

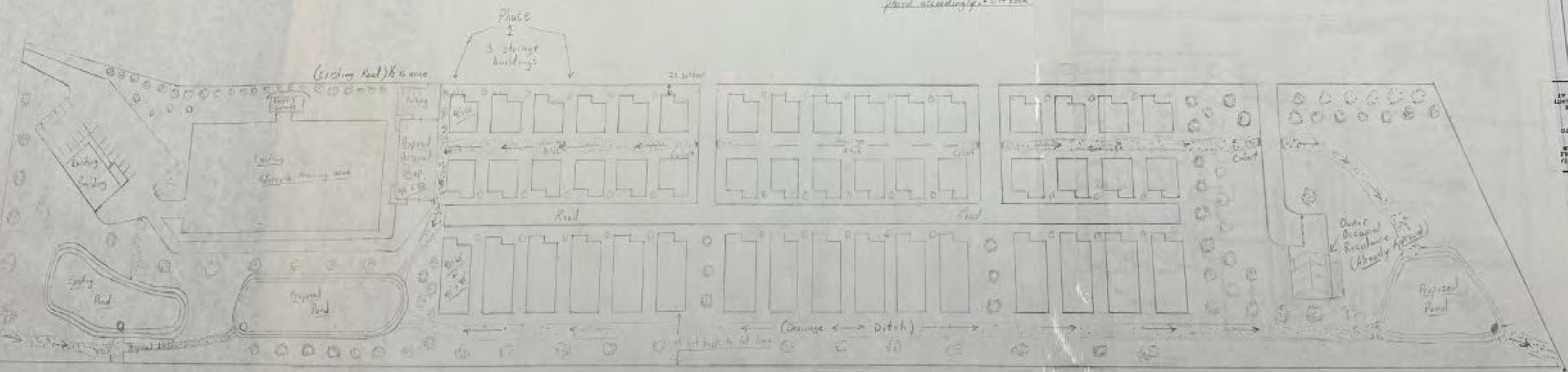
# Proposed Storage Condos / Cousins Safety

7568 Shick Top Way  
Nashua, NH 03056

Jeff Hunt (603) 878-9610

→ Driveway Direction

Existing Rental Business will be  
placed accordingly. \* 2.14.2008



PLAN  
BY DATE OF  
LAYOUT AND  
THE PLAN  
NASHUA  
NH 03056  
AND DATE  
FROM DATE  
1/18/2008

# STORAGE BUILDING MULTI-UNIT DEVELOPMENT BLACK TOP WAY NEENAH, WISCONSIN

Contact:

Jeff Hauts (920) 370-7640

## OUTLINE SPECIFICATION

### GENERAL CONDITIONS

THIS PLAN AND SPECIFICATION ARE INTENDED TO GIVE A DESCRIPTION OF THE WORK. HOWEVER, THE ALL CONTRACTORS SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND ACCESS TO THE WORK AREA. THERE SHALL BE NO DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR IS TO CLARIFY ANY DISCREPANCIES WITH THE OWNER PRIOR TO BEGINNING WORK.

THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIAL (INCLUDING TAXES) AND EQUIPMENT AS NECESSARY TO COMPLETE THE WORK. THE BUILDING PERMIT SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR. ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE REQUIREMENTS ANSI A117.1-2009 ARE HEREBY MADE A PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH RELATIVE TO WORK UNDER THIS CONTRACT.

THE CONTRACTOR AND/OR OWNER SHALL PROVIDE MARKED ACCESSIBLE PARKING STALLS NO LESS THAN 8' WIDE (FOR CAR) AND 11' WIDE (FOR VAN) X 20' LONG WITH 6' WIDE MINIMUM ACCESS AISLES ON BOTH SIDES. SPACES SHALL BE MARKED WITH PAVEMENT MARKINGS AND A SIGN COMPLYING WITH ANSI A117.1-2009 SECTION 703.6.3.1. ACCESSIBLE ROUTE FROM THE MARKED STALL TO THE PRIMARY BUILDING ENTRANCE SHALL BE OF THE SHORTEST PRACTICAL ROUTE AND HAVE A SLOPE NO GREATER THAN 1:48. PROVIDE ACCESSIBLE STALLS AT A RATIO OF ONE STALL PER 25 STALLS. SEE IBC2015 CHAPTER 11 AND ANSI A117.1-2009 FOR COMPLETE INFORMATION.

CONTACT "DIGGER'S HOTLINE" PRIOR TO ANY EXCAVATION WORK.

REFERENCE TO MATERIALS OR SYSTEMS HEREIN BY NAME MAKE OR CATALOG NUMBER IS INTENDED TO ESTABLISH A STANDARD OF QUALITY AND STYLE, AND NOT TO LIMIT COMPETITION AND THE WORDS "OR APPROVED EQUIVALENT" ARE IMPLIED FOLLOWING EACH BRAND NAME, "OR APPROVED EQUIVALENT" MATERIALS SHALL BE APPROVED BY THE OWNER/DESIGNER PRIOR TO ACCEPTANCE FOR USE.

SHOP DRAWINGS FOR ALL STRUCTURAL ITEMS SHALL BE SUBMITTED TO THE DESIGNER FOR APPROVAL. SHOP DRAWINGS AND SAMPLES FOR FINISHES AND NON-STRUCTURAL ITEMS ARE TO BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMITTING FOR APPROVAL.

### DESIGN LIVE LOADS:

GROUND SNOW LOAD	35 PSF
WIND LOAD	115 MPH
MAIN FLOOR LIVE LOAD	250 PSF

### SITE WORK / EXCAVATION

WORK TO PREPARE THE AREA FOR NEW FOUNDATIONS, CONCRETE APRONS AND FLOORS. NO TOPSOIL IS TO BE LEFT UNDER PAVED AREAS, BUILDING AREAS, OR FUTURE BUILDING AREAS. TOPSOIL IS THE PROPERTY OF THE OWNER; THE DISPOSAL OF SURPLUS IS TO BE DETERMINED BY THE OWNER. ANY OTHER UNSUITABLE MATERIAL WILL BE TRUCKED OFF THE SITE TO A SUITABLE DISPOSAL AREA.

PROVIDE EXCAVATION AND TRENCHING AS REQUIRED FOR FOUNDATION WORK AS SHOWN ON THE PLANS. ANY REQUIRED CUTS OR SUBSOIL EXCAVATION WILL BE ACCOMPLISHED TO MAINTAIN FINISH ELEVATIONS SHOWN. IMPORTED FILL TO BE PLACED IN 6" LIFTS COMPACTED TO 95% PROCTOR. PROVIDE LAST LIFT OF GRANULAR MATERIAL FOR THE INTERIOR FLOOR.

FOUNDATION TRENCH OR PIPING TRENCH BACKFILL INSIDE OF BUILDING OR UNDER DRIVE AND WALK AREAS IS TO BE GRANULAR MATERIAL. INCLUDE ALL ROUGH GRADING OF SITE. ADJACENT PUBLIC ROAD SURFACES ARE TO BE KEPT FREE FROM TRACKED MUD AND DIRT.

### CONCRETE

DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

- 1) STRENGTH TO BE MINIMUM 3,500 PSI AT 28 DAYS FOR FOOTINGS AND WALLS.
- 2) STRENGTH TO BE MINIMUM 3,500 PSI AT 28 DAYS FOR SLABS ON GRADE.
- 3) STRENGTH TO BE MINIMUM 4,000 PSI AT 28 DAYS FOR COLUMNS, BEAMS AND STRUCTURAL SLABS.
- 4) SLUMP SHALL NOT EXCEED 4 INCHES.
- 5) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF THE DESIGNER.
- 6) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2"
- 7) MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4"

ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1 1/2" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #1 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEER RUST WHEN PLACED IN THE WORK. IF USED, ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENT OF ASTM A185, AND SHALL BE PLACED IN CENTER OF SLAB UNLESS INDICATED OTHERWISE.

### LUMBER

ROUGH LUMBER SHALL BE GRADED AND STAMPED WITH STRUCTURAL DESIGN VALUES. ALL OTHER LUMBER SPF CONSTRUCTION #2 OR BETTER. ALL WOOD BASE PLATES IN CONTACT WITH CONCRETE, MASONRY, GROUND OR EXPOSED TO THE WEATHER TO BE P.P.T. LUMBER (NON-ARSENIC).

CONFORM TO FASTENING SCHEDULE 2304.10.1 IN IBC2015

### ENGINEERED WOOD TRUSSES

PROVIDE WOOD TRUSSES DESIGNED BY WISCONSIN LICENSED ENGINEER. INCLUDE STAMPED AND SEALED DRAWINGS LISTING ALL LOADINGS, AND TEMPORARY AND PERMANENT BRACING. PER IBC 2015 2303.4.1.2 THE BRACING OF WOOD TRUSSES SHALL COMPLY TO THEIR APPROPRIATE ENGINEERED DESIGN. PER IBC 2015 2303.4.6, ALSO CONFORM TO IBC SECTIONS 2302.4.1, AND 2303.4.5; VERIFY THAT THE DESIGN, MANUFACTURE AND QUALITY ASSURANCE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL BE IN ACCORDANCE WITH TPI-1.

### SIDING

PROVIDE PRE-FINISHED RIBBED METAL PANEL AS SPECIFIED IN CONTRACT WITH OWNER; AS SUPPLIED BY 'FABRALL', 'McELROY', 'CENTRAL STATES', OR EQUAL. PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES.

### ROOFING

PROVIDE PRE-FINISHED RIBBED METAL PANEL AS SPECIFIED IN CONTRACT WITH OWNER; AS SUPPLIED BY 'FABRALL', 'McELROY', 'CENTRAL STATES', OR EQUAL. PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES. APPLY COMPATIBLE FLASHING AT CURBS, VENTS, PIPES, AND DRAINS, ETC., AS PER MANUFACTURER. DO NOT USE ASPHALTIC COMPOUNDS.

### SEALANTS

CAULK AROUND ALL DOORS, VENT OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, AROUND PLUMBING FIXTURES, COUNTERTOPS, DOORFRAMES, ETC. AND AS REQUIRED FOR A WATERTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER.

### DOORS AND FRAMES

FURNISH AND INSTALL ALL DOOR ASSEMBLIES AS INDICATED ON THE PLANS ALONG WITH ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. ALL DOORS SHALL OPERATE SMOOTHLY WITHOUT BINDING, AND BE INSTALLED PLUMB AND TRUE. ALL HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED.

### FINISH HARDWARE

ALL FINISH HARDWARE SHALL BE AS REQUIRED TO MEET REQUIREMENTS OF ANSI A117.1-2009.

PROVIDE HARDWARE AS EQUAL TO:  
SCHLAGE AL SERIES LOCKSETS, SATURN LEVER  
LCN CLOSERS

HAGER HINGES 1279 OR BBI279

HAGER WALL STOP

RESSE THRESHOLD S4LA (NO HIGHER THAN 1/2" WITH BEVELED EDGES AS PER ANSI A117.1-2009 SECTION 303.3)

REESE WEATHERSTRIP

REESE SWEEP

### OVERHEAD DOORS

PROVIDE COMMERCIAL TYPE SECTIONAL OVERHEAD DOOR WITH ALL ATTACHMENTS, FITTINGS AND TRIM. FURNISH AND INSTALL COMMERCIAL TYPE OPERATOR WITH PUSH BUTTON CONTROL.

### FLOOR FINISHES

EXPOSED CONCRETE FLOOR OR AS SELECTED BY OWNER.

### HALL FINISHES

RIBBED METAL LINER PANEL, 29 GA, WITH ALL APPROPRIATE TRIMS. SCREW FASTEN AS PER MANUFACTURER'S INSTRUCTIONS. 3/4" OSB IN 4'X8' SHEETS. 1/2" GYPSUM BOARD INSIDE TOILET ROOM; COAT WITH SHERWIN-WILLIAMS PRO-INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY PAINT AS AN ALTERNATIVE TO HARD SURFACE MATERIALS OTHERWISE REQUIRED WITHIN 24" OF TOILETS OR URINALS; INSTALL 4" VINYL BASE.

### PAINTING

MOST FINISH MATERIALS ARE FACTORY FINISHED; TOUCH-UP AS NECESSARY. PRIME AND PAINT DOORS IF NOT FACTORY PRE-FINISHED.

### FIRE EXTINGUISHERS

FURNISH AND INSTALL FIRE EXTINGUISHERS PER N.F.P.A. MOUNT FIRE EXTINGUISHER NO HIGHER THAN 48" ABOVE FINISH FLOORS UNLESS LOCAL REGULATIONS REQUIRE DIFFERENT HEIGHT. ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF ANSI A117.1-2009.

### PLUMBING WORK

ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED MASTER PLUMBER IN ACCORDANCE WITH STATE AND LOCAL CODES. PLUMBING PLANS ARE NOT A PART OF THIS PLAN SET.

### HEATING AND VENTILATION WORK

ALL HVAC WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED FOR REVIEW. HVAC PLANS ARE NOT A PART OF THIS PLAN SET.

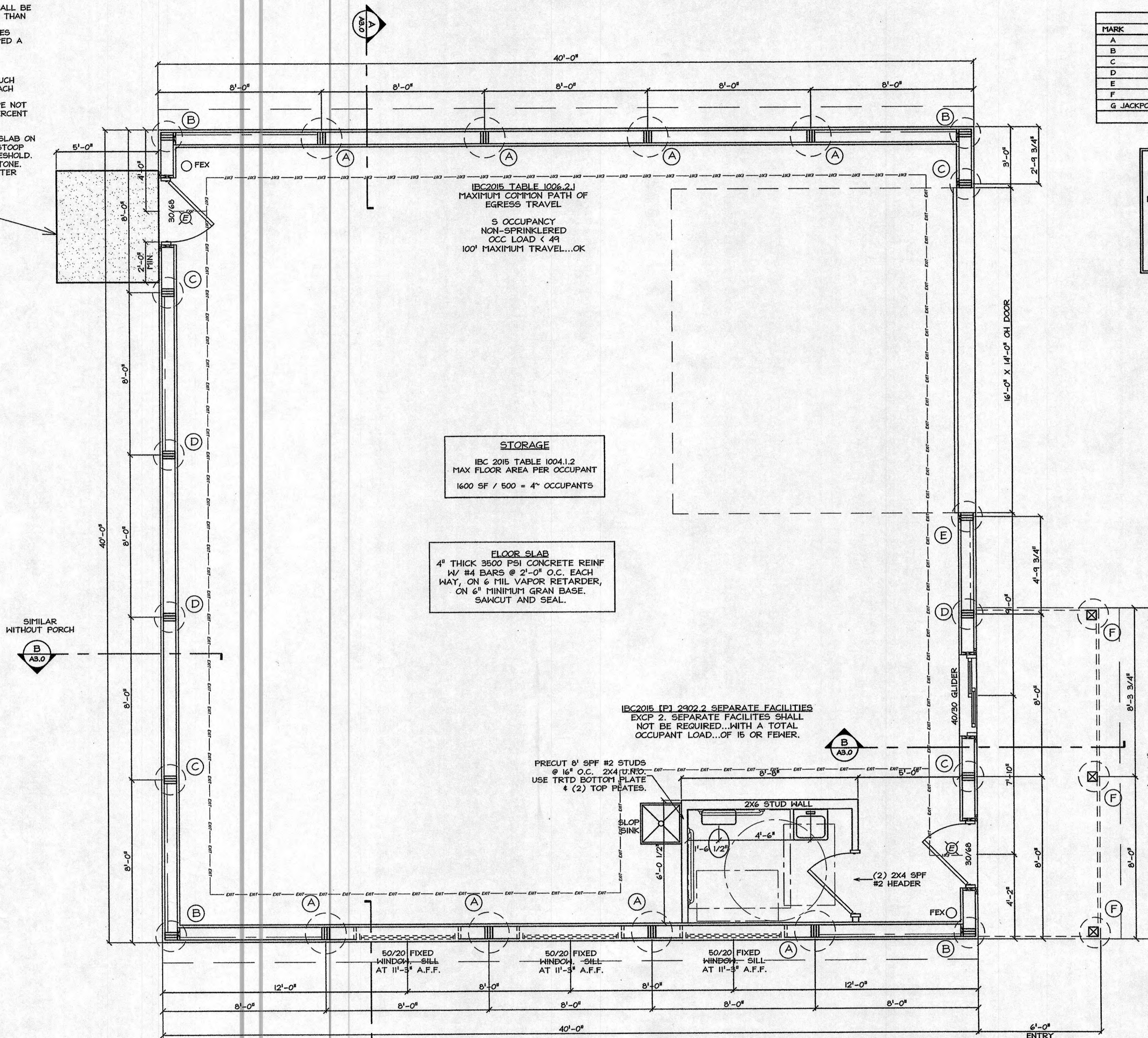
### ELECTRICAL WORK

EXIT DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. PROVIDE TYPE WITH 90 MINUTE CONTINUED ILLUMINATION IN EVENT OF LINE POWER LOSS. CONFORM TO IBC1015 1006.4 - PROVIDE ONE (1) STAMPED, SIGNED AND SEALED PHOTOMETRIC CALCULATIONS FOR THE JOBSITE THAT DEMONSTRATE THAT THE PROPOSED EMERGENCY LIGHTING WILL PROVIDE AN INITIAL ILLUMINATION OF AT LEAST AN AVERAGE OF 1.0 FOOT-CANDLE, AND MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE. PHOTOMETRIC CALCULATIONS SHALL BE PROVIDED THAT DEMONSTRATE THE MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40:1 IS NOT EXCEEDED. THE ELECTRICAL WORK IS NOT A PART OF THIS PLAN SET.

IBC2015 1604.4  
 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

IBC2015 1010.5  
 PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDING SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED .25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT SLOPE).

PROVIDE MINIMUM 5'-0" X 5'-6" X 5" THICK EXTERIOR STOOP SLAB ON 2" RIGID INSUL (R-10) EXTENDED 12" BEYOND SLAB. SLOPE STOOP SLAB AWAY FROM BUILDING AT 2%. ALLOW NO STEP AT THRESHOLD. UNDERFILL FOR STOOP TO BE 8" OF FREE-DRAINING CLEAR STONE. GRADE SO AS NOT TO ALLOW ACCUMULATION OF SURFACE WATER UNDER THE STOOP SLAB.



COLUMN & FOOTING SCHEDULE		
MARK	SIZE	FOOTING
A	3-PLY 2X8 SYP #1 X 22'	24" X 10" THICK UNREINF CONC
B	3-PLY 2X8 SYP #1 X 22'	18" X 10" THICK UNREINF CONC
C	3-PLY 2X8 SYP #1 X 25'	18" X 10" THICK UNREINF CONC
D	3-PLY 2X8 SYP #1 X 27'	18" X 10" THICK UNREINF CONC
E	3-PLY 2X8 SYP #1 X 28'	18" X 10" THICK UNREINF CONC
F	6X6 SYP #2 X 14'	18" X 10" THICK UNREINF CONC
G JACKPOST	3-PLY 2X8 SYP #1 X 8'	-

**GENERAL NOTES:**  
 IT IS THE CONTRACTOR(S) RESPONSIBILITY TO VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. FAILURE TO DO SO IN THE EVENT OF CONFLICT WITH ANY PART OF THE PLAN SET IS NOT GROUNDS FOR ANY CHARGE FOR EXTRA WORK. DIMENSIONS ARE TO ROUGH FRAMING, UNLESS NOTED OTHERWISE (U.N.O.). INTERIOR FINISH OF WALLS AND CEILING IS 29 GA. RIBBED LINER PANEL, U.N.O. ALL FLOORS ARE EXPOSED SEALED CONCRETE.

BUILDINGS MAY BE CONSTRUCTED AS "RIGHTS" OR "LEFTS" (MIRROR IMAGE) AS THE OWNER'S OPTION.

ANSI A117.1-2003 SEC 309  
 OPERABLE PARTS AND CONTROLS OF DOORS SHALL BE OPERABLE WITH THE USE OF ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THESE PARTS OR CONTROLS SHALL BE OPERABLE WITH NO MORE THAN 5 POUNDS REQUIRED TO ACTIVATE THEM. CLEAR FLOOR SPACE AND REACH RANGES SHALL COMPLY WITH SECTION 306 AND 308.

FEX PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH IBC2015 SECTION 906 AND NFPA 10

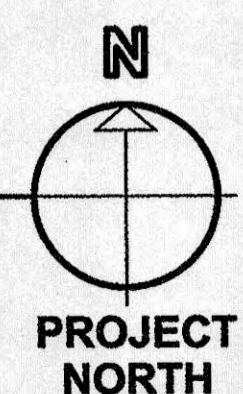
**STORAGE**  
 IBC 2015 TABLE 1004.1.2  
 MAX FLOOR AREA PER OCCUPANT  
 1600 SF / 500 = 4" OCCUPANTS

**FLOOR SLAB**  
 4" THICK 3600 PSI CONCRETE REINF  
 W/ #4 BARS @ 2'-0" O.C. EACH WAY, ON 6" MIL VAPOR RETARDER, ON 6" MINIMUM GRAN BASE. SAWCUT AND SEAL.

IBC2015 (P) 2902.2 SEPARATE FACILITIES  
 EXCP 2. SEPARATE FACILITIES SHALL NOT BE REQUIRED...WITH A TOTAL OCCUPANT LOAD...OF 15 OR FEWER.

PRE CUT 8' SPF #2 STUDS @ 16" O.C. 2X4 U.N.O. USE TRTD BOTTOM PLATE & (2) TOP PLATES.

**FLOOR PLAN**  
 SCALE 3/8" = 1'-0"



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**OWNER**  
 JJJ2, LLC  
 1411 W WISCONSIN AVE  
 APPLETON, WI 54914

**PROJECT**  
 HEATED STORAGE BUILDING  
 MULTI-UNIT DEVELOPMENT  
 BLACKTOP WAY  
 NEENAH, WI 54956

**DATE**  
 OCT 26, 2018

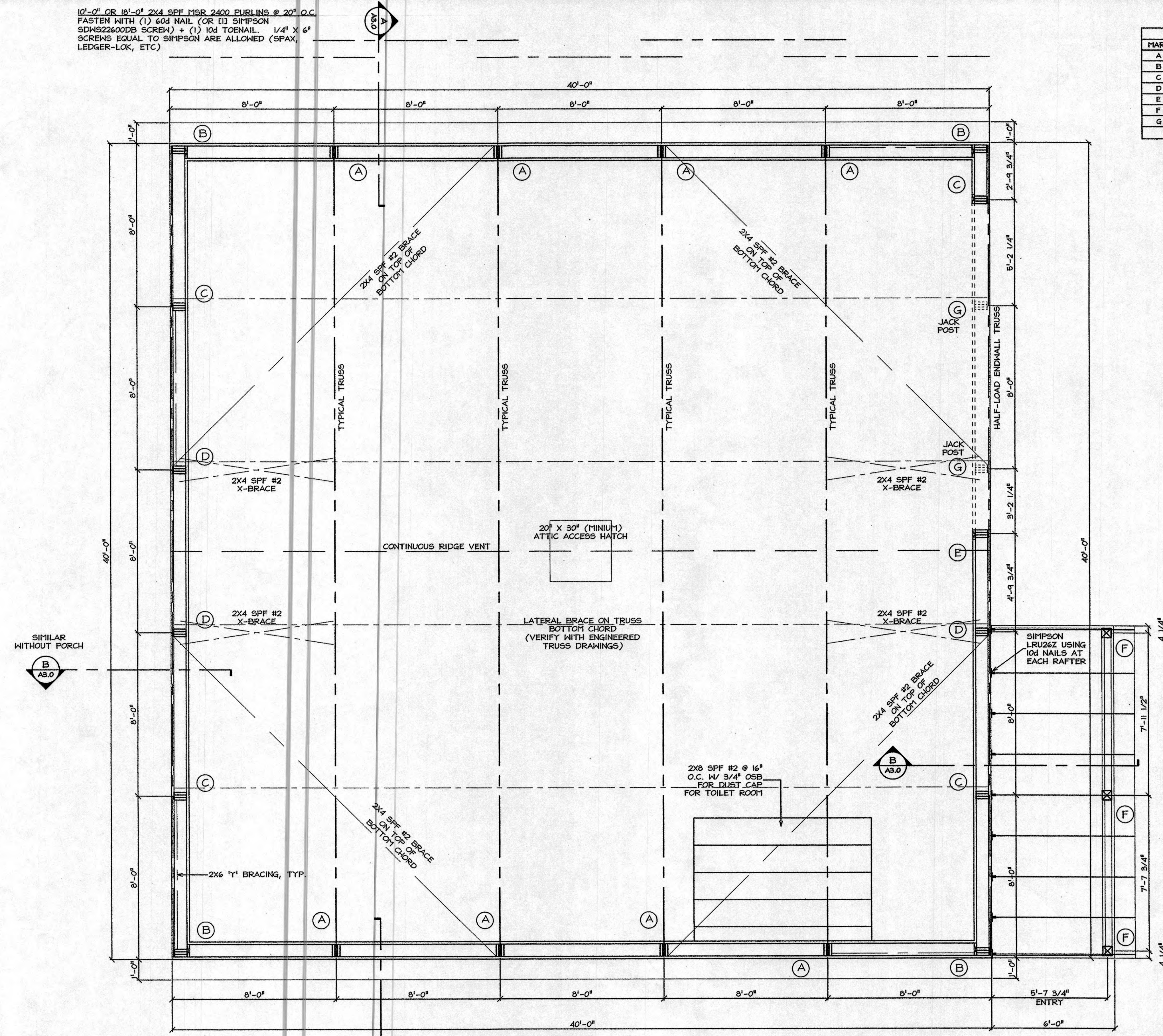
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10'-0" OR 18'-0" 2X4 SPF MSR 2400 PURLINS @ 20" O.C.  
 FASTEN WITH (1) 60d NAIL (OR 1) SIMPSON  
 SDMS22600DB SCREW) + (1) 10d TOENAIL. 1/4" X 6"  
 SCREWS EQUAL TO SIMPSON ARE ALLOWED (SPAX,  
 LEDGER-LOK, ETC)



COLUMN & FOOTING SCHEDULE		
MARK	SIZE	FOOTING
A	3-PLY 2X8 SYP #1 X 20'-4"	24" X 10" THICK UNREINF CONC
B	3-PLY 2X8 SYP #1 X 20'-4"	18" X 10" THICK UNREINF CONC
C	3-PLY 2X8 SYP #1 X 23'-4"	18" X 10" THICK UNREINF CONC
D	3-PLY 2X8 SYP #1 X 23'-3"	18" X 10" THICK UNREINF CONC
E	3-PLY 2X8 SYP #1 X 26'-4"	18" X 10" THICK UNREINF CONC
F	6X6 SYP #2 X 12'-4"	18" X 10" THICK UNREINF CONC
G	3-PLY 2X8 SYP #1 X 8'	-

VERIFY ALL COLUMN LENGTHS BEFORE ORDERING

**GENERAL NOTES:**  
 IT IS THE CONTRACTOR(S) RESPONSIBILITY TO  
 VERIFY ALL CONDITIONS AND DIMENSIONS  
 BEFORE BEGINNING WORK. FAILURE TO DO SO,  
 IN THE EVENT OF CONFLICT WITH ANY PART OF  
 THE PLAN SET IS NOT GROUNDS FOR ANY  
 CHARGE FOR EXTRA WORK.  
 DIMENSIONS ARE TO ROUGH FRAMING, UNLESS  
 NOTED OTHERWISE (U.N.O.).  
 INTERIOR FINISH OF WALLS AND CEILING IS 29  
 GA. RIBBED LINER PANEL, U.N.O.  
 ALL FLOORS ARE EXPOSED SEALED CONCRETE.

SIMILAR  
 WITHOUT PORCH  
 B  
 AS.0

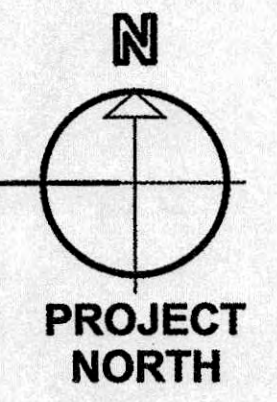
18'-0" 2X4 SPF #2 FLAT @ 24" O.C.  
 FASTEN WITH (2) 16d NAILS PER RAFTER.  
 CONTRACTOR'S OPTION TO USE 10' LENGTHS.

IBC2015 1804.4  
 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE  
 SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN  
 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED  
 PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES  
 WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A  
 MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

IBC2015 1010.5  
 PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH  
 FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH  
 SIDE OF THE DOOR. LANDING SHALL BE LEVEL EXCEPT FOR  
 EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT  
 TO EXCEED .25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT  
 SLOPE).

PROVIDE MINIMUM 5'-0" X 5'-6" X 5" THICK EXTERIOR STOOP SLAB ON  
 2" RIGID INSUL (R-10); SEE DETAILS AND DIMENSIONS ON PLANS, IF  
 ANY. UNDER FILL TO BE 10" OF FREE-DRAINING CLEAR STONE.  
 GRADE SO AS NOT TO ALLOW ACCUMULATION OF SURFACE WATER  
 UNDER THE STOOP SLAB.

**FRAMING PLAN**  
 SCALE 3/8" = 1'-0"



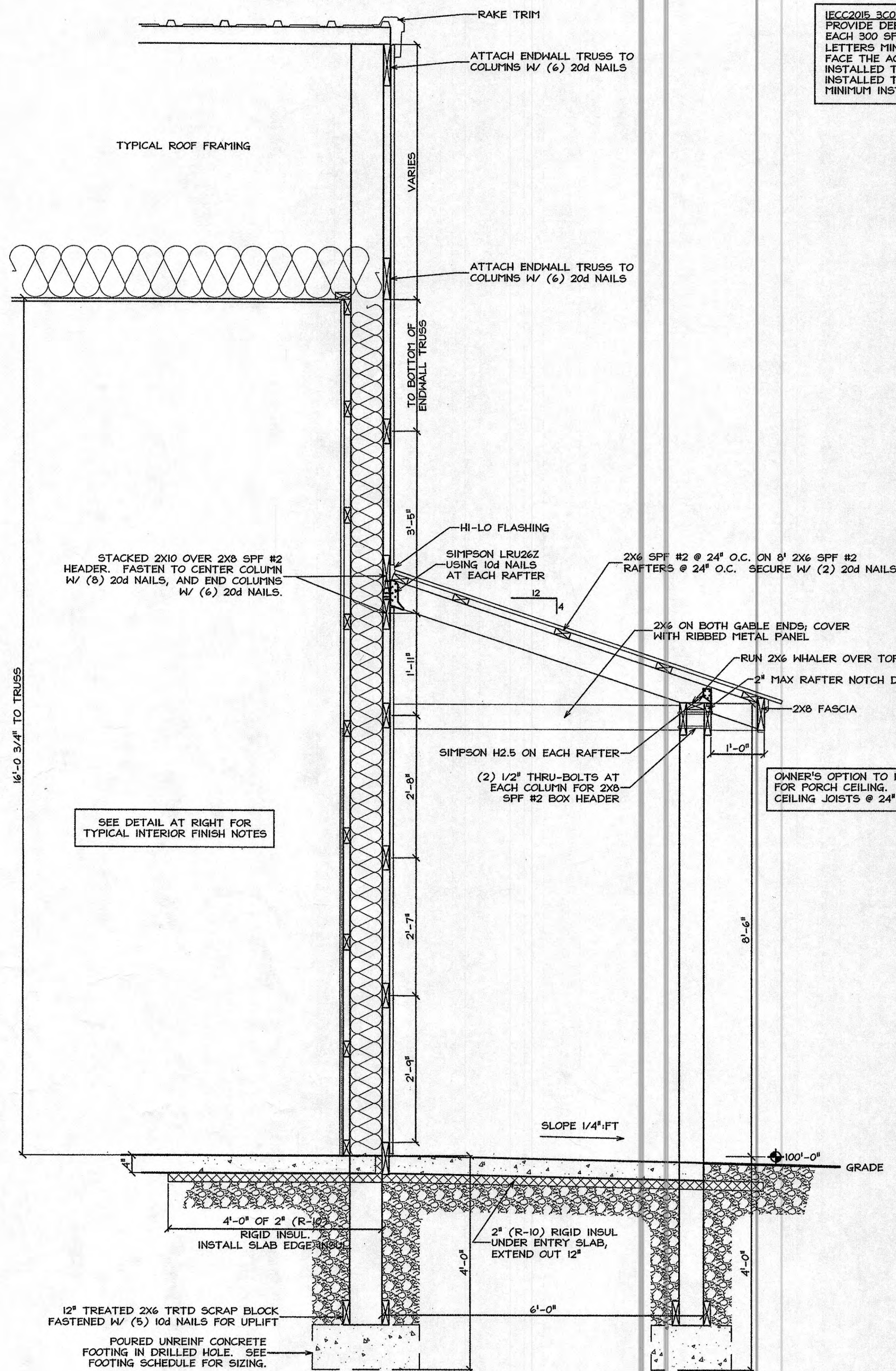
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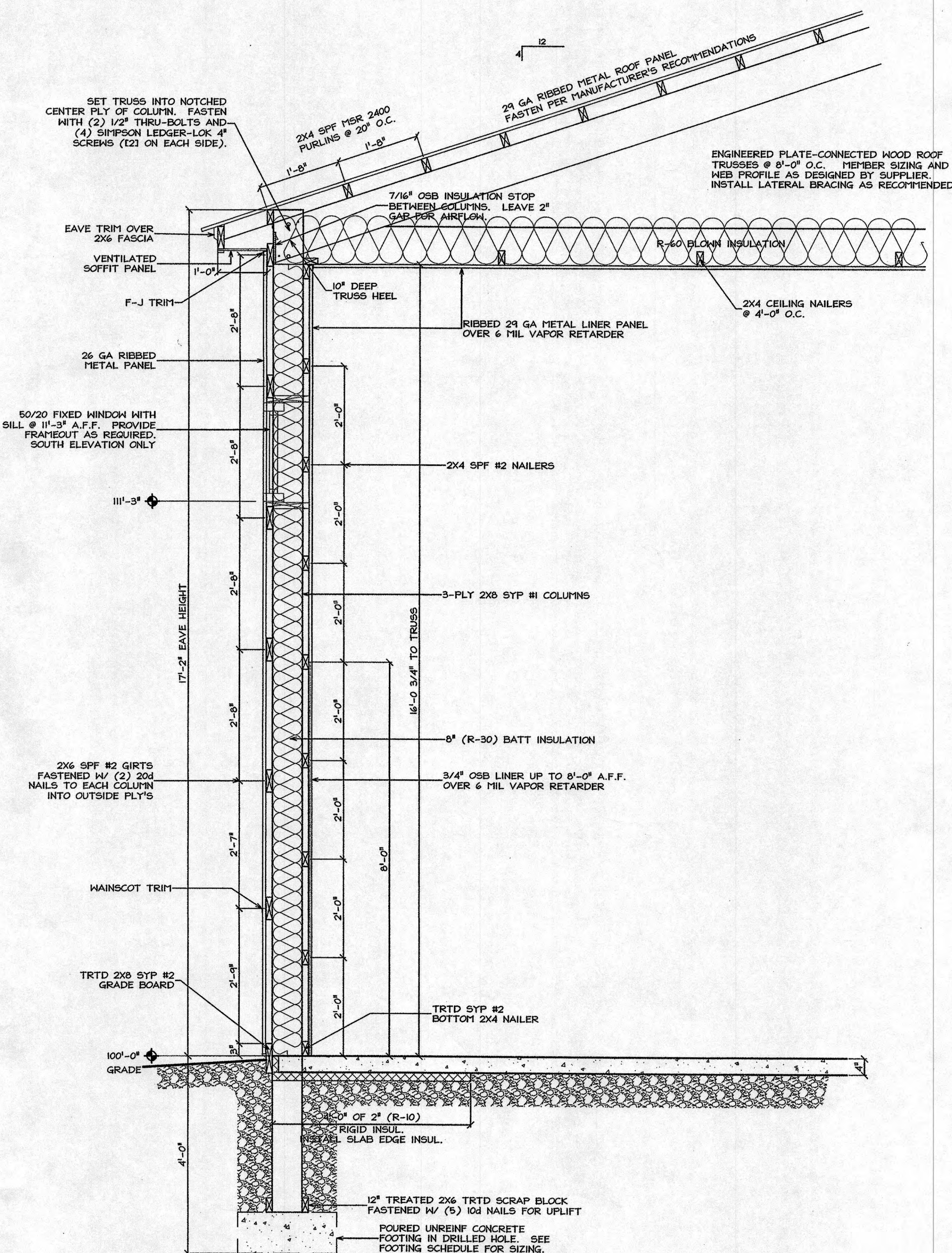
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IECC2015 3C03.1.1.1  
 PROVIDE DEPTH MARKERS FOR ATTIC INSULATION AT EACH 300 SF OF ATTIC SPACE. MARKERS SHALL HAVE LETTERS MINIMUM 1" HIGH. AFFIX TO ATTIC FRAMING TO FACE THE ACCESS HATCHES. MARK WITH MINIMUM INSTALLED THICKNESS AND MINIMUM SETTLED THICKNESS. INSTALLED THICKNESS SHALL MEET OR EXCEED THE MINIMUM INSTALLED THICKNESS SHOWN ON THE MARKER.

OWNER'S OPTION TO INSTALL SOFFIT PANEL FOR PORCH CEILING. INSTALL 2x6 SPF #2 CEILING JOISTS @ 24" O.C. FOR FRAMING.

**SECTION B**  
 SCALE 3/4" = 1'-0"



**SECTION A**  
 SCALE 3/4" = 1'-0"

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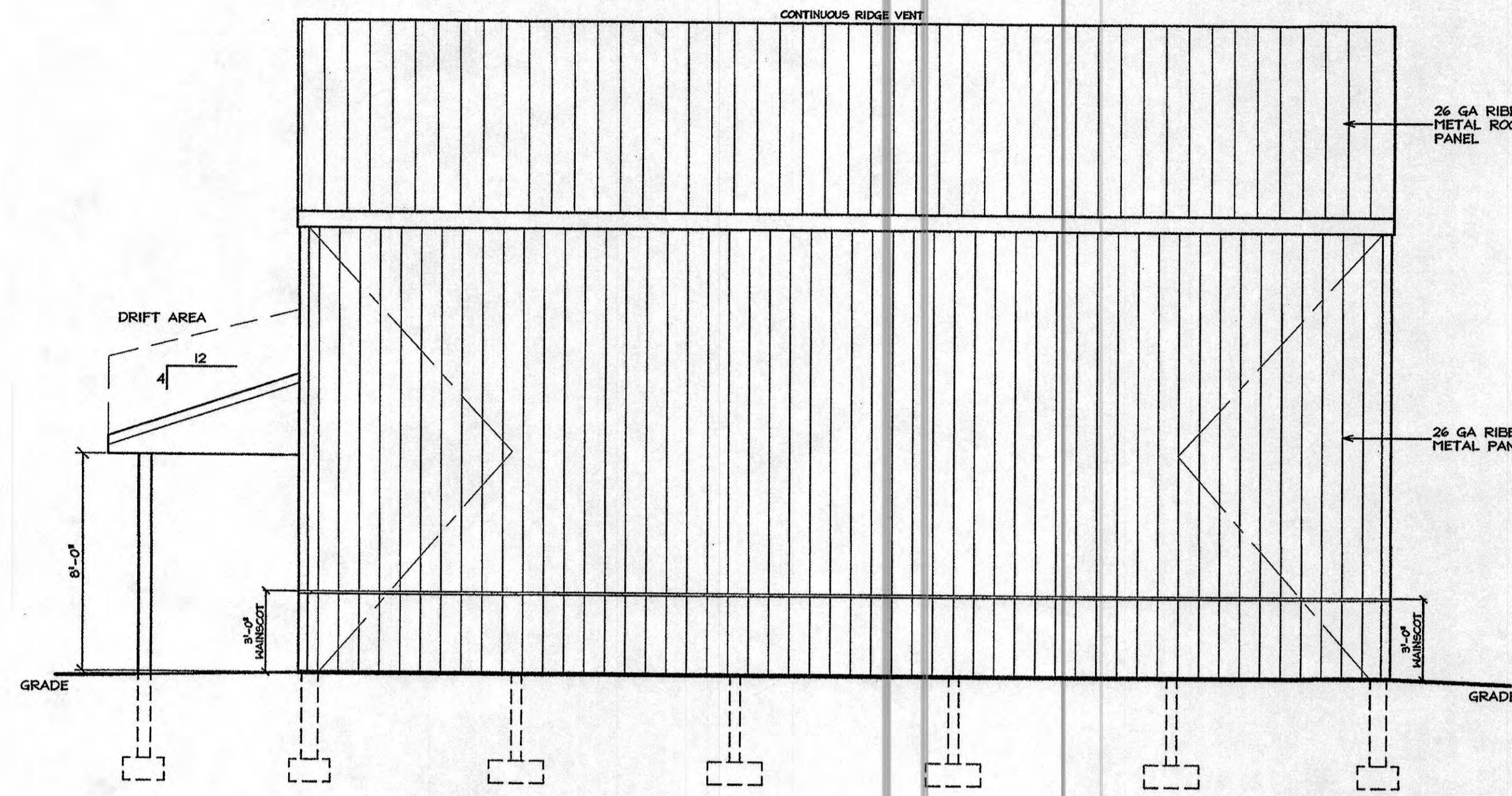
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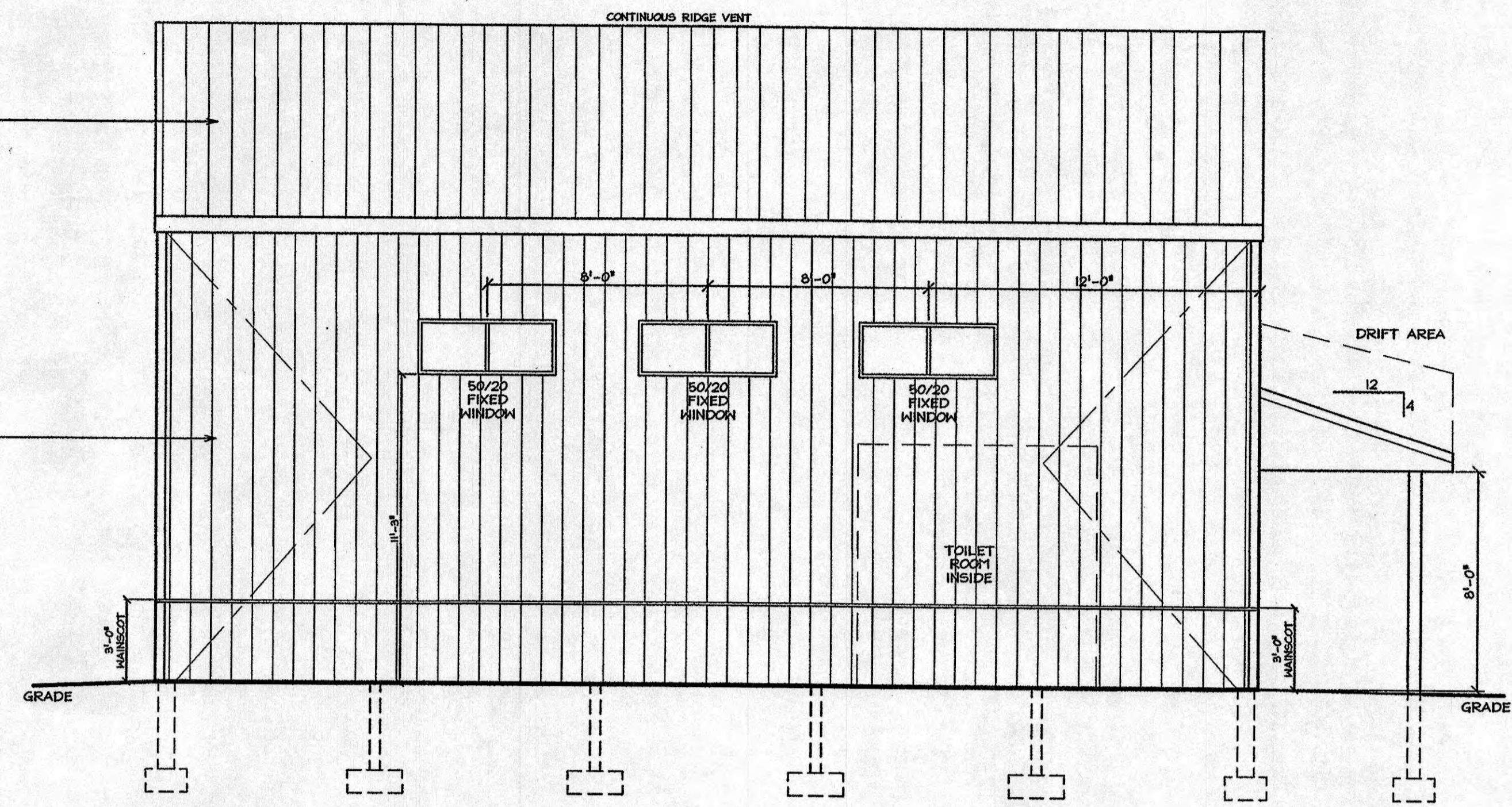
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**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

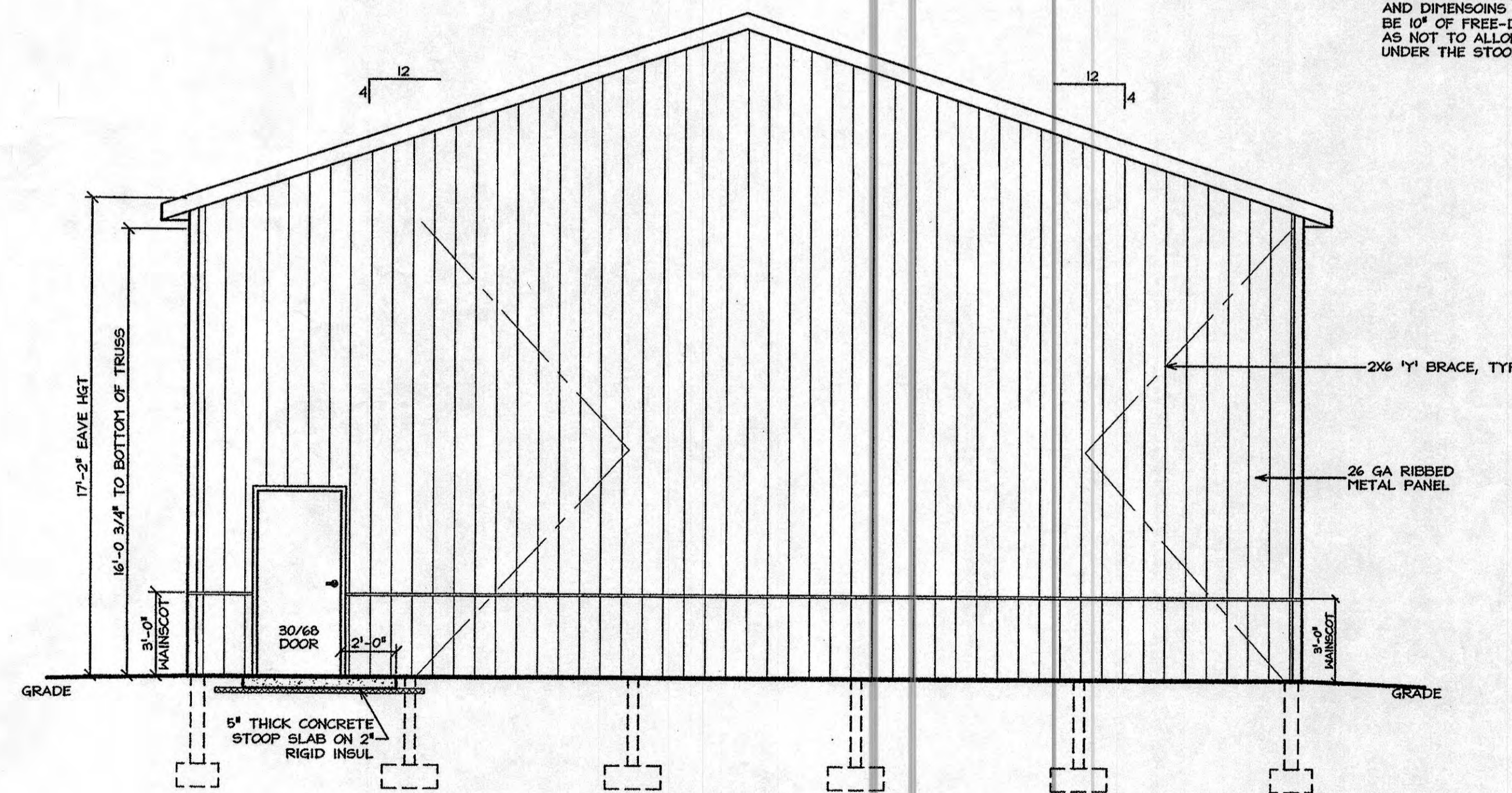


**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"

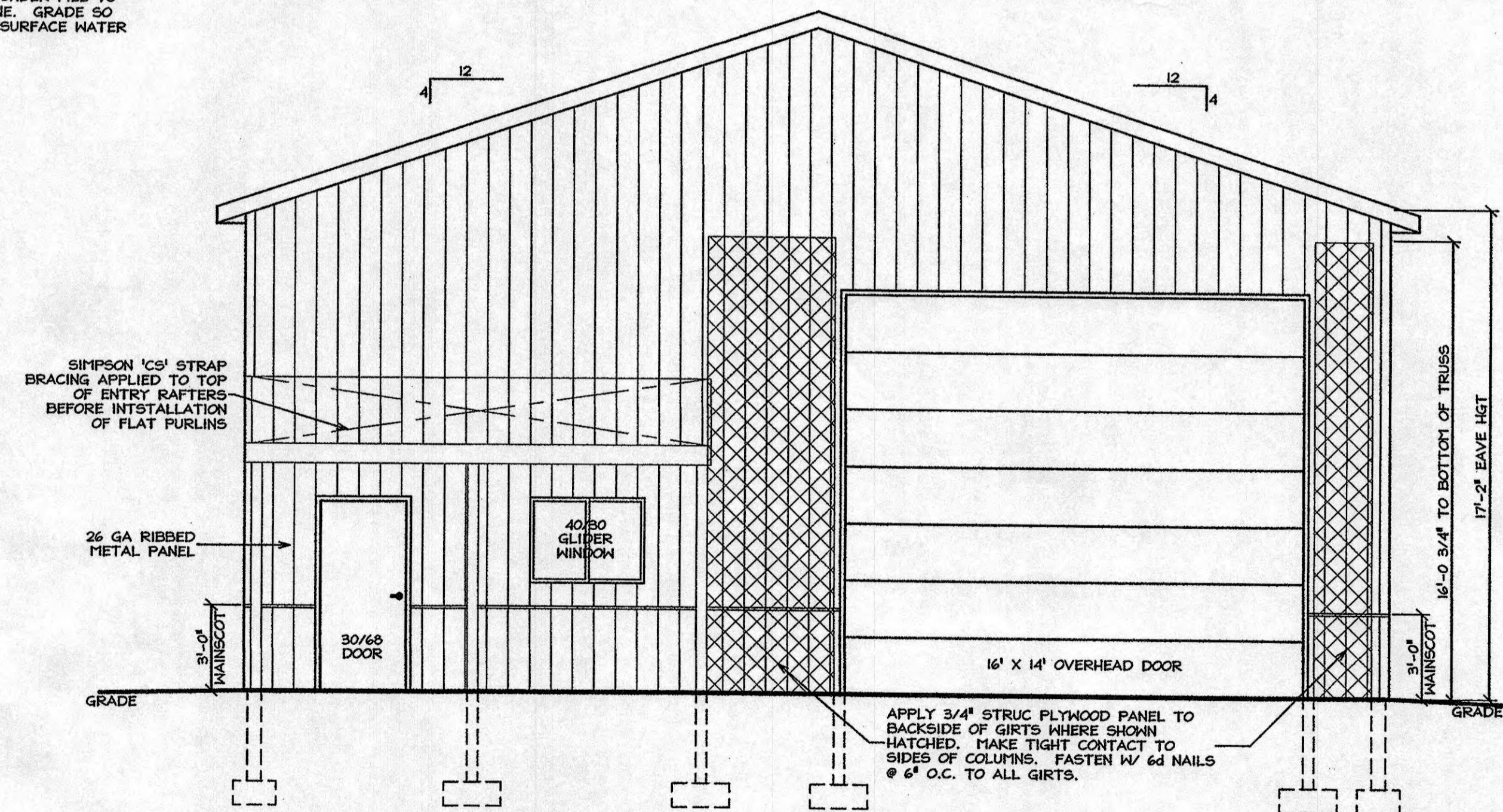
**IBC2015 1904.4**  
THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

**IBC2015 1010.5**  
PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED .25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT SLOPE).

PROVIDE MINIMUM 6'-0" X 5'-0" X 5" THICK EXTERIOR STOOP SLAB ON 2" RIGID INSUL (R-7.5). SEE DETAILS AND DIMENSIONS ON PLANS, IF ANY. UNDER FILL TO BE 10" OF FREE-DRAINING CLEAR STONE. GRADE SO AS NOT TO ALLOW ACCUMULATION OF SURFACE WATER UNDER THE STOOP SLAB.



**WEST ELEVATION**  
SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"

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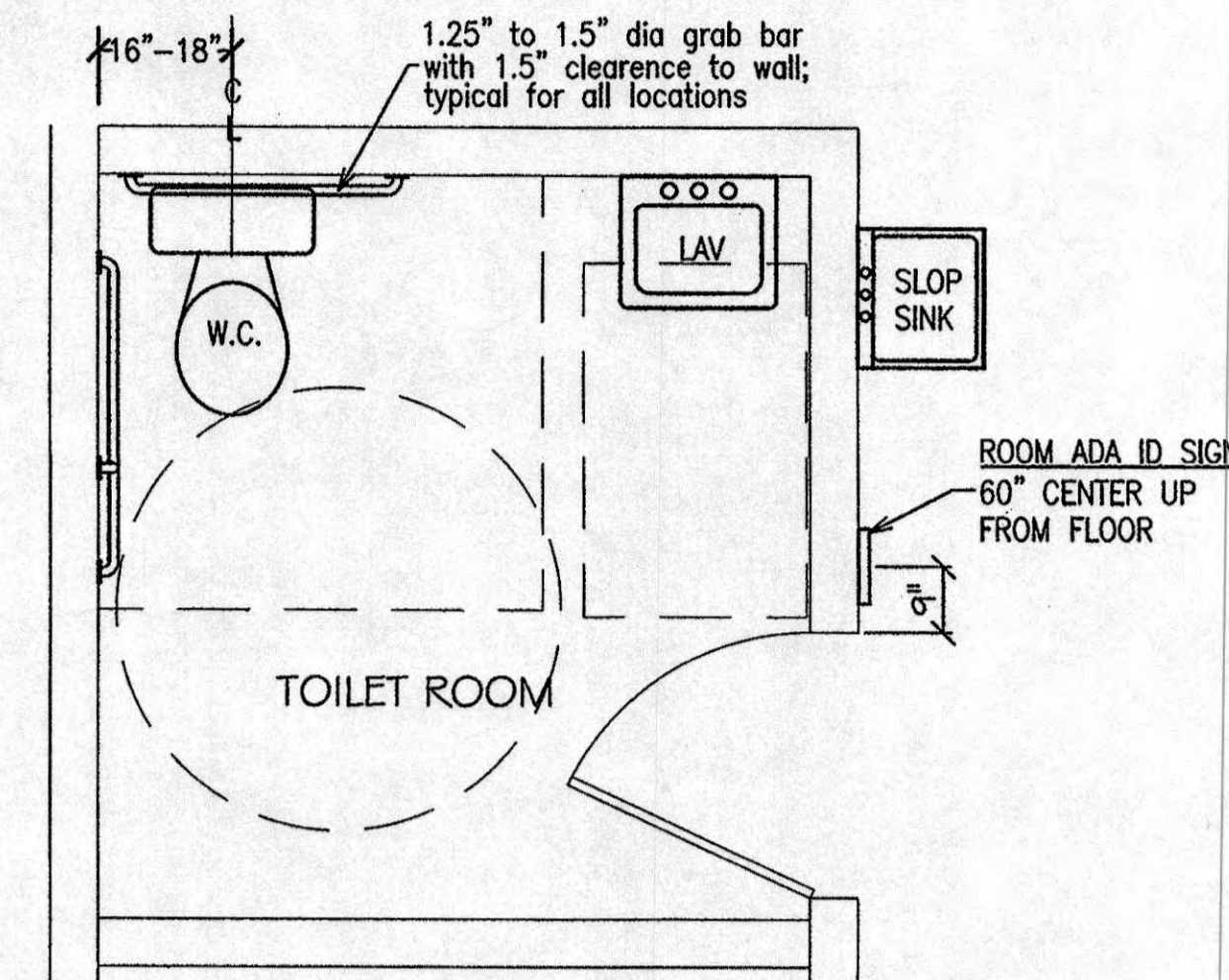
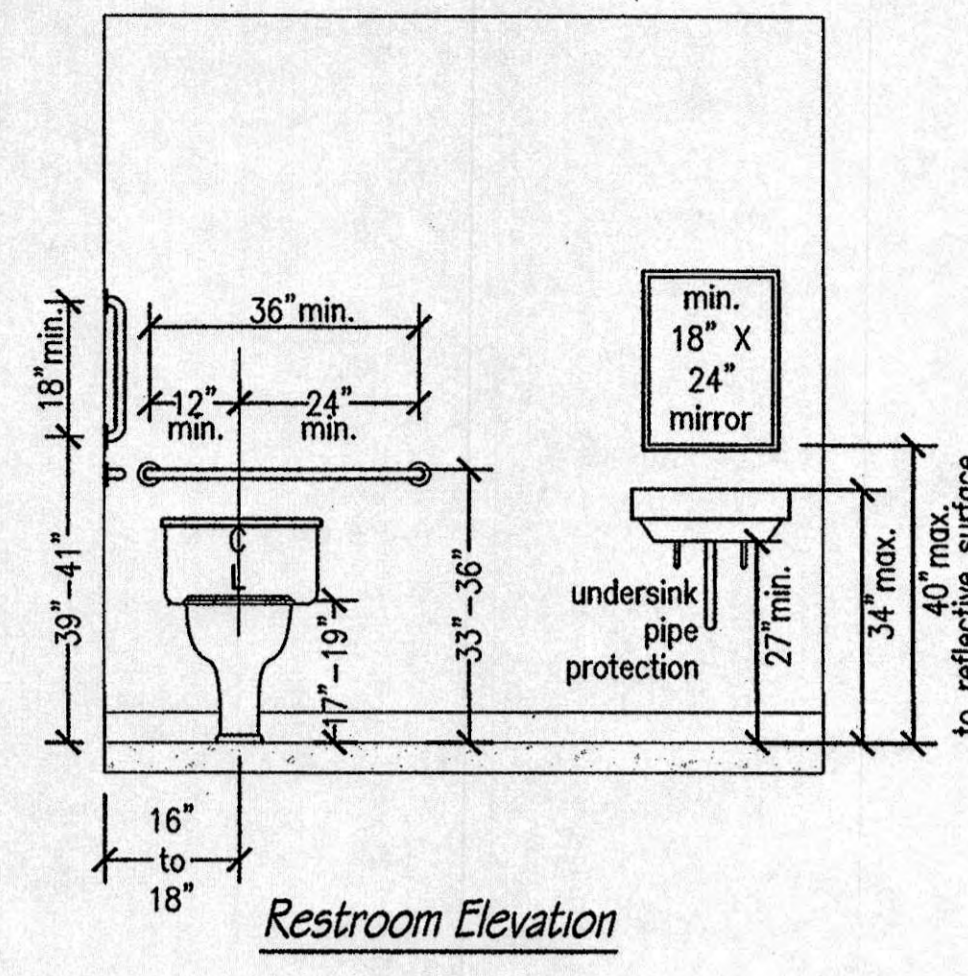
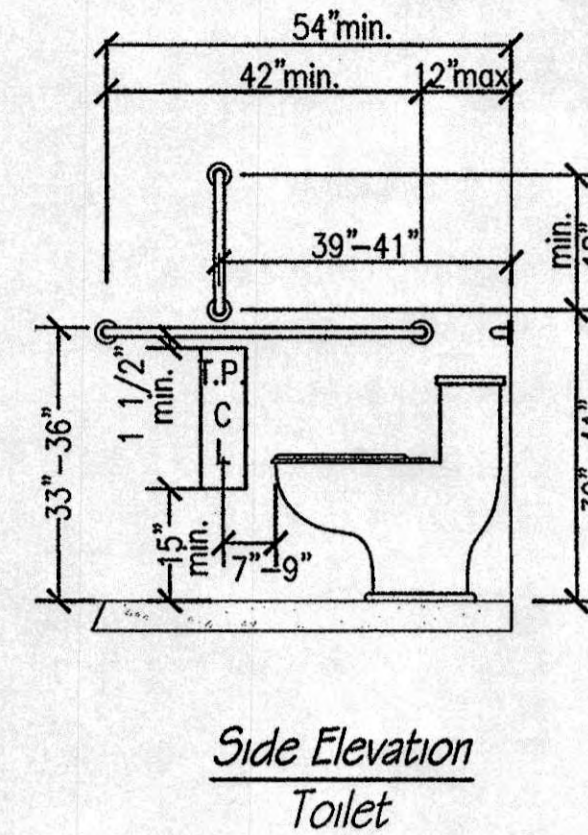
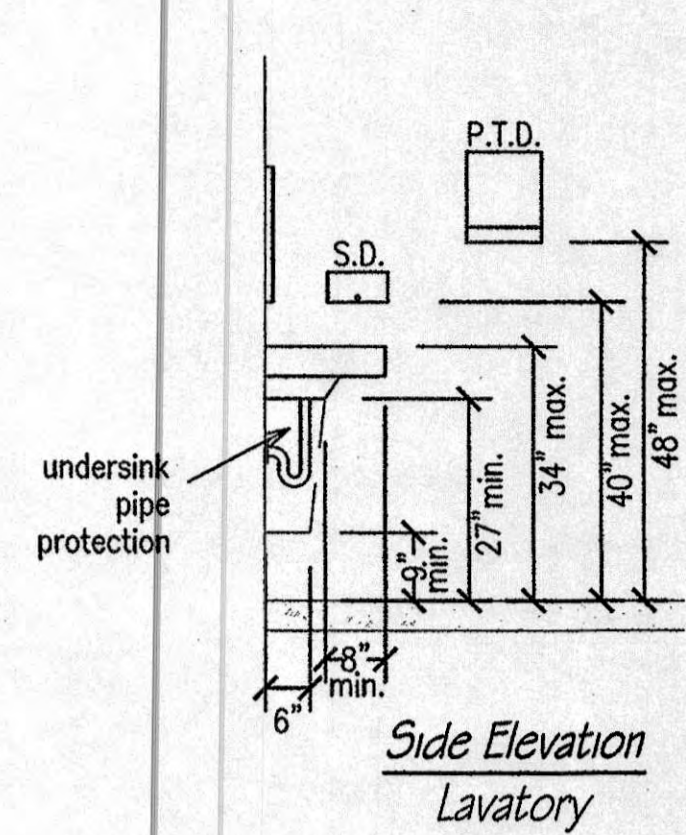
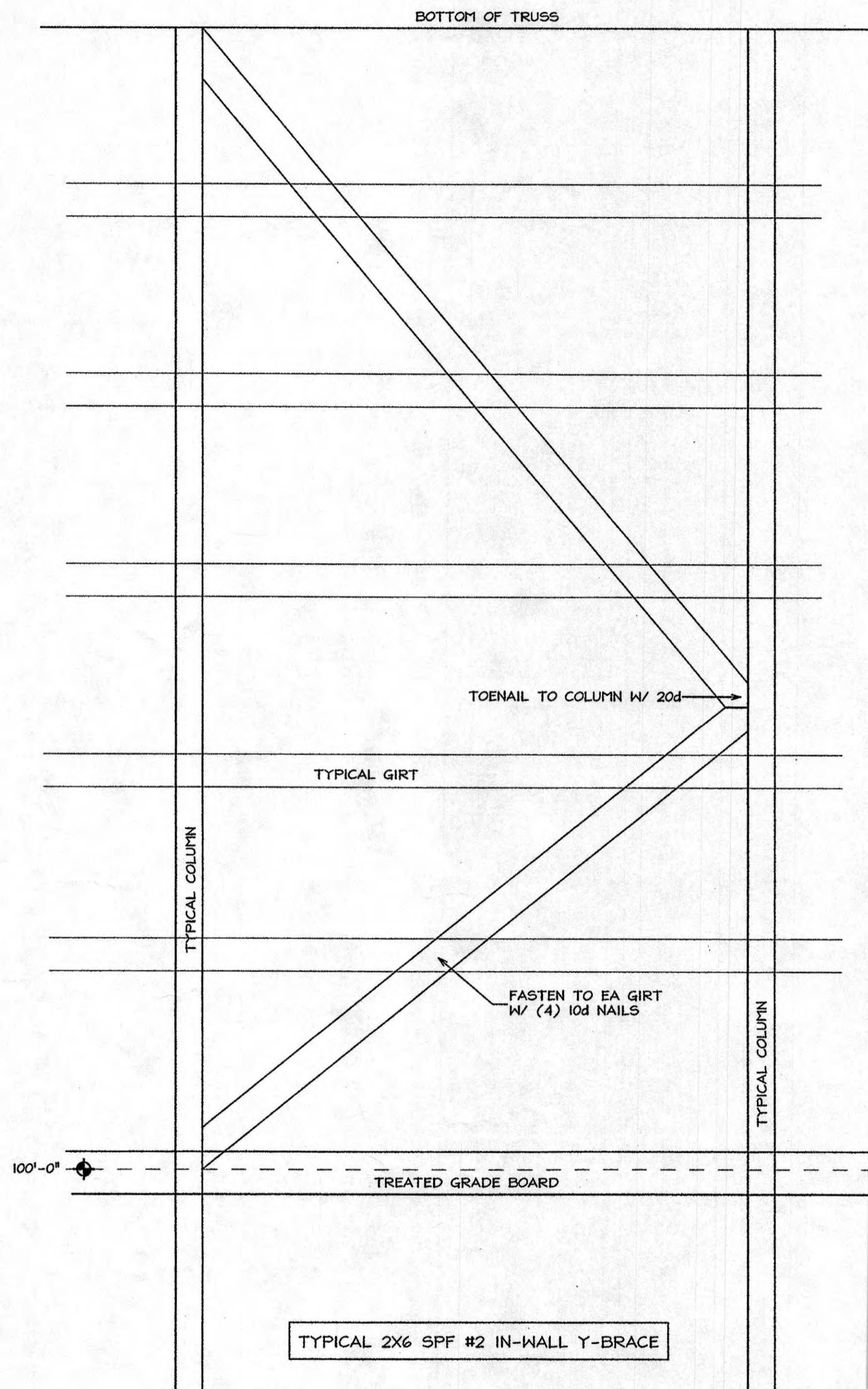
**OWNER**  
JJJ2, LLC  
1911 W WISCONSIN AVE  
APPLETON, WI 54914

**PROJECT**  
HEATED STORAGE BUILDING  
MULTI-UNIT DEVELOPMENT  
BLACKTOP WAY  
NEENAH, WI 54956

**DATE**  
OCT 26, 2018

**REVISIONS**


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**PROJECT**  
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**PAGE**  
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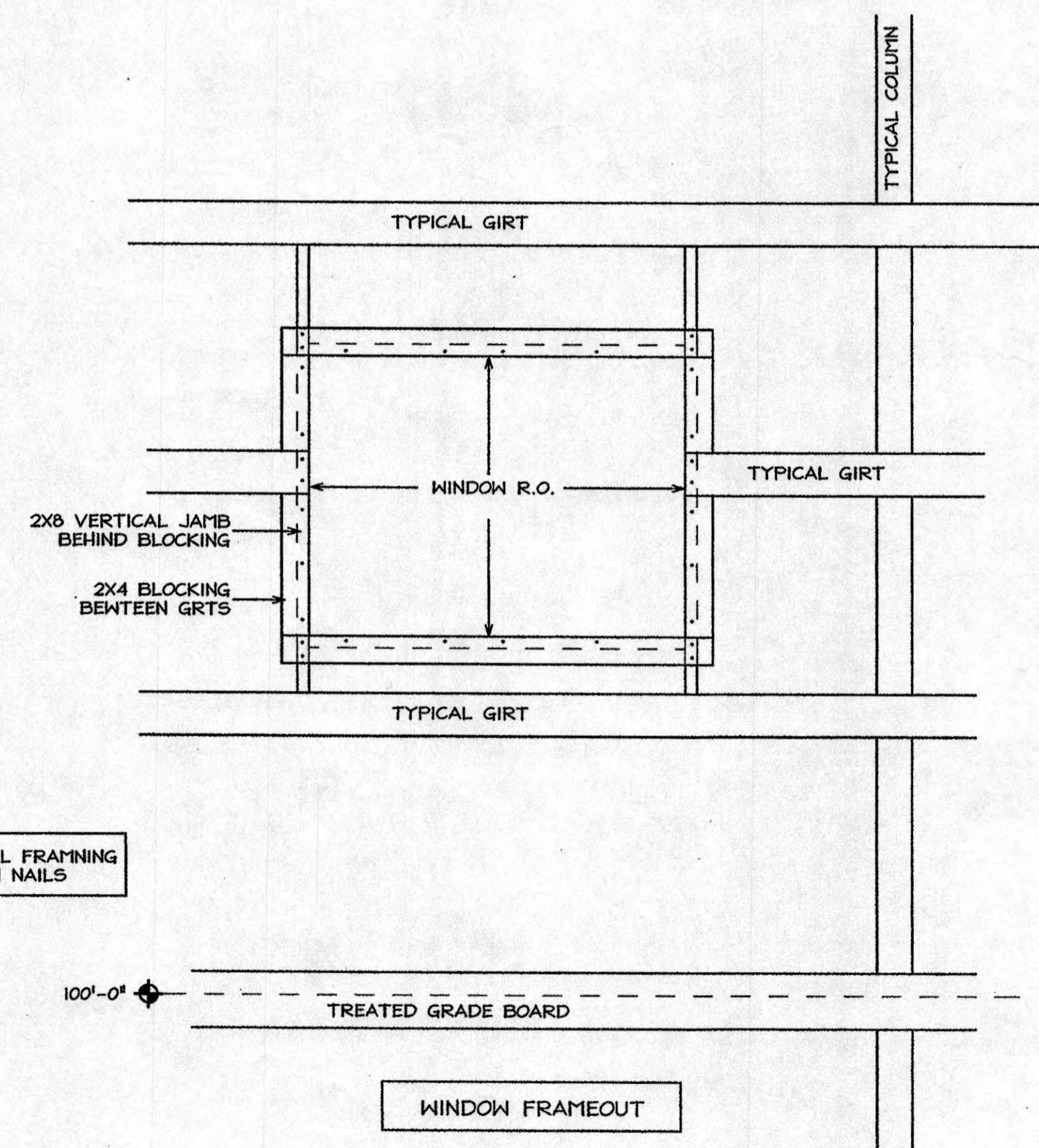
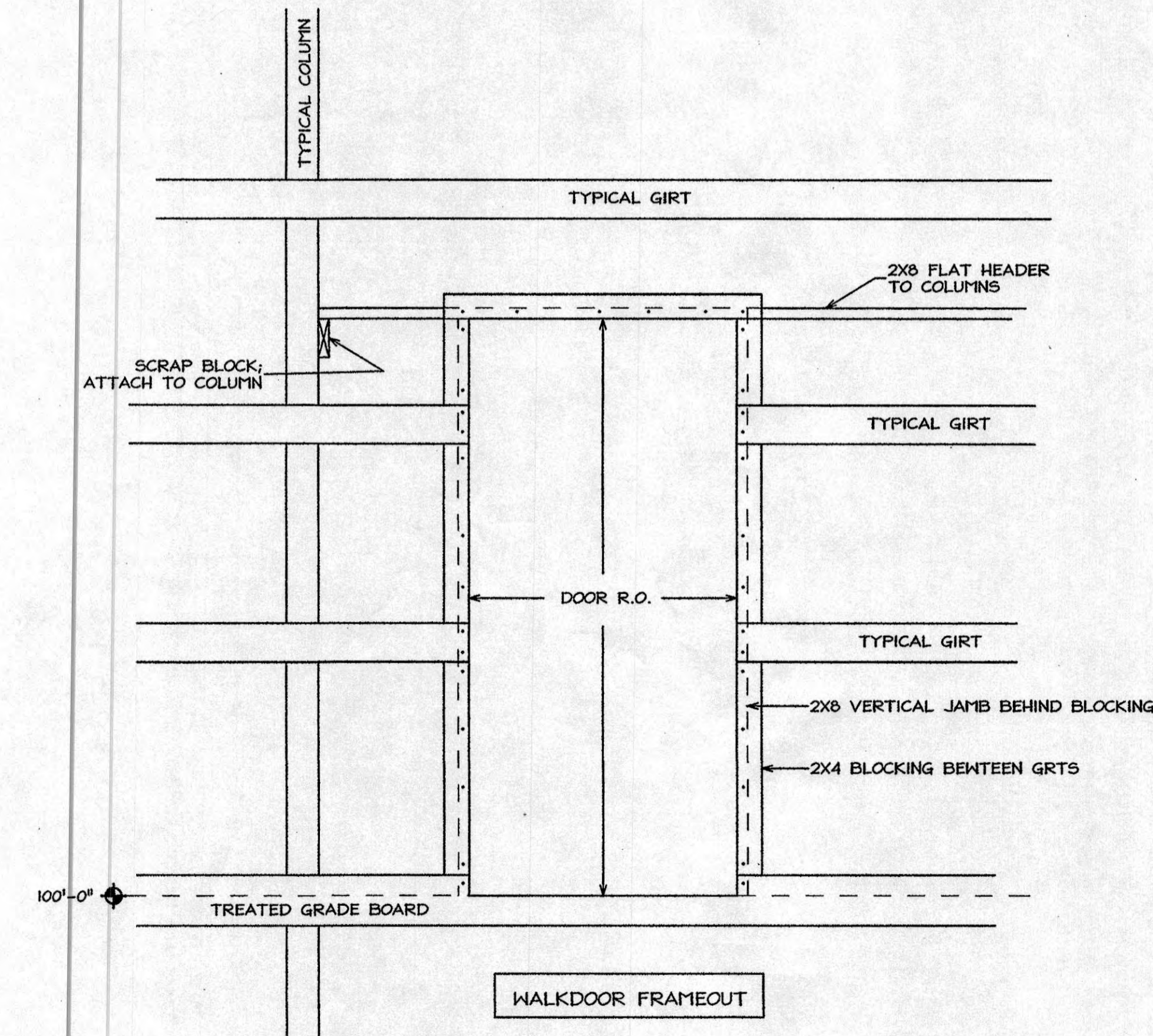
**INTERIOR FINISH**  
 -CEILING SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT FINISH  
 -THE ENTIRE FLOOR SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALL 4" MIN (WALL BASE).  
 -WALLS WITHIN 24" OF A TOILET SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE 48" MIN. ABOVE THE FLOOR. (THE MATERIAL USED SHALL NOT BE ADVERSELY AFFECTED BY MOISTURE.)

P.T.D. PAPER TOWEL DISPENSER  
 T.P. TOILET PAPER HOLDER  
 S.D. SOAP DISPENSER  
 CL CENTER LINE  
 W.C. WATER CLOSET  
 MIN. MINIMUM

**STANDARD TOILET ROOM CLEARANCES**  
 ROOM SIZE AND FIXTURE LAYOUT ON PLAN WILL DIFFER

CLEAR FLOOR SPACE @ FIXTURES:  
 60"x59" AT FLOOR MOUNTED WATER CLOSETS  
 60"x56" AT WALL MOUNTED WATER CLOSETS  
 30"x48" AT LAVATORY

NOTE:  
 IBC2009 1109.2.1.7  
 DOORS TO UNISEX RESTROOMS SHALL BE SECURABLE FROM WITHIN THE ROOM



**CADREI INC.**  
 d e s i g n c o n s u l t m a n a g e  
 po box 983 fond du lac, wi 54936  
 phone: 920-924-0110 fax: 920-924-0227  
 design88@tds.net

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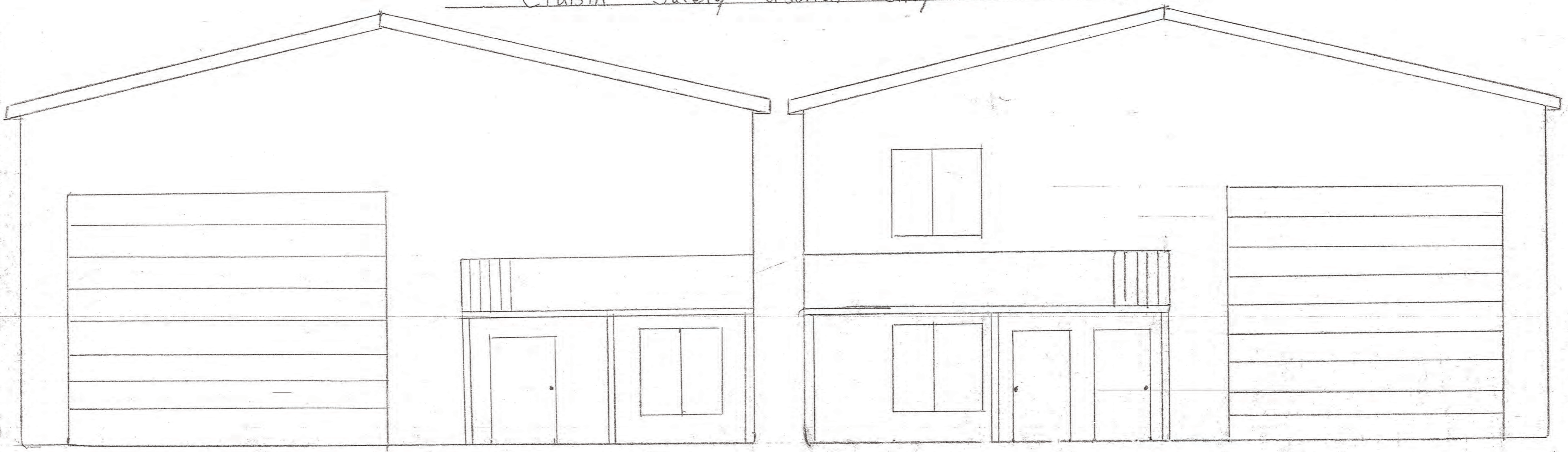
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Front (West side)

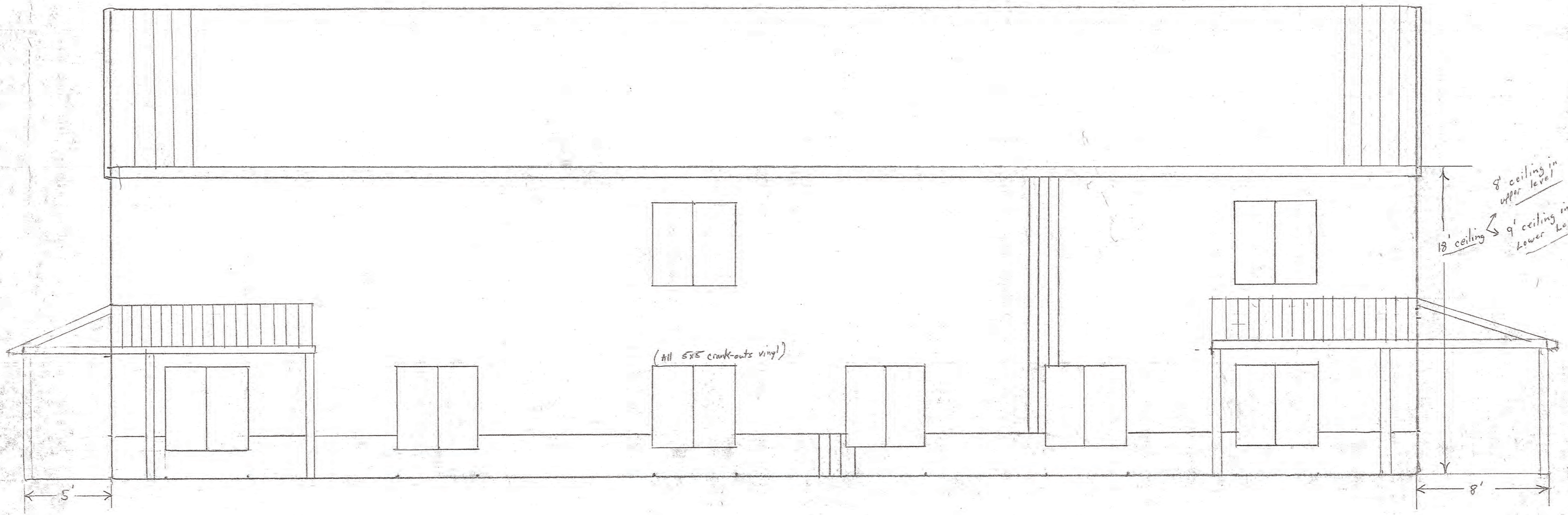
Back (East side)

3 inches = 10 feet

# Cruisin Safely Personal Shop



Side view (South side)





# Cruisin Safely Personal Shop

3 inches = 10 ft.

