

FAIRFIELD INN BY MARRIOTT CLEARLAKE

15500 18TH AVENUE, CLEARLAKE CA 95422



5221 DEER VALLEY ROAD, #150
RESCUE, CA 95672
(916) 316-6759
josh@dvbarchitecture.com

OWNER
CONTRACTOR
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

GUEST UNIT MATRIX									SHEET INDEX	
	FLOOR AREA (SF)	KING		QUEEN QUEEN		KING SUITE		TOTAL	PLANNING	
		KING	ACC KING	QUEEN QUEEN	QUEEN QUEEN ACCESSIBLE	KING SUITE	KING SUITE ACCESSIBLE			
LEVEL 1	11,188 SF	10	0	0	0	0	0	10	A0	COVER SHEET
LEVEL 2	10,990 SF	6	2	12	0	3	0	23	A1	SITE PLAN
LEVEL 3	10,990 SF	6	1	13	1	2	0	23	A2	HOTEL - GROUND AND SECOND FLOOR PLAN
LEVEL 4	10,990 SF	5	0	10	1	2	1	19	A3	HOTEL - THIRD AND FOURTH FLOOR PLAN
SUBTOTAL	44,158 SF	27	3	35	2	7	1	75	A4	HOTEL - ROOF PLAN
TOTAL		30		37		8			A5	HOTEL - GUEST ROOM TYPES
PERCENTAGES		40%		49%		11%		100%	A6	HOTEL - EXTERIOR ELEVATIONS
									A7	HOTEL - EXTERIOR ELEVATIONS
									A8	MEETING HALL - PLANS
									A9	MEETING HALL - EXTERIOR ELEVATIONS & MATERIAL BOARD
									C1	PRELIMINARY SITE PLAN
									C2	PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN
									C3	WATER & SANITARY SEWER PLAN
									L1	PRELIMINARY LANDSCAPE PLAN

PLANNING DEPARTMENT SUBMITTAL
08/12/2022

PROJECT TEAM

OWNER **MLI ASSOCIATES, LLC**
3767 HARLEQUIN TERRACE
FREMONT, CA 94555
(415) 623-4152

LANDSCAPE **LINDA FISH LANDSCAPE ARCHITECT**
4073 PATCHWORK COURT
TURLOCK, CA 95382
(209) 656-7177

ARCHITECT **DVB architecture**
5221 DEER VALLEY ROAD, #150
RESCUE, CA 95672
(916) 316-6759

CIVIL **CWE-RFE**
2260 DOUGLAS BLVD., SUITE 160
ROSEVILLE, CA 95661
(916) 772-7800

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CLEARLAKE FAIRFIELD INN

15500 18TH AVENUE, CLEARLAKE CA 95422

NOT FOR CONSTRUCTION

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COVER SHEET

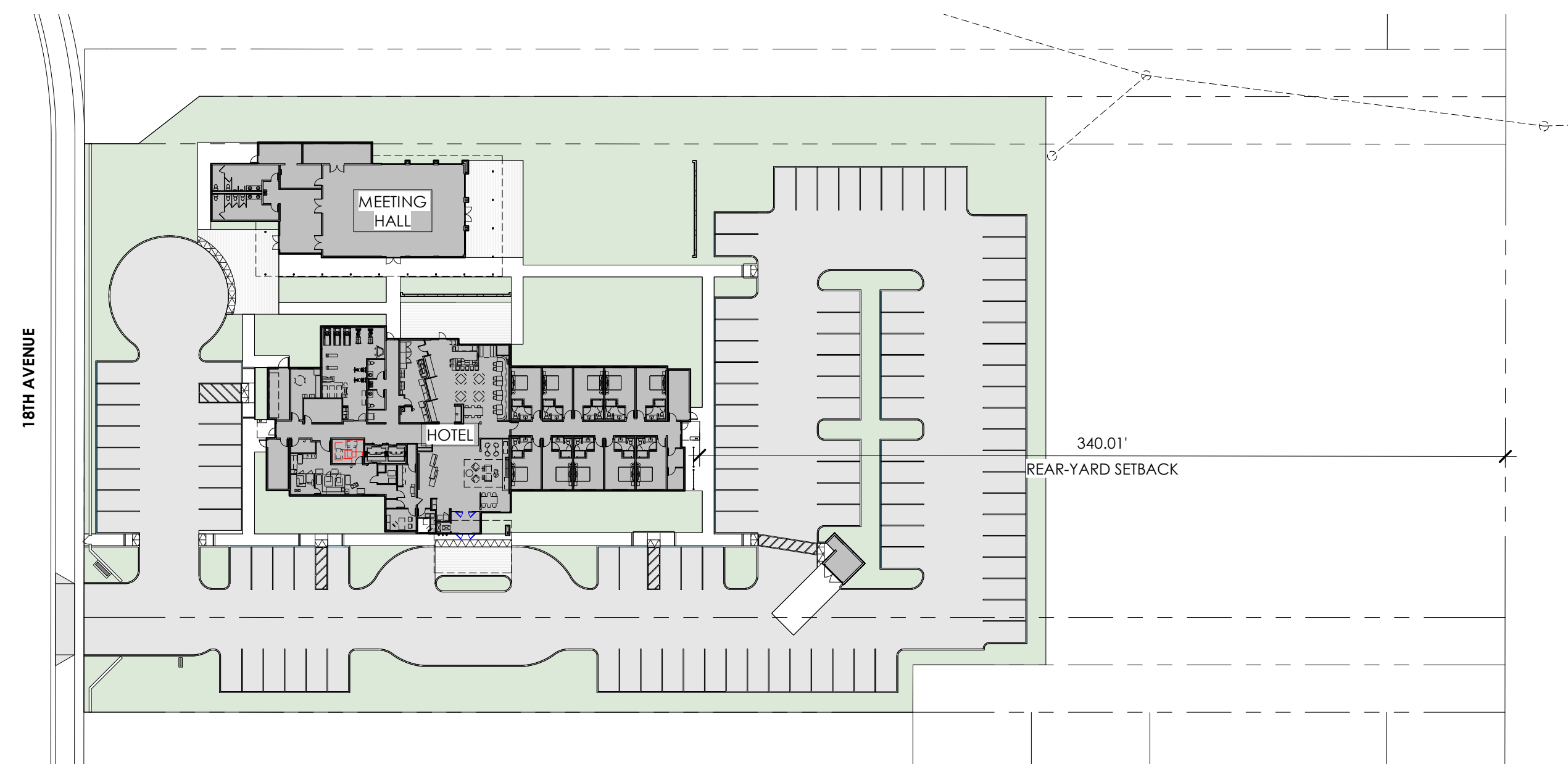
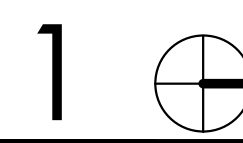
Project Number
21063
Drawn By
DVB
Checked By
DVB

A0



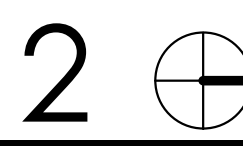
SITE PLAN

1" = 20'-0"



OVERALL SITE PLAN

1" = 50'-0"



ZONING CODE		
ADDRESS	15500 18TH AVENUE	
ASSESSOR PARCEL NUMBER	042-121-25	
ZONING	CG - GENERAL COMMERCIAL	
GENERAL PLAN	COMMERCIAL	
PROJECT INFORMATION		
PROPERTY AREA	2.799 ACRES	
CONSTRUCTION TYPE	VA	
	ALLOWABLE	PROPOSED
STORIES	4	4
HEIGHT	70' - 0"	53' - 0"
SETBACKS:		
FRONT YARD	0 FT	53.36 FT
SIDE YARD	0 FT	19.34 FT
REAR YARD	0 FT	340.01 FT
PARKING COUNT		
GUEST ROOMS	75	
REQUIRED PARKING (18-20.090 - TABLE 23)		
1 SPACE PER GUESTROOM	75	
+ 2 SPACES PER 10 GUESTROOMS	15	
+ 1 SPACE PER 100 SF OF MEETING SPACE	23	
+ 1/2 OF REQUIRED PARKING FOR ACCESSORY RETAIL, RESTAURANT AND ALCOHOLIC BEVERAGE SALES USE	N/A	
REGULAR STALLS	113	
SHARED PARKING REDUCTION (MAX 10%)	-11	
MIXED-USE PARKING REDUCTION (MAX 20%)	-22	
MOTORCYCLE SPACES (1-20)	N/A	
LOADING SPACES (18-20.090 - TABLE 23)	2	
1 SPACE		
+ 1 SPACE PER 50,000 SF MEETING ROOMS, RESTAURANTS AND SHOPS		
TOTAL PARKING (REQUIRED)	82	
ACCESSIBLE PARKING (INCLUDED ABOVE)	4 (4 REQ'D)	
BICYCLE SPACES (15%)	13	
SHORT-TERM	7	
LONG-TERM	6	
CLEAN AIR VEHICLE PARKING	8 (8 REQ'D)	
ELECTRIC VEHICLE CHARGING SPACES	6 (5 REQ'D)	
TOTAL PARKING (PROVIDED)	109 = OK	
GUEST ROOM MATRIX		
BRAND PROTOTYPE	FAIRFIELD INN (REVISION 4 - 12/11/20)	
SITE PLAN LEGEND		
	ACCESSIBLE PATH OF TRAVEL, NO SLOPES IN DIRECTION OF TRAVEL EXCEEDING 5% AND NO CROSS SLOPES EXCEEDING 2%	
	DETECTABLE WARNING SURFACE, TYP. SHOWN HATCHED	



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15500 18TH AVENUE, CLEARLAKE CA 95422

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SITE PLAN

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HOTEL - GROUND AND SECOND FLOOR PLAN

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 DVB
 Checked By
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A2

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FOURTH FLOOR PLAN

1/8" = 1'-0"



THIRD FLOOR PLAN

1/8" = 1'-0"



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15500 18TH AVENUE, CLEARLAKE CA 95422

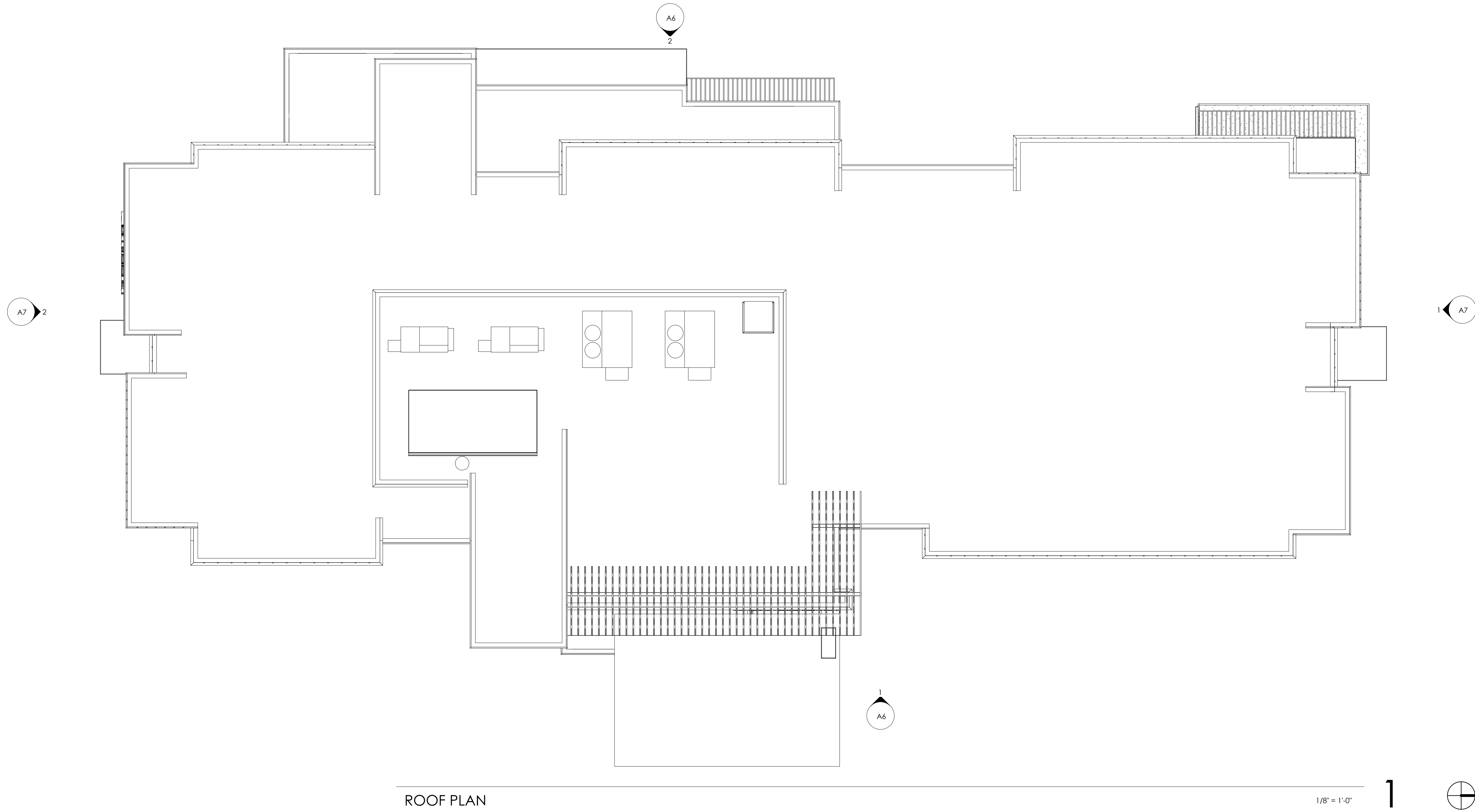
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HOTEL - THIRD AND
FOURTH FLOOR PLAN

Project Number
21063
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Checked By
DVB

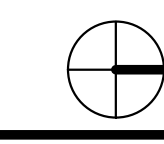
A3



ROOF PLAN

1/8" = 1'-0"

1



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HOTEL - ROOF PLAN

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15500 18TH AVENUE, CLEARLAKE CA 95422

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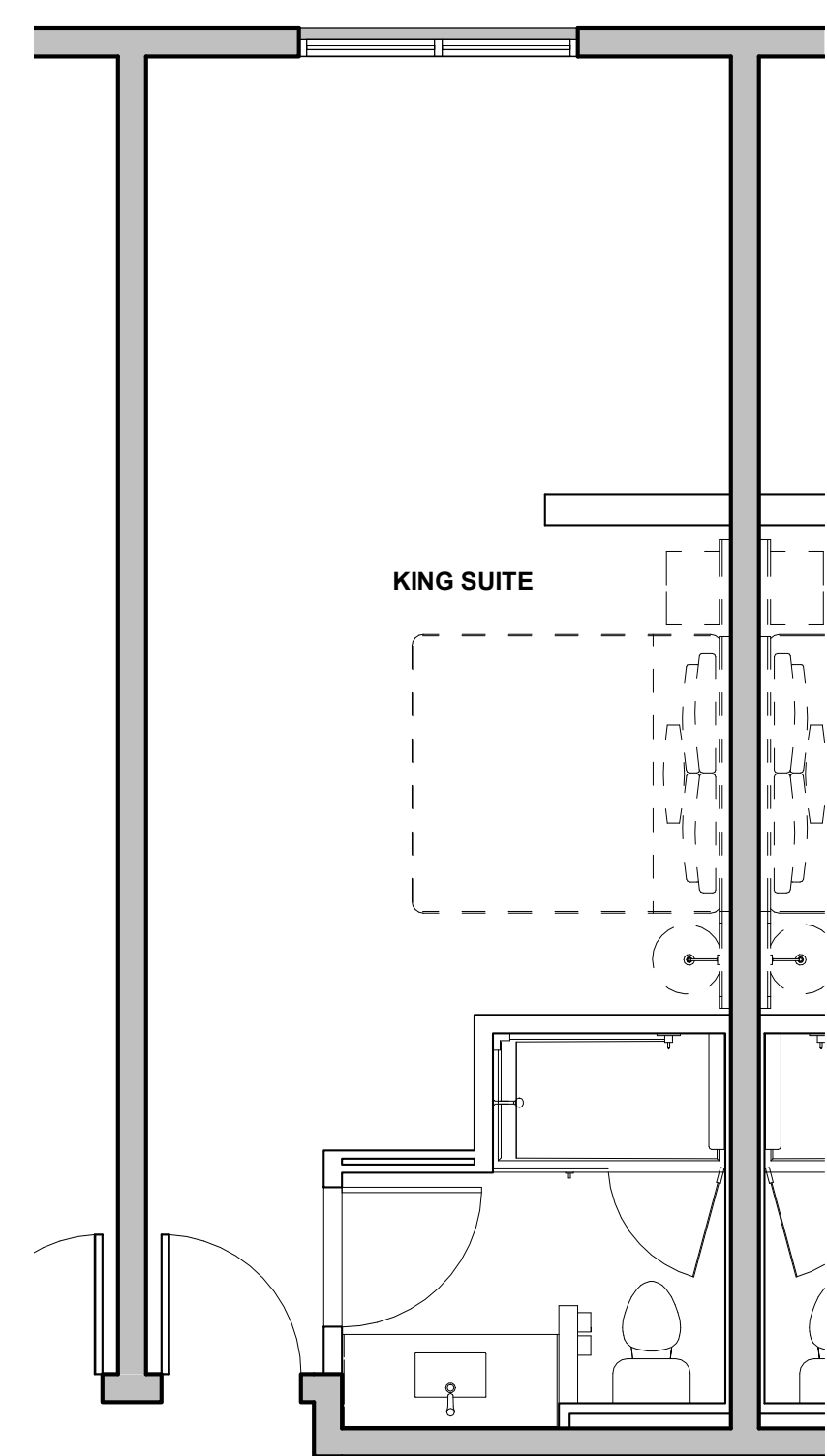
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HOTEL - GUEST ROOM
TYPES

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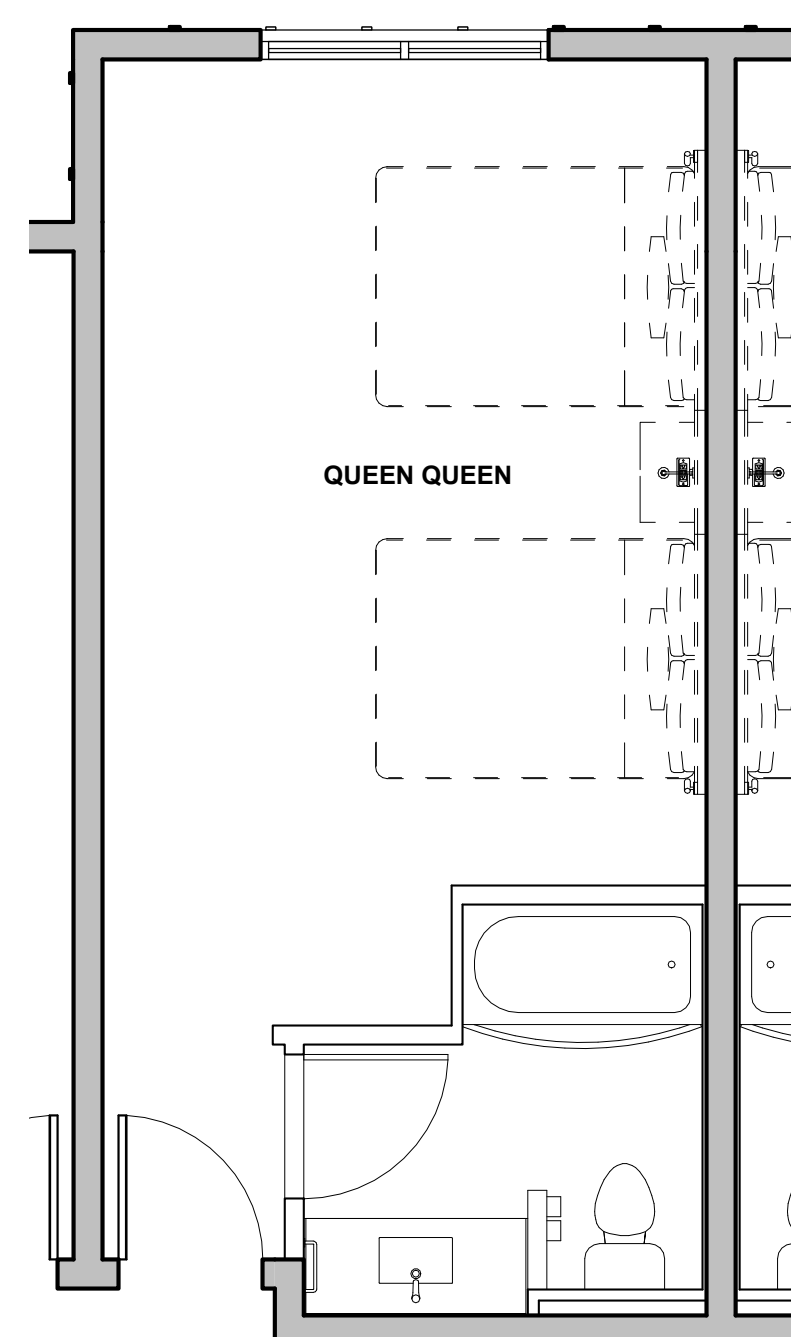
A5



GUESTROOM - KING SUITE

1/4" = 1'-0"

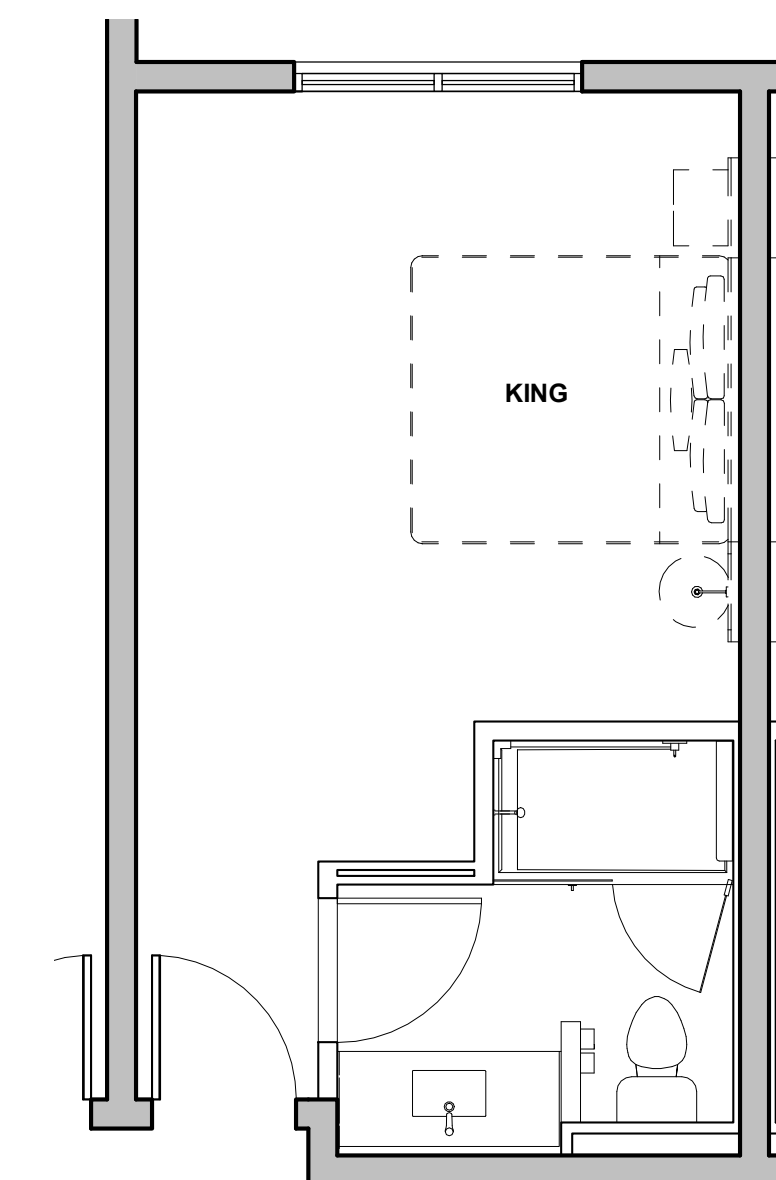
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GUESTROOM - QUEEN

1/4" = 1'-0"

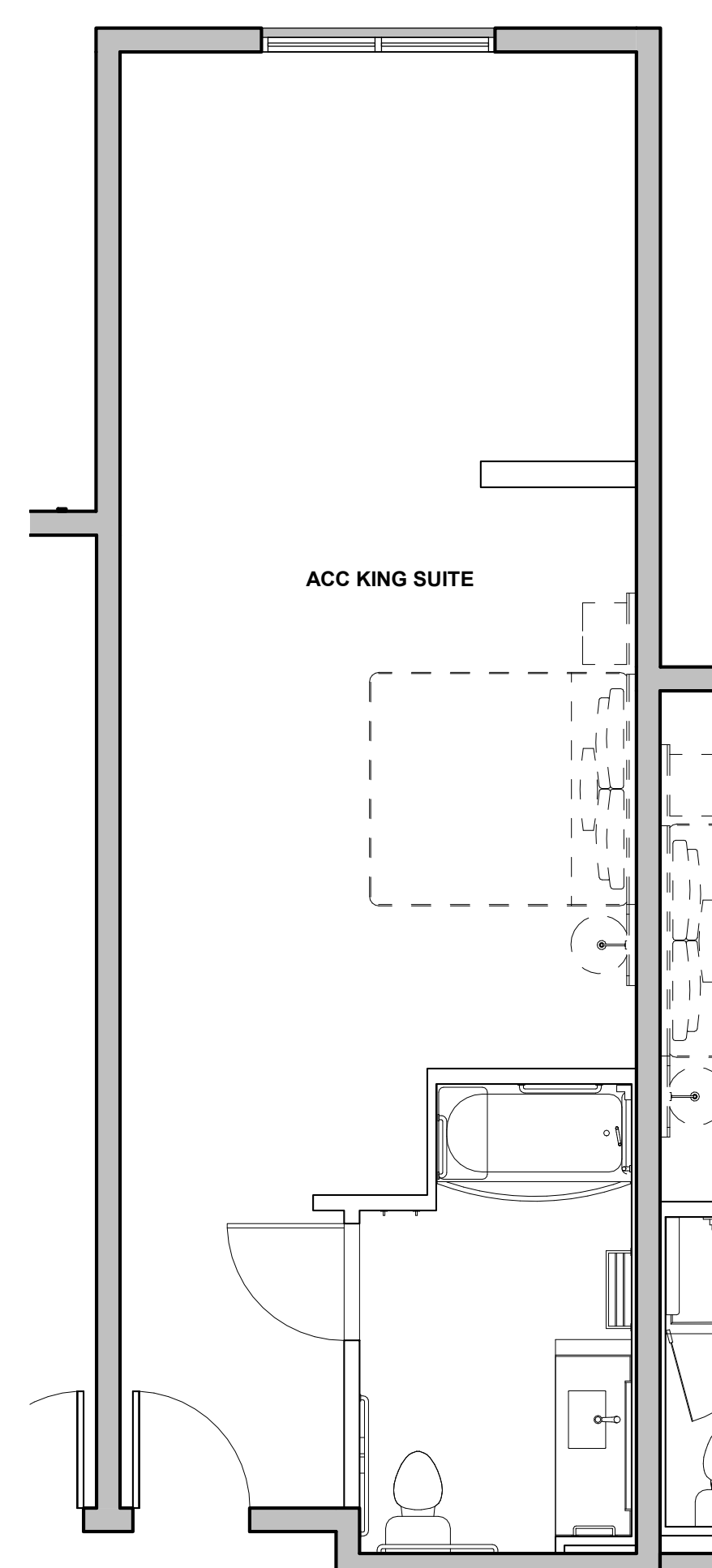
3



GUESTROOM - KING

1/4" = 1'-0"

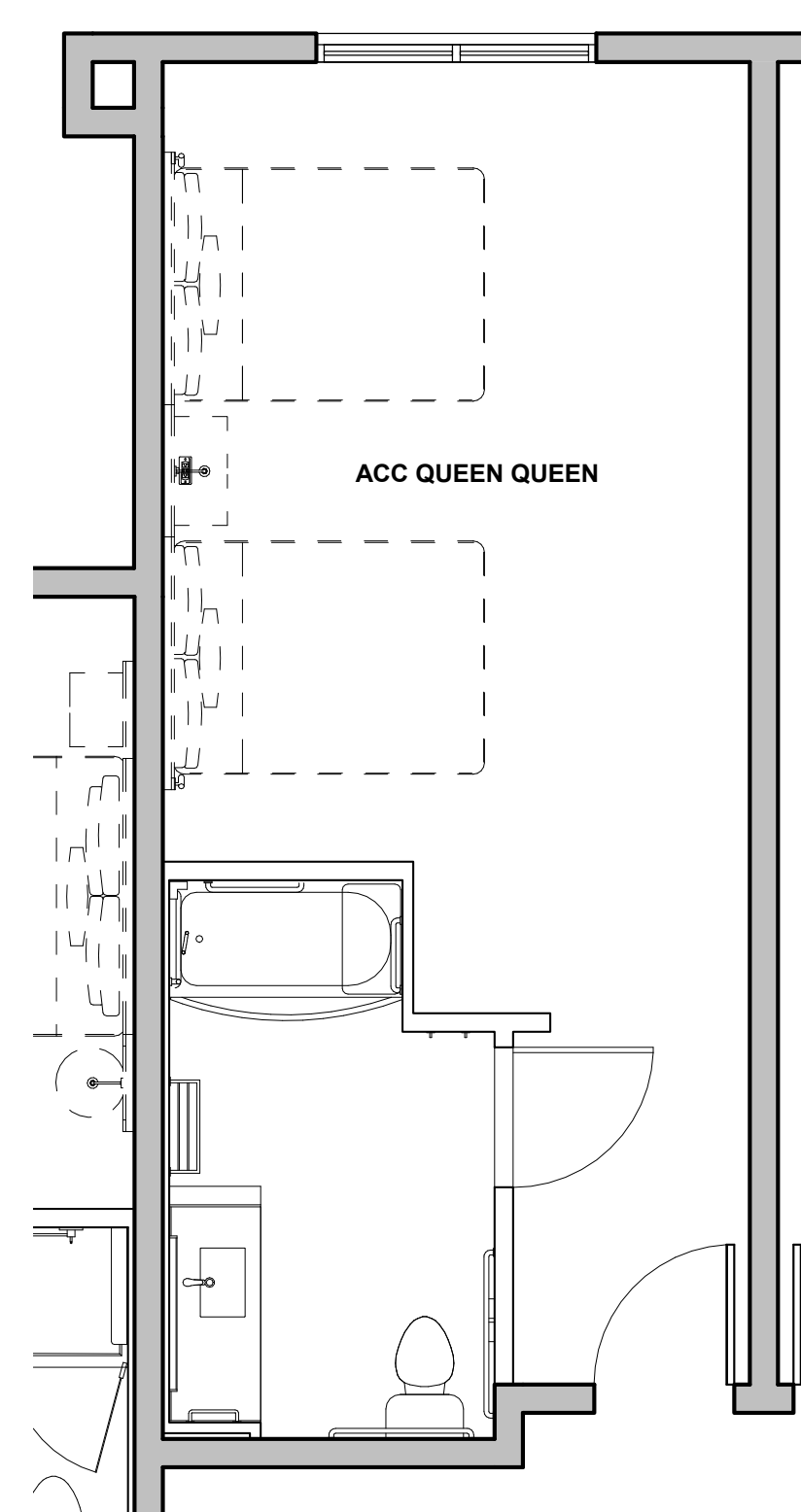
1



GUESTROOM - ACC KING SUITE

1/4" = 1'-0"

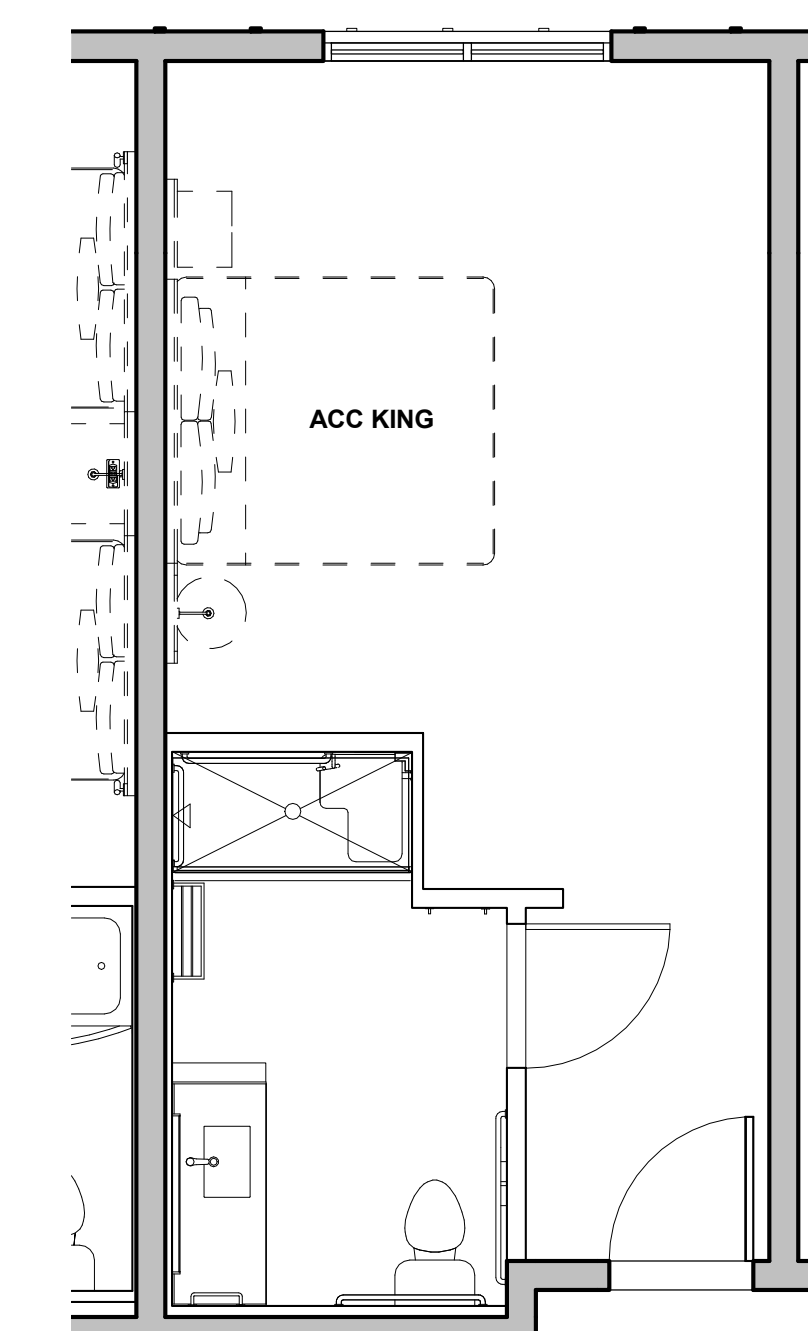
6



GUESTROOM - ACC QUEEN

1/4" = 1'-0"

4



GUESTROOM - ACC KING

1/4" = 1'-0"

2



HOTEL - BUILDING ELEVATION - EAST

1/8" = 1'-0"

1



HOTEL - BUILDING ELEVATION - WEST

1/8" = 1'-0"

2

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HOTEL - EXTERIOR ELEVATIONS

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HOTEL - EXTERIOR ELEVATIONS

Project Number

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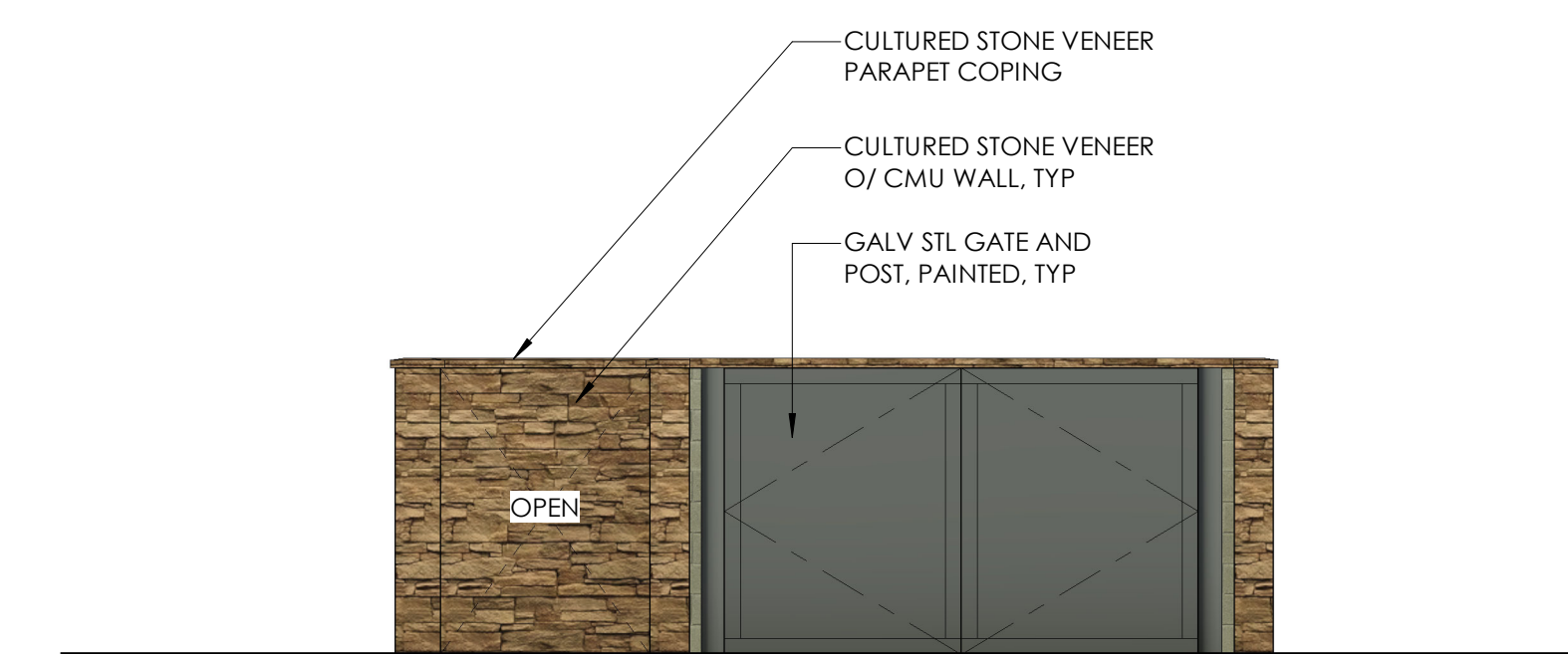
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A7



TRASH ENCLOSURE - SOUTH ELEVATION

1/4" = 1'-0"

3



NOTE: REFER TO EXTERIOR ELEVATION 3/A7 FOR TYPICAL NOTES.

TRASH ENCLOSURE - WEST ELEVATION

1/4" = 1'-0"

4



NOTE: REFER TO EXTERIOR ELEVATION 3/A7 FOR TYPICAL NOTES.

TRASH ENCLOSURE - NORTH ELEVATION

1/4" = 1'-0"

5



NOTE: REFER TO EXTERIOR ELEVATION 3/A7 FOR TYPICAL NOTES.

TRASH ENCLOSURE - EAST ELEVATION

1/4" = 1'-0"

6



NOTE: REFER TO EXTERIOR ELEVATION 1/A6 AND 2/A7 FOR TYPICAL NOTES.

HOTEL - BUILDING ELEVATION - NORTH

1/8" = 1'-0"

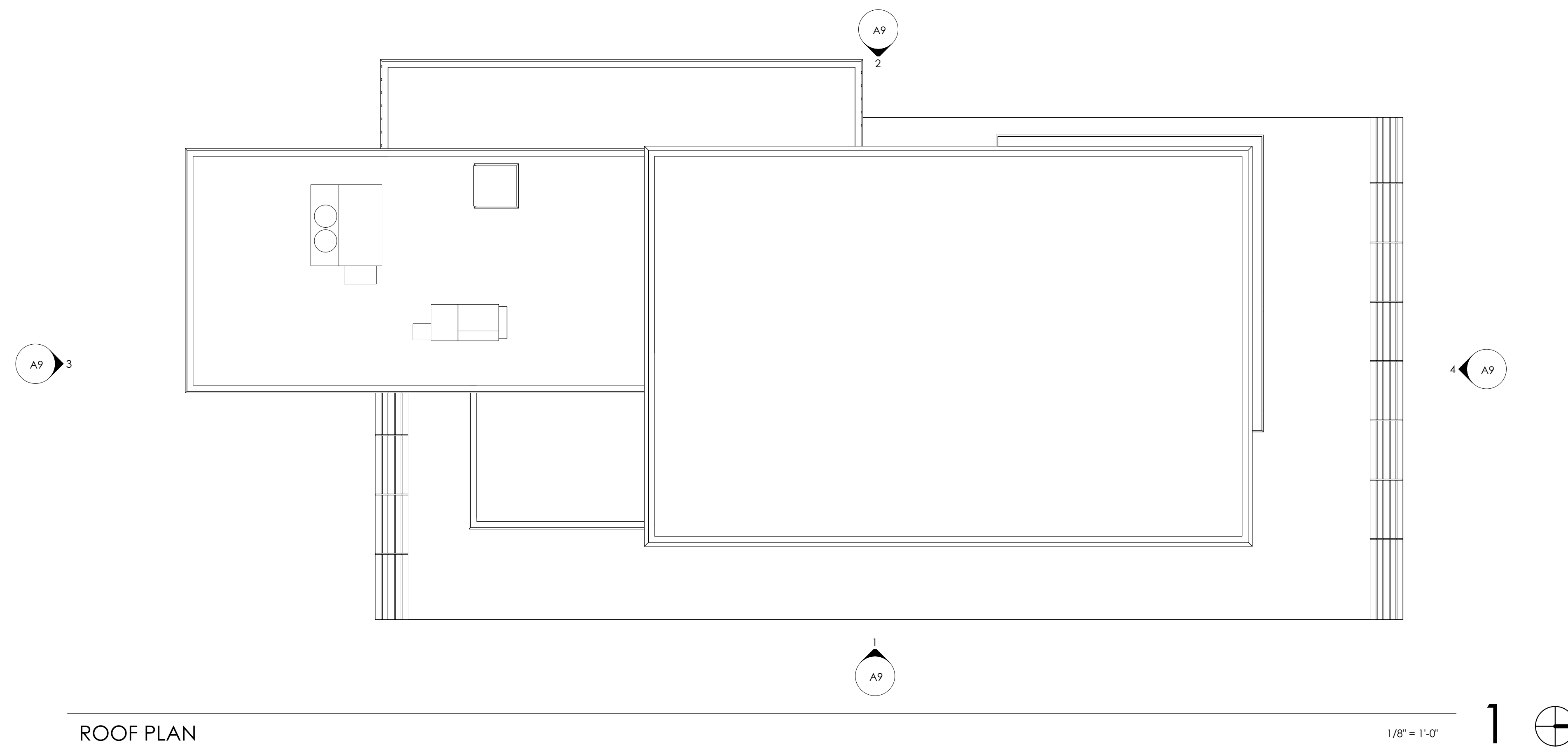
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HOTEL - BUILDING ELEVATION - SOUTH

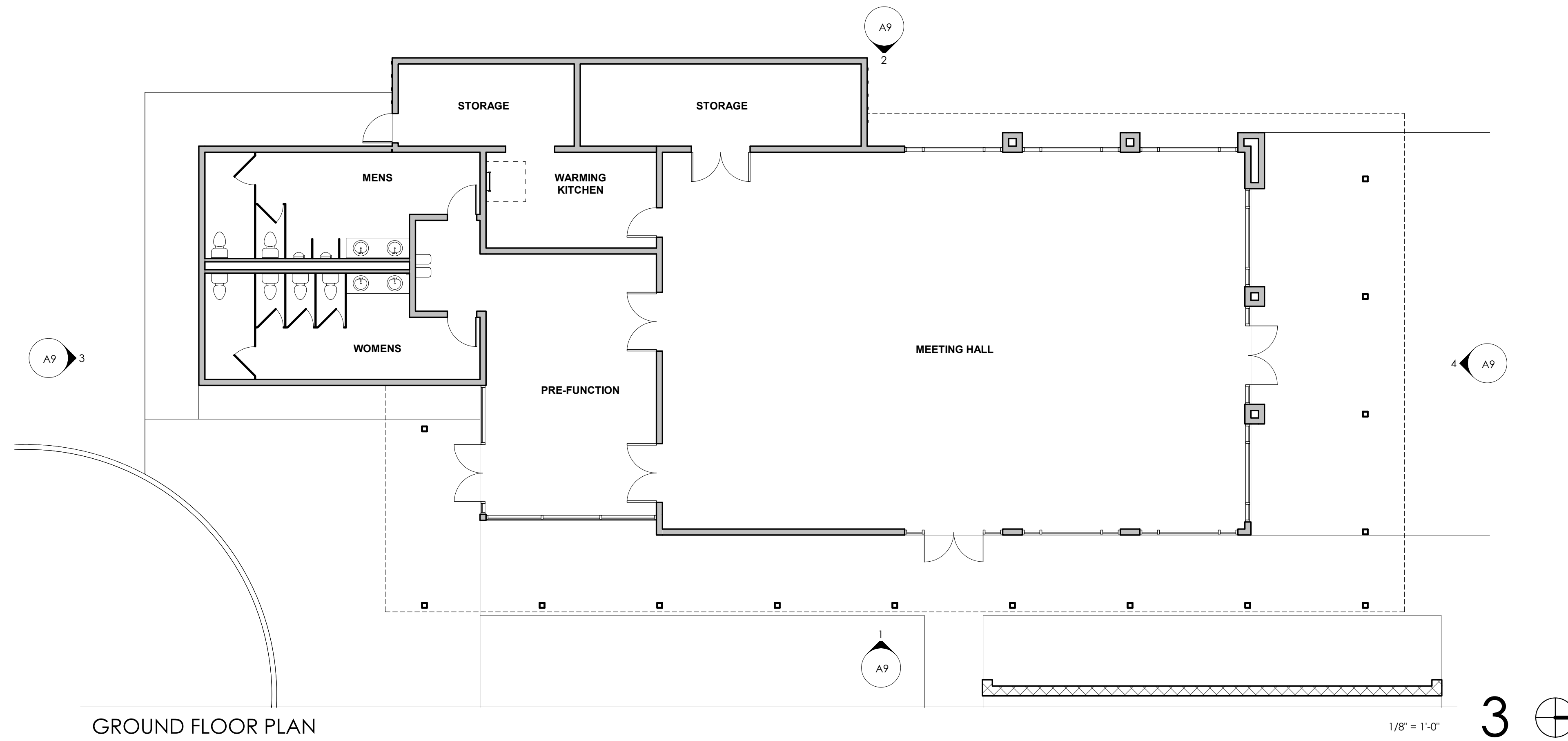
1/8" = 1'-0"

2



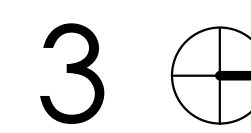
ROOF PLAN

1/8" = 1'-0"



GROUND FLOOR PLAN

1/8" = 1'-0"



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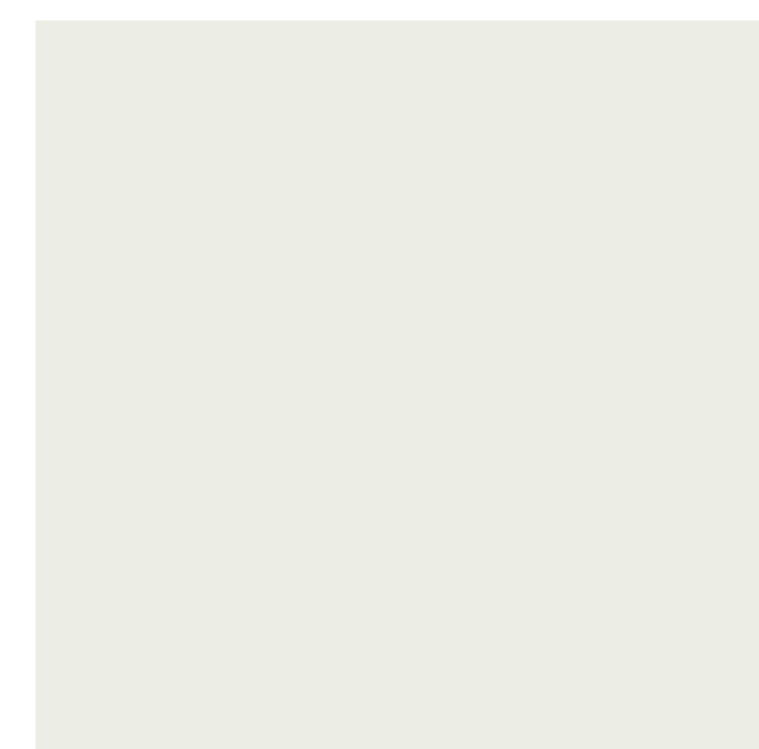
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MEETING HALL - PLANS

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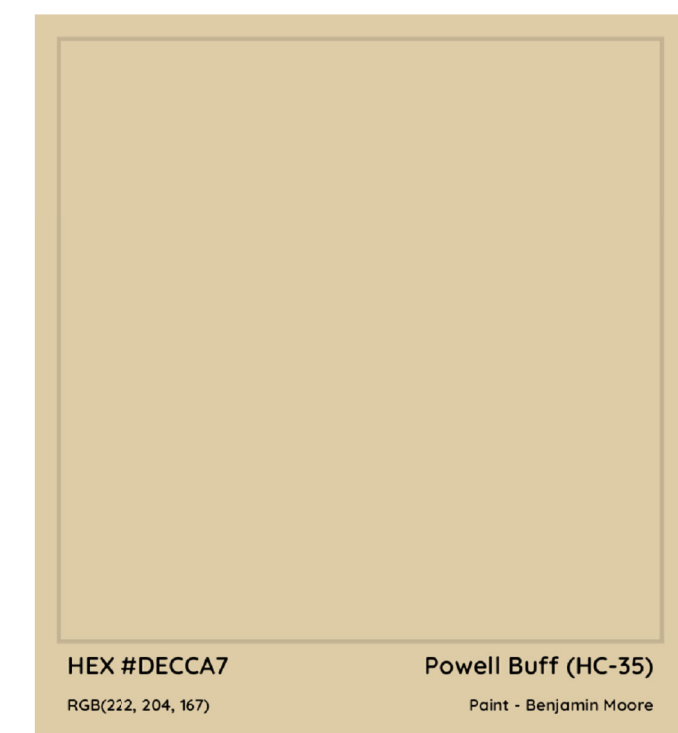
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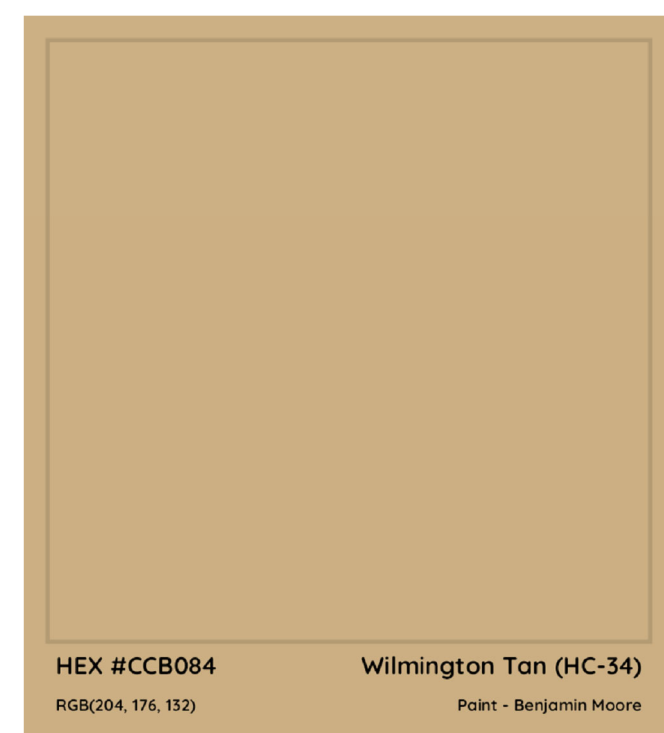
PT-1 (PAINT - BODY)
MANUFACTURER: BENJAMIN MOORE
FINISH: OC 151 WHITE



PT-2 (PAINT - BODY)
MANUFACTURER: BENJAMIN MOORE
FINISH: 2125-20 DEEP SPACE



PT-3 (PAINT - BODY)
MANUFACTURER: BENJAMIN MOORE
FINISH: HC-35 POWELL BUFF



PT-4 (PAINT - BODY)
MANUFACTURER: BENJAMIN MOORE
FINISH: HC-34 WILMINGTON TAN



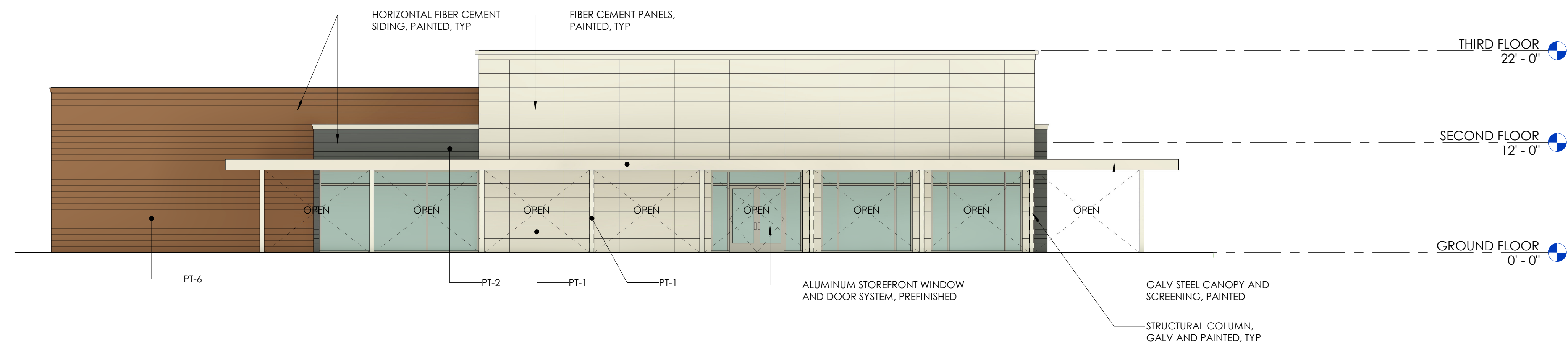
PT-5 (PAINT - BODY)
MANUFACTURER: BENJAMIN MOORE
FINISH: AC-6 NEW CHESTNUT



PT-6 (PAINT - BODY)
MANUFACTURER: BENJAMIN MOORE
FINISH: 2163-10 LOG CABIN



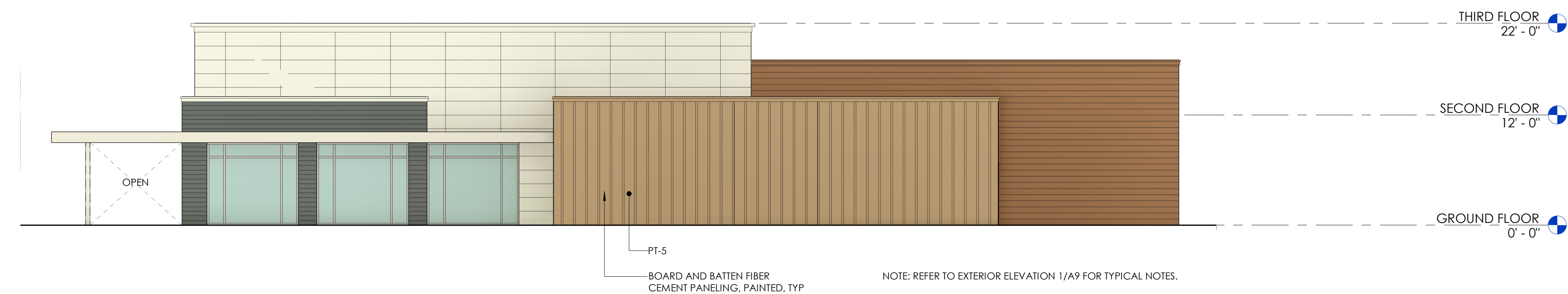
STN-1 (CULTURED STONE VENEER)
MANUFACTURER: ELDORADO STONE
MODEL: CLIFFSTONE - CAMBRIA



MEETING HALL - BUILDING ELEVATION - EAST

1/8" = 1'-0"

1



MEETING HALL - BUILDING ELEVATION - WEST

1/8" = 1'-0"

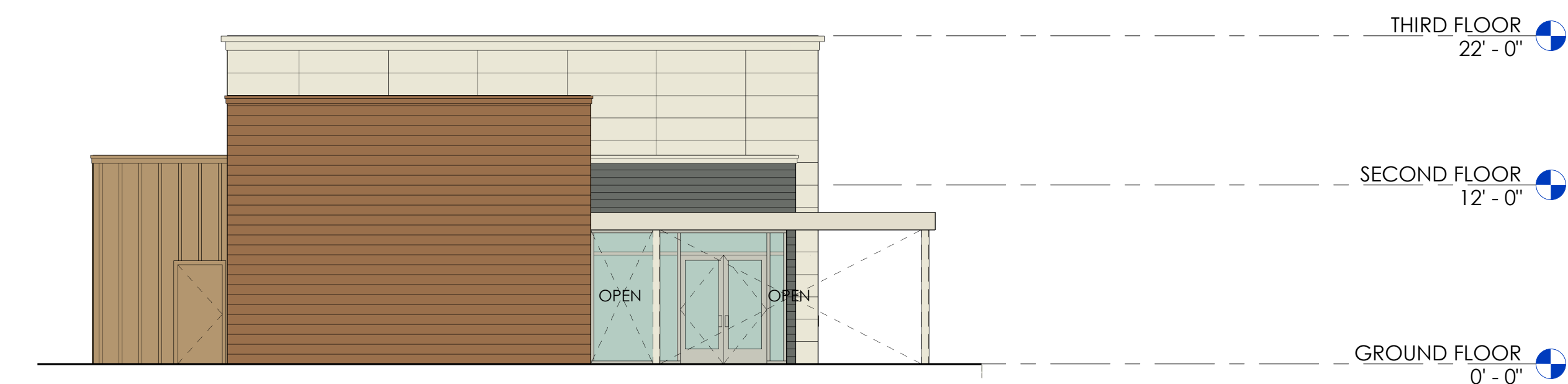
2



MEETING HALL - BUILDING ELEVATION - NORTH

1/8" = 1'-0"

4



MEETING HALL - BUILDING ELEVATION - SOUTH

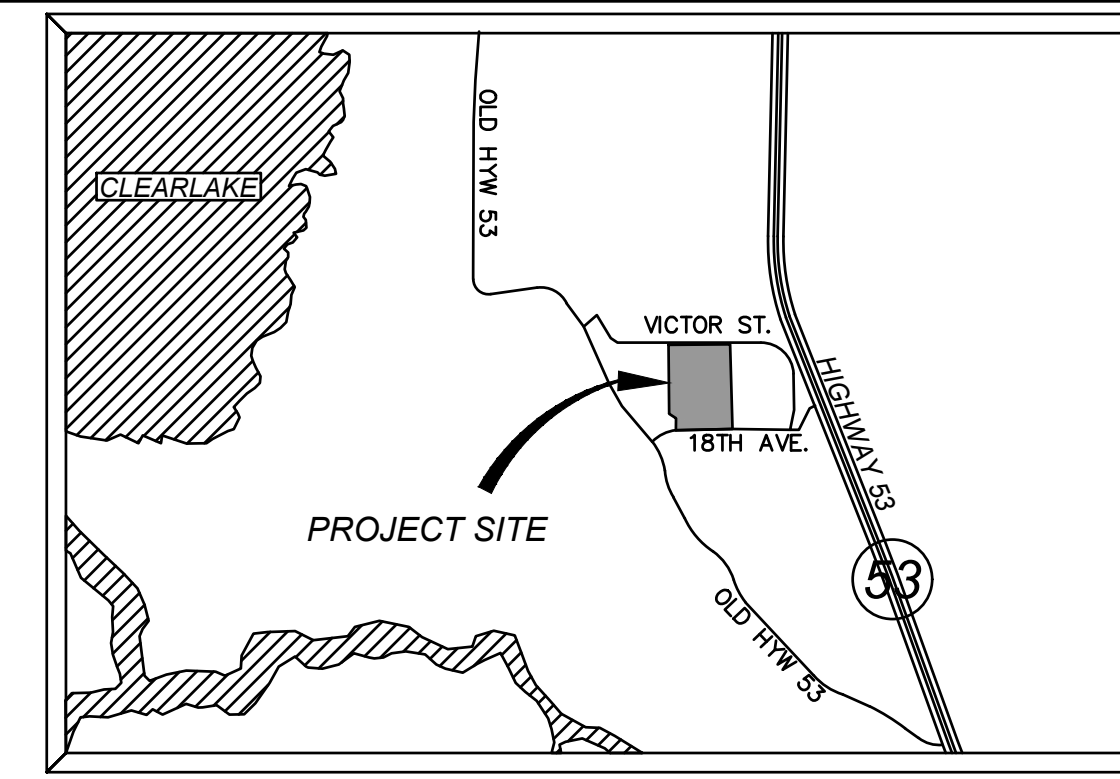
1/8" = 1'-0"

3

CLEARLAKE FAIRFIELD INN

PRELIMINARY IMPROVEMENT PLANS

15500 18TH AVENUE CLEARLAKE, CA, 95422
APN: 042-121-25



VICINITY MAP
NOT TO SCALE

SHEET INDEX:

- C1 PRELIMINARY SITE PLAN
- C2 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN
- C3 PRELIMINARY WATER & SANITARY SEWER PLAN

TOPOGRAPHIC SURVEY:

CWE-RFE
FIELD SURVEY DATED: JUNE 2022

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SAME AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 63 OF SURVEYS AT PAGES 24 AND 25, LAKE COUNTY OFFICIAL RECORDS.

BENCHMARK:

ELEVATION: 1419.50' (NAD 83)
BEING ELEVATION 1419.50' (NAVD 83) AS MEASURED ON A FOUND ALUMINUM SURVEY DISK STAMPED CA-HPGN-DENSIFICATION STA. 01-BK 1999, DESIGNATED NGS PID BM8950.

PROPERTY OWNER:

MLI ASSOCIATES, LLC.
3767 HARLEQUIN TERRACE,
FREMONT, CA 94555
(415) 623-4152

ZONING FOR ALL PARCELS:

EXISTING ZONING: COMMERCIAL
PER CITY OF CLEARLAKE ZONING ORDINANCE

JURISDICTION:

CITY OF CLEARLAKE
COUNTY OF LAKE

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06033C0684D DATED: (09/30/2005) AND PANEL NO.: 06033C0692D DATED: 09/30/2005.

UTILITY CONTACT INFORMATION			
UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
TELEPHONE	PACIFIC BELL / AT&T	ENGINEERING	(510) 645-2929
GAS	P.G.&E.	ENGINEERING	(877) 743-7782
ELECTRIC	P.G.&E.	ENGINEERING	(877) 743-7782
FIRE	LAKE COUNTY FIRE PROTECTION DISTRICT	LAKE COUNTY FIRE	(707) 994-2170
WATER	KONOCTI COUNTY WATER DISTRICT	ENGINEERING	(707) 994-2561
WATER	HIGHLANDS WATER COMPANY	ENGINEERING	(707) 994-2393
SEWER	LAKE COUNTY SPECIAL DISTRICTS	SCOTT HARTER	(707) 263-0119
DRAINAGE	CITY OF CLEARLAKE	STAFF	(707) 994-8201
U.S.A.	UNDERGROUND SERVICE ALERT		1-800-642-2444

UTILITY NOTE:

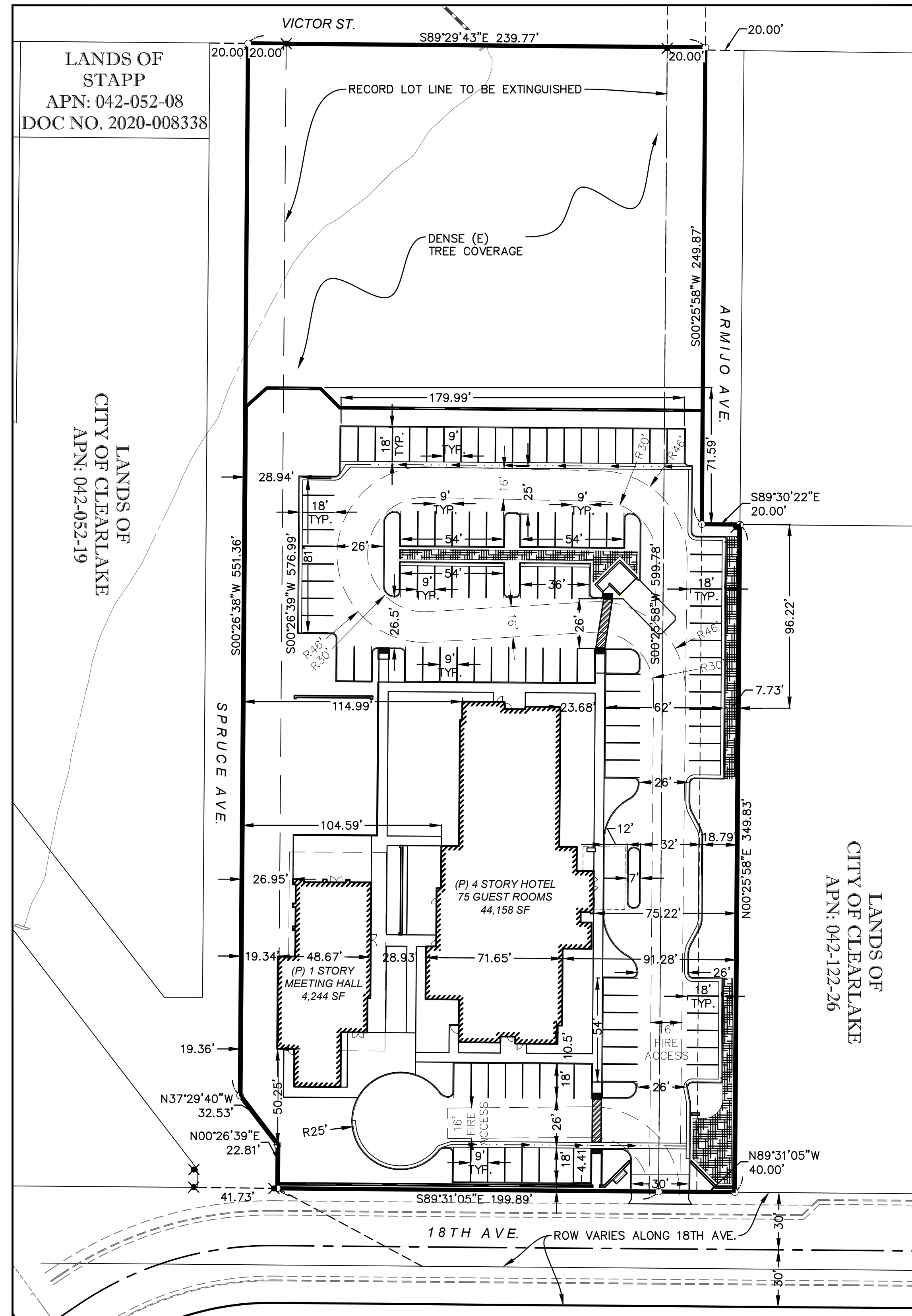
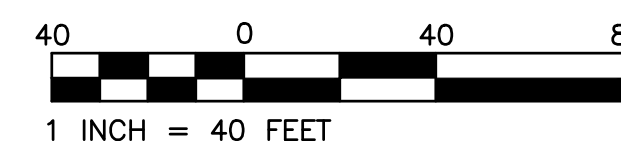
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.



Know what's below.
Call before you dig.
or (800) 642-2444



PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	48,402 TOTAL SF
PARKING REQUIRED	TBD	TBD
MINIMUM PARKING DIMENSIONS	TBD	TBD
MIN. DRIVEWAY WIDTH	25 FT.	25 FT.
ACCESSIBLE SPACES	TBD	TBD

*PARKING STANDARDS PER CITY OF CLEARLAKE CODE 18-20.090 - TABLE 23

DEVELOPMENT STANDARDS		
EXISTING GENERAL PLAN: COMMERCIAL		
ZONE: GC - GENERAL COMMERCIAL		
USE: HOTEL		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM FRONT SETBACK	0 FT.	--
MINIMUM SIDE SETBACK	0 FT.	--
MINIMUM REAR SETBACK	0 FT.	--
MAXIMUM BUILDING HEIGHT	70 FT.	53 FT.
PROPERTY AREA:	2.799 AC GROSS	2.733 AC NET

REFERENCE IS MADE TO THE 2020 CITY OF CLEARLAKE ZONING ORDINANCE

DESCRIPTION	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX*SD	XX*SD
SANITARY SEWER	XX*SS	XX*SS
WATER LINE	XX*W	XX*W
DOMESTIC WATER	XX*DW	XX*DW
FIRE SERVICE	XX*FS	XX*FS
GAS LINE	XX*G	XX*G
SDMH	⊙	⊙
DRAINAGE INLET	⊙	⊙
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	⊙	⊙
SSCO	⊙	⊙
FIRE HYDRANT	⊙	⊙
PIV	⊙	⊙
FDC	⊙	⊙
WATER VALVE	⊙	⊙
WATER METER	⊙	⊙
BACKFLOW PREVENTION ASSEMBLY	⊙	⊙
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	⊙	⊙
BLOW OFF ASSEMBLY	⊙	⊙
PIPE CAP	⊙	⊙
GAS VALVE	⊙	⊙
TELEPHONE MH	⊙	⊙
UTILITY POLE	⊙	⊙
UTILITY POLE WITH LIGHT	⊙	⊙
STREET LIGHT	⊙	⊙
SITE LIGHT	⊙	⊙
JUNCTION/PULL BOX	⊙	⊙
MONUMENT WELL	⊙	⊙
BOLLARD	⊙	⊙
SIGN	⊙	⊙
FENCE	---	---
RETAINING WALL	---	---
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---
GRADE BREAK LINE	---	---
TREE & DRIP	⊙	⊙
CONTROL POINT	⊙	⊙
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	X 157.01	13.34 AC
MATCH (E) GRADE ELEVATION	---	13.61 AC MATCH (E)
TRUNCATED DOMES	⊙	⊙
BUILDING	---	---

ABBREVIATIONS:

AB	AGGREGATE BASE	PH	FIRE HYDRANT	PIV	POST INDICATOR VALVE
AC	ASPHALT CONCRETE	FL	FLOW LINE	R	PROPERTY LINE
ARV	AIR RELEASE VALVE	FOC	FACE OF CURB	POC	POINT OF CONNECTION
BC	BEGIN CURVE	PRC	POINT OF REVERSE CURVE	PT	POINT OF TANGENCY
BCR	BEGIN CURVE RETURN	FS	FIRE SPRINKLER	PUE	PUBLIC UTILITY EASEMENT
BLDG	BUILDING	GB	GRADE BREAK	PVI	POINT OF VERTICAL INTERSECTION
BOC	BACK OF CURB	GR	GRATE ELEVATION	RC	RELATIVE COMPACTION
BOW	BACK-OF-WALK	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE
BVC	BEGIN VERTICAL CURVE	GWV	GROSS VEHICLE WEIGHT	ROW	RIGHT-OF-WAY
BW	BOTTOM OF WALL	HCR	HANDICAP RAMP	RT	RIGHT TURN OR RIGHT
CAB	CABINET	HDPE	HIGH DENSITY POLYETHYLENE	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY
CONC	CONCRETE	IRR	IRRIGATION	RW	RETAINING WALL
C&G	CURB & GUTTER	INV	INVERT	SASD	SACRAMENTO AREA SEWER DISTRICT
CG&S	CURB, GUTTER & SIDEWALK	I.E.	INVERT ELEVATION	SDMH	STORM DRAIN MANHOLE
CH	CHORD	JP	JOINT POLE	SD	STORM DRAIN
CL	CENTERLINE	L	LENGTH	SE	SOUTHEAST
CMP	CORRUGATED METAL PIPE	LF	LINEAL FEET	SS	SANITARY SEWER
CR	CURB RETURN	LIP	LIP OF GUTTER	SSCO	SANITARY SEWER CLEAN OUT
CTV	CABLE TV	LP	LOW POINT	SSMH	SANITARY SEWER MANHOLE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	LT	LEFT TURN OR LEFT	SWCT	SAWCUT
DI	DRAIN / DROP INLET	MAX	MAXIMUM	SW	SIDEWALK OR SOUTHWEST
DIP	DUCTILE IRON PIPE	MH	MAINTENANCE HOLE	STA	STATION
DS	DOWN SPOUT	MIN	MINIMUM	TC	TOP OF CURB
(E)	EXISTING	NE	NORTHEAST	TP	TOP OF PAVEMENT
EC	END CURVE	NW	NORTHWEST	TS	TOP OF SIDEWALK
ECR	END CURB RETURN	OC	ON CENTER	TW	TOP OF WALL
EP	EDGE OF PAVEMENT	OH	OVERHEAD	UNO	UNLESS NOTED OTHERWISE
ETW	EDGE OF TRAVELED WAY	OHTE	OVERHEAD TELEPHONE & ELECTRIC	W	WATER
EVC	END OF VERTICAL CURVE	OMP	OPEN METAL PIPE	WV	WATER VALVE
FDC	FIRE DEPARTMENT CONNECTION	(P)	PROPOSED	WM	WATER METER
FF	FINISH FLOOR	PCC	PORTLAND CEMENT CONCRETE	WWF	WELDED WIRE FABRIC
FG	FINISHED GROUND	OR	OR POINT OF COMPOUND CURVE	VCP	VITRIFIED CLAY PIPE
FGBW	FINISHED GROUND @ BOT. WALL	PG	PROFILE GRADE	VP	VERIFY-IN-FIELD
FGTW	FINISHED GROUND @ TOP OF WALL				

DIB
architecture

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josh@dvbarchitecture.com

CWE-RFE

2260 Douglas Blvd, Suite 160, Roseville, CA 95661
Ph: 916-772-7800 www.cweor.com

OWNER: _____

CONTRACTOR: _____
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL

CLEARLAKE FAIRFIELD INN

15500 18TH AVENUE, CLEARLAKE CA 95422

08/12/2022 PLANNING DEPARTMENT SUBMITTAL

PRELIMINARY SITE PLAN

Project Number
22-048

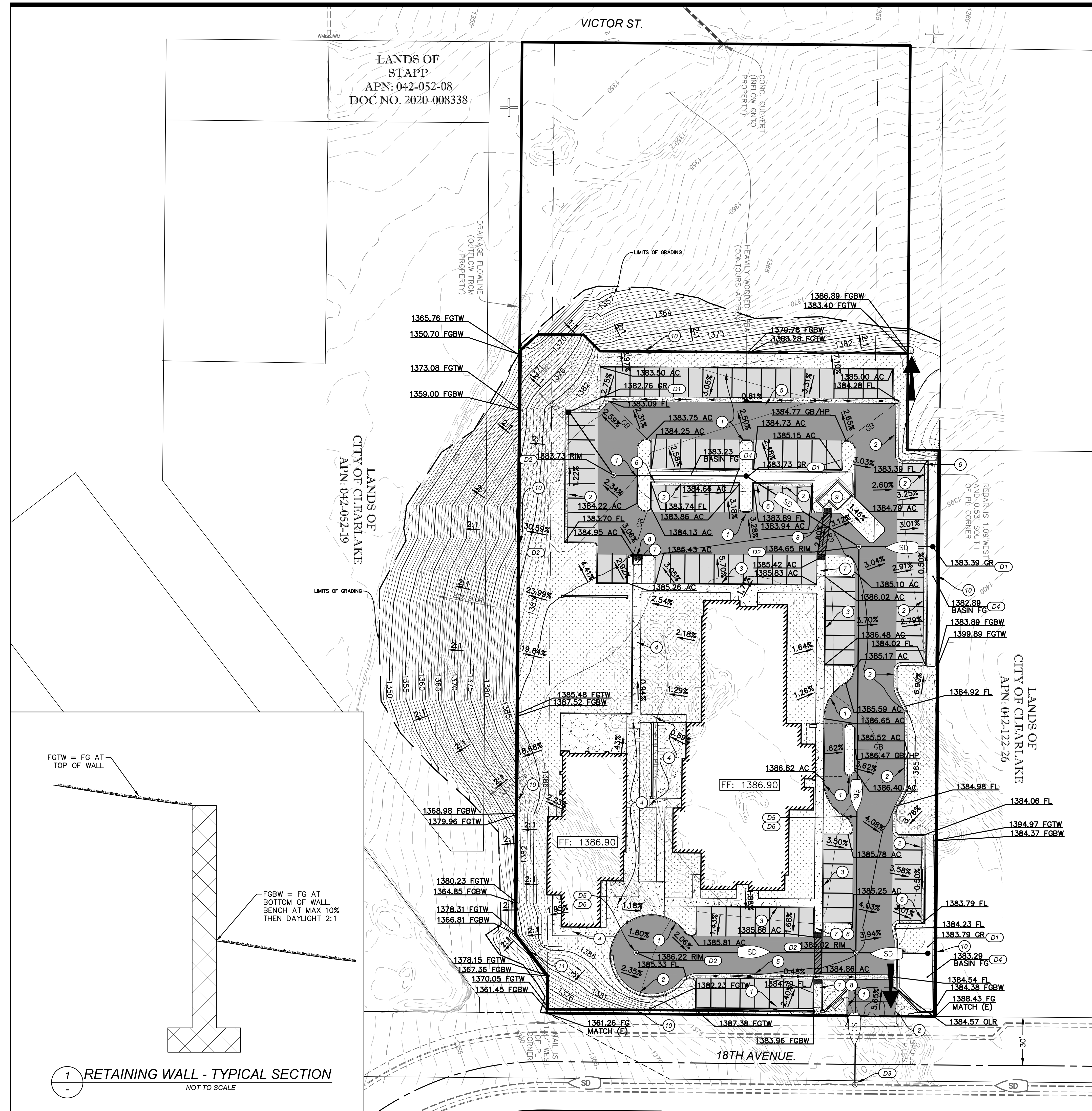
Drawn By
KSD

Checked By
TSM

TOTAL DISTURBED AREA: 2.94 AC	
RAW EARTHWORK SUMMARY	
CUT:	10,600 CY
FILL:	11,900 CY
NET:	1,300 CY

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

C1
1



LEGEND:

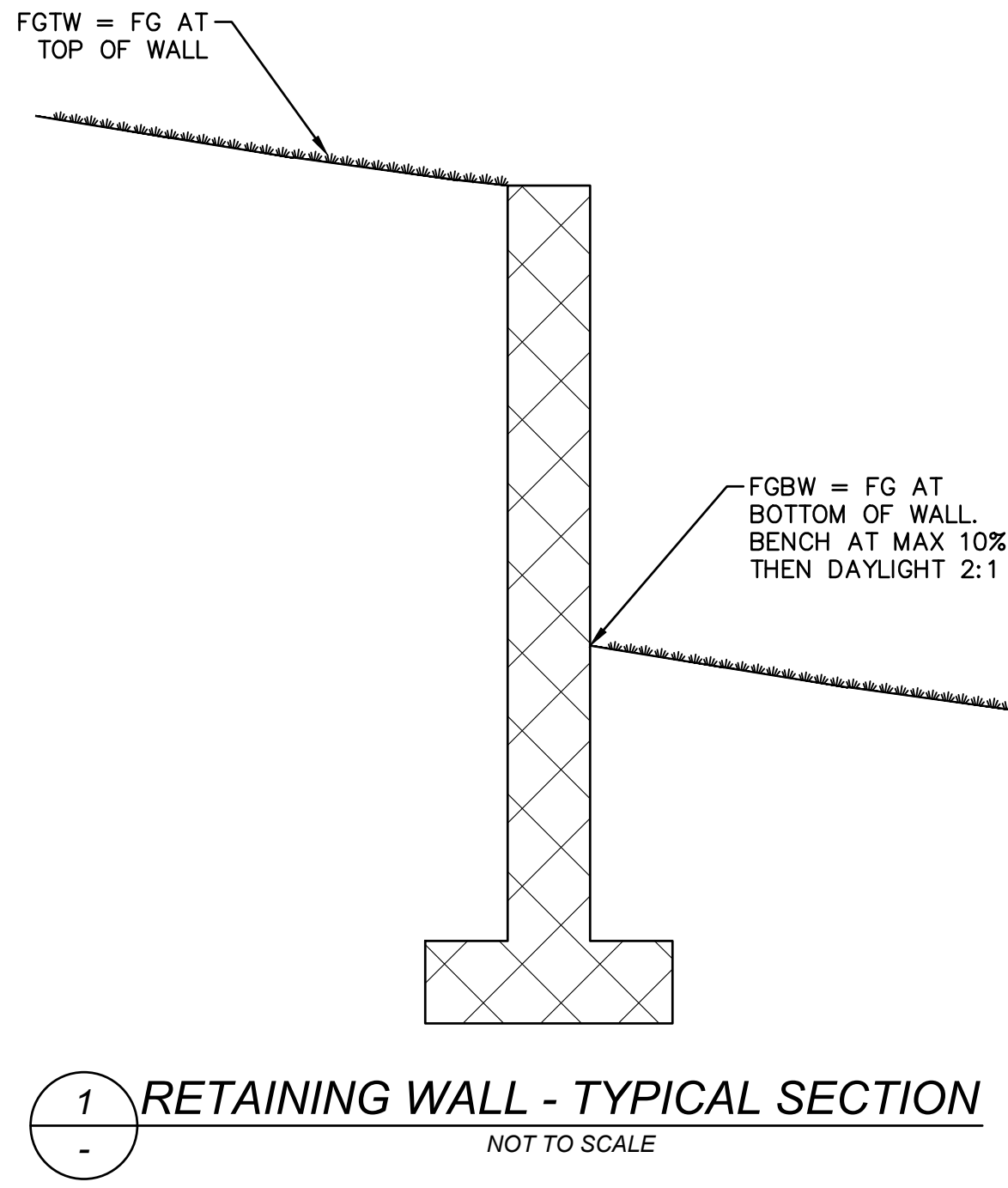
AC DRIVE AISLE		SPOT ELEVATION (ABBREVIATION)	13.34 FG
AC PARKING		MATCH (E) GRADE ELEVATION	13.61 AC MATCH (E)
HEAVY DUTY PCC		INTERMEDIATE CONTOURS	-25
LIGHT DUTY PCC		INDEX CONTOUR	XX"SD
LANDSCAPING SEE PLANS BY OTHERS		STORM DRAIN PIPE	
BIORETENTION PLANTERS		DRAINAGE INLET	
RETAINING WALL		STORM DRAIN MANHOLE	
BLOCK WALL		SURFACE FLOW / DRAINAGE FLOW	
TRUNCATED DOMES		OVERLAND RELEASE	
GRADE BREAK LINE	GB		
FINISHED FLOOR ELEVATION	FF: 123.00		

CONSTRUCTION KEYNOTES:

- 1 CONSTRUCT ON-SITE CONCRETE BARRIER CURB.
- 2 CONSTRUCT ON-SITE CONCRETE CURB & GUTTER.
- 3 CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK.
- 4 CONSTRUCT CONCRETE SIDEWALK.
- 5 CONSTRUCT 3" WIDE REINFORCED CONCRETE VALLEY GUTTER.
- 6 CONSTRUCT 2" CURB OPENING.
- 7 CONSTRUCT ACCESSIBLE RAMP (FLARED, PERPENDICULAR, FLUSH PAN).
- 8 PLACE CAST-IN-PLACE TRUNCATED DOMES
- 9 CONSTRUCT TRASH ENCLOSURE WITH CONCRETE APRON - SEE ARCHITECTURAL DRAWINGS FOR DETAILS. CONCRETE SLAB TO HAVE THICKENED EDGES.
- 10 CONSTRUCT RETAINING WALL. SEE DETAIL 1 ON THIS SHEET.

DRAINAGE KEYNOTES:

- D1 INSTALL 24" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL). STRUCTURE AND GRATE FRAME SHALL WITHSTAND MIN H-20 LOADING IN VEHICULAR AREAS. DOME GRATE TO BE USED IN LANDSCAPE AREAS.
- D2 INSTALL JENSEN PRECAST STORM DRAIN MANHOLE (OR APPROVED EQUIVALENT). INVERT ELEVATIONS (I.E.) SHOWN ON PLAN. PAVEMENT RESTORATION PER LAKE COUNTY STANDARDS.
- D3 CORE DRILL AND CONNECT INTO EXISTING STORM DRAIN INLET/MANHOLE WITH NEW STORM DRAIN LINE. VERIFY ALL INVERT ELEVATIONS PRIOR TO CONNECTION. MORTAR AND FINISH CONCRETE PER LAKE COUNTY SPECIFICATIONS.
- D4 CONSTRUCT BIORETENTION PLANTER. SOIL, LANDSCAPING, AND ROCK WITHIN PLANTER PER LAKE COUNTY CLEAN WATER PROGRAM SPECIFICATIONS.
- D5 INSTALL SPLASH BLOCK / RIP RAP AT ROOF DOWNSPOUT. AEE ARCHITECTURE PLANS FOR DOWNSPOUT LOCATIONS.
- D6 ROOF DOWNSPOUT TO DRAIN TO ON-SITE STORM DRAIN. DOWNSPOUT LOCATIONS PER ARCHITECT.



DIB
architecture
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(916) 316-6759
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CWE RFE
REGISTERED PROFESSIONAL ENGINEER
No. 090888
PRELIMINARY NOT FOR CONSTRUCTION OF CALIF.
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Ph: 916-772-7800 www.cwecorp.com

OWNER
CONTRACTOR
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PLANNING DEPARTMENT SUBMITTAL

CLEARLAKE FAIRFIELD INN

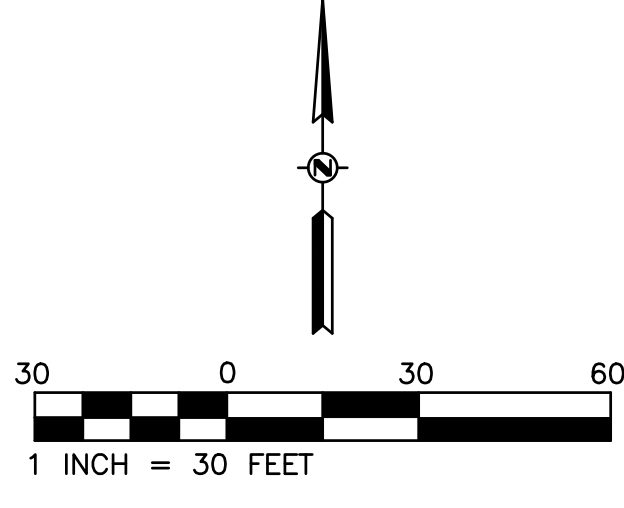
15500 18TH AVENUE, CLEARLAKE CA 95422

08/12/2022 PLANNING DEPARTMENT SUBMITTAL

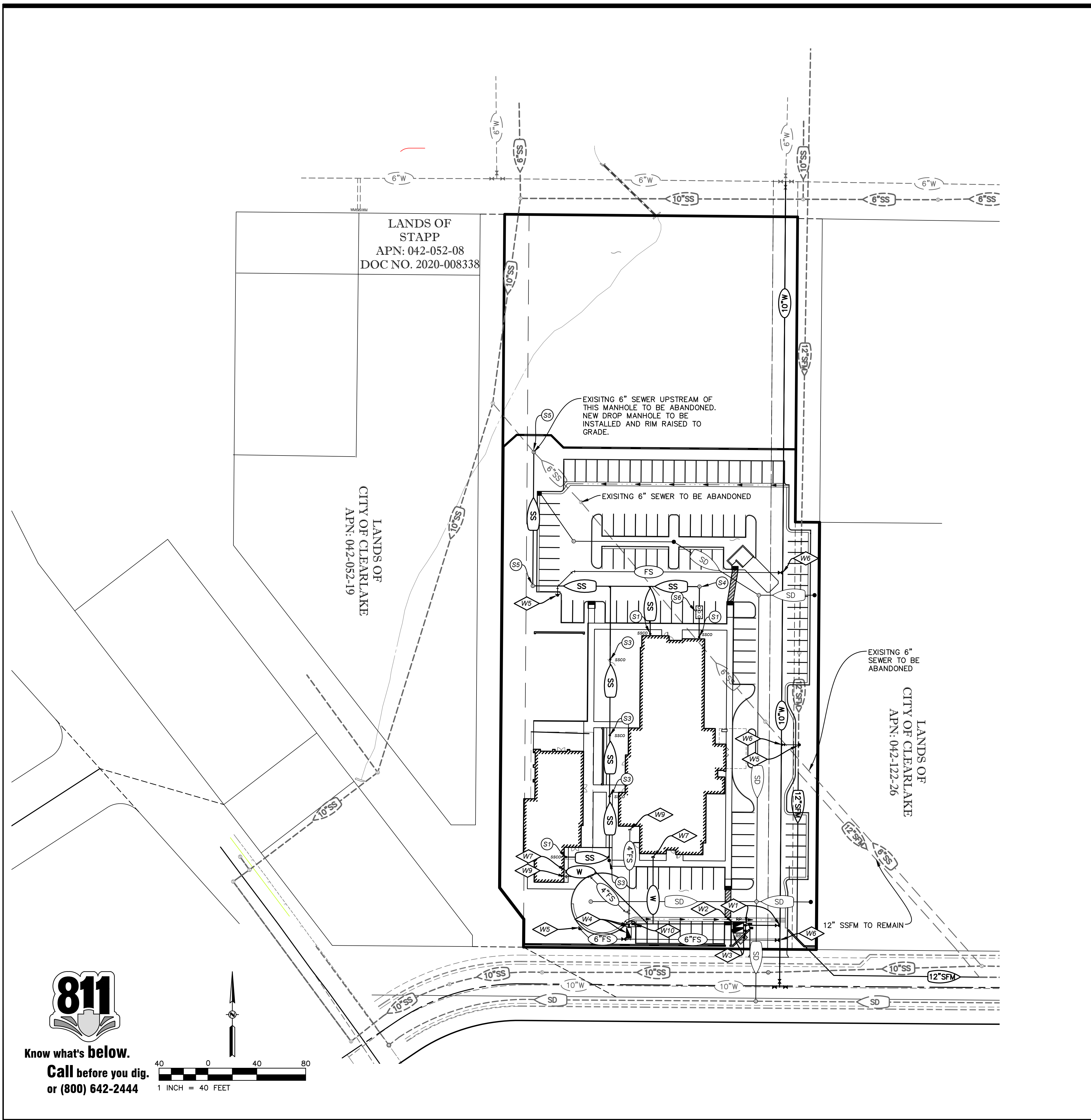
PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN

Project Number
22-048
Drawn By
KSD
Checked By
TSM

811
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C2
2



LEGEND	EXISTING	PROPOSED
SANITARY SEWER	XX"SS	XX"SS
FIRE SERVICE	XX"FS	XX"FS
STORM DRAIN	XX"SD	XX"SD
SSCO	SSCO	SSCO
FIRE HYDRANT	FHC	FHC
WATER VALVE	WV	WV
WATER METER	WM	WM
CONCENTRIC REDUCER	CR	CR
REDUCED PRINCIPAL PRESSURE ASSEMBLY	RP	RP
REDUCED PRESSURE BACKFLOW PREVENTER	RP	RP
STREET LIGHT	SL	SL
FITTINGS	90° TEE 45° 22.5° 11.25°	90° TEE 45° 22.5° 11.25°

SANITARY SEWER CONSTRUCTION KEYNOTES:

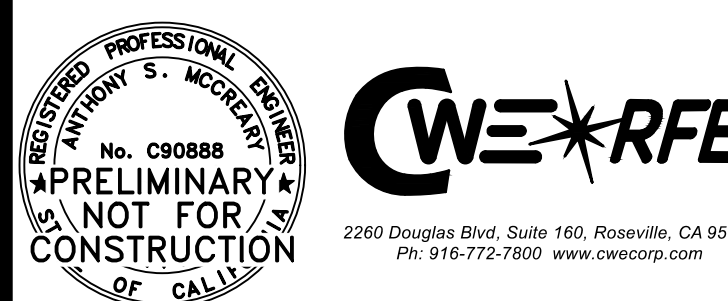
- (S1) SANITARY SEWER POINT OF CONNECTION. PLACE TWO-WAY CLEANOUT PER LAKE COUNTY SPECIAL DISTRICT STANDARD DETAIL 513. CONTRACTOR TO VERIFY WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- (S2) CONNECT (P) 6" SEWER LATERAL TO (E) SEWER MAIN PER PLAN. VERIFY SIZE, LOCATION, AND INVERT OF PROPOSED PIPE CONNECTION PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. MINIMUM SLOPE TO THE BUILDING TO BE 2.0% MIN.
- (S3) PLACE CLEANOUT-TO-GRADE (COTG) PER LAKE COUNTY STANDARDS. INVERT ELEVATIONS (I.E.) SHOWN ON PLAN.
- (S4) PLACE SANITARY SEWER MANHOLE (SSMH) PER LAKE COUNTY STANDARD DETAIL 500. VERIFY SIZE, LOCATION, AND INVERT ELEVATIONS OF PIPE CONNECTION(S) PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. TRENCH RESTORATION PER LAKE COUNTY SPECIAL DISTRICTS STANDARDS AND SPECIFICATIONS.
- (S5) PLACE INSIDE DROP SANITARY SEWER MANHOLE (SSMH) PER LAKE COUNTY STANDARD DETAIL 503. VERIFY SIZE, LOCATION, AND INVERT ELEVATIONS OF PIPE CONNECTION(S) PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. TRENCH RESTORATION PER LAKE COUNTY SPECIAL DISTRICTS STANDARDS AND SPECIFICATIONS.
- (S6) PLACE 1,500 GAL TWO-STAGE GREASE INTERCEPTOR PER LAKE COUNTY STANDARD DETAIL 520. VERIFY SIZE, LOCATION, AND INVERT ELEVATIONS OF PIPE CONNECTION(S) PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. TRENCH RESTORATION PER LAKE COUNTY SPECIAL DISTRICTS STANDARDS AND SPECIFICATIONS.

WATER CONSTRUCTION KEYNOTES:

- (W1) INSTALL 2" DOMESTIC WATER SERVICE WITH 2" WATER METER PER LAKE COUNTY STANDARD DETAIL 865 AND IN ACCORDANCE WITH LAKE COUNTY STANDARDS.
- (W2) INSTALL 2" REDUCED PRESSURE BACKFLOW PREVENTER PER CITY/COUNTY STANDARD DETAIL 876 AND IN ACCORDANCE WITH LAKE COUNTY STANDARDS.
- (W3) ON CUSTOMER SIDE OF METER, TEE OFF AND INSTALL 1" IRRIGATION SERVICE WITH SUBMETER AND REDUCED PRESSURE BACKFLOW PREVENTER PER LAKE COUNTY STANDARD DETAILS 863 AND IN ACCORDANCE WITH LAKE COUNTY STANDARDS.
- (W4) INSTALL 6" FIRE PROTECTION SERVICE WITH DOUBLE CHECK DETECTOR (DCDA) ASSEMBLY AND PIV, AND FDC PER LAKE COUNTY STANDARD DETAILS 879, 880, AND 888. 6" FIRE PROTECTION SERVICE LINE WILL TEE INTO TWO 4" POC LINES.
- (W5) INSTALL COMMERCIAL FIRE HYDRANT ASSEMBLY PER LAKE COUNTY DETAIL 857.
- (W6) CUT IN AND PLACE 10" x 10" x 6" TEE WITH 10" x 6" REDUCER. PLACE 6" GATE VALVE PER LAKE COUNTY STANDARDS.
- (W7) POC FOR DOMESTIC WATER SERVICE - SEE PLUMBING PLANS FOR CONTINUATION.
- (W8) POC FOR IRRIGATION SERVICE - SEE LANDSCAPING PLANS FOR CONTINUATION.
- (W9) POC FOR FIRE SERVICE CONNECTION - SEE FIRE SPRINKLER PLANS BY OTHERS FOR CONTINUATION.
- (W10) INSTALL FULL SIZE BLOW OFF VALVE ASSEMBLY PER LAKE COUNTY DETAIL 862.



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 josh@dvbarchitecture.com

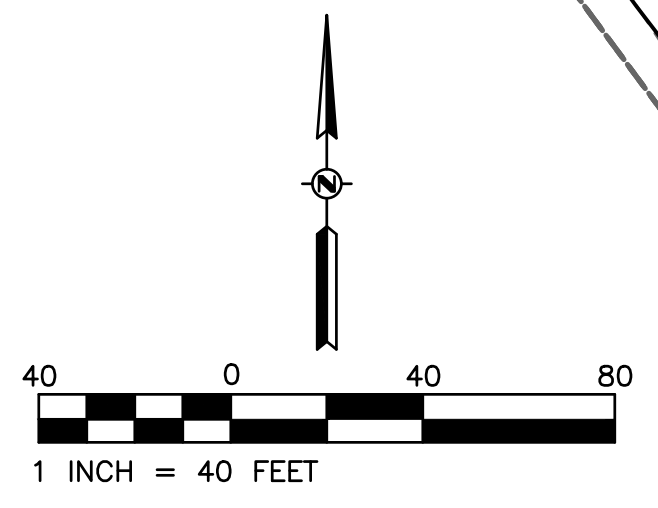


OWNER: _____
 CONTRACTOR: _____
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PLANNING DEPARTMENT SUBMITTAL
CLEARLAKE FAIRFIELD INN
 15500 18TH AVENUE, CLEARLAKE CA 95422



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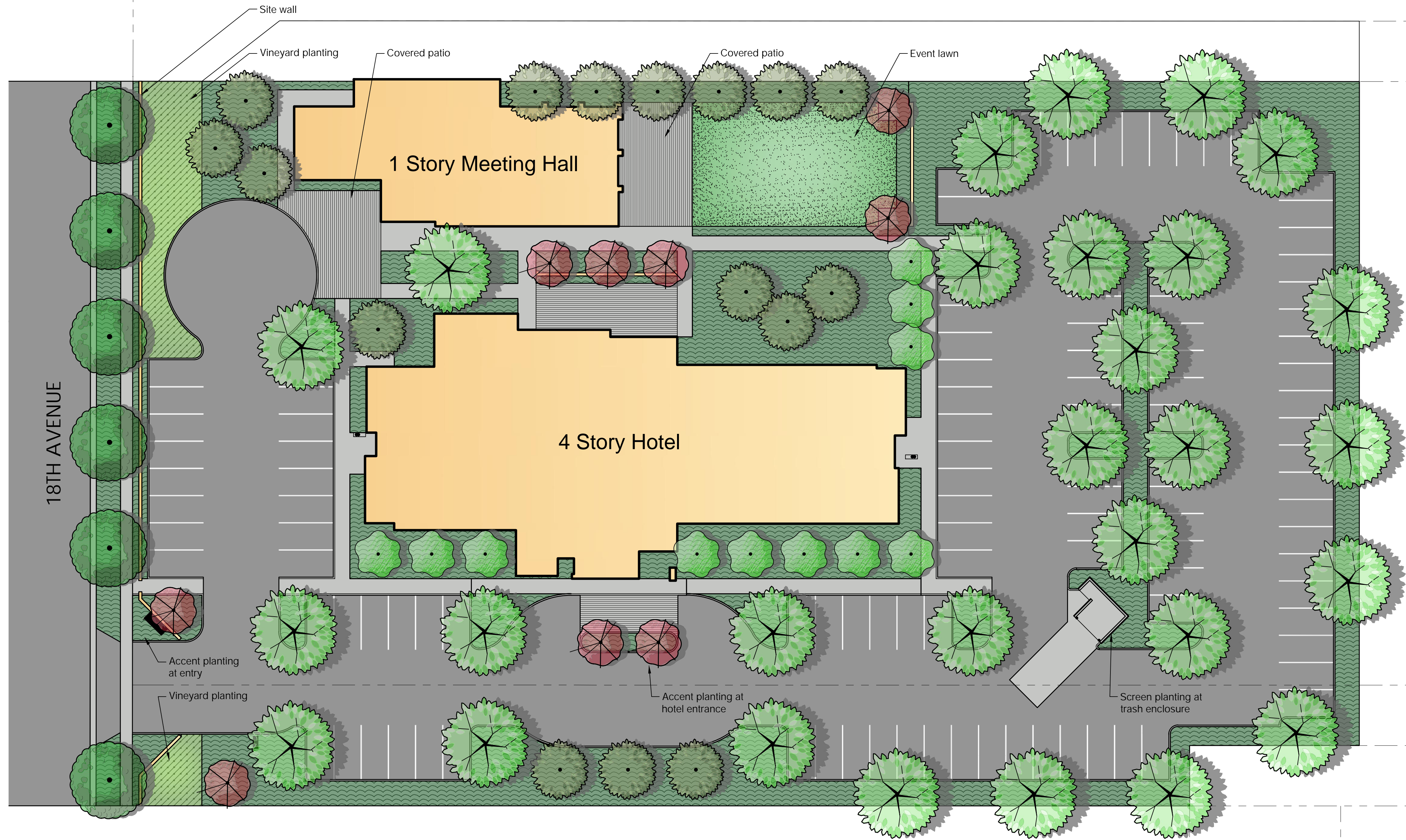
08/12/2022 PLANNING DEPARTMENT SUBMITTAL

WATER & SANITARY SEWER PLAN

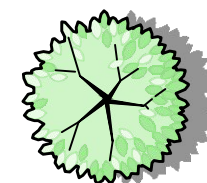
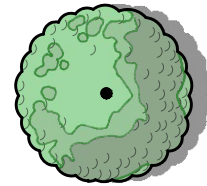
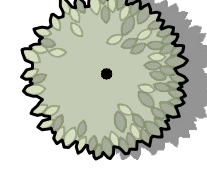
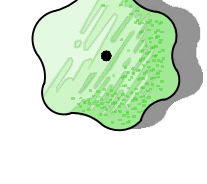
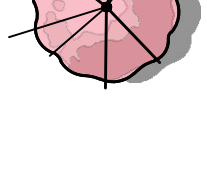


Project Number: 22-048
 Drawn By: KSD
 Checked By: TSM

C3

3



Preliminary Plant Legend

- 
SHADE TREE
 Acer rubrum 'October Glory' / October Glory Red Maple
 Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree
 Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache
 Platanus x acerifolia 'Columbia' / Columbia London Plane Tree
 Quercus agrifolia / Coast Live Oak
 Ulmus parvifolia 'Drake' / Drake Lacebark Elm
- 
STREET TREE
 Acer rubrum 'October Glory' / October Glory Red Maple
 Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree
 Nyssa sylvatica / Tupelo
 Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache
 Quercus agrifolia / Coast Live Oak
- 
MEDIUM TREE
 Aesculus californica / California Buckeye
 Koeleruteria paniculata / Golden Rain Tree
 Laurus x 'Saratoga' / Saratoga Hybrid Laurel
 Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia
 Rhus lancea / African Sumac
- 
SMALL TREE
 Acer rubrum 'Bowhall' / Bowhall Red Maple
 Betula nigra / River Birch
 Malus x 'Prairifire' / Prairifire Crabapple
 Prunus cerasifera 'Purple Pony' / Purple Pony Purple-leaf Plum
- 
ACCENT TREE
 Acer palmatum / Multi-trunk Japanese Maple
 Cercis canadensis texensis 'Oklahoma' / Oklahoma Texas Redbud
 Cercis occidentalis / Western Redbud
 Cornus nuttallii / Pacific Dogwood
 Magnolia stellata 'Royal Star' / Royal Star Magnolia
- 
NEW SHRUBS & GROUNDCOVER
 Arbutus unedo 'Compacta' / Dwarf Strawberry Tree
 Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita
 Arctostaphylos uva-ursi / Kinnikinnick
 Baccharis pilularis 'Pigeon Point' / Pigeon Point Coyote Brush
 Camellia sasanqua / Sasanqua Camellia
 Ceanothus x 'Julia Phelps' / Julia Phelps Wild Lilac
 Cistus x purpureus / Orchid Rockrose
 Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster
 Frangula californica 'Eve Case' / Eve Case Coffeeberry
 Heteromeles arbutifolia / Toyon
 Heuchera sanguinea / Coral Bells
 Hypericum calycinum / Creeping St. John's Wort
 Juniperus procumbens 'Nana' / Dwarf Japanese Garden Juniper
 Lavandula angustifolia 'Hidcote' / Hidcote English Lavender
 Mahonia repens / Creeping Mahonia
 Parthenocissus tricuspidata / Boston Ivy
 Prunus caroliniana 'Compacta' / Compact Carolina Laurel Cherry
 Rhampholepis umbellata 'Minor' / Yedda Hawthorn
 Ribes speciosum / Fuchsia Flowering Gooseberry
 Wisteria sinensis / Chinese Wisteria
 Woodwardia fimbriata / Giant Chain Fern
- 
VINEYARD
- 
TURF



Revisions:

Linda Fish
 Landscape Architect
 linda@fishlandscape.com
 (209) 656-7177
 PLA #4346

Preliminary Landscape Plan

Clearlake Fairfield Inn
 15500 18th Ave.
 Clearlake, CA 95422

Scale: 1"=20'-0"
 Date: 7-29-22
 Drawn: LF
 Sheet Number:



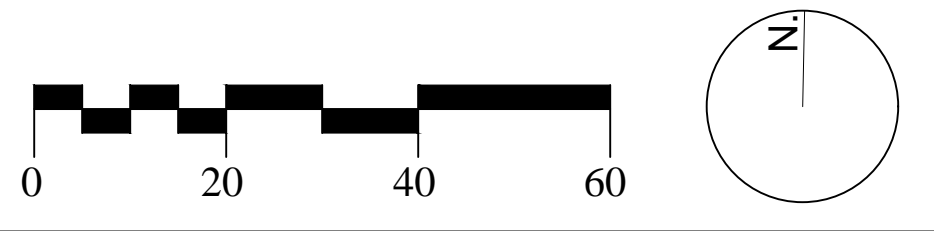
Landscape Concept Statement

The hotel and meeting hall landscapes will provide an attractive destination for visitors and guests. Plants have been chosen to complement the surrounding native landscape, with primarily low water use plants. One high water use lawn area will be included for events and gatherings.

Accent planting will be used at the driveway entrance on 18th Avenue as well as building entrances. The parking lot will be well shaded with canopy trees at frequent intervals.

Irrigation Design Statement

The irrigation for this project will be designed thoughtfully, using equipment that will target root zones and avoid wasted water. All shrubs and non-turf groundcover will use drip irrigation and trees will be irrigated with deep root bubblers. The event turf area, which will be the only high water use area within the project, will be irrigated with low flow rotary nozzles, which will ensure even watering without misting or overspray. The system will use a smart controller with a weather sensor to ensure that irrigation will not occur when it is not needed.



Fairfield[®]

BY MARRIOTT

79-ROOM PROTOTYPE BROCHURE





Ground Floor



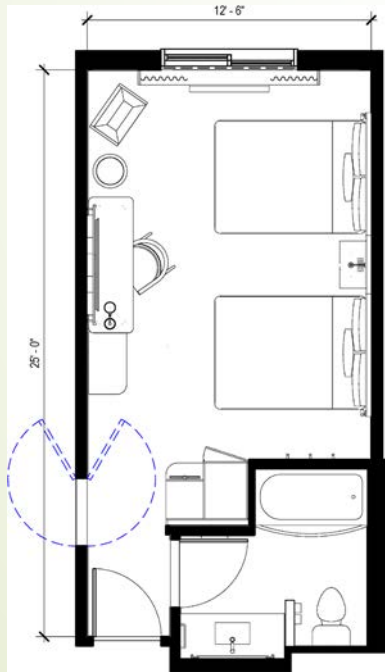
Typical Floor



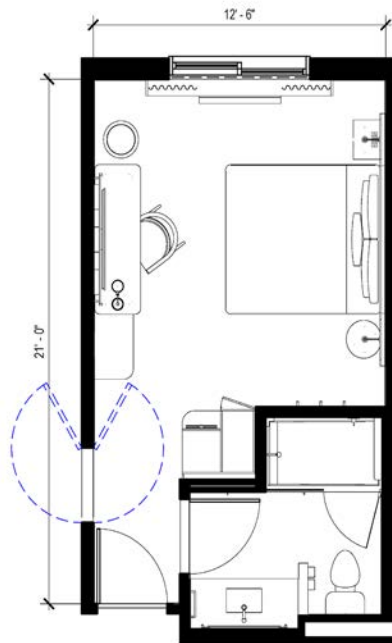
TYPICAL UNIT MIX

Queen/Queen	51%
King	39%
King Suites	10%

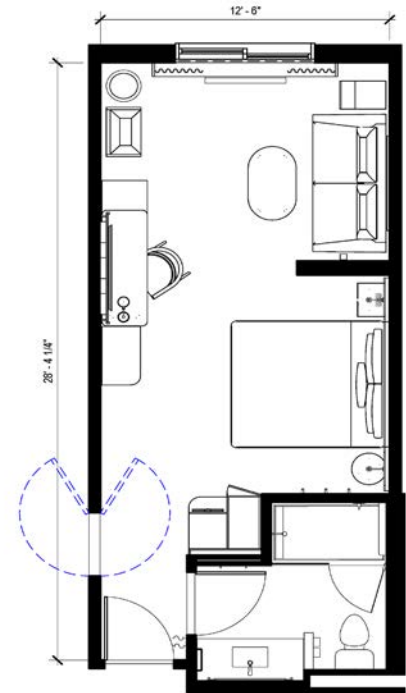
Unit mix is based on a 79-room tertiary market proto-model.



Queen / Queen



King



King Suite

Area Program

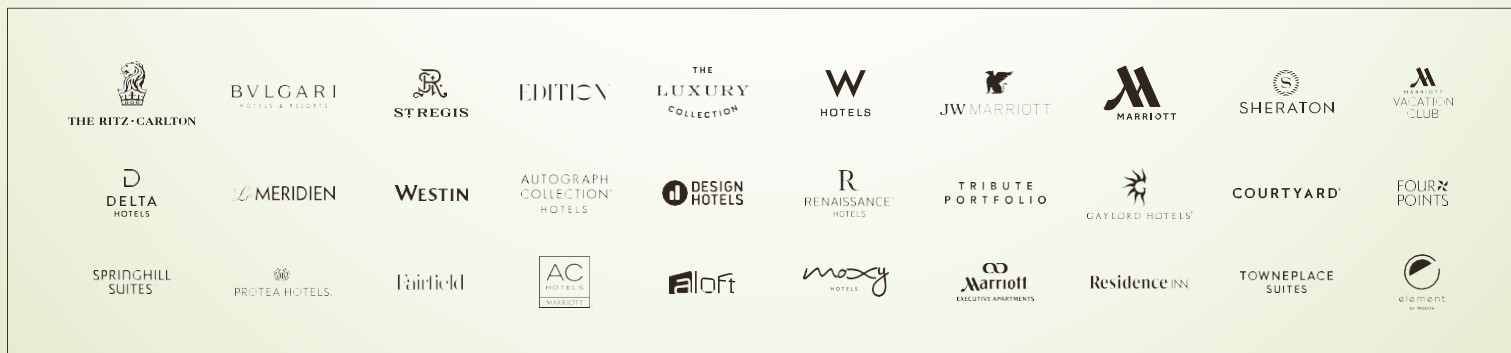
GUEST SPACES					BACK-OF-HOUSE	
	QUANTITY	PERCENTAGE	UNIT AREA	TOTAL NET (SF)		TOTAL NET (SF)
Lobby Areas					Administration	
Entrance Vestibule					Work Room	
Reception					Office	
Living Room					Employee Areas	
Breakfast Area & Farm Table					Break Room	
Quick Print					Engineering & Maintenance	
Public Circulation					Engineer Maintenance Office	
Public Restrooms					Food & Beverage Back-of-House	
Lobby Area Totals				2,760	Food Preparation	
Food & Beverage Front-of-House					Laundry	
Breakfast Buffet & Coffee Bar				431	Laundry Room	
Recreation Facilities					Housekeeping	
Fitness Center				800	Linen and Linen Chute Rooms	
Swimming Pool (Optional - Not Included)					Storage	
Recreation Facilities Total				800	Elevators	
Retail					Elevators	
Corner Market				69	Elevator Equipment Room	
Meeting Spaces					Property Technology	
Meeting Room (Optional - Not Included)					Computer/Telecom	
Guestrooms					MATV Room	
Standard King	28	39%	275	7,700	Mechanical, Plumbing & Electrical	
Accessible King*	3		325	975	Mechanical	
Standard Queen/Queen	38	51%	325	12,350	Electrical	
Accessible Queen/Queen*	2		367	734	Water Room	
King Suite	7	10%	367	2,569	Back-of-House Circulation	
Accessible King Suite*	1		475	475	TOTAL BACK-OF-HOUSE	
Guestrooms Total	79			24,803	3,656	
Guestroom Corridors & Support					SUMMARY	
Corridors / Elevator Lobby					QUANTITY TOTAL (SF)	
Stairs					Total Number of Guestroom Room Floors	4
Guest Laundry					Total Number of Floors	4
Ice Machine					Guest Spaces	34,449
Guestroom Corridors & Support Total				5,586	Back-of-House	3,656
TOTAL GUEST SPACES				34,449	Total Net Building Area	38,105
					Walls and Shafts (Estimated)	4,780
					Total Gross Building Area	42,885
					Total Square Feet per Room	543

The information released by Marriott® International in this communication with respect to the Fairfield Inn & Suites by Marriott project is provided to the owner and franchise community merely as a guide and all information and supporting documentation serves solely as guidelines and is not, and should not be considered final. All plans regarding this project are routinely updated and remain subject to revision and clarification. Comply with all governing regulations for size, percentage and quantity of accessible guestrooms. October 2020



FAIRFIELD BY MARRIOTT

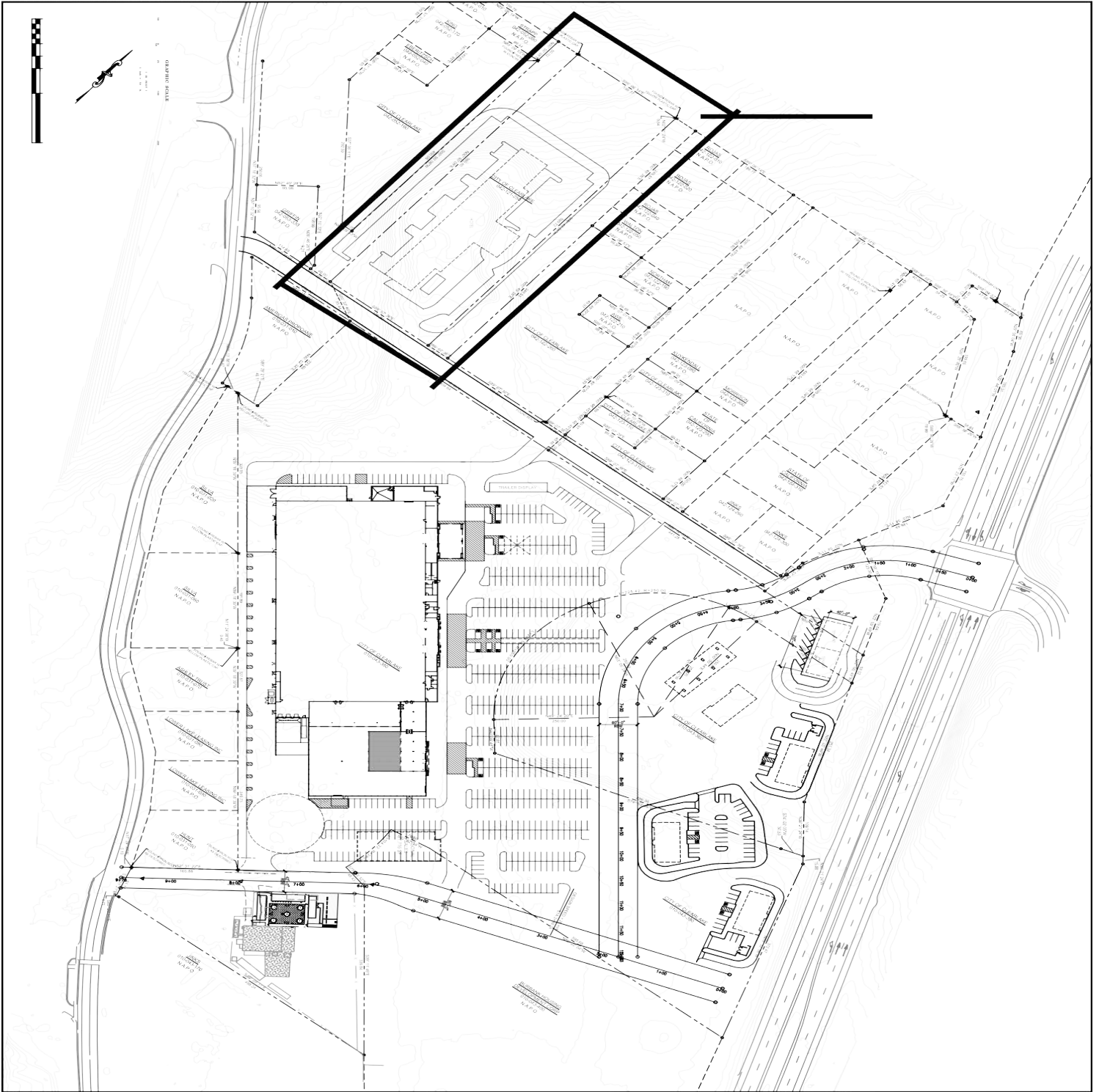
Fairfield warmly welcomes guests with friendly service and comfortable, uplifting spaces - offering them the flexibility to work, rest and maintain their balance while on the road. Hotels feature guest rooms that are designed for rest and productivity, offer complimentary hot breakfast and 24x7 food in the Market, and great fitness facilities. With a heritage from the Marriott family farm, Fairfield delivers the quality and reliability you expect - backed by the Fairfield Guarantee.





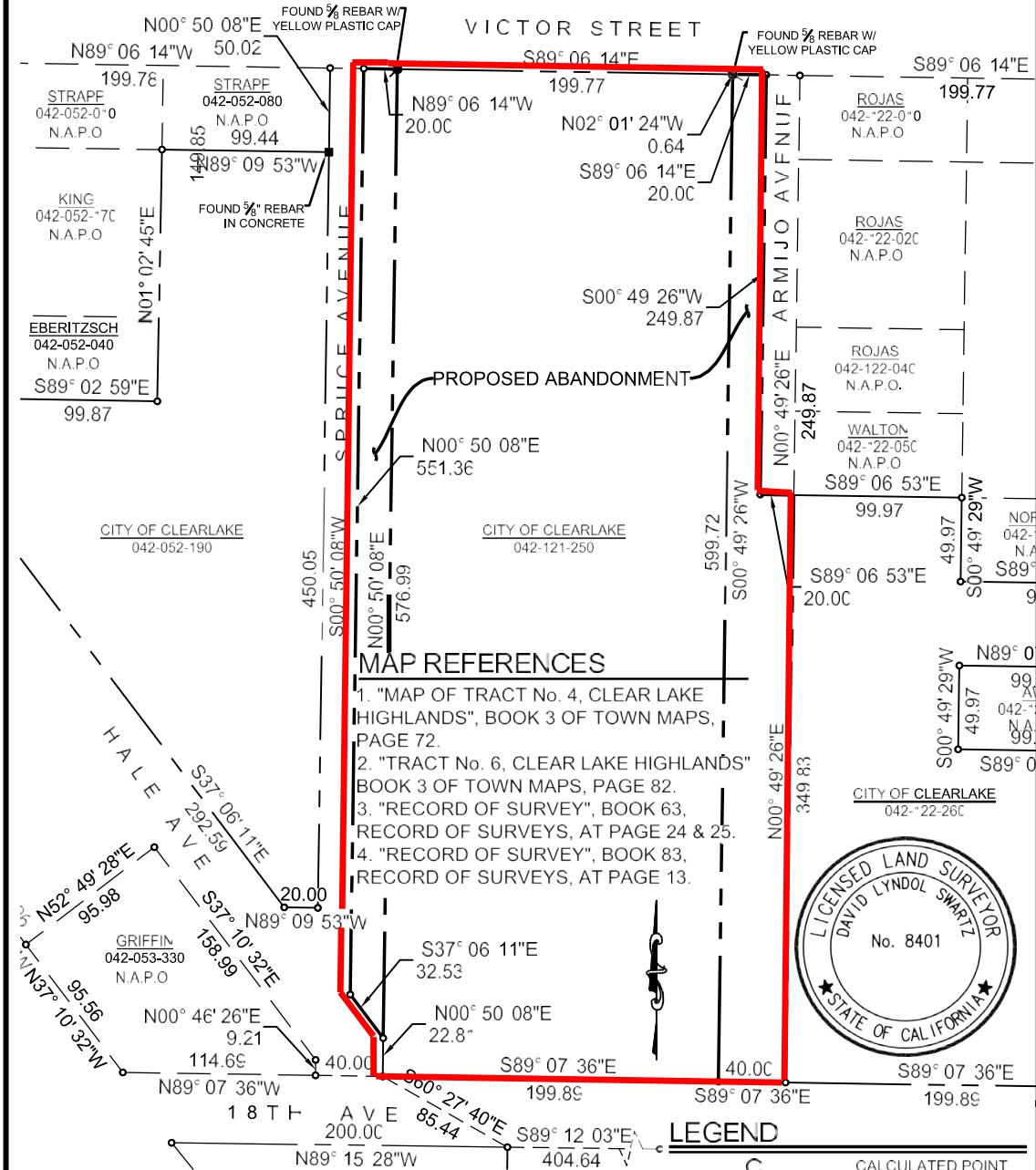
Site Plan



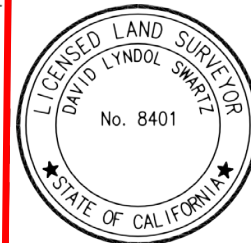


PROJECT NUMBER	20-713	CITY OF CLARK	 CALIFORNIA ENGINEERING CIVIL ENGINEERING LAND SURVEYING GEODETIC PROFESSION CONSTRUCTION ADMINISTRATION www.californiaeng.com	DATE	01/20/2021	DESCRIPTION	
SHEET OF	1 1	MASTER SITE PLAN		DRAWN BY: [redacted] DESIGNED BY: [redacted] CHECKED BY: [redacted]	DATE	01/20/2021	DESCRIPTION
AIRPORT DEVELOPMENT							

EXHIBIT



CALIFORNIA ENGINEERING COMPANY INC.
 CIVIL ENGINEERING
 LAND SURVEYING
 FUNDING PROCUREMENT
 CONSTRUCTION ADMINISTRATION
 www.cecusia.net





Business Location



