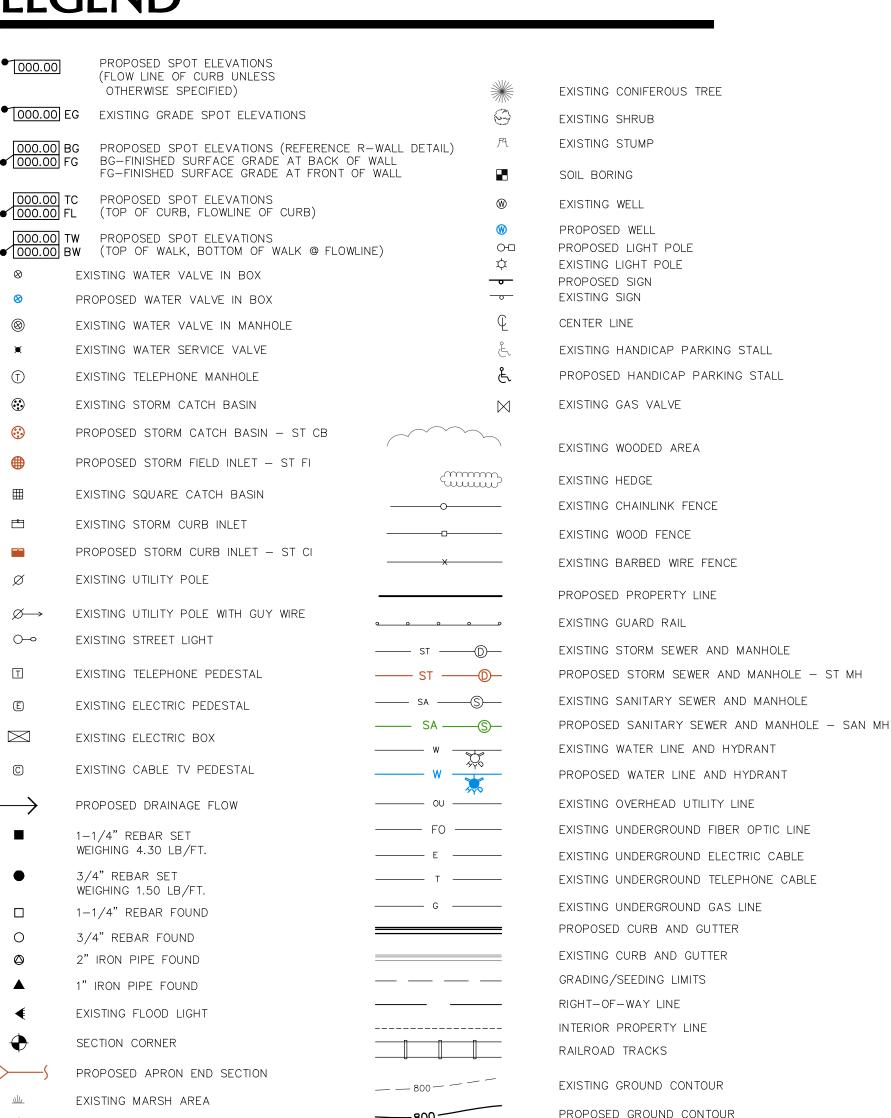
# PROPOSED BUILDING ADDITION TO: KUNES FOX VALLEY RV

# TOWN OF CLAYTON, WISCONSIN

## **LEGEND**



#### CONSTRUCTION STAKING SERVICES

EXISTING DECIDUOUS TREE

PROPOSED INLET PROTECTION

WITH TRUNK DIAMETER

EROSION MATTING

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

CONDITIONS PRIOR TO CONSTRUCTION.

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD
- B. CONTRACTOR TO FIELD TELEVISE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF
- C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION. D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.

#### E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

- 31 20 00 EARTH MOVING
- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLI SURGRADES REFORE PLACING FILL WITH HEAVY PNELIMATIC-TIRED FOLIDMENT, SLICH AS A FILLY-LOADED TANDEM AXLE DUMP TRUCK TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS VIELDING. CONTRACTOR SHALL VERIEV TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSIT E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD
- PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT. 1 - UNDER FOUNDATIONS - SUBGRADE AND FACH LAYER OF BACKEILL OR FILL MATERIAL TO NOT LESS THAN 98 PERCENT 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT
- THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO
- 5 UNDER WALKWAYS COMPACT SUBGRADE AND FACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT Under Lawn or Unpaved Areas - Compact Subgrade and Each Layer of Backfill or Fill Material, to Not Less Than 8
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS, PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF
- . WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK

#### 31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

A. THE DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216.46 AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.43 OR TO AN AUTHORIZED LOCAL PROGRAM PURSUANT TO NR 216.415 TO OBTAIN COVERAGE UNDER THE GENERAL WPDES STORM WATER PERMIT.

SHALL BE GRADED TO WITHIN 0.10' OF REOUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE

- B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL PERMIT COVERAGE IS TERMINATED. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL FROSION CONTROL PERMITS. D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48.
- INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR MORE. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL
- INSPECTIONS CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION THE DATE TIME AND LOCATION OF THE CONSTRUCTION SITE INSPECTION
- 2 THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS. 4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE
- 5. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE. F. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURA RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL, BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
- 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION). 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
- 3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE NSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES.
- MANUFACTURED TRACKOUT CONTROL DEVICES. TIRE WASHING. AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT
- 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT utilizes a combination of measures for dust control. Follow procedures found in Wisconsin dnr technical standard
- 6 THE USE STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE. . Contractor shall provide an open aggregate concrete truck washout area on site. Contractor to ensure that CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE EVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

### PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

- 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS han one year. This temporary site restoration requirement also applies to soil stockpiles that exist for more than 7 days. Permanent restoration applies to areas where perennial vegetative cover is needed to permanently stabilize areas OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOLIND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061. 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE
- END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED
- G. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER. H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED. THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH NR 216.55.
- I. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WPDES GENERAL
- J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS

#### **DIVISION 32 EXTERIOR IMPROVEMENTS**

#### 32 10 00 GRAVEL AREAS

A. CONTRACTOR TO PROVIDE COMPACTED GRAVEL WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR TO PROVIDE AGGREGATE TYPES AND DEPTHS AS INDICATED BELOW:

#### 4" OF 3/4" CRUSHED AGGREGATE 8" OF 3" CRUSHED AGGREGATE

B. CONTRACTOR TO COMPACT THE AGGREGATE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL GRAVEL AREAS SHALL BE GRADED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL GRAVEL AREAS.

#### 32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMEN TYPES AND DEPTHS AS INDICATED BELOW:

#### 1-1/2" SURFACE COURSE (5 LT 58-28S) 2-1/2" BINDER COURSE (4 LT 58-289 12" OF 1-1/4" CRUSHED AGGREGAT

- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE. ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM
- OF 1.5% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA. C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION
- D. CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

#### 32 20 00 CONCRETE AND AGGREGATE BASE

GENERAL PROJECT NOTES

C901/906 PE

Storm Sewer

Storm Sewer

Combined Domestic/Fire Service

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS. B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR
- HIGHWAY AND STRUCTURE CONSTRUCTION. C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08. D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR
- THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS: HEAVY DUTY CONCRETE (TRUCK TRAFFIC) - 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON CHAIRS AT 3' O.C. REBAR SHALL BE PLACED PLACED IN THE UPPER 1/3 TO ½ OF THE SLAB. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER.
- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94 STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE
- MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45 3 SILIMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
- 4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER
- 6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED. '. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU, YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB. JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED
- OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3
- WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- I. CONTRACTOR SHALL ENGAGE A OUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS. PERFORM TESTS. AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF, PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING. L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING. THAWING AND DEICING SALTS TO 0.45.
- M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER. READY-MIX PRODUCER. AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF
- N. CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO

**Table A: Allowable Pipe Material Schedule** 

ASTM D1785, ASTM D2665, ASTM

AASHTO M252, TYPE S (4 IN - 10 IN),

AASHTO M294, TYPE S (12 IN - 60 IN)

AWWA C900, ASTM D1785, ASTM D2247

ASTM C14, ASTM C76, AASHTO M 170

ASTM D1785, ASTM D2665, ASTM

D3034, ASTM F891

D3034. ASTM F891

AWWA C901/C906

2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

#### 32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS ALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OF MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF
- SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT. AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REOUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- 1. PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT
- 00LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL
- 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATE MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES
- FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING
- SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE DE INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY UNIFORM CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS
- D. **EROSION MATTING**: I. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE SWALES AND STORMWATER MANAGEMENT BASINS. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS. 2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES
- AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS. F RIP RAP- ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE AS DELINEATED ON THE PLANS.
- SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION F. Trees and Shrubs: Furnish Nursery-Grown trees and Shrubs with Healthy Root Systems Developed by Transplanting or Root PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS,
- EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION G. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS
- AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED H. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT.
- CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS. . ORGANIC MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- . PLASTIC EDGING: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

#### DIVISION 33 UTILITIES

#### 33 10 00 SITE UTILITIES

Push On: ASTM D3212 for Tightness

Elastomeric Gasket: ASTM F477

Joint: ASTM F2648, ASTM F2306,

AASHTO M252, or AASHTO M294

Push On: ASTM D3212 for Tightness

oint: ASTM D3139 Integral Bell &

Elastomeric Seal: ASTM F477

Heat fusion: ASTM D2657

ASTM C443 Rubber Gasket

ASTM F2648, ASTM F2306, AASHTO

ASTM D2609, ASTM D2683, ASTM

AWWA C110, AWWA C153, ASTM

D2464, ASTM D2466, ASTM D2467

ASTM D3311, ASTM F409, ASTM

M252, or AASHTO M294

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY. B. CONTRACTOR TO FIELD TELEVISE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED
- ON SITE. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD
- C. ALL PROPOSED SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. ALL PROPOSED SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH
- D. SANITARY AND PROCESS MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER, PROCESS MANHOLES SHALL BE LINED W/ GSE STUDLINER LINING. SANITARY & PROCESS MANHOLE FRAME AND GRATE TO BE NEENAH R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE
- E. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST. OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 4" OR 6" (6" REOUIRED FOR THE 6" LINE) VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- F. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. 6' MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED. G. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET, ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE
- USED. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS. H. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS I. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MINIMUM
- AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION. . ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND

OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION

- AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS. K. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO
  - INSTALL WATER, SANITARY AND STORM SEWER. L. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS

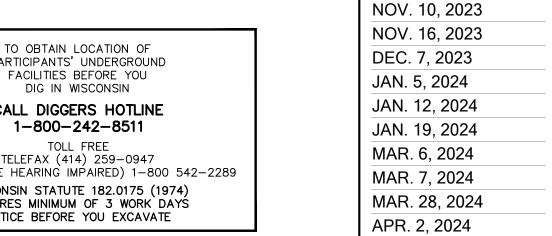
#### PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL DIGGERS HOTLINE 1-800-242-8511

TELEFAX (414) 259-0947 TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

# CONTACTS

100 CAMELOT DRIVE JASON DAYE P: (920) 926-9800

CIVIL COVER AND SPECIFICATION SHEET



230322300

MAY 10, 2024

**SHEET NUMBER** 

Always a Better Plan

100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

excelengineer.com

PROJECT INFORMATION

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PROFESSIONAL SEAL

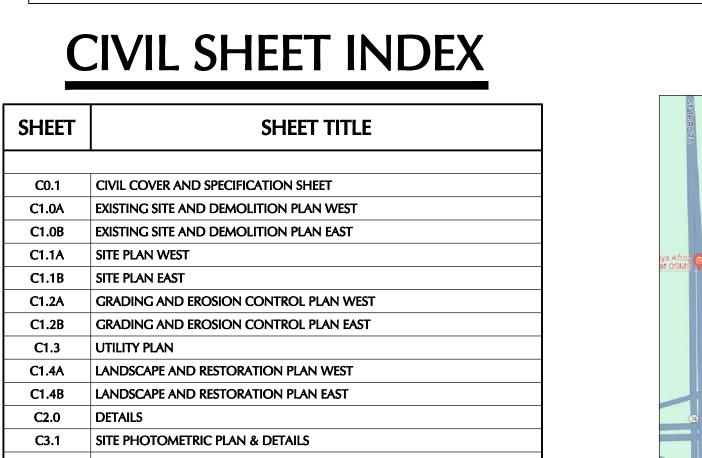
**PRELIMINARY DATES** 

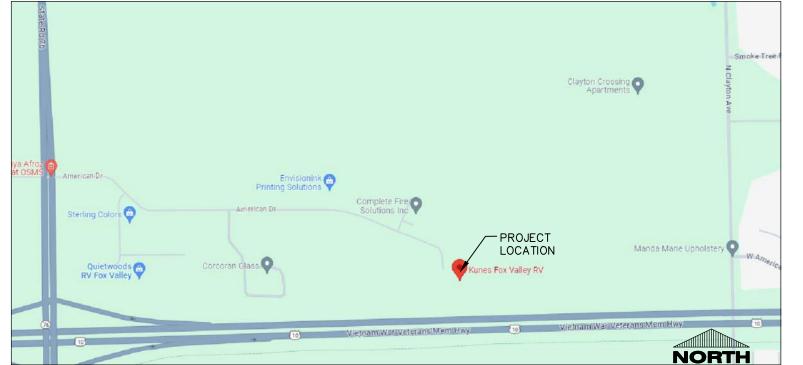
NOV. 6, 2023

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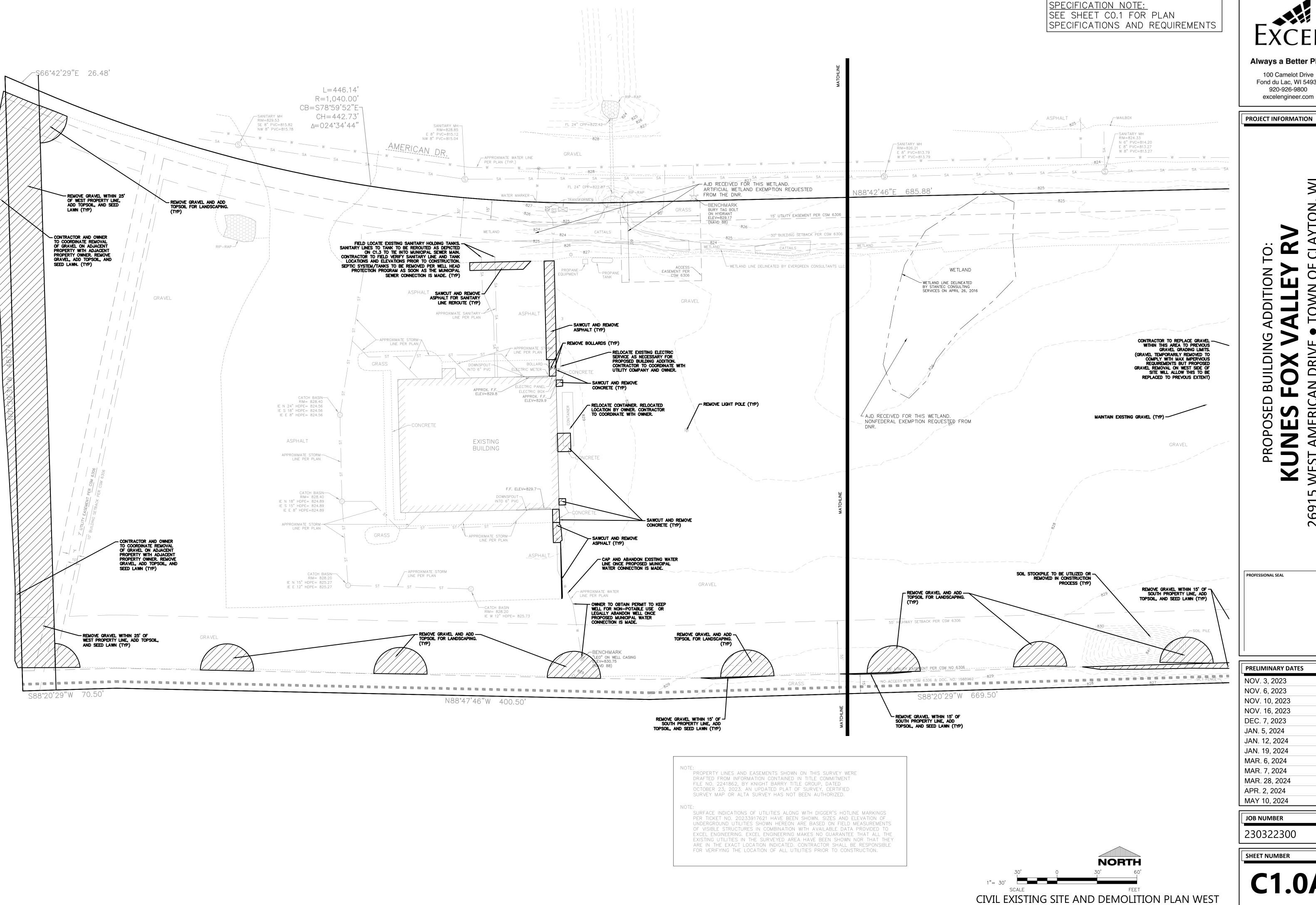
38777-006

**FOND DU LAC, WISCONSIN 54935** F: (920) 926-9801 jason.d@excelengineer.com





PROJECT LOCATION MAP



Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800

PROJECT INFORMATION

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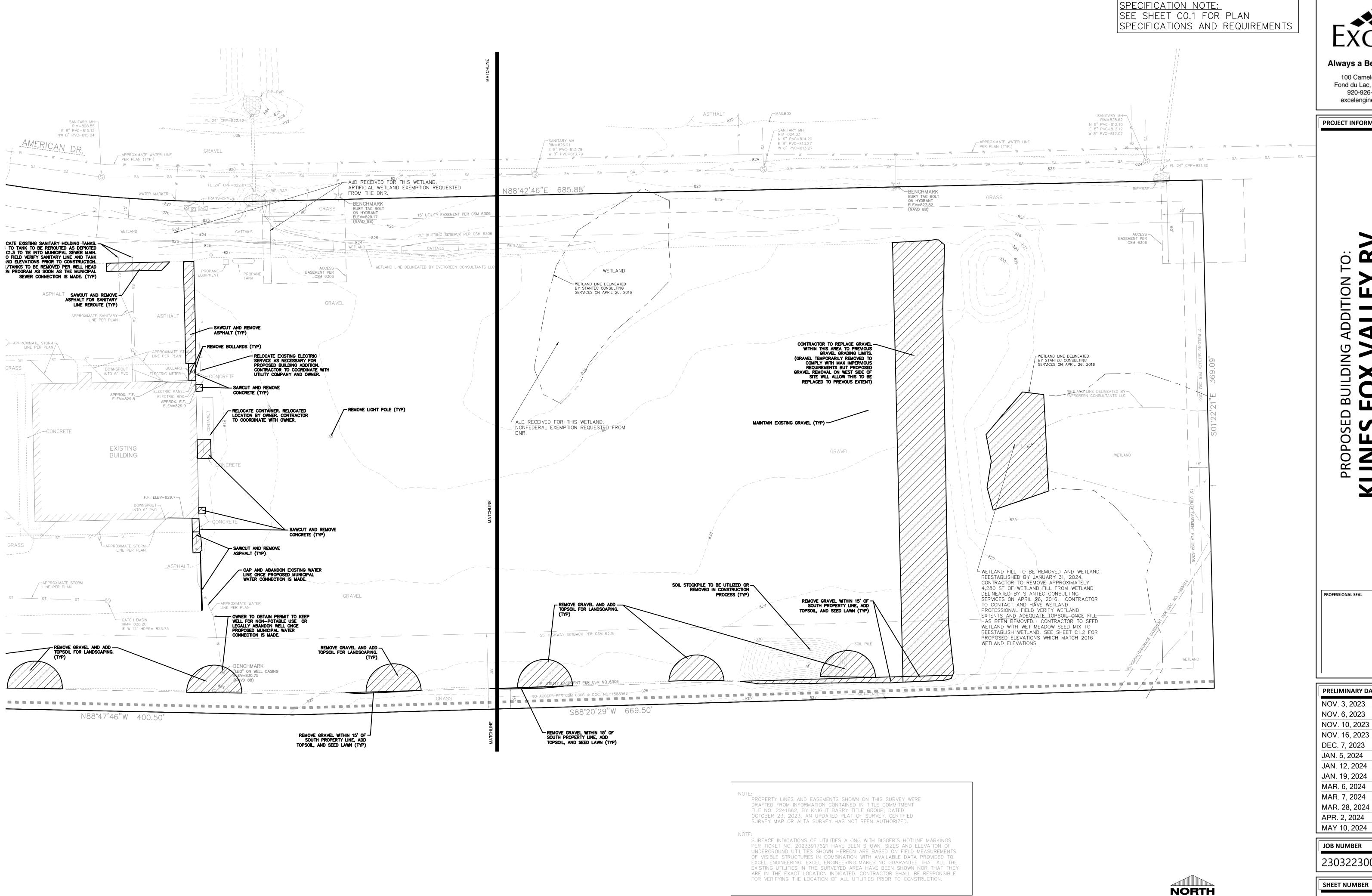
BUILDIN

SE Ö PROP

PROFESSIONAL SEAL

PRELIMINARY DATES NOV. 3, 2023 NOV. 6, 2023 NOV. 10, 2023 NOV. 16, 2023 DEC. 7, 2023 JAN. 5, 2024 JAN. 12, 2024 JAN. 19, 2024 MAR. 6, 2024 MAR. 7, 2024 MAR. 28, 2024 APR. 2, 2024

JOB NUMBER 230322300



Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

**ADDITION** 

BUILDIN PROPOSED UNES F

PROFESSIONAL SEAL

PRELIMINARY DATES NOV. 3, 2023 NOV. 6, 2023 NOV. 10, 2023 NOV. 16, 2023 DEC. 7, 2023 JAN. 5, 2024 JAN. 12, 2024 JAN. 19, 2024 MAR. 6, 2024

JOB NUMBER 230322300

SHEET NUMBER

CIVIL EXISTING SITE AND DEMOLITION PLAN EAST





PROPERTY AREA: 435,612 S.F. (10.00 ACRES).

EXISTING ZONING: B-3 GENERAL BUSINESS

PROPOSED ZONING: B-3 GENERAL BUSINESS

PROPOSED USE: KUNES RV FACILITY WITH BUILDING & PAVEMENT ADDITION

AREA OF SITE DISTURBANCE: 107,000 SF (2.46 ACRES)

SETBACKS: BUILDING: FRONT = 30'

SIDE = 7' (ONE SIDE) AND 10' (OTHER SIDE)
REAR = 25'
STREET = 30'

PAVEMENT: FRONT = N/A SIDE = N/A REAR = N/A

PROPOSED BUILDING HEIGHT: 22'-6" (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: 1 SPACE PER 300 S.F. OF GFA (65 SPACES REQ.)

PARKING PROVIDED: 12 SPACES (1 H.C. ACCESSIBLE) \*NUMBER OF STALLS PROVIDED PREVIOUSLY APPROVED WITH ORIGINAL BUILDING PROJECT.

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 30%

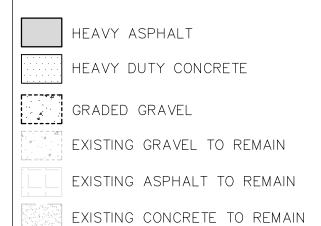
MAXIMUM IMPERVIOUS SURFACE: 70%

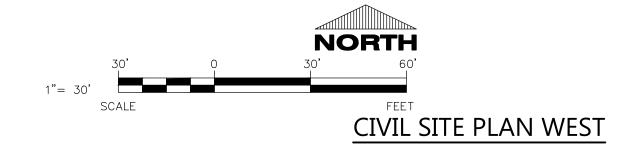
EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA PAVEMENT (ASP,CONC,	0.27	11,975	2.7%
GRAVEL)	6.98	303,869	69.8%
TOTAL IMPERVIOUS	7.25	315,844	72.5%
LANDSCAPE/ OPEN SPACE	2.75	119,768	27.5%
PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE BUILDING FLOOR AREA	10.00	435,612	
(INCLUDES PROPOSED CANOPY) PAVEMENT (ASP,CONC,	0.56	24,583	5.6%
GRAVEL)	6.31	274,733	63.1%
TOTAL IMPERVIOUS	6.87	299,316	68.7%
LANDSCAPE/ OPEN SPACE	3.13	136,296	31.3%

#### SITE PLAN KEYNOTES

- 2 HEAVY DUTY ASPHALT SECTION (TYP.)
- 5 > HEAVY DUTY CONCRETE (TYP.)
- B  $\rangle$  concrete under canopy. See structural plans for details.
- 24) 6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
- GRAVEL AREA. ADD/REMOVE GRAVEL FOR GRADING PURPOSES. SEE C1.2. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL WILL EXIST ONCE ELEVATION MODIFICATIONS ARE COMPLETE (TYP.)
- $\langle$  31angle canopy support column (see arch plans for details)
- 32 $\rangle$  existing gravel to remain.
- | Existing asphalt to remain.
- EXISTING CONCRETE TO REMAIN.
- 6' CHAINLINK FENCE WITH SLATS AND GATES FOR DUMPSTER SCREENING. COLOR BY OWNER. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

#### PAVEMENT HATCH KEY:







PROJECT INFORMATION

100 Camelot Drive

Fond du Lac, WI 54935 920-926-9800

excelengineer.com

5

NO.

ALLEY RV

CUNES FOX VALLE EST AMERICAN DRIVE • TOWN

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 1, 2023

NOV. 6, 2023

NOV. 10, 2023

NOV. 16, 2023

DEC. 7, 2023

JAN. 5, 2024

JAN. 12, 2024

JAN. 19, 2024

MAR. 6, 2024

MAR. 7, 2024

MAR. 28, 2024

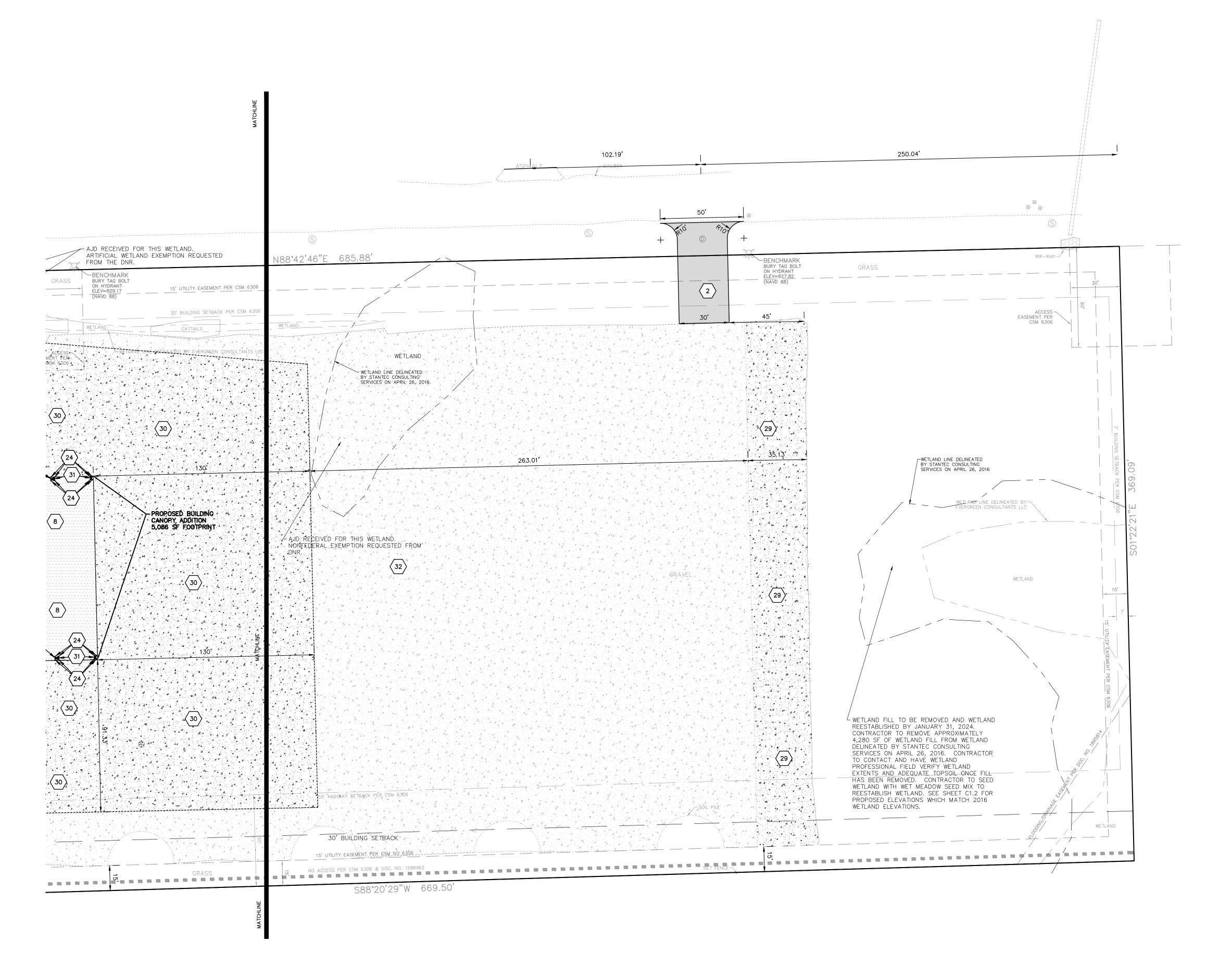
APR. 2, 2024

MAY 10, 2024

**ДОВ NUMBER** 230322300

SHEET NUMBER

C1.1A



#### SITE INFORMATION:

PROPERTY AREA: 435,612 S.F. (10.00 ACRES).

EXISTING ZONING: B-3 GENERAL BUSINESS

PROPOSED ZONING: B-3 GENERAL BUSINESS

PROPOSED USE: KUNES RV FACILITY WITH BUILDING & PAVEMENT ADDITION

AREA OF SITE DISTURBANCE: 107,000 SF (2.46 ACRES)

SETBACKS: BUILDING: FRONT = 30'

SIDE = 7' (ONE SIDE) AND 10' (OTHER SIDE) REAR = 25STREET = 30'

PAVEMENT: FRONT = N/ASIDE = N/AREAR = N/A

PROPOSED BUILDING HEIGHT: 22'-6" (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: 1 SPACE PER 300 S.F. OF GFA (65 SPACES REQ.)

PARKING PROVIDED: 12 SPACES (1 H.C. ACCESSIBLE) \*NUMBER OF STALLS PROVIDED PREVIOUSLY APPROVED WITH ORIGINAL BUILDING PROJECT.

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 30%

MAXIMUM IMPERVIOUS SURFACE: 70%

<u>existing site data</u>			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA PAVEMENT (ASP,CONC,	0.27	11,975	2.7%
GRAVEL)	6.98	303,869	69.8%
TOTAL IMPERVIOUS	7.25	315,844	72.5%
LANDSCAPE/ OPEN SPACE	2.75	119,768	27.5%
PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE BUILDING FLOOR AREA	10.00	435,612	
(INCLUDES PROPOSED CANOPY) PAVEMENT (ASP,CONC,	0.56	24,583	5.6%
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#### SITE PLAN KEYNOTES

- HEAVY DUTY ASPHALT SECTION (TYP.)
- HEAVY DUTY CONCRETE (TYP.)
- CONCRETE UNDER CANOPY. SEE STRUCTURAL PLANS FOR DETAILS.
- 6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
- GRAVEL AREA. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL. (TYP.)
- GRAVEL AREA. ADD/REMOVE GRAVEL FOR GRADING PURPOSES. SEE C1.2. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL WILL
- EXIST ONCE ELEVATION MODIFICATIONS ARE COMPLETE (TYP.)

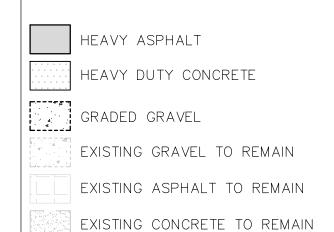
CANOPY SUPPORT COLUMN (SEE ARCH PLANS FOR DETAILS)

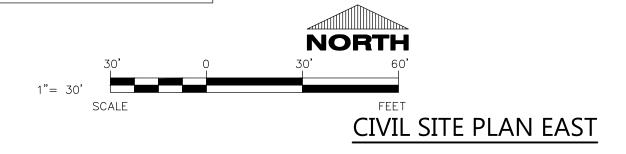
EXISTING GRAVEL TO REMAIN.

EXISTING ASPHALT TO REMAIN.

- EXISTING CONCRETE TO REMAIN.
- 6' CHAINLINK FENCE WITH SLATS AND GATES FOR DUMPSTER SCREENING. COLOR BY OWNER. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

#### PAVEMENT HATCH KEY:







Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935

920-926-9800

excelengineer.com

PROJECT INFORMATION

PROFESSIONAL SEAL

PRELIMINARY DATES NOV. 1, 2023 NOV. 6, 2023 NOV. 10, 2023 NOV. 16, 2023 DEC. 7, 2023 JAN. 5, 2024 JAN. 12, 2024 JAN. 19, 2024 MAR. 6, 2024 MAR. 7, 2024 MAR. 28, 2024 APR. 2, 2024

**JOB NUMBER** 230322300

MAY 10, 2024

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

| | |IP

INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF

THE PROJECT SITE PER LOCAL CODE.

#### STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

#### NOTES:

- 1. HANDICAP STALL AND ACCESS AISLES SHALL
  NOT EXCEED A SLOPE OF 1.50% IN ANY
  DIRECTION. HANDICAP STALL & ACCESS AISLES
  SHALL CONFORM TO ADA REQUIREMENTS
  (CURRENT EDITION)
- 2. ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.



Fond du Lac, WI 54935

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PROJECT INFORMATION

ADDITION ALLEY

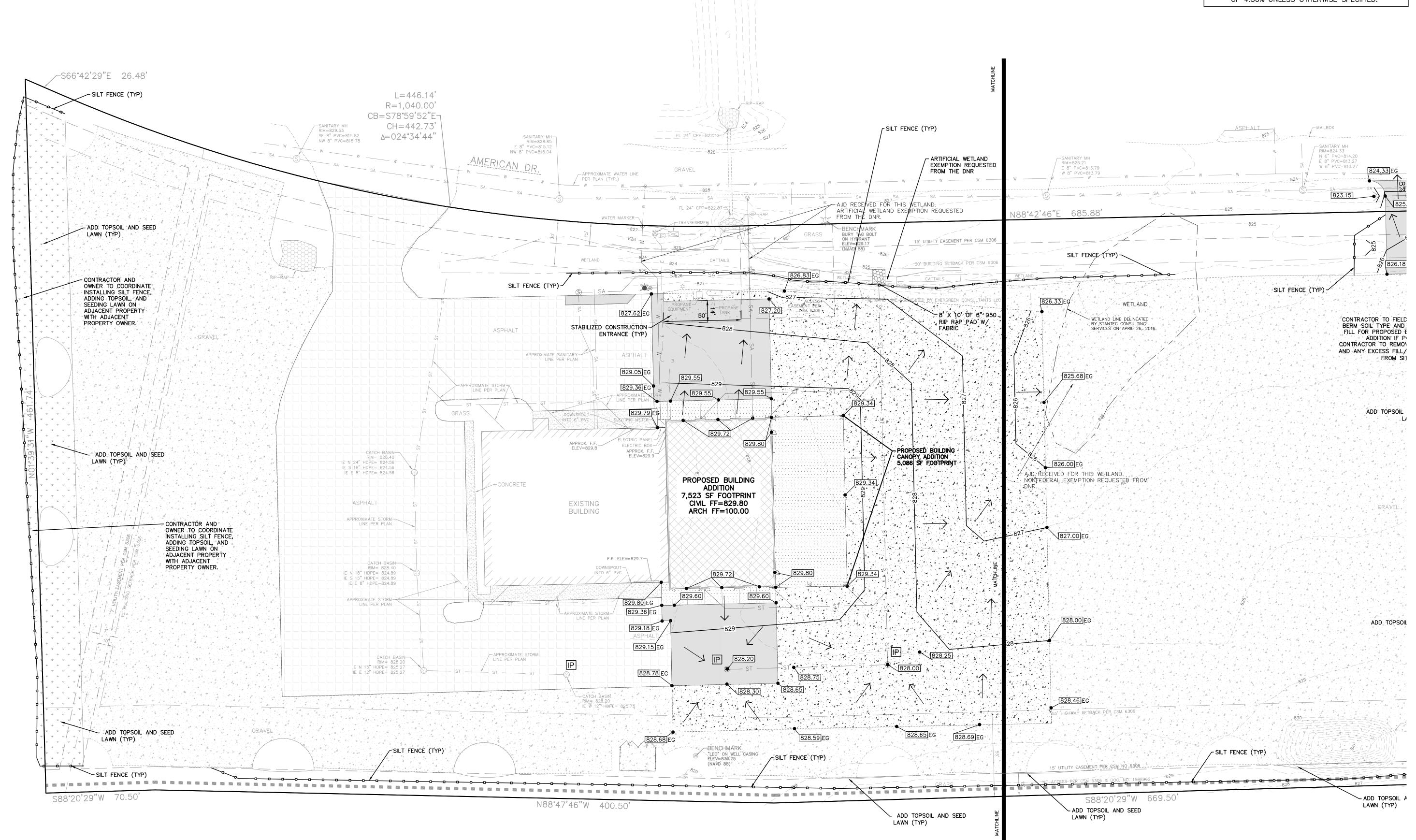
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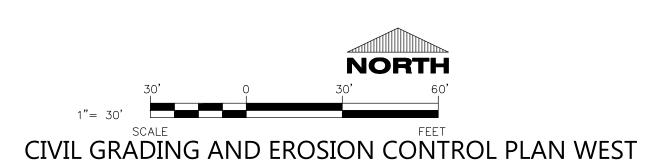
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PROFESSIONAL SEAL

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	PRELIMINARY DATES
>	NOV. 6, 2023
0	NOV. 10, 2023
CONSTRUCTION	NOV. 16, 2023
_ 3	DEC. 7, 2023
~ ×	JAN. 5, 2024
S	JAN. 12, 2024
_ <b>&gt;</b>	JAN. 19, 2024
_ <u>U</u>	MAR. 6, 2024
	MAR. 7, 2024
FOR	MAR. 28, 2024
	APR. 2, 2024
	MAY 10, 2024

JOB NUMBER

230322300

SHEET NUMBER

C1.2A

#### **CONCRETE WASHOUT NOTE:**

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

**INLET PROTECTION NOTE:** 

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

#### STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION

**SPECIFICATION NOTE:** SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

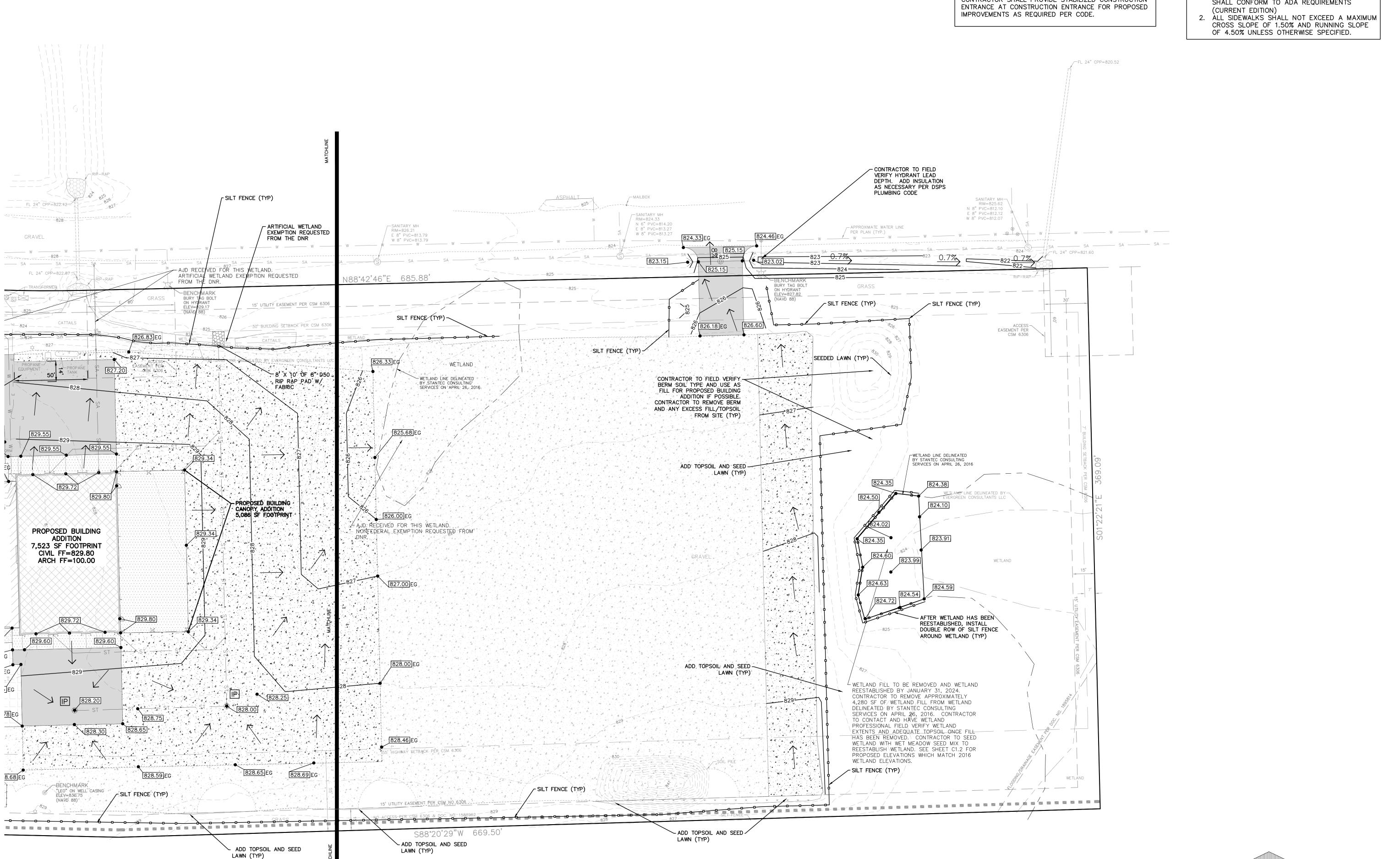
#### NOTES:

1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS



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Fond du Lac, WI 54935



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**ADDITION** BUILDIN PROPOSED UNES F

PRELIMINARY DATES	
NOV. 6, 2023	>
NOV. 10, 2023	_ 0
NOV. 16, 2023	CONSTRUCTIO
DEC. 7, 2023	
JAN. 5, 2024	8
JAN. 12, 2024	IS1
JAN. 19, 2024	<b>~</b>
MAR. 6, 2024	$\mathcal{C}$
MAR. 7, 2024	<b>&amp;</b>
MAR. 28, 2024	FOR
APR. 2, 2024	_

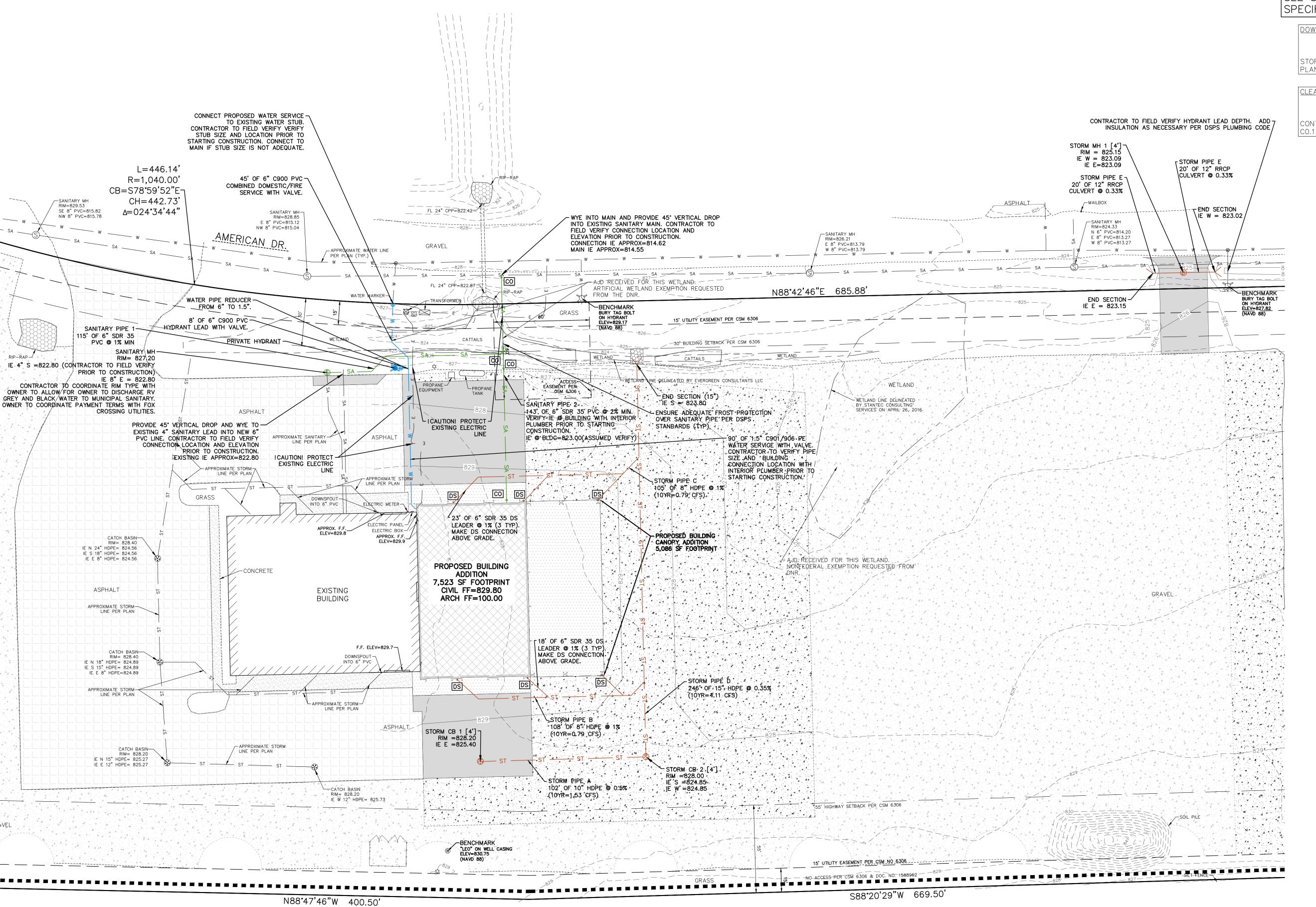
PROFESSIONAL SEAL

**JOB NUMBER** 230322300

MAY 10, 2024

**SHEET NUMBER** 

CIVIL GRADING AND EROSION CONTROL PLAN EAST



DOWNSPOUT NOTE:

= DENOTES DOWNSPOUT TO STORM PIPE CONNECTION LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:

= DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.

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PROJECT INFORMATION

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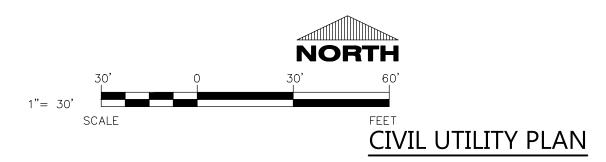
**ADDITION** BUILDIN SE ÖL PROP(

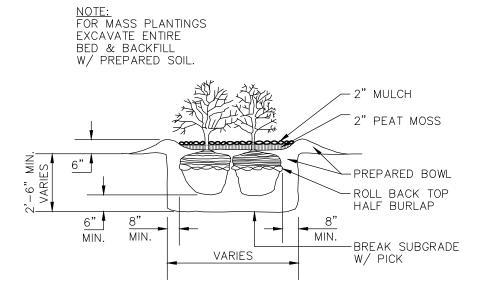
PROFESSIONAL SEAL

PRELIMINARY DATES NOV. 6, 2023 NOV. 10, 2023 NOV. 16, 2023 DEC. 7, 2023 JAN. 5, 2024 JAN. 12, 2024 JAN. 19, 2024 MAR. 6, 2024 MAR. 7, 2024 MAR. 28, 2024 APR. 2, 2024

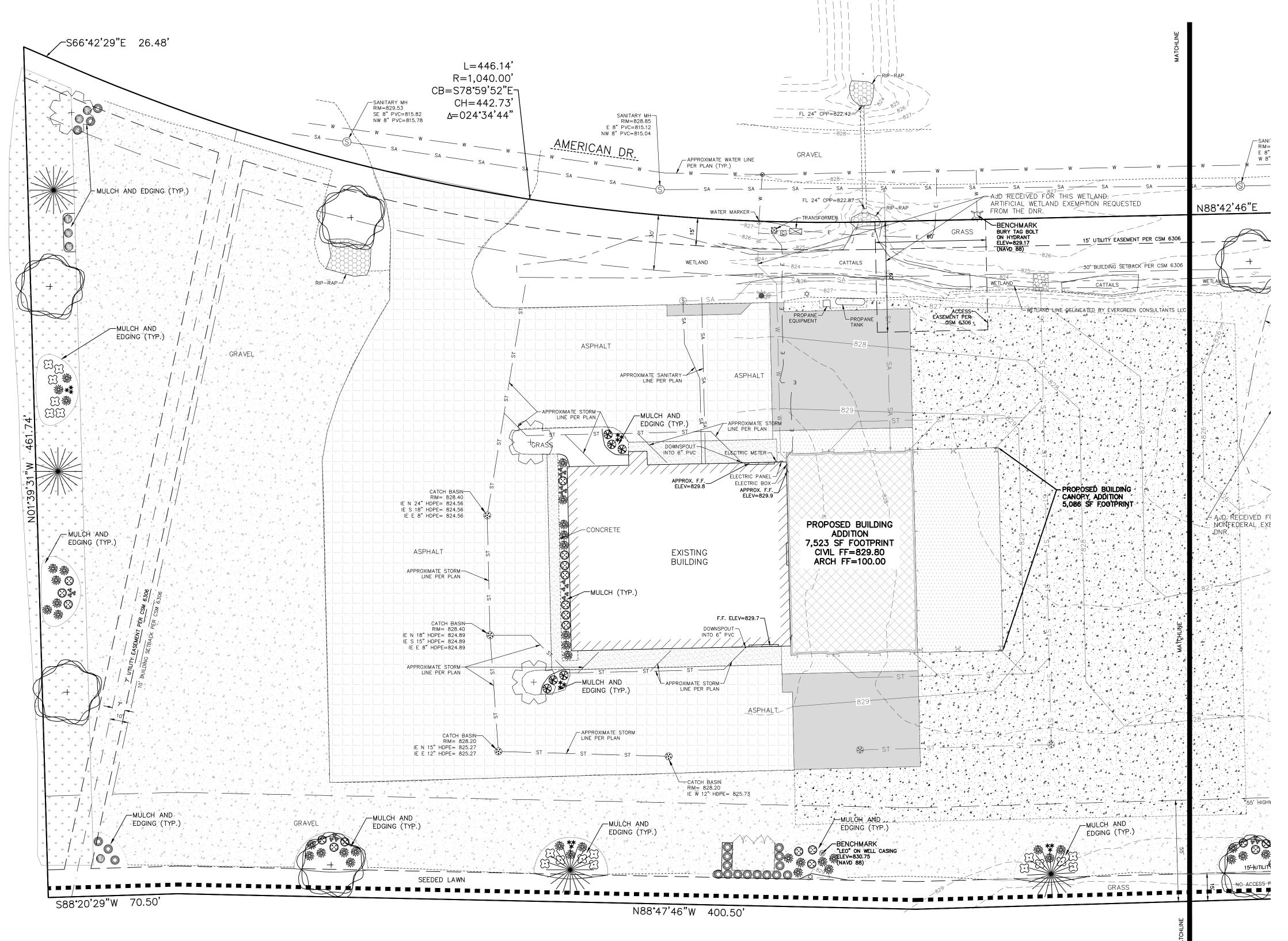
**JOB NUMBER** 230322300

MAY 10, 2024





#### SHRUB PLANTING DETAIL NO SCALE



SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

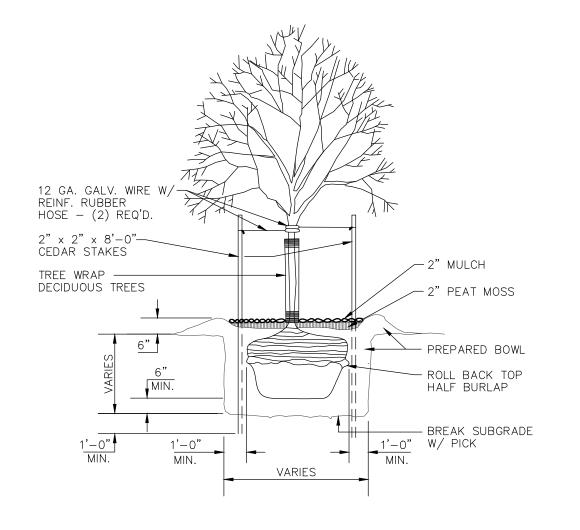
	LAI	NDSCAPING NOTES		
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTIT
	<u>DE</u> (	CIDUOUS TREES		
0	Sugar Maple (TALL)	Acer saccharum	3"	10
€	Amur Maple (LOW)	Acer ginnala	2"	6
	<u>E.VE</u>	ERGREEN TREES		
*	Austrian Pine	Pinus nigra	6'	7
	<u>EVE</u>	RGREEN SHRUBS		
**	Dwarf Norway Spruce	Picea abies 'Pumila'	2'	50
0	Pfitzer Juniper (TALL)	Juniperus chinensis 'Pfitzeriana'	2'	20
		IDUOUS SHRUBS	0.12	T
<u></u> ₩	Barberry Golden (LOW)	Berberis thunbergii aurea	24"	6
<b>©</b>	Weigela Carnaval (MEDIUM)	Weigela Florida 'courtalor'	15"-18"	22
<u></u>	Rhododendron (LOW)  Arrowwood Viburnun (TALL)	Rhodendron haaga  Viburnum dentatum	30"-36"	24
	· · ·	PERENNIALS		
*	Blue Autumn Aster	Aster 'blue autumn'	1 gal pot	18

Rudbeckia fulgida

1 gal pot

LANDSCAPING CALCULATIONS (FOR SITE IMPROVEMENTS AFTER 2017)		
ZONE	REQ. PLANTS	PLANTS PROVIDED
PARKING LOT PERIMETER LANDSCAPING	1 TREE PER 50' OF PARKING LOT PERIMETER	1 TREE PER 50' IN AREAS OF EXPANDED GRAVEL, EXCULDING WETLAND AND UTILITY EASEMENT LOCATIONS
GROUNDS LANDSCAPING	20 TREE POINTS PER 4,500 SF OF IMPERVIOUS =(63,301/4500)*20=282 POINTS REQ LOW DECIDUOUS NO MORE THAN 50% EVERGREEN MIN 15% 3 SHRUB POINTS PER 1,000 SF OF IMPERVIOUS=(63,301/1000)*3=190 POINTS REQ	6 TALL TREES * 30 = 180 POINTS 4 LOW DECIDUOUS * 10 = 40 POINTS 3 EVERGREEN * 30 = 90 POINTS 310 TREE POINTS PROVIDED 44 TALL SHRUBS * 5 = 220 POINTS 220 SHRUB POINTS PROVIDED
BUILDING LANDSCAPING	75% OF BUILDING SIDES LANDSCAPED MINIMUM 6' WIDE	DUE TO CURRENT AND PROPOSED BUILDING USE THIS IS INFEASIBLE BUT MORE THAN REQUIRED GROUNDS LANDSCAPING POINTS PROVIDED AND LANDSCAPING PROVIDED ON WEST SIDE OF EXISTING BUILDING TO COMPENSATE.

₩ Black-eyed Susan - Goldsturm



TREE PLANTING DETAIL NO SCALE



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PROJECT INFORMATION

**ADDITION** 

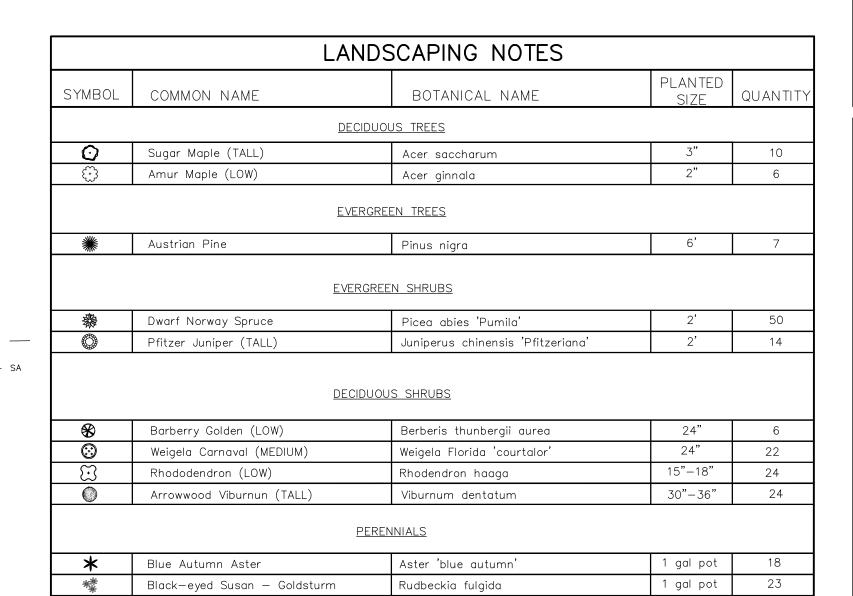
BUILDIN PROPOSED UNES F

PROFESSIONAL SEAL

PRELIMINARY DATES MAR. 6, 2024 MAR. 7, 2024 MAR. 28, 2024 APR. 2, 2024 MAY 10, 2024

JOB NUMBER 230322300





RIM=825.62 N 8" PVC=812.10 E 8" PVC=812.12

W 8" PVC=812.07

WETLAND LINE DELINEATED
BY STANTEC CONSULTING
SERVICES ON APRIL 26, 2016

WETLAND FILL TO BE REMOVED AND WETLAND REESTABLISHED BY JANUARY 31, 2024.
CONTRACTOR TO REMOVE APPROXIMATELY 4,280 SF OF/WETLAND FILL FROM WETLAND DELINEATED BY STANTEC CONSULTING SERVICES ON APRIL \$6, 2016. CONTRACTOR

EXTENTS AND ADEQUATE TOPSOIL ONCE FILE—
THAS BEEN REMOVED. CONTRACTOR TO SEED

WETLAND WITH WET MEADOW SEED MIX TO REESTABLISH WETLAND. SEE SHEET C1.2 FOR PROPOSED ELEVATIONS WHICH MATCH 2016

PARKING LOT

LANDSCAPING

PERIMETER

GROUNDS

ANDSCAPING

BUILDING LANDSCAPING

TO CONTACT AND HXVE WETLAND

WETLAND ELEVATIONS.

PROFESSIONAL FIELD VERIFY WETLAND

WETLAND LINE DELINEATED BY-EVERGREEN CONSULTANTS LLC

WETLAND

REQ. PLANTS

TREE PER 50' OF

EVERGREEN MIN 15%

MINIMUM 6' WIDE

PARKING LOT PERIMETER

20 TREE POINTS PER 4,500 SF OF IMPERVIOUS

IMPERVIOUS=(63,301/1000)\*3=190 POINTS REQ

=(63,301/4500)\*20=282 POINTS REQ LOW DECIDUOUS NO MORE THAN 50%

3 SHRUB POINTS PER 1,000 SF OF

75% OF BUILDING SIDES LANDSCAPED

LANDSCAPING CALCULATIONS (FOR SITE IMPROVEMENTS AFTER 2017)

PLANTS PROVIDED

1 TREE PER 50' IN AREAS OF EXPANDED GRAVEL,

EXCULDING WETLAND AND

6 TALL TREES \* 30 = 180 POINTS 4 LOW DECIDUOUS \* 10 = 40 POINTS

EVERGREEN \* 30 = 90 POINTS

38 TALL SHRUBS \* 5 = 190 POINTS

DUE TO CURRENT AND PROPOSED BUILDING USE THIS IS INFEASIBLE BUT

MORE THAN REQUIRED GROUNDS

LANDSCAPING POINTS PROVIDED AND LANDSCAPING PROVIDED ON WEST SIDE OF EXISTING BUILDING TO COMPENSATE.

310 TREE POINTS PROVIDED

190 SHRUB POINTS PROVIDED

UTILITY EASEMENT

RIP-RAP-

ACCESS ~ EASEMENT PER CSM 6306 FL 24" CPP=821.60

-APPROXIMATE WATER LINE

PER PLAN (TYP.)

-BENCHMARK

BURY TAG BOLT ON HYDRANT ELEV=827.82 (NAVD 88)

E 8" PVC=813.27 W 8" PVC=813.27

MULCH AND EDGING (TYP.)

MULCH AND EDGING (TYP.)

-SANITARY MH RIM=826.21 E 8" PVC=813.79 W 8" PVC=813.79

WETLAND

WETLAND LINE DELINEATED BY STANTEC CONSULTING SERVICES ON APRIL 26, 2016

N88°42'46"E 685.88'

AJD RECEIVED FOR THIS WETLAND.

NONFEDERAL EXEMPTION REQUESTED FROM

155' HIGHWAY SETBACK PER CSM 6306

- 100 - 100

EDGING (TYP.)

S88°20'29"W 669.50'

-AJD RECEIVED FOR THIS WETLAND. - - - -

15' UTILITY EASEMENT PER CSM 6306

-30' BUILDING SETBACK PER CSM 6306

WETCAND LINE DELINEATED BY EVERGREEN CONSULTANTS

- PROPOSED BUILDING CANOPY ADDITION 5,086 SF FOOTPRINT

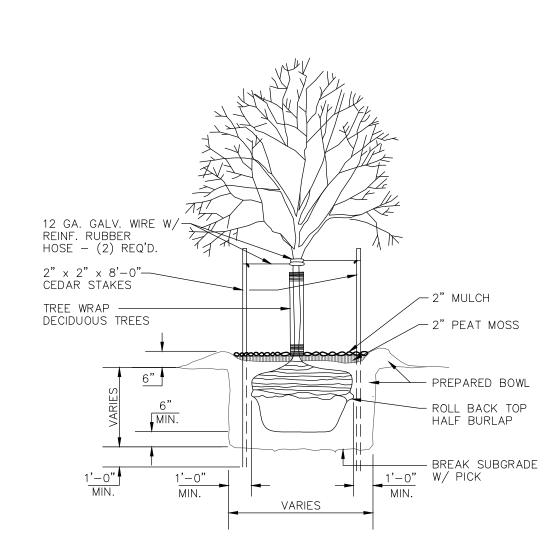
EDGING (TYP.)

ARTIFICIAL WETLAND EXEMPTION REQUESTED

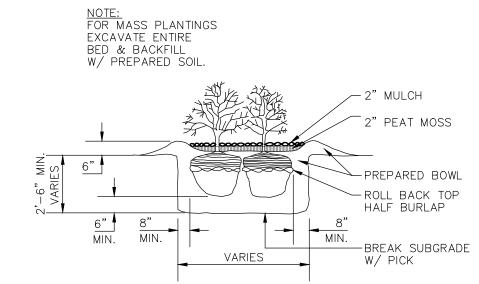
FROM THE DNR.

-BENCHMARK

BURY TAG BOLT ON HYDRANT ELEV=829.17 (NAVD 88)

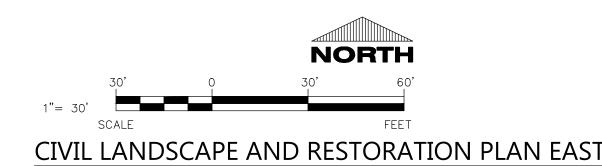


## TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

NO SCALE



EXCEL

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PROJECT INFORMATION

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TION TO:

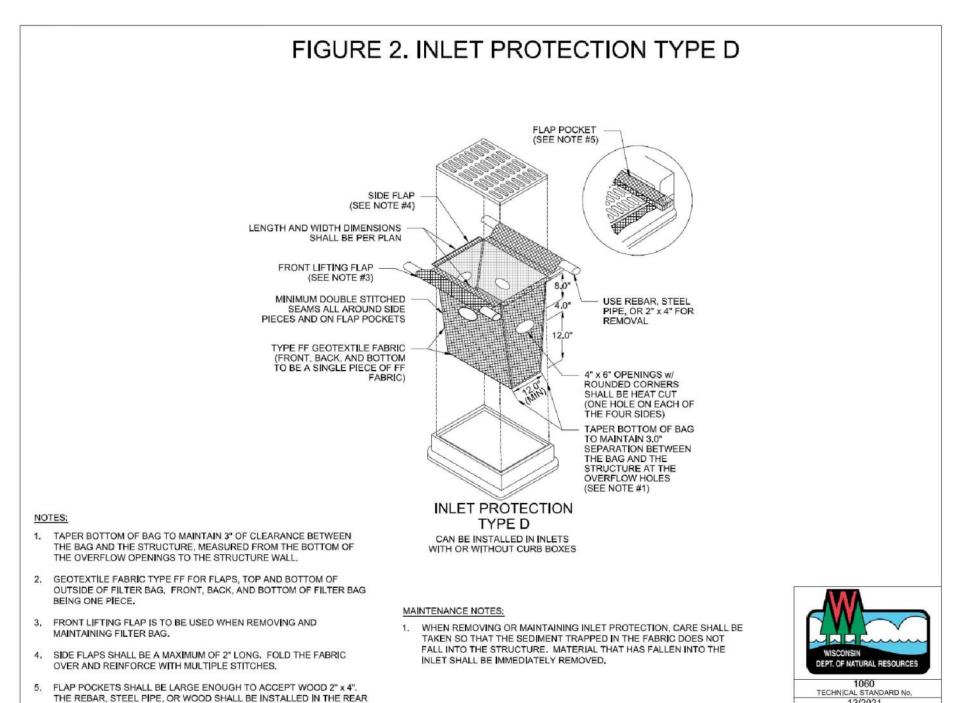
PROPOSED BUILDING ADDITION TO UNES FOX VALLEY I

PROFESSIONAL SEAL

MAR. 6, 2024
MAR. 7, 2024
MAR. 28, 2024
APR. 2, 2024
MAY 10, 2024

JOB NUMBER 230322300

C1.4B



INLET PROTECTION DETAIL
NO SCALE

FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS

LENGTH 3'-4' 20" DEPTH

IN GROUND

FABRIC ONLY

TIEBACK BETWEEN FENC POST AND ANCHOR

BACKFILL & COMPACT

ATTACH THE FABRIC TO THE POSTS WITH WIRE

STAPLES OR WOODEN LATH

FLOW DIRECTION —\_\_\_

ANCHOR STAKE

MIN. 18" LONG

SILT FENCE TIE BACK

(WHEN ADDITIONAL SUPPORT REQUIRED)

SILT FENCE

TRENCH WITH EXCAVATED SOIL

MAY BE REQUIRED IN UNSTABLE SOILS

12/2021 REVISION DATE

NOT TO SCALE

INSTALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056

GEOTEXTILE

FLOW DIRECTION

TWIST METHOD

- WOOD POST

FLOW DIRECTION

HOOK METHOD

(1) HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT

RENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.

5) CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING

SILT FENCE

LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR

ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE

JOINING TWO LENGTHS OF SILT FENCE

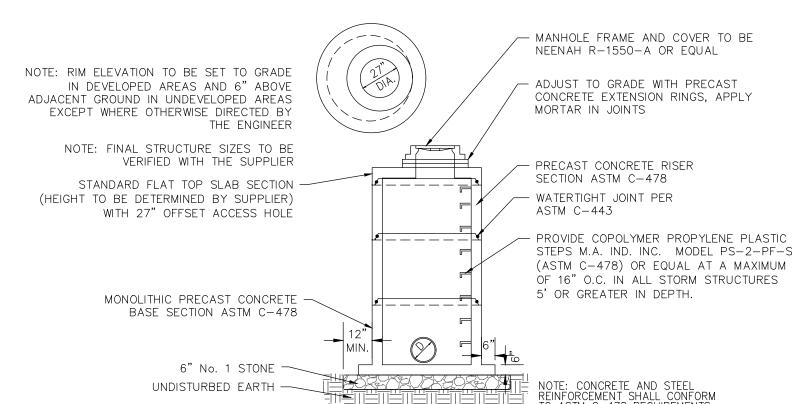
(2) TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT

4) SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.

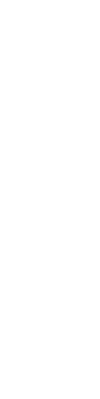
GENERAL NOTES

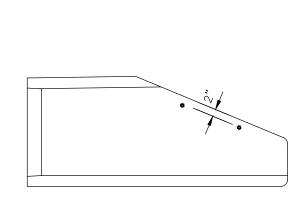
This drawing based on Wisconsin

Department of Transportation Standard Detail Drawing 8 E 9-6.

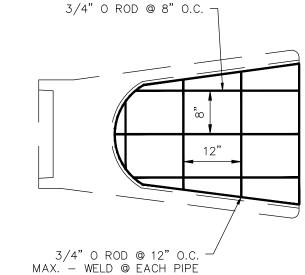


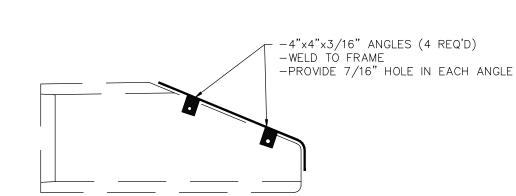
STORM MANHOLE DETAIL





SHOP DRILL (4) 7/16" HOLES AS SHOWN





SPECIFICATION NOTE:

SEE SHEET CO.1 FOR PLAN

SPECIFICATIONS AND REQUIREMENTS

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ON,

PROJECT INFORMATION

**ADDITION** 

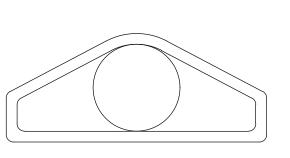
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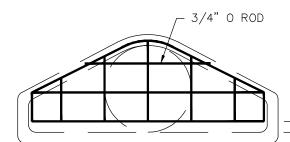
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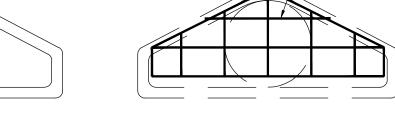
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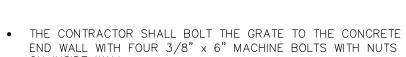
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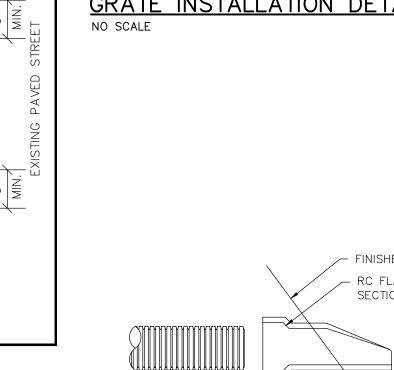


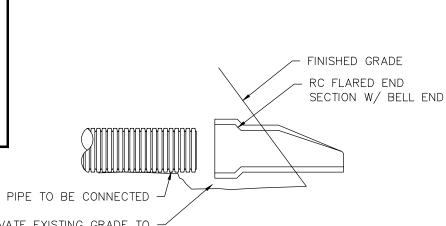
PAINTING SPECIFICATIONS

THE PIPE GRATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING, SEE NOTES: FIRST COAT- RUST-OLEUM X-60 RED BARE METAL PRIMER OR EQUAL SECOND COAT- RUST-OLEUM 960 ZINC CHROMATE PRIMER OR EQUAL THIRD COAT- RUST-OLEUM 1282 HIGH GLOSS & METALLIC FINISH OR EQUAL.

- BARE SURFACES AFTER THROUGH SCRAPING, WIRE BRUSHING & CLEANING, APPLY THE
- EACH COAT AN OVERALL COAT • ALLOW 24-48 HOURS DRYING TIME BETWEEN COATS.

GRATE INSTALLATION DETAIL





NONWOVEN GEOTEXTILE

AROUND CONNECTION

CAST IN PLACE

NO SCALE

CONCRETE COLLAR

FABRIC TO BE WRAPPED

FINISHED GRADE -

NONWOVEN GEOTEXTILE -

AROUND CONNECTION

FABRIC TO BE WRAPPED

CONNECTION DETAIL FOR HDPE PIPE

TO RC FLARED END SECTION BELL END

HDPE PIPE TO BE CONNECTED -EXCAVATE EXISTING GRADE TO AVOID SOIL INTRUSION & TO

CREATE SAFE WORK AREA

NOTES:
1. CONNECTION AND PIPE TO BE BACKFILLED PER

FLARED END SECTIONS USING THIS METHOD.

HDPE PIPE SYSTEMS CAN BE CONNECTED TO RC

CHANGE OF MATERIAL IN A PIPE RUN IS NOT

ONLY AT MANHOLES OR INLET STRUCTURES.

NONWOVEN GEOTEXTILE FABRIC SHALL MEET

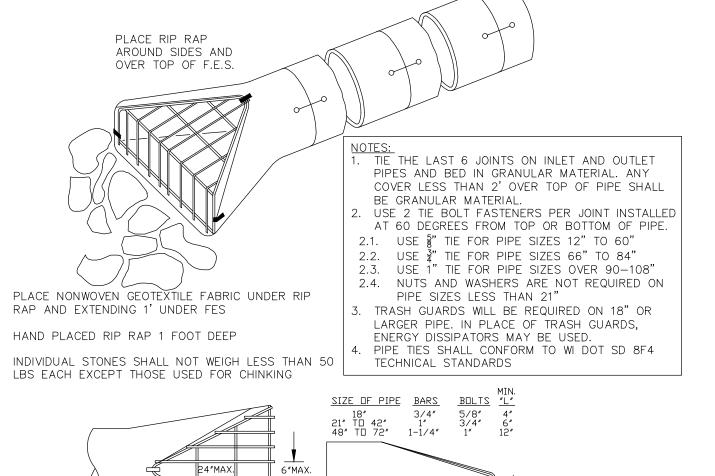
LOCAL AND STATE REQUIREMENTS.

SECTION "A-A"

ALLOWED. MATERIAL CHANGES ARE ONLY ALLOWED

HDPE FLARED END SECTIONS ARE NOT ALLOWED.

ASTM D2321.



# SILT FENCE - INSTALLATION DETAIL

TRENCH DETAIL

\* NOTE: 8'-0" POST SPACING ALLOWED IF A

WOVEN GEOTEXTILE FABRIC IS USED.

**GEOTEXTILE** FABRIC

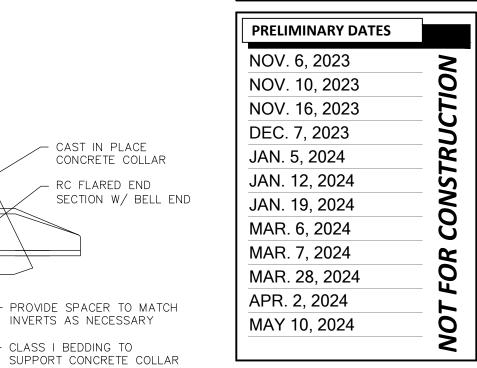
FLOW DIRECTION (

EXCESS

	CONSTRUCTION SEQUENCE		
PHASE	TYPE OF ACTION		
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.		
	2. CONTRACTOR TO MAKE SURE THE REGIONAL STORMWATER POND IS IN PLACE BEFORE CONSTRUCTION CAN BEGIN.		
	3. PLACE ALL SILT FENCE.		
	4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.		
	5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS.		
	6. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.		
	7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.		
2. CONSTRUCTION	1. SITE DEMOLITION AS REQUIRED.		
ACTION	2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE		
	PERIMETER SILT FENCE UNTIL STABLIZED.		
	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.		
	4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.		
	5. DIG AND POUR ALL BUILDING FOOTINGS.		
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS.		
	7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.		
	8. CONSTRUCT BUILDING.		
	9. PAVE DRIVEWAYS AND PARKING AREAS.		
	10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.		
	11. ONCE SITE IS STABILIZED, CONSTRUCT INFILTRATION BASIN.		
3. POST CONSTRUCTION			
ACTION	2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.		

\*\*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.\*\*

CONCRETE END SECTION DETAIL



**JOB NUMBER** 230322300

**SHEET NUMBER** 

**CIVIL DETAILS** 

CAST IN PLACE

RC FLARED END

INVERTS AS NECESSARY

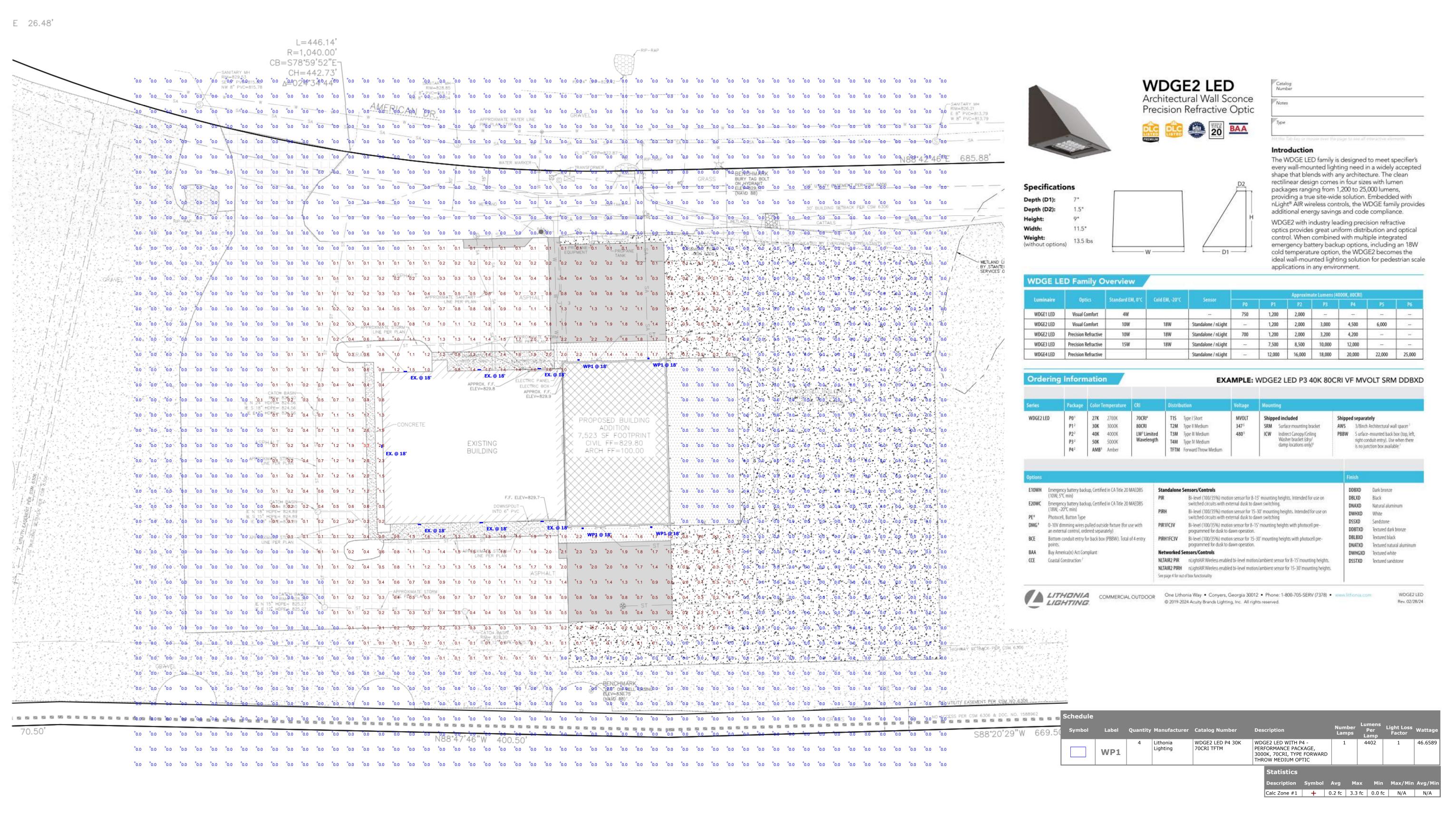
CLASS I BEDDING TO

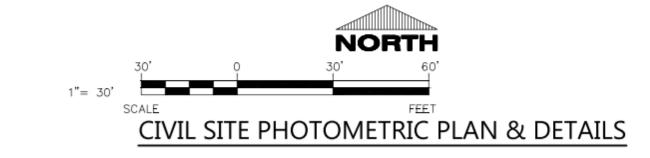
INSTALL IN ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1057 NEENAH FOUNDRY OR EQ. LOW CURRENT EDITION) ON INSIDE WALL. 3/8" TO 3" STONE PROFILE R-1792-GG • APPLICABLE FOR PIPE SIZES 18" AND GREATER. 12" MINIMUM THICKNESS ADJUST TO GRADE WITH PRECAST CONCRETE EXTENSION RINGS, APPLY STANDARD FLAT TOP SLAB — MORTAR IN JOINTS SECTION (HEIGHT TO BE DETERMINED BY SUPPLIER) WITH EXISTING STABILIZED -- WATERTIGHT JOINT PER 27" OFFSET ACCESS HOLE -GEO-TEXTILE FABRIC SURFACE ASTM C-443LINER AS NEEDED NOTE:
TRACKING MATS SHALL BE INSPECTED DAILY. PRECAST CONC. M.H. SEGMENTS. SEAL ALL DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY JOINTS WATERTIGHT THREE COAT SYSTEM LISTED. SECTION A-A - MONOLITHIC PRECAST TRACKING PAD CONCRETE BASE SECTION PROVIDE COPOLYMER PROPYLENE PLASTIC STEPS M.A. IND. INC. MODEL PS-2-PF-S INVERSTITE EVATION OR EQUAL AT A MAXIMUM SEPTELLAN O.C. IN ALL STORM STRUCTURES 5' OR GREATER IN DEPTH. NOTE: FINAL STRUCTURE SIZES TO BE VERIFIED WITH THE SUPPLIER UNDISTURBED EARTH STORM CATCH BASIN DETAIL
NO SCALE TRACKING PAD SHALL BE FULL WIDTH OF THE EGRESS POINT NOTE: CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO ASTM C-478 REQUIREMENTS. PLAN TRACKPAD DETAILS

PROVIDE 3 CLIPS TO FASTEN TRASH GUARD TO F.E.S HOT DIP GALVANIZE AFTER FABRICATION PER ASTM A 153



PROJECT INFORMATION





SED BUILDING ADDITION TO:

S FOX VALLEY RV

ERICAN DRIVE • TOWN OF CLAYTON, WI

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691

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 6, 2023

MAR. 6, 2024

MAR. 28, 2024

230322300

C3.1