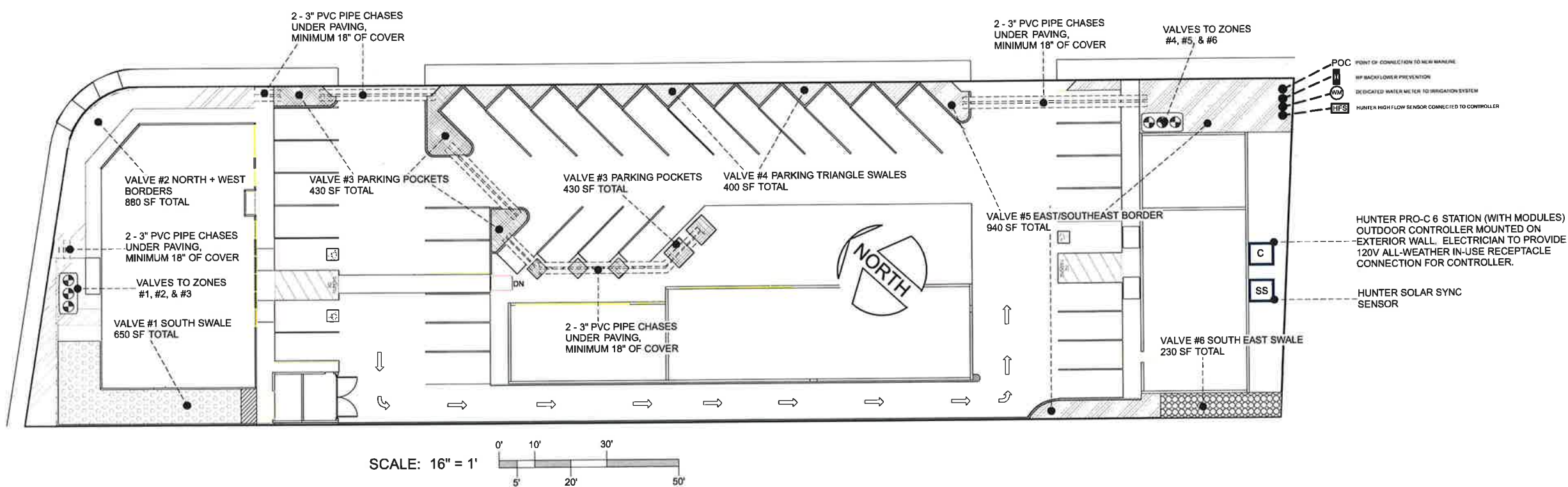
CALL BEFORE YOU DIG

Call: TOLL FREE 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

drawing:
L2
South East
Planting Plan

date: Sept. 10th, 20
scale: 1/8" = 1'
sheet: 2 of 3
drawn by: nft

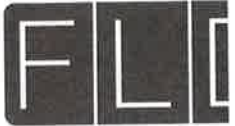


IRRIGATION CIRCUIT LEGEND

- VALVE #1 SOUTH SWALE 650 SF TOTAL DRIPPER LINES
- VALVE #2 NORTH + WEST BORDERS 880 SF TOTAL HUNTER PRO-SPRAY BODY WITH MP ROTATOR HEADS FULL COVERAGE OF PLANTING AREA
- VALVE #3 PARKING POCKETS 430 SF TOTAL DRIPPER LINES
- VALVE #4 PARKING TRIANGLE SWALES 400 SF TOTAL DRIPPER LINES
- VALVE #5 EAST/SOUTHEAST BORDER 940 SF TOTAL DRIPPER LINES
- VALVE #6 SOUTH EAST SWALE 230 SF TOTAL HUNTER PRO-SPRAY BODY WITH MP ROTATOR HEADS FULL COVERAGE OF PLANTING AREA

IRRIGATION SYSTEM NOTES:

- MAINLINE TO BACKFLOW PREVENTION UNIT TO BE TO LOCAL BUILDING CODE
- ALL OTHER PIPE TO BE SCH 40 PIPE AND FITTINGS WITH 18" COVER FOR MAINLINES, AND CLASS 315 PIPE W/ SCH 40 FITTINGS WITH 12" COVER FOR LATERAL LINES. MAINLINE TO BE 1 1/2" IPS PVC.
- PIPE ROUTING TO CONTRACTOR'S DISCRETION, PHOTO DOCUMENTATION AND "AS BUILT" PLAN TO BE SUBMITTED TO CLIENT
- CONSULT CIVIL ENGINEERING GENERAL CONTRACTOR TO SITE RESTRICTIONS AND POSSIBLE NEW POINT OF CONNECTION FOR IRRIGATION SYSTEM
- ALL DRIP EMMITERS TO BE NETAFIM BRAND PCJ (SYN. DNJR2) 2 GALLON PER HOUR "DRIPPERS", AS FOLLOWS:
2 EMMITERS PER #1 & 4" NURSERY STOCK
3 EMMITERS PER #5 NURSERY STOCK
4 EMMITERS PER #15 NURSERY STOCK
5 EMMITERS PER 24" BOX NURSERY STOCK
8 EMMITERS PER ESTABLISHED TREE
- ALL VALVES TO BE HUNTER BRAND 1" HPV ANGLE REMOTE CONTROL VALVES, ALL VALVES TO BE SET IN CARSON INDUSTRIES #1015 BLACK VALVE BOX
- POC TO HAVE DEDICATED LANDSCAPE METER, EKM METERING BRAND, MODEL SPWM-150, 1.5" STAINLESS STEEL PULSE OUTPUT DEDICATED WATER METER FOR IRRIGATION SYSTEM, DOWNSTREAM OF BACKFLOW PREVENTION UNIT IN CARSON INDUSTRIES #1015 BLACK VALVE BOX
- ALL LOW-VOLUME "DRIP" LINES TO HAVE 3/4" 30-0 AMIAD PLASTIC 155MM MESH FILTER W/ FLUSHING BALL VALVE AND PR-30 30PSI SENNINGER PRE-SET PRESSURE REDUCER/REGULATOR DOWN STREAM OF REMOTE CONTROL VALVE
- CONTROLLER TO BE HUNTER BRAND HUNTER PRO-C 6 STATION OUTDOOR CONTROLLER MOUNTED ON EXTERIOR WALL OF STRUCTURE
- IRRIGATION DELIVERY EFFICIENCY IS ASSUMED TO BE 80 PERCENT FOR LOW-VOLUME DRIPPER SYSTEMS
- PLANT-TYPE RESTRICTION, PRESCRIPTIVE APPROACH, OPTION HAS BEEN SELECTED FOR THIS PROJECT FOR THE MWELO COMPLIANCE.
- HYDRO-ZONES MAP ONTO IRRIGATION VALVES CIRCUITS



Forbes Land Des

NicholasThayer@cloud cc
707-362-0680 310 N Sch
Ukiah, CA 95482
Ca Lic. A1574.001

JS Market
6653 Old Highway
Clearlake CA
95422
APN 040-376-2"

notes:

drawing schedule

L1 North West Planting Plan
L2 South East Planting Plan
L3 Irrigation Plan

drawing:

L3
Site Irrigation Plan

date: Sept 10th, 202

CALIFORNIA
HISTORICAL
RESOURCES
INFORMATION
SYSTEM



ALAMEDA
COLUSA
CONTRA COSTA
DEL NORTE

HUMBOLDT
LAKE
MARIN
MENDOCINO
MONTEREY
NAPA
SAN BENITO

SAN FRANCISCO
SAN MATEO
SANTA CLATA
SANTA CRUZ
SOLANO
SONOMA
YOLO

Northwest Information Center
Sonoma State University
150 Professional Center Drive, Suite E
Rohnert Park, California 94928-3609
Tel: 707.588.8455
nwwic@sonoma.edu
<http://www.sonoma.edu/nwwic>

November 19, 2021

File No.: 21-0665

Mark Roberts, Senior Planner
City of Clearlake
14050 Olympic Drive
Clearlake, California 95422

re: CUP 2021-35 / APN: 040-376-20 & 040-376-21 at 6653 and 6673 Old Highway 53 / JS Market

Dear Mark Roberts,

Records at this office were reviewed to determine if this project could adversely affect cultural resources.

Please note that use of the term cultural resources includes both archaeological sites and historical buildings and/or structures. The review for possible historic-era building/structures, however, was limited to references currently in our office and should not be considered comprehensive.

Project Description: Development of a mixed-use commercial development. The development consists of two parcels notated on the drawings as: Lot 1 and Lot 2. The development, includes but is not limited to: Lot One: (1) 1495 Sq. Ft. Apartment; (1) 1600 Sq. Ft. Apartment; (1) 3095 Sq. Ft. Convenience store including storage and maintenance facility; (12) Parking spaces and Trash pickup designated area. Lot Two: (1) 500 Sq. Ft. Water Purification facility; (1) 1540 Sq. Ft. Coin Laundromat; (1) 980 Sq. Ft. Retail space including storage and maintenance; (1) 1315 Sq. Ft. Pizza; (1) 480 Sq. Ft. Deli; (1) 450 Sq. Ft. Ice Cream Shop; and (24) Parking spaces.

Previous Studies:

XX This office has no record of any previous cultural resource studies for the proposed project area (*see recommendation below*).

Archaeological and Native American Resources Recommendations:

XX The proposed project parcel may contain an informally documented archaeological resource, C-210. This resource, described as a scatter of obsidian flaked stone material, has not been formally recorded into state system and assigned a Primary Number. It is recommended that a qualified professional archaeologist attempt to relocate and update the conditions of this possible site on Office of Historic Preservation's DPR 523 resource recordation forms, assess potential impacts of the proposed project activities on this site, and provide project-specific recommendations as warranted.

XX The proposed project area has the possibility of containing unrecorded archaeological sites. We recommend a qualified archaeologist conduct further archival and field study for the entire project area to identify any unrecorded archaeological resources, including those that may show no signs or indicators on the surface.

XX We recommend that the lead agency contact the local Native American tribe(s) regarding traditional, cultural, and religious heritage values. For a complete listing of tribes in the vicinity of the project, please contact the Native American Heritage Commission at (916) 373-3710.

_____ The proposed project area has a low possibility of containing unrecorded archaeological site(s). Therefore, no further study for archaeological resources is recommended.

Built Environment Recommendations:

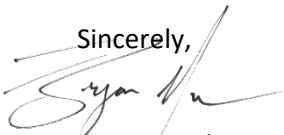
XX Since the Office of Historic Preservation has determined that any building or structure 45 years or older may be of historical value, if the project area contains such properties, it is recommended that prior to commencement of project activities, a qualified professional familiar with the architecture and history of Lake County conduct a formal CEQA evaluation.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

For your reference, a list of qualified professionals in California that meet the Secretary of the Interior's Standards can be found at <http://www.chrisinfo.org>.

If archaeological resources are encountered during the project, work in the immediate vicinity of the finds should be halted until a qualified archaeologist has evaluated the situation. If you have any questions please give us a call (707) 588-8455.

Sincerely,

Bryan Much
Coordinator