

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2023
NOV. 6, 2023
NOV. 10, 2023
NOV. 16, 2023
DEC. 7, 2023
JAN. 5, 2024
JAN. 12, 2024
JAN. 19, 2024
MAR. 6, 2024
MAR. 7, 2024
MAR. 28, 2024
APR. 2, 2024
MAY 10, 2024

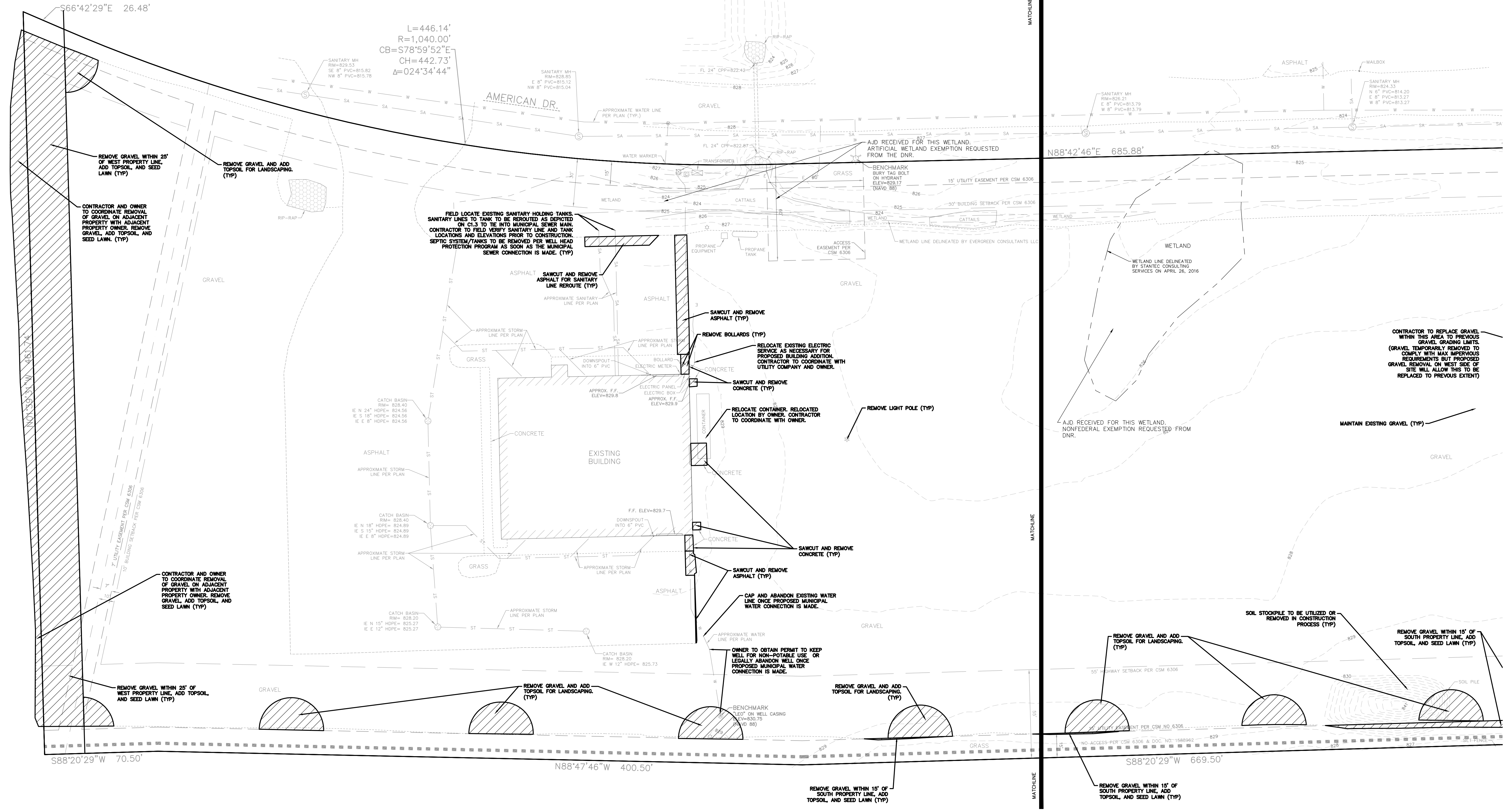
NOT FOR CONSTRUCTION

JOB NUMBER

230322300

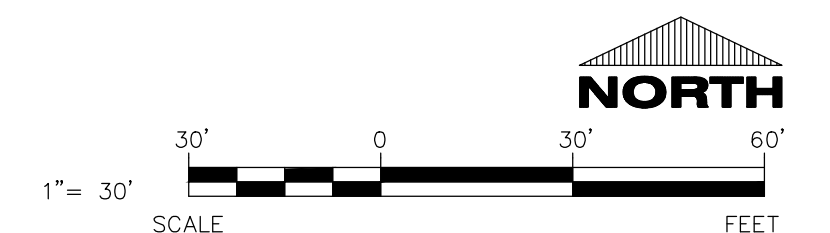
SHEET NUMBER

C1.0A



NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 2241862, BY KNIGHT BARRY TITLE GROUP, DATED OCTOBER 23, 2023. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20233917621 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



CIVIL EXISTING SITE AND DEMOLITION PLAN WEST

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2023	_____
NOV. 6, 2023	_____
NOV. 10, 2023	_____
NOV. 16, 2023	_____
DEC. 7, 2023	_____
JAN. 5, 2024	_____
JAN. 12, 2024	_____
JAN. 19, 2024	_____
MAR. 6, 2024	_____
MAR. 7, 2024	_____
MAR. 28, 2024	_____
APR. 2, 2024	_____
MAY 10, 2024	_____

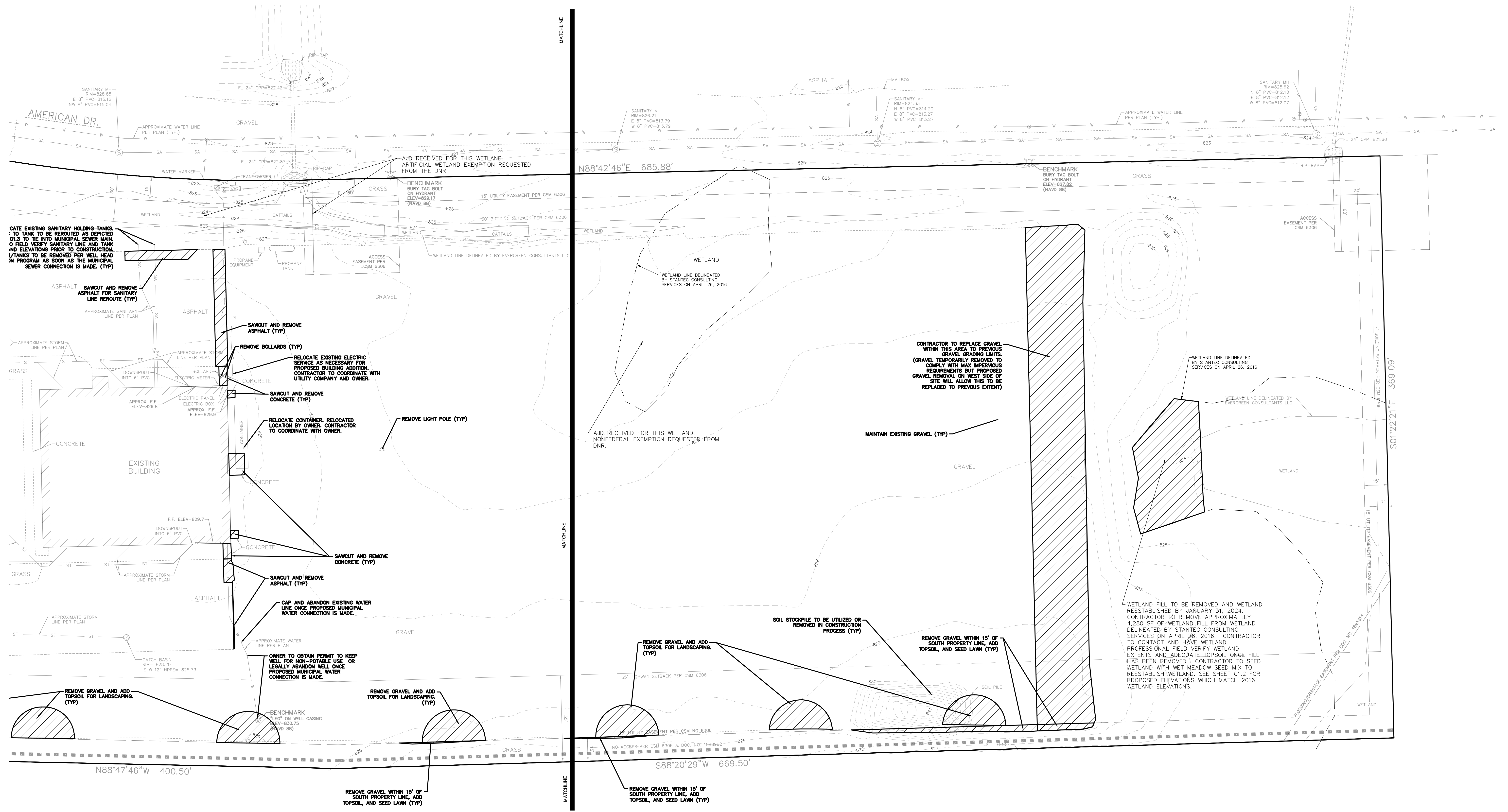
NOT FOR CONSTRUCTION

JOB NUMBER

230322300

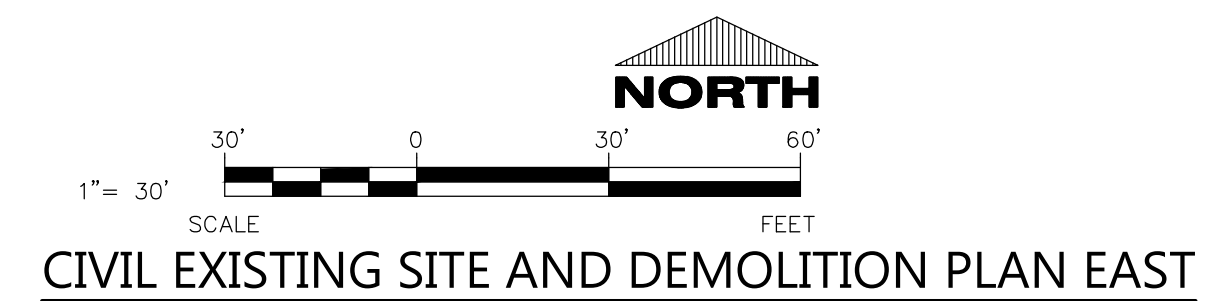
SHEET NUMBER

C1.0B



NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 2241892, BY KNIGHT BARRY TITLE GROUP, DATED OCTOBER 23, 2023. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20233917621 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



CIVIL EXISTING SITE AND DEMOLITION PLAN EAST

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

- NOV. 1, 2023
- NOV. 6, 2023
- NOV. 10, 2023
- NOV. 16, 2023
- DEC. 7, 2023
- JAN. 5, 2024
- JAN. 12, 2024
- JAN. 19, 2024
- MAR. 6, 2024
- MAR. 7, 2024
- MAR. 28, 2024
- APR. 2, 2024
- MAY 10, 2024

JOB NUMBER

230322300

SHEET NUMBER

C1.1A

NOT FOR CONSTRUCTION

SITE INFORMATION:

PROPERTY AREA: 435,612 S.F. (10.00 ACRES).
EXISTING ZONING: B-3 GENERAL BUSINESS
PROPOSED ZONING: B-3 GENERAL BUSINESS
PROPOSED USE: KUNES RV FACILITY WITH BUILDING & PAVEMENT ADDITION
AREA OF SITE DISTURBANCE: 107,000 SF (2.46 ACRES)

SETBACKS: BUILDING: FRONT = 30'
SIDE = 7' (ONE SIDE) AND 10' (OTHER SIDE)
REAR = 25'
STREET = 30'

PAVEMENT: FRONT = N/A
SIDE = N/A
REAR = N/A

PROPOSED BUILDING HEIGHT: 22'-6" (MAX. HEIGHT ALLOWED: 45')
PARKING REQUIRED: 1 SPACE PER 300 S.F. OF GFA (65 SPACES REQ.)
PARKING PROVIDED: 12 SPACES (1 H.C. ACCESSIBLE) *NUMBER OF STALLS PROVIDED PREVIOUSLY APPROVED WITH ORIGINAL BUILDING PROJECT.
HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 30%
MAXIMUM IMPERVIOUS SURFACE: 70%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA	0.27	11,975	2.7%
PAVEMENT (ASP, CONC, GRAVEL)	6.98	303,869	69.8%
TOTAL IMPERVIOUS	7.25	315,844	72.5%
LANDSCAPE/ OPEN SPACE	2.75	119,768	27.5%

PROPOSED SITE DATA

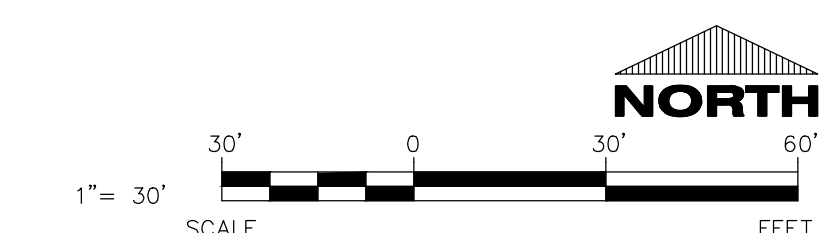
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA (INCLUDES PROPOSED CANOPY)	0.56	24,583	5.6%
PAVEMENT (ASP, CONC, GRAVEL)	6.31	274,733	63.1%
TOTAL IMPERVIOUS	6.87	299,316	68.7%
LANDSCAPE/ OPEN SPACE	3.13	136,296	31.3%

SITE PLAN KEYNOTES

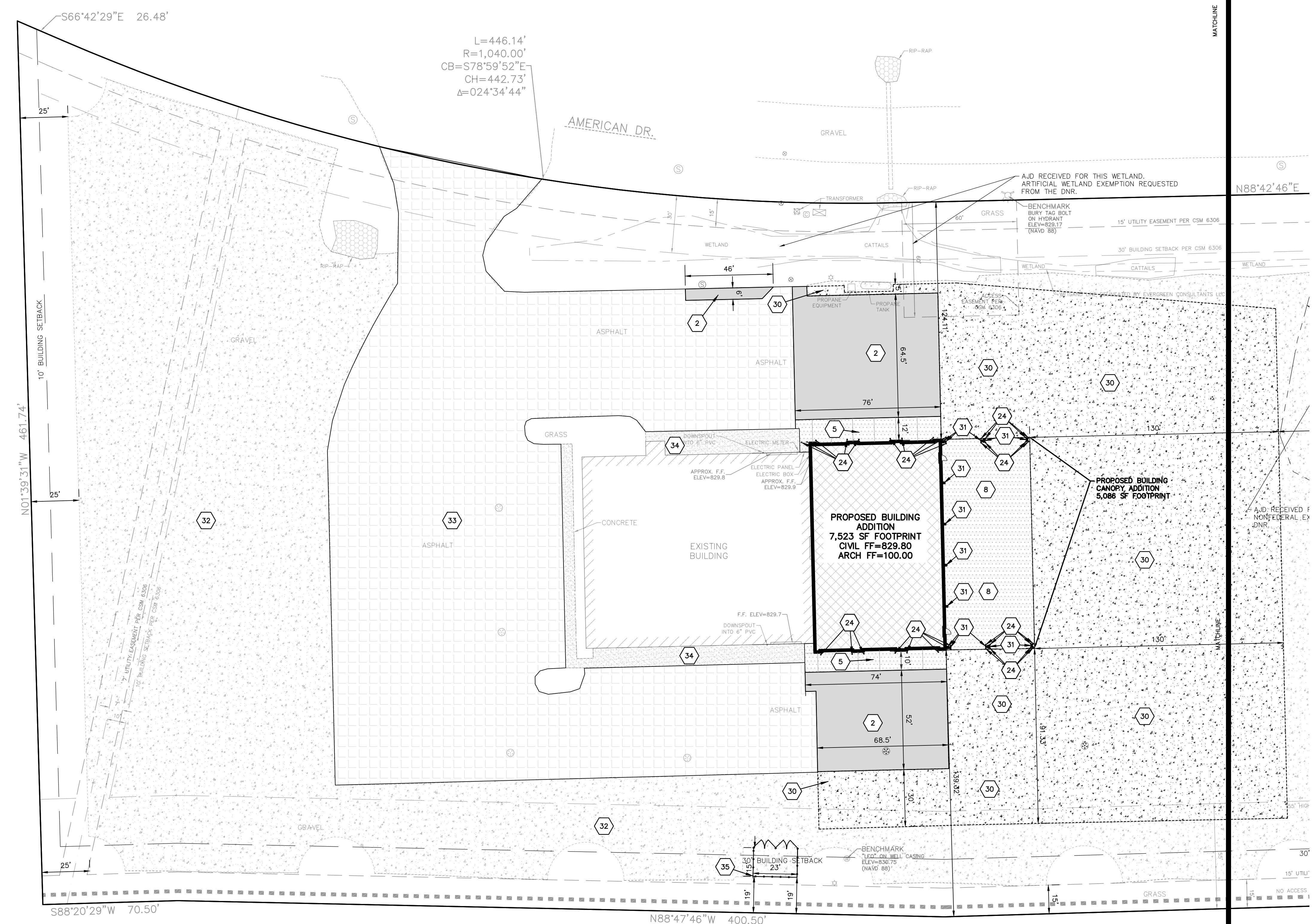
2	HEAVY DUTY ASPHALT SECTION (TYP.)
5	HEAVY DUTY CONCRETE (TYP.)
8	CONCRETE UNDER CANOPY. SEE STRUCTURAL PLANS FOR DETAILS.
24	6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
30	GRAVEL AREA. ADD/REMOVE GRAVEL FOR GRADING PURPOSES. SEE C1.2. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL WILL EXIST ONCE ELEVATION MODIFICATIONS ARE COMPLETE (TYP.)
31	CANOPY SUPPORT COLUMN (SEE ARCH PLANS FOR DETAILS)
32	EXISTING GRAVEL TO REMAIN.
33	EXISTING ASPHALT TO REMAIN.
34	EXISTING CONCRETE TO REMAIN.
35	6' CHAINLINK FENCE WITH SLATS AND GATES FOR DUMPSTER SCREENING. COLOR BY OWNER. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

PAVEMENT HATCH KEY:

[Hatch Pattern]	HEAVY ASPHALT
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	GRADED GRAVEL
[Hatch Pattern]	EXISTING GRAVEL TO REMAIN
[Hatch Pattern]	EXISTING ASPHALT TO REMAIN
[Hatch Pattern]	EXISTING CONCRETE TO REMAIN



CIVIL SITE PLAN WEST



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
 26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 1, 2023
 NOV. 6, 2023
 NOV. 10, 2023
 NOV. 16, 2023
 DEC. 7, 2023
 JAN. 5, 2024
 JAN. 12, 2024
 JAN. 19, 2024
 MAR. 6, 2024
 MAR. 7, 2024
 MAR. 28, 2024
 APR. 2, 2024
 MAY 10, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

230322300

SHEET NUMBER

C1.1B

SITE INFORMATION:

PROPERTY AREA: 435,612 S.F. (10.00 ACRES).
 EXISTING ZONING: B-3 GENERAL BUSINESS
 PROPOSED ZONING: B-3 GENERAL BUSINESS
 PROPOSED USE: KUNES RV FACILITY WITH BUILDING & PAVEMENT ADDITION
 AREA OF SITE DISTURBANCE: 107,000 SF (2.46 ACRES)
 SETBACKS: BUILDING: FRONT = 30'
 SIDE = 7' (ONE SIDE) AND 10' (OTHER SIDE)
 REAR = 25'
 STREET = 30'
 PAVEMENT: FRONT = N/A
 SIDE = N/A
 REAR = N/A
 PROPOSED BUILDING HEIGHT: 22'-6" (MAX. HEIGHT ALLOWED: 45')
 PARKING REQUIRED: 1 SPACE PER 300 S.F. OF GFA (65 SPACES REQ.)
 PARKING PROVIDED: 12 SPACES (1 H.C. ACCESSIBLE) *NUMBER OF STALLS PROVIDED PREVIOUSLY APPROVED WITH ORIGINAL BUILDING PROJECT.
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
 LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 30%
 MAXIMUM IMPERVIOUS SURFACE: 70%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA	0.27	11,975	2.7%
PAVEMENT (ASP, CONC, GRAVEL)	6.98	303,869	69.8%
TOTAL IMPERVIOUS	7.25	315,844	72.5%
LANDSCAPE/ OPEN SPACE	2.75	119,768	27.5%

PROPOSED SITE DATA

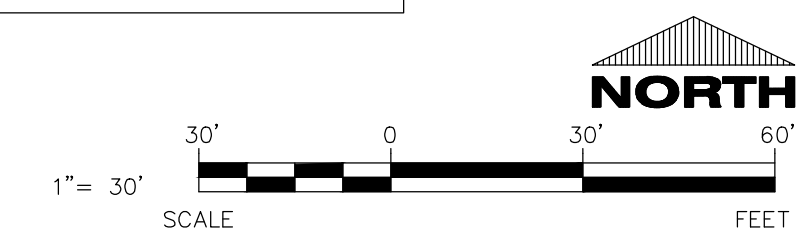
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.00	435,612	
BUILDING FLOOR AREA (INCLUDES PROPOSED CANOPY)	0.56	24,583	5.6%
PAVEMENT (ASP, CONC, GRAVEL)	6.31	274,733	63.1%
TOTAL IMPERVIOUS	6.87	299,316	68.7%
LANDSCAPE/ OPEN SPACE	3.13	136,296	31.3%

SITE PLAN KEYNOTES

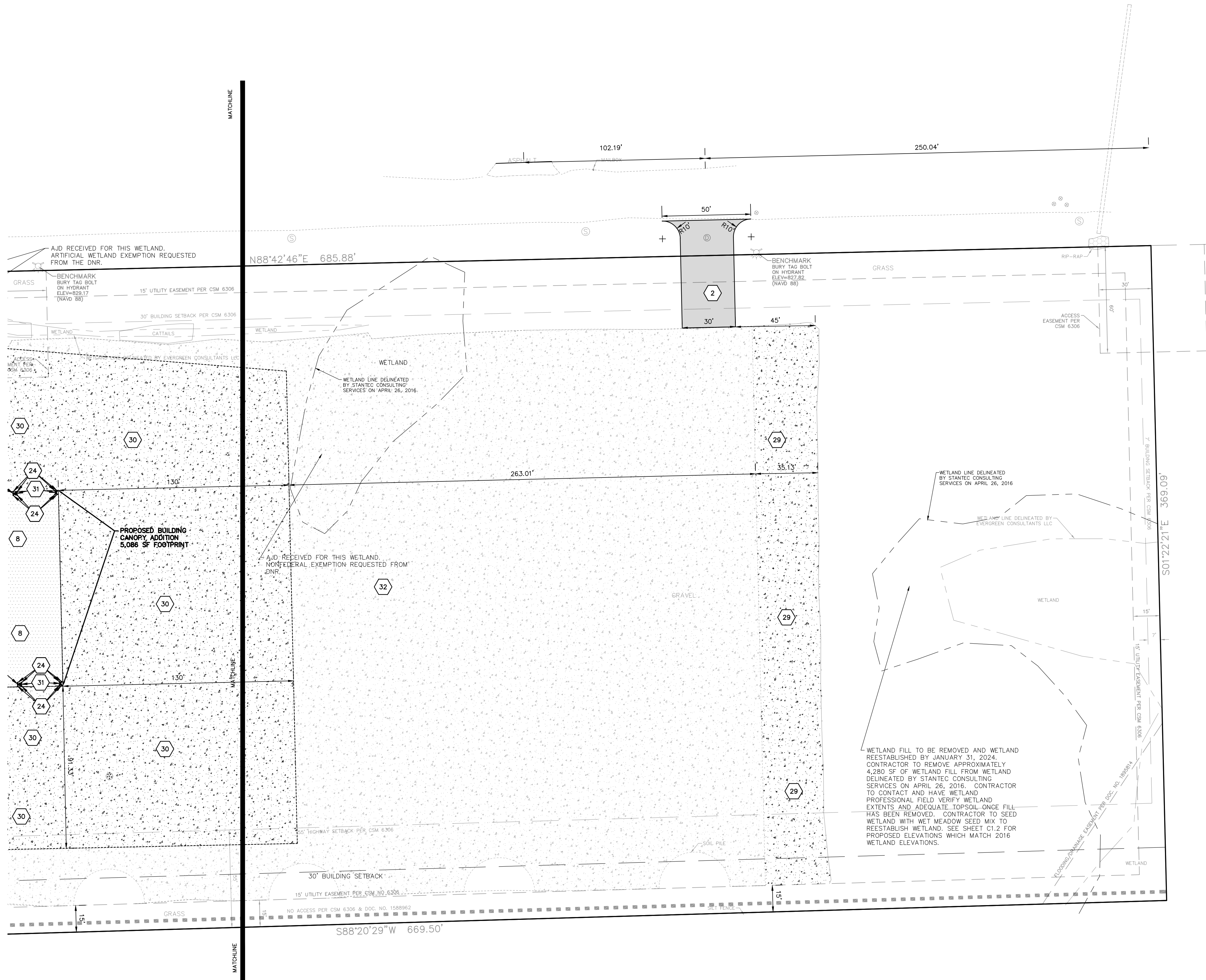
- 2 HEAVY DUTY ASPHALT SECTION (TYP.)
- 5 HEAVY DUTY CONCRETE (TYP.)
- 8 CONCRETE UNDER CANOPY. SEE STRUCTURAL PLANS FOR DETAILS.
- 24 6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
- 29 GRAVEL AREA. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL. (TYP.)
- 30 GRAVEL AREA. ADD/REMOVE GRAVEL FOR GRADING PURPOSES. SEE C1.2. CONTRACTOR TO ENSURE A MINIMUM OF 12" OF GRAVEL WILL EXIST ONCE ELEVATION MODIFICATIONS ARE COMPLETE (TYP.)
- 31 CANOPY SUPPORT COLUMN (SEE ARCH PLANS FOR DETAILS)
- 32 EXISTING GRAVEL TO REMAIN.
- 33 EXISTING ASPHALT TO REMAIN.
- 34 EXISTING CONCRETE TO REMAIN.
- 35 6' CHAINLINK FENCE WITH SLATS AND GATES FOR DUMPSTER SCREENING. COLOR BY OWNER. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

PAVEMENT HATCH KEY:

- HEAVY ASPHALT
- HEAVY DUTY CONCRETE
- GRADED GRAVEL
- EXISTING GRAVEL TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE TO REMAIN



CIVIL SITE PLAN EAST



NOV. 6, 2023
NOV. 10, 2023
NOV. 16, 2023
DEC. 7, 2023
JAN. 5, 2024
JAN. 12, 2024
JAN. 19, 2024
MAR. 6, 2024
MAR. 7, 2024
MAR. 28, 2024
APR. 2, 2024
MAY 10, 2024

230322300

C1.2A

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.



INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

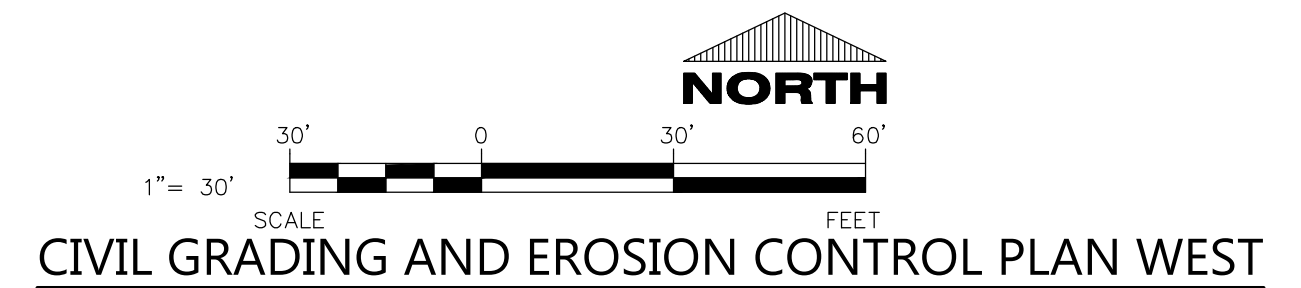
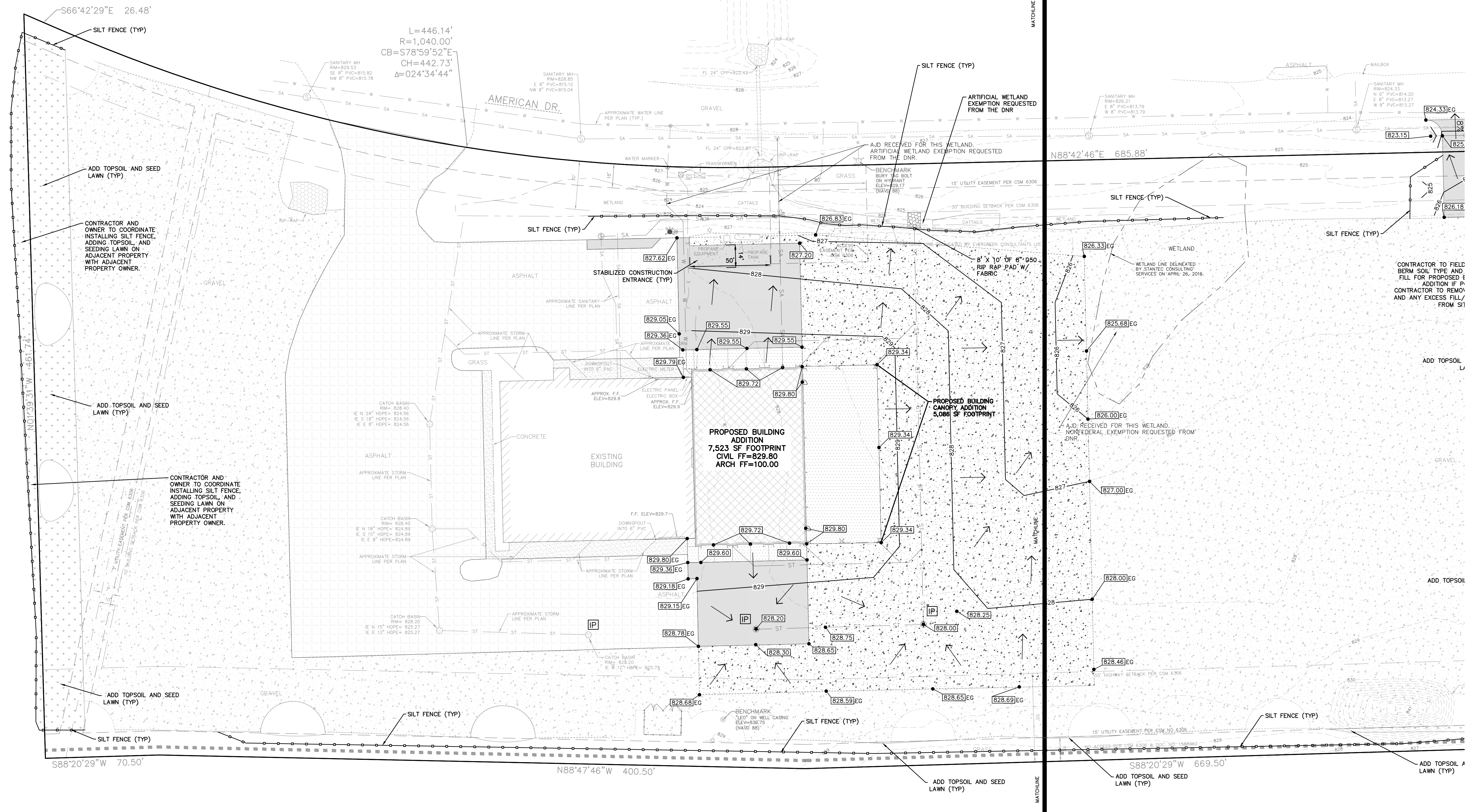
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

SPECIFICATION NOTE:

SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.





Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

- NOV. 6, 2023
- NOV. 10, 2023
- NOV. 16, 2023
- DEC. 7, 2023
- JAN. 5, 2024
- JAN. 12, 2024
- JAN. 19, 2024
- MAR. 6, 2024
- MAR. 7, 2024
- MAR. 28, 2024
- APR. 2, 2024
- MAY 10, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

230322300

SHEET NUMBER

C1.2B

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

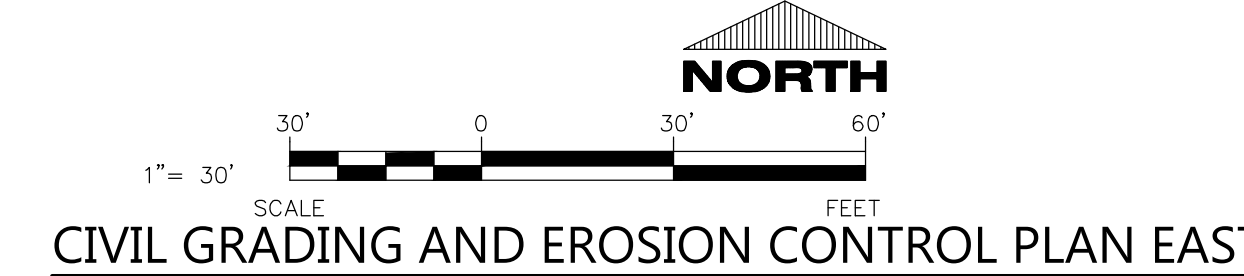
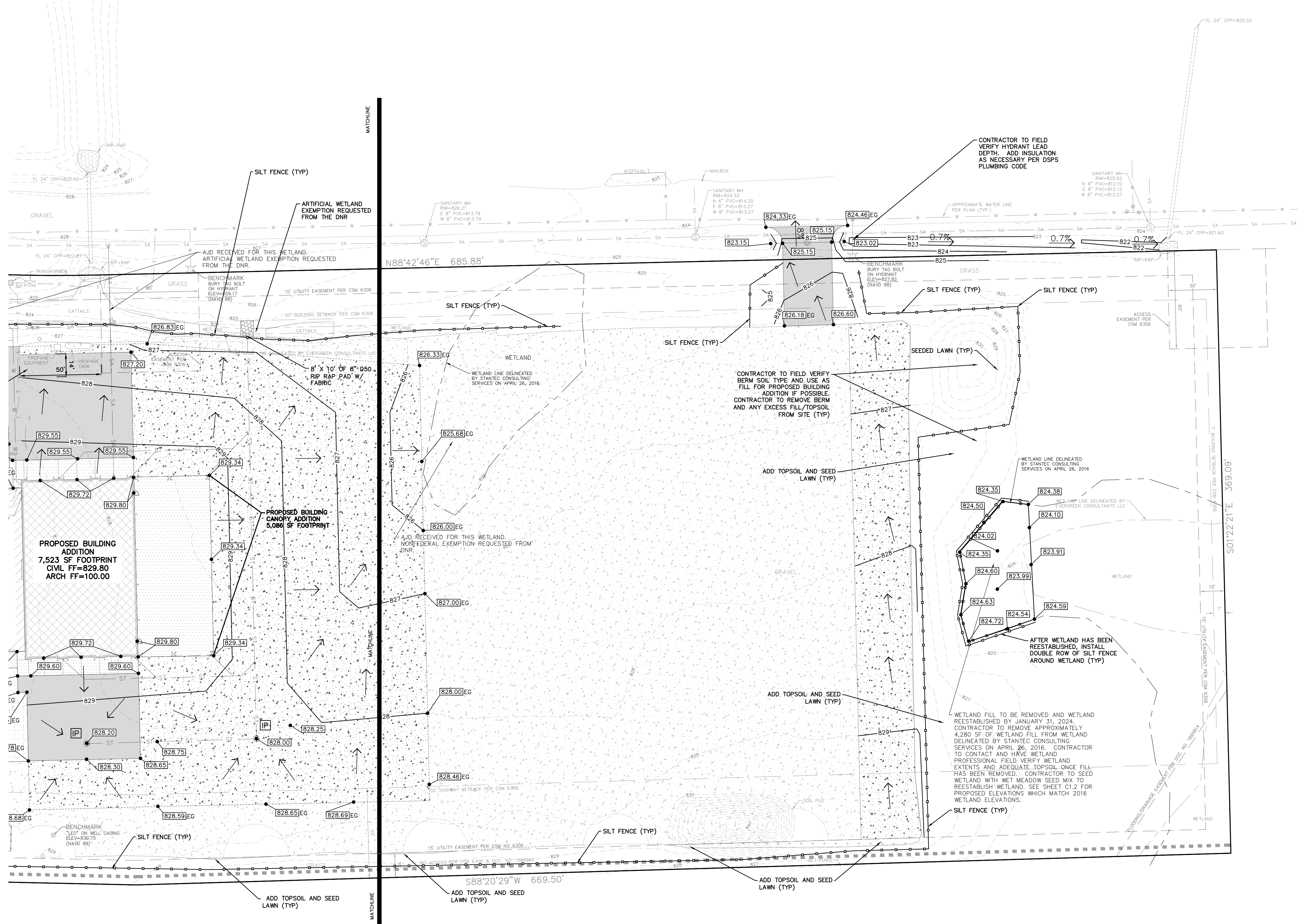
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

SPECIFICATION NOTE:

SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.





Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

- NOV. 6, 2023
- NOV. 10, 2023
- NOV. 16, 2023
- DEC. 7, 2023
- JAN. 5, 2024
- JAN. 12, 2024
- JAN. 19, 2024
- JAN. 26, 2024
- MAR. 6, 2024
- MAR. 7, 2024
- MAR. 28, 2024
- APR. 2, 2024
- MAY 10, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

230322300

SHEET NUMBER

C1.3

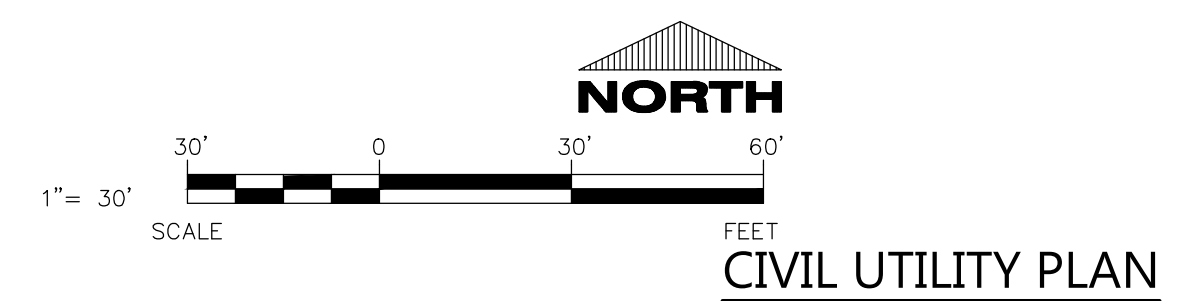
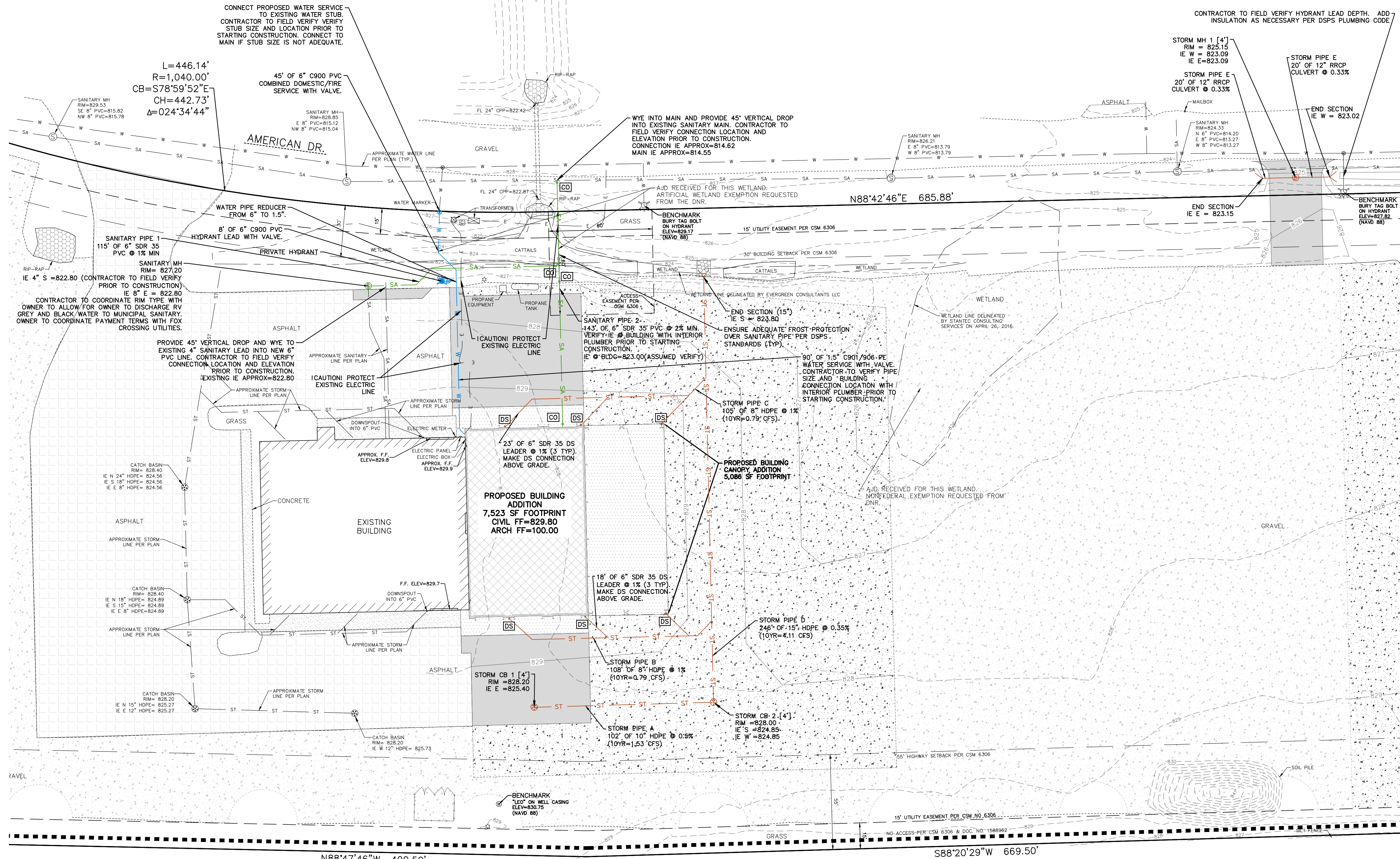
SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT TO
STORM PIPE CONNECTION LOCATIONS. SEE ARCH
PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:

CO = DENOTES LOCATIONS WHERE
CONTRACTOR SHALL INSTALL CLEANOUTS, SEE
CO.1 FOR SPECIFICATION.



PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

MAR. 6, 2024
MAR. 7, 2024
MAR. 28, 2024
APR. 2, 2024
MAY 10, 2024

NOT FOR CONSTRUCTION

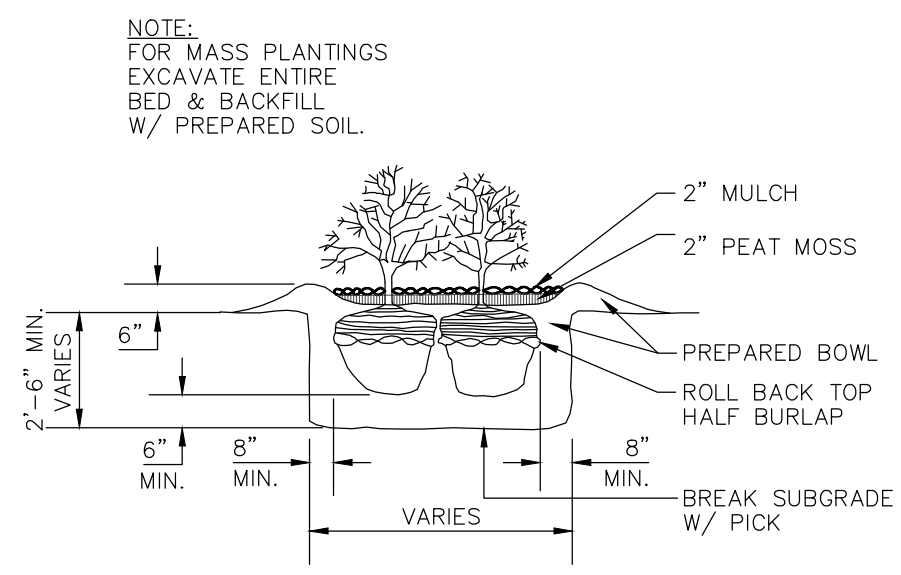
JOB NUMBER

230322300

SHEET NUMBER

C1.4A

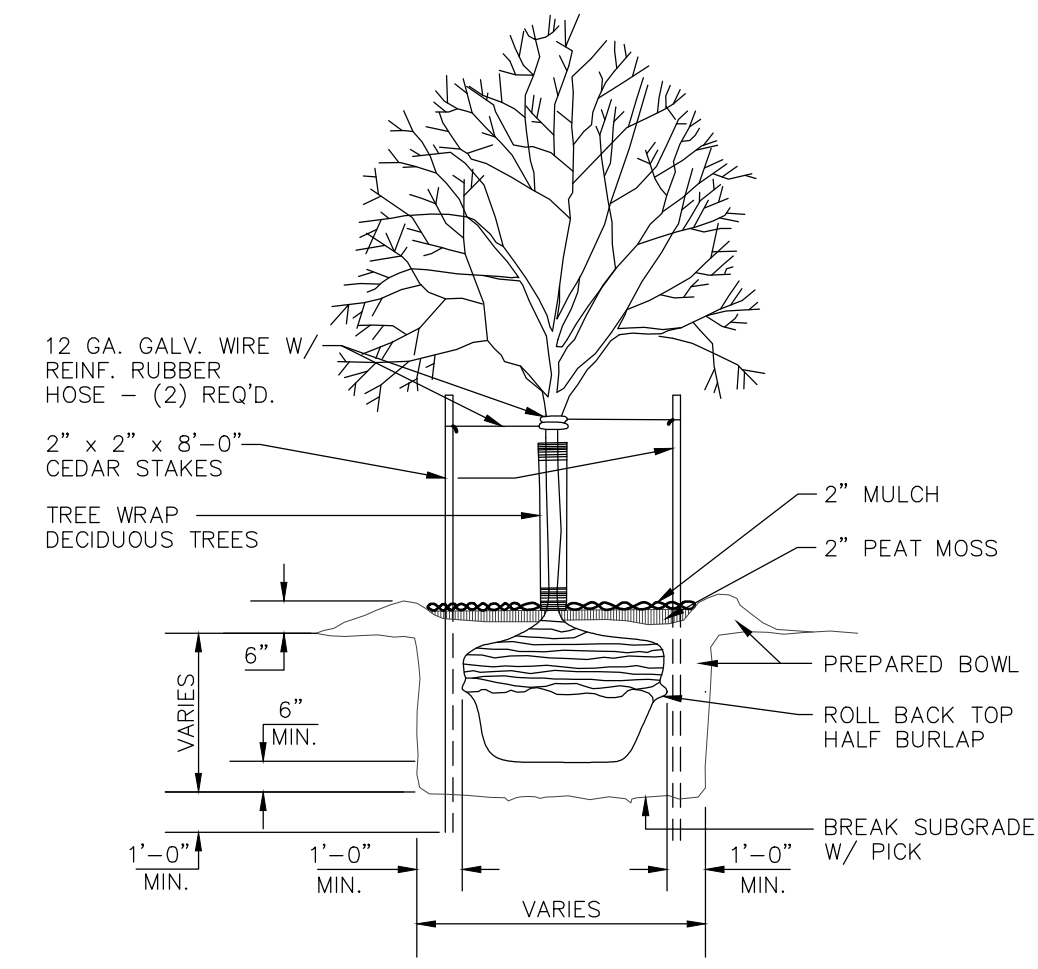
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



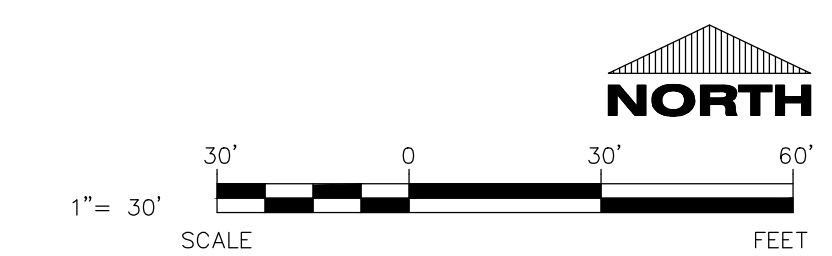
SHRUB PLANTING DETAIL
NO SCALE

LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Sugar Maple (TALL)	<i>Acer saccharum</i>	3"	10
☉	Amur Maple (LOW)	<i>Acer ginnala</i>	2"	6
EVERGREEN TREES				
☉	Austrian Pine	<i>Pinus nigra</i>	6"	7
EVERGREEN SHRUBS				
☉	Dwarf Norway Spruce	<i>Picea abies 'Pumila'</i>	2"	50
☉	Pfitzer Juniper (TALL)	<i>Juniperus chinensis 'Pfitzeriana'</i>	2"	20
DECIDUOUS SHRUBS				
☉	Barberry Golden (LOW)	<i>Berberis thunbergii aurea</i>	24"	6
☉	Weigela Carnaval (MEDIUM)	<i>Weigela Florida 'courtalet'</i>	24"	22
☉	Rhododendron (LOW)	<i>Rhododendron haaga</i>	15"-18"	24
☉	Arrowwood Viburnum (TALL)	<i>Viburnum dentatum</i>	30"-36"	24
PERENNIALS				
☉	Blue Autumn Aster	<i>Aster 'blue autumn'</i>	1 gal pot	18
☉	Black-eyed Susan - Goldsturm	<i>Rudbeckia fulgida</i>	1 gal pot	23

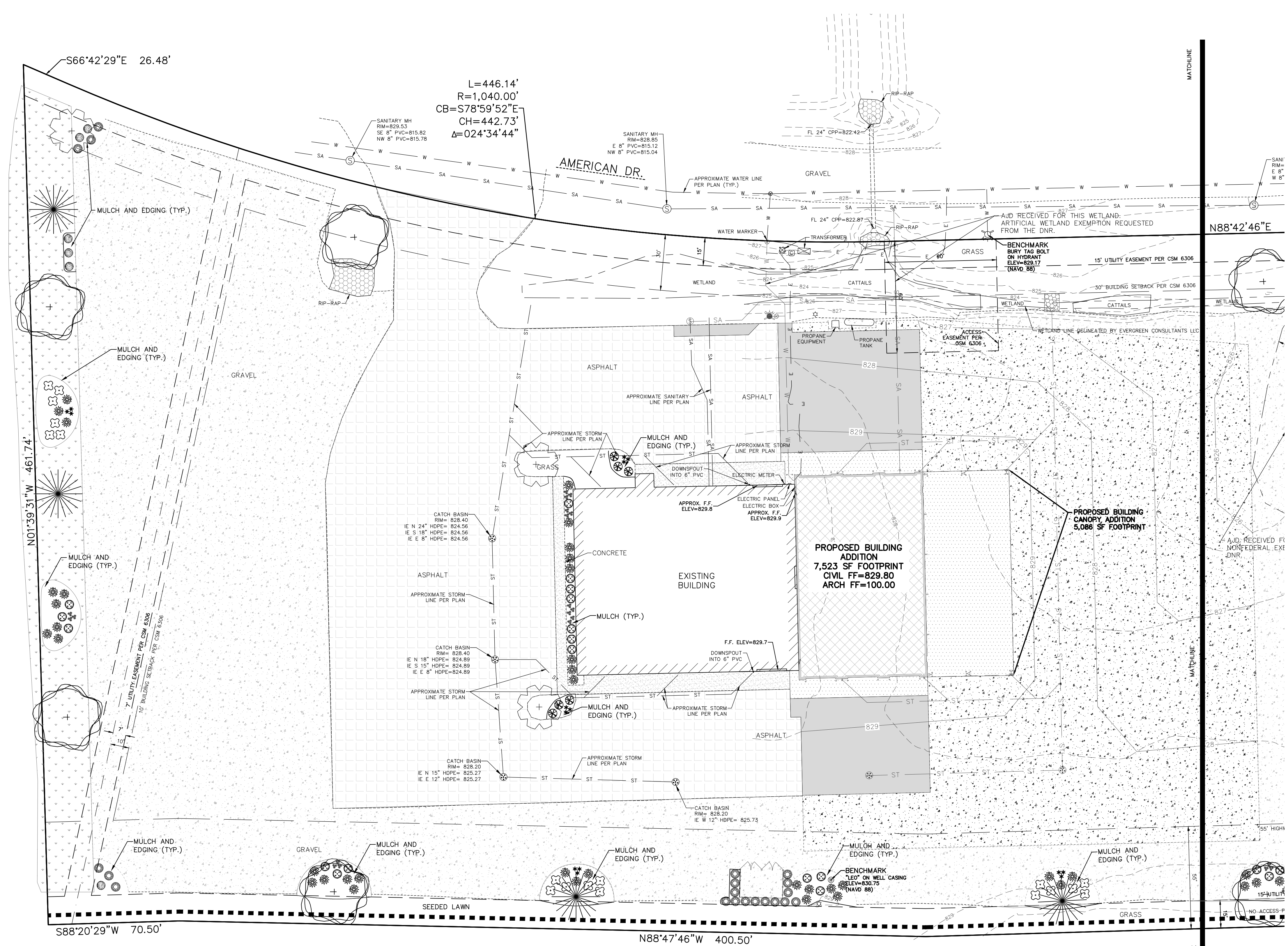
LANDSCAPING CALCULATIONS (FOR SITE IMPROVEMENTS AFTER 2017)		
ZONE	REQ. PLANTS	PLANTS PROVIDED
PARKING LOT PERIMETER LANDSCAPING	1 TREE PER 50' OF PARKING LOT PERIMETER	1 TREE PER 50' IN AREAS OF EXPANDED GRAVEL, EXCLUDING WETLAND AND UTILITY EASEMENT LOCATIONS
GROUNDS LANDSCAPING	20 TREE POINTS PER 4,500 SF OF IMPERVIOUS = (63,301/4500)*20=282 POINTS REQ LOW DECIDUOUS NO MORE THAN 50% EVERGREEN MIN 15% 3 SHRUB POINTS PER 1,000 SF OF IMPERVIOUS=(63,301/1000)*3=190 POINTS REQ	6 TALL TREES * 30 = 180 POINTS 4 LOW DECIDUOUS * 10 = 40 POINTS 3 EVERGREEN * 30 = 90 POINTS 310 TREE POINTS PROVIDED 44 TALL SHRUBS * 5 = 220 POINTS 220 SHRUB POINTS PROVIDED
BUILDING LANDSCAPING	75% OF BUILDING SIDES LANDSCAPED MINIMUM 6' WIDE	DUE TO CURRENT AND PROPOSED BUILDING USE THIS IS INFEASIBLE BUT MORE THAN REQUIRED GROUNDS LANDSCAPING POINTS PROVIDED AND LANDSCAPING PROVIDED ON WEST SIDE OF EXISTING BUILDING TO COMPENSATE.



TREE PLANTING DETAIL
NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN WEST



NOTE:
FOR MASS PLANTINGS
EXCAVATE ENTIRE
BED & BACKFILL
W/ PREPARED SOIL.

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

MAR. 6, 2024
MAR. 7, 2024
MAR. 28, 2024
APR. 2, 2024
MAY 10, 2024

JOB NUMBER

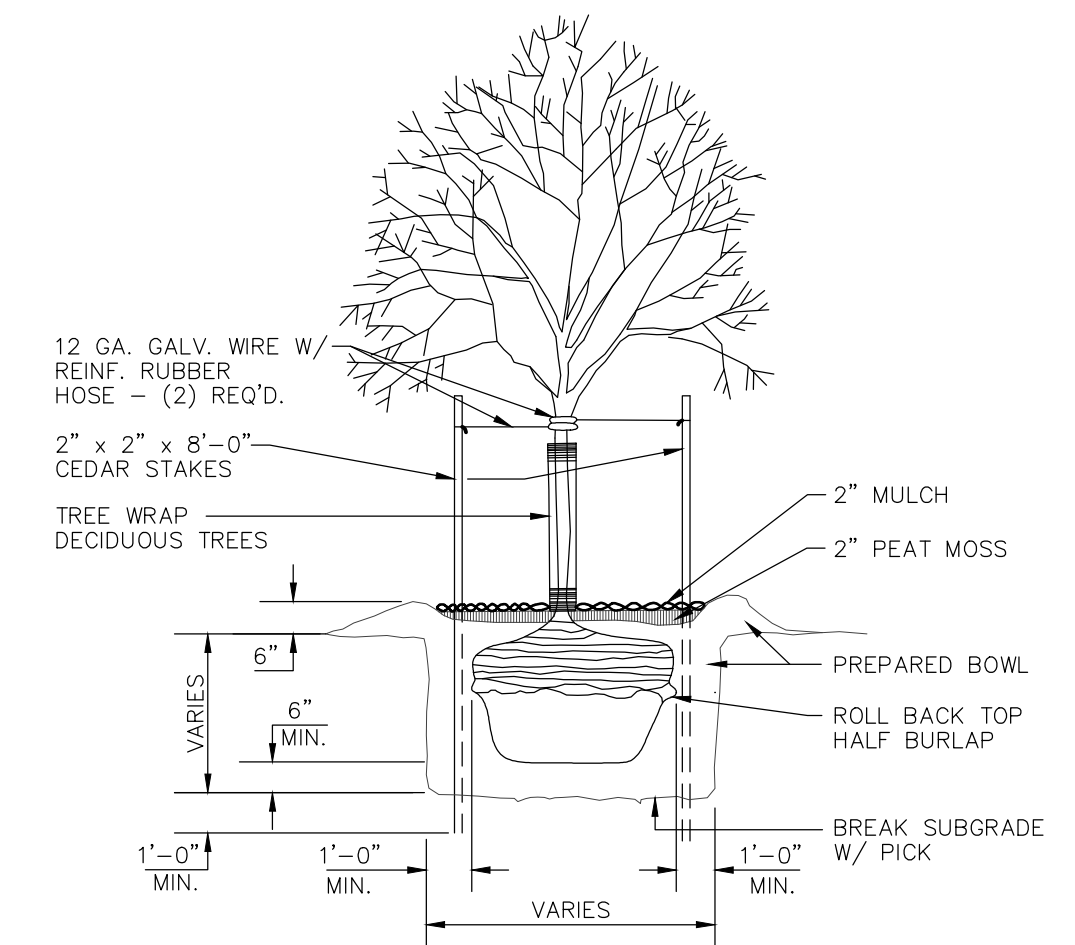
230322300

SHEET NUMBER

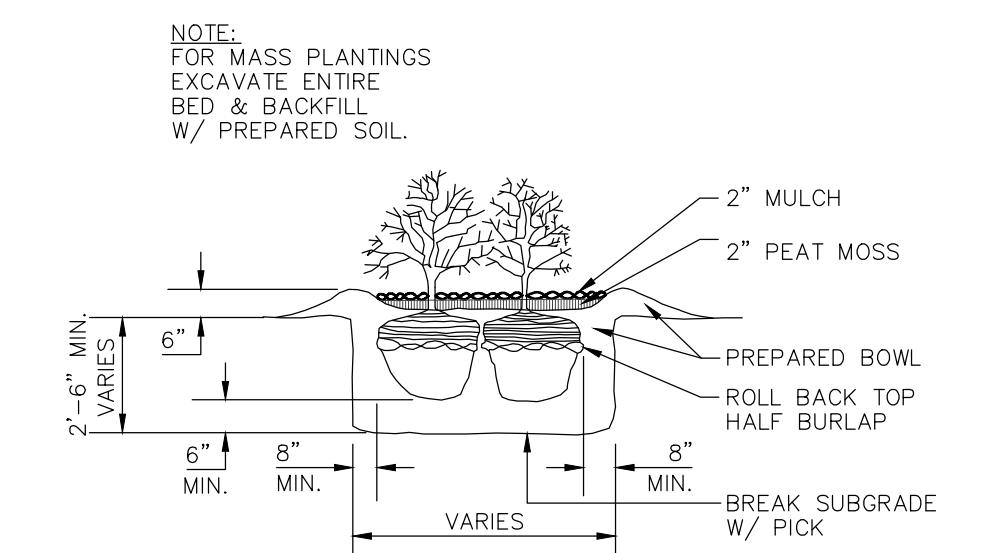
C1.4B

NOT FOR CONSTRUCTION

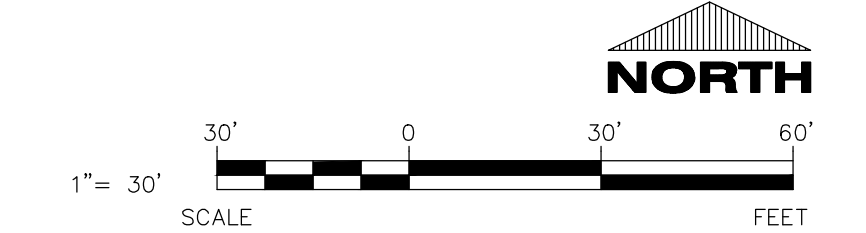
LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Sugar Maple (TALL)	Acer saccharum	3"	10
☉	Amur Maple (LOW)	Acer ginnala	2"	6
EVERGREEN TREES				
☉	Austrian Pine	Pinus nigra	6"	7
EVERGREEN SHRUBS				
☉	Dwarf Norway Spruce	Picea abies 'Pumila'	2"	50
☉	Pfitzer Juniper (TALL)	Juniperus chinensis 'Pfitzeriana'	2"	14
DECIDUOUS SHRUBS				
☉	Barberry Golden (LOW)	Berberis thunbergii aurea	24"	6
☉	Weigela Carnival (MEDIUM)	Weigela Florida 'courtalet'	24"	22
☉	Rhododendron (LOW)	Rhododendron haaga	15"-18"	24
☉	Arrowwood Viburnum (TALL)	Viburnum dentatum	30"-36"	24
PERENNIALS				
☉	Blue Autumn Aster	Aster 'blue autumn'	1 gal pot	18
☉	Black-eyed Susan - Goldsturm	Rudbeckia fulgida	1 gal pot	23



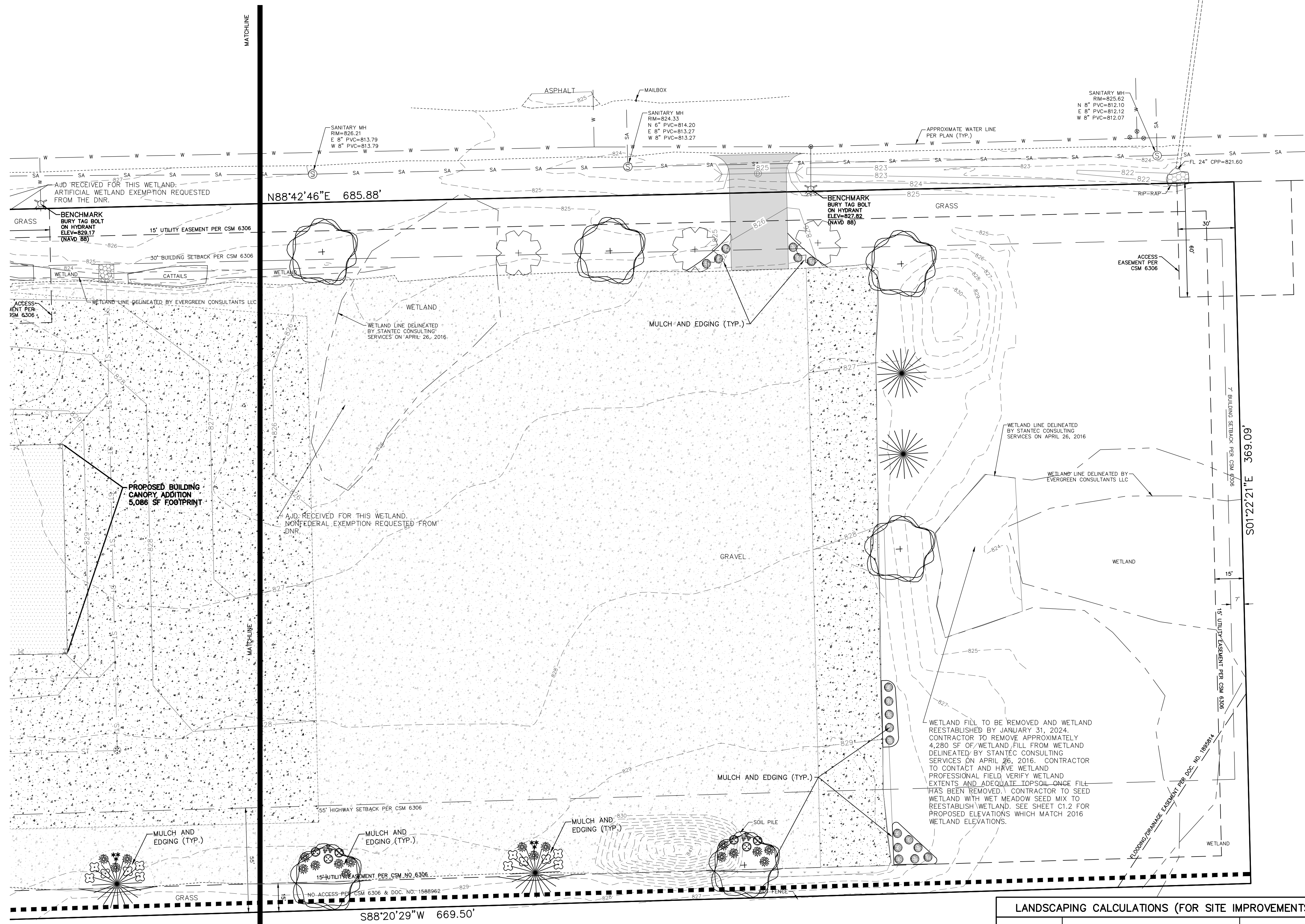
TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



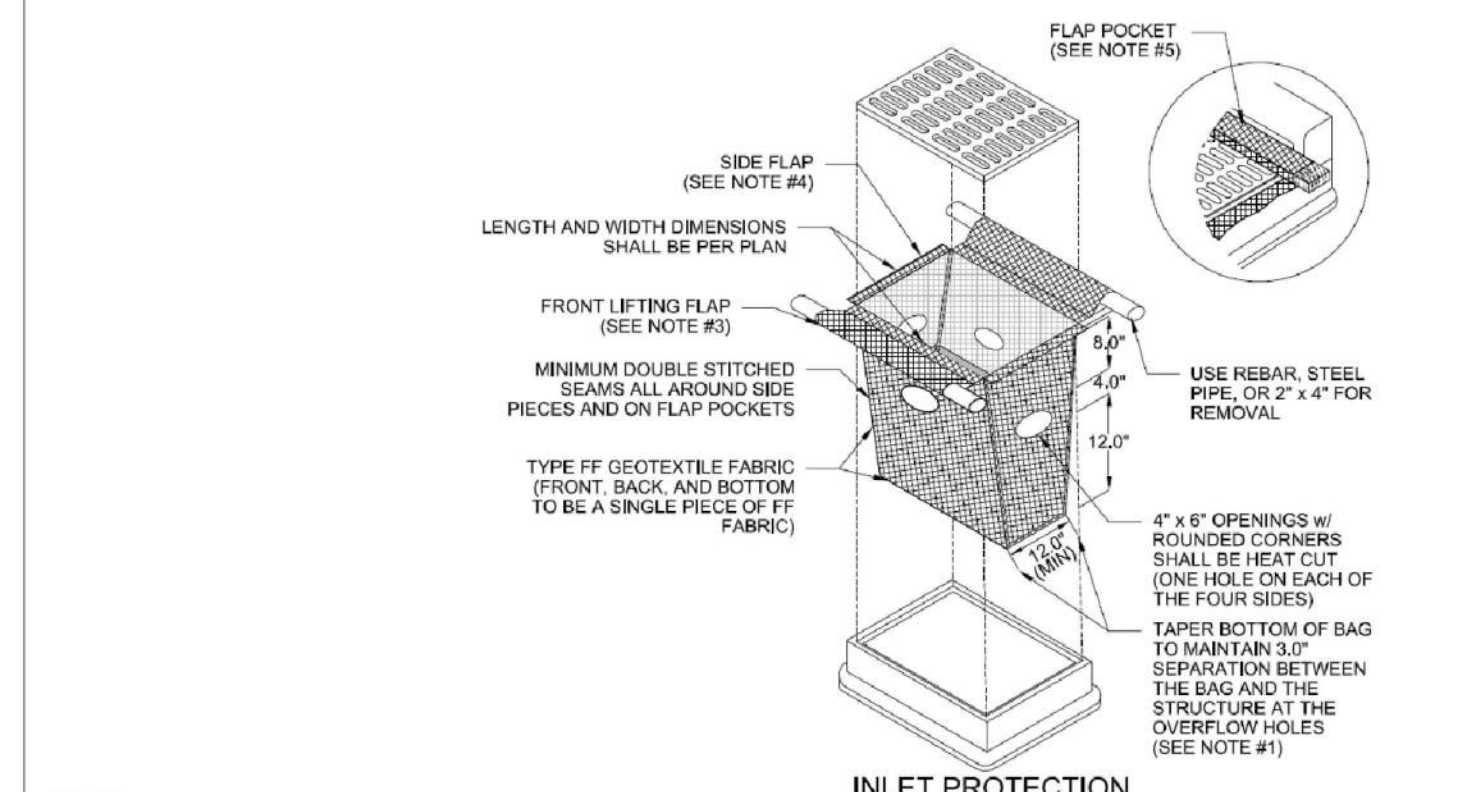
CIVIL LANDSCAPE AND RESTORATION PLAN EAST



LANDSCAPING CALCULATIONS (FOR SITE IMPROVEMENTS AFTER 2017)

ZONE	REQ. PLANTS	PLANTS PROVIDED
PARKING LOT PERIMETER LANDSCAPING	1 TREE PER 50' OF PARKING LOT PERIMETER	1 TREE PER 50' IN AREAS OF EXPANDED GRAVEL, EXCLUDING WETLAND AND UTILITY EASEMENT LOCATIONS
GROUND LANDSCAPING	20 TREE POINTS PER 4,500 SF OF IMPERVIOUS = (63,301/4500)*20=282 POINTS REQ LOW DECIDUOUS NO MORE THAN 50% EVERGREEN MIN 15% 3 SHRUB POINTS PER 1,000 SF OF IMPERVIOUS=(63,301/1000)*3=190 POINTS REQ	6 TALL TREES * 30 = 180 POINTS 4 LOW DECIDUOUS * 10 = 40 POINTS 3 EVERGREEN * 30 = 90 POINTS 310 TREE POINTS PROVIDED 38 TALL SHRUBS * 5 = 190 POINTS 190 SHRUB POINTS PROVIDED
BUILDING LANDSCAPING	75% OF BUILDING SIDES LANDSCAPED MINIMUM 6' WIDE	DUE TO CURRENT AND PROPOSED BUILDING USE THIS IS INFEASIBLE BUT MORE THAN REQUIRED GROUNDS LANDSCAPING POINTS PROVIDED AND LANDSCAPING PROVIDED ON WEST SIDE OF EXISTING BUILDING TO COMPENSATE.

FIGURE 2. INLET PROTECTION TYPE D

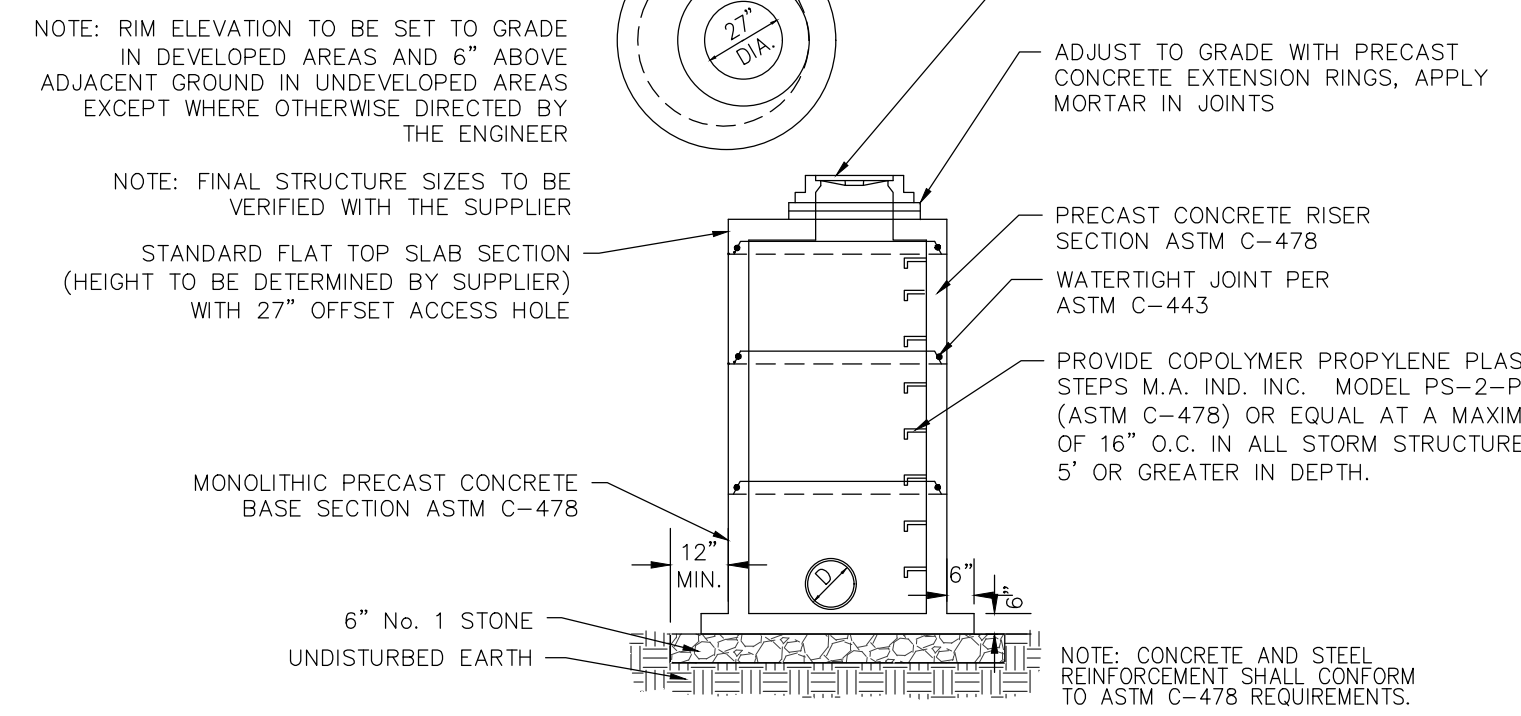
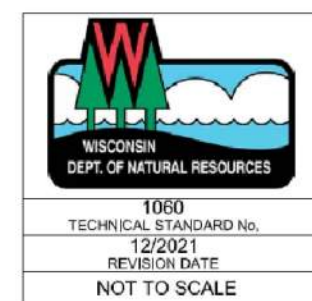


NOTES:

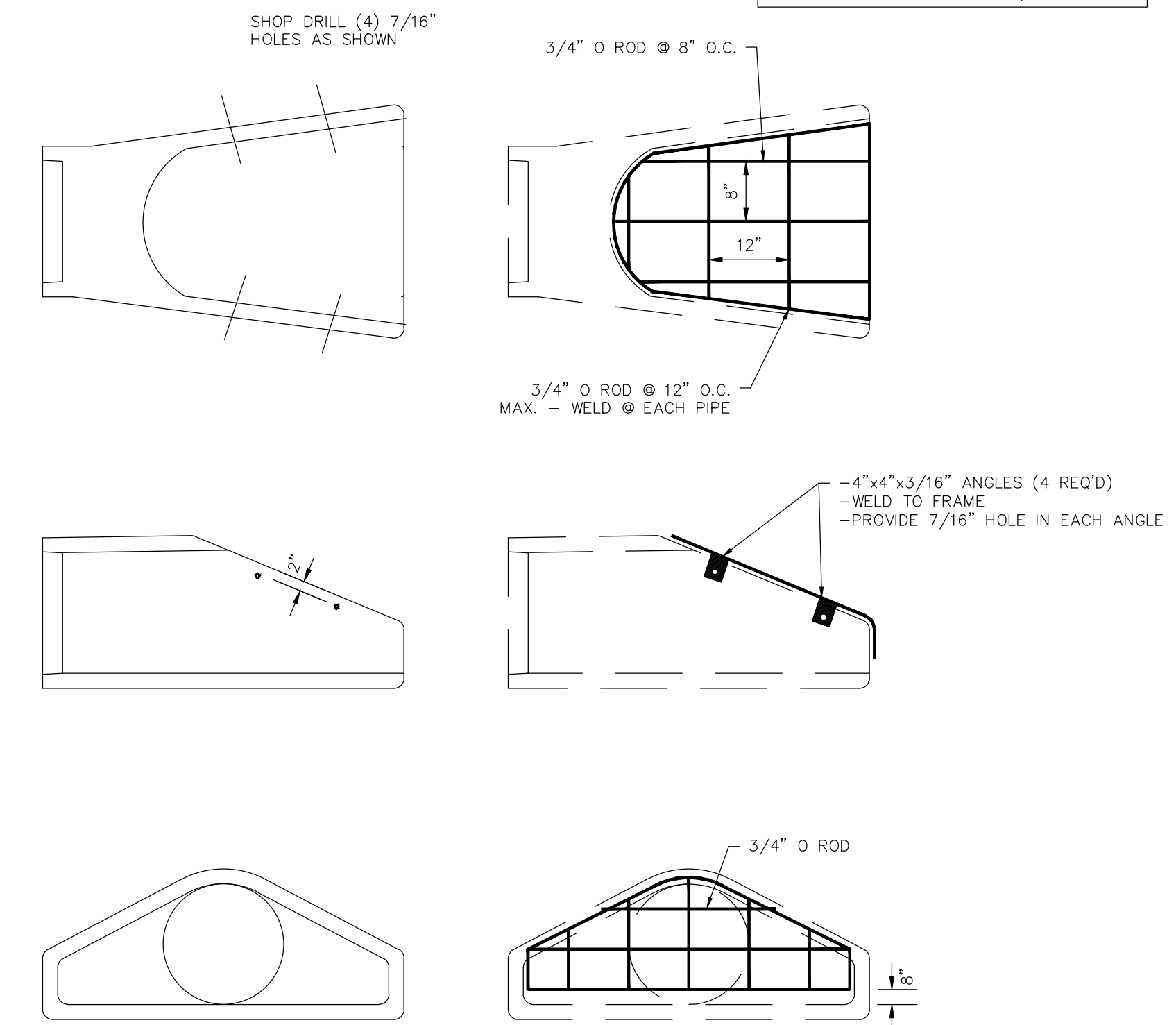
- TAPER BOTTOM OF BAG TO MAINTAIN 3\"/>

MAINTENANCE NOTES:

- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



STORM MANHOLE DETAIL
NO SCALE



THE CONTRACTOR SHALL BOLT THE GRATE TO THE CONCRETE END WALL WITH FOUR 3/8\"/>

PAINTING SPECIFICATIONS:

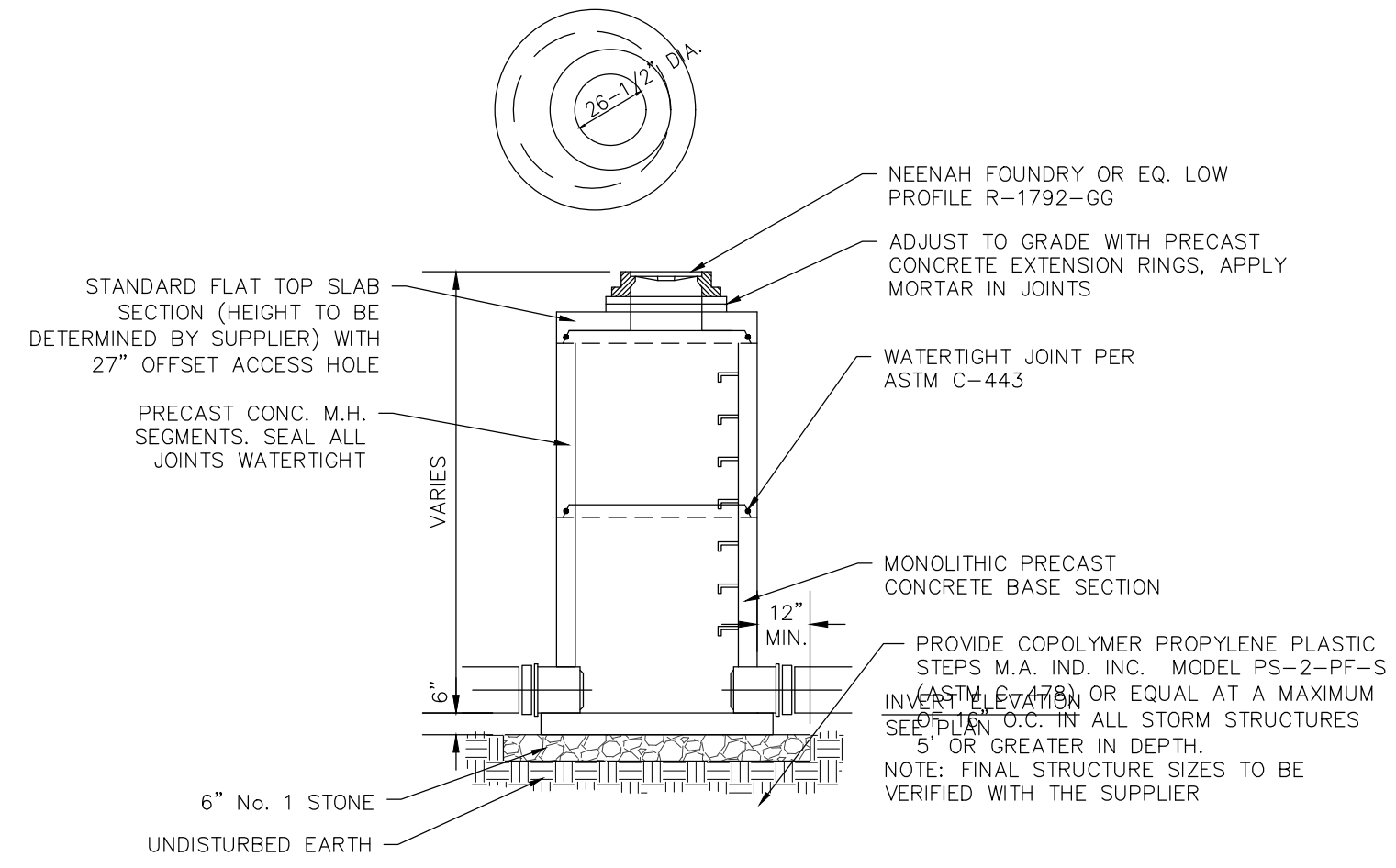
THE PIPE GRATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING, SEE NOTES:

- FIRST COAT- RUST-OLEUM X-60 RED BARE METAL PRIMER OR EQUAL
- SECOND COAT- RUST-OLEUM 960 ZINC CHROMATE PRIMER OR EQUAL
- THIRD COAT- RUST-OLEUM 1282 HIGH GLOSS & METALLIC FINISH OR EQUAL.

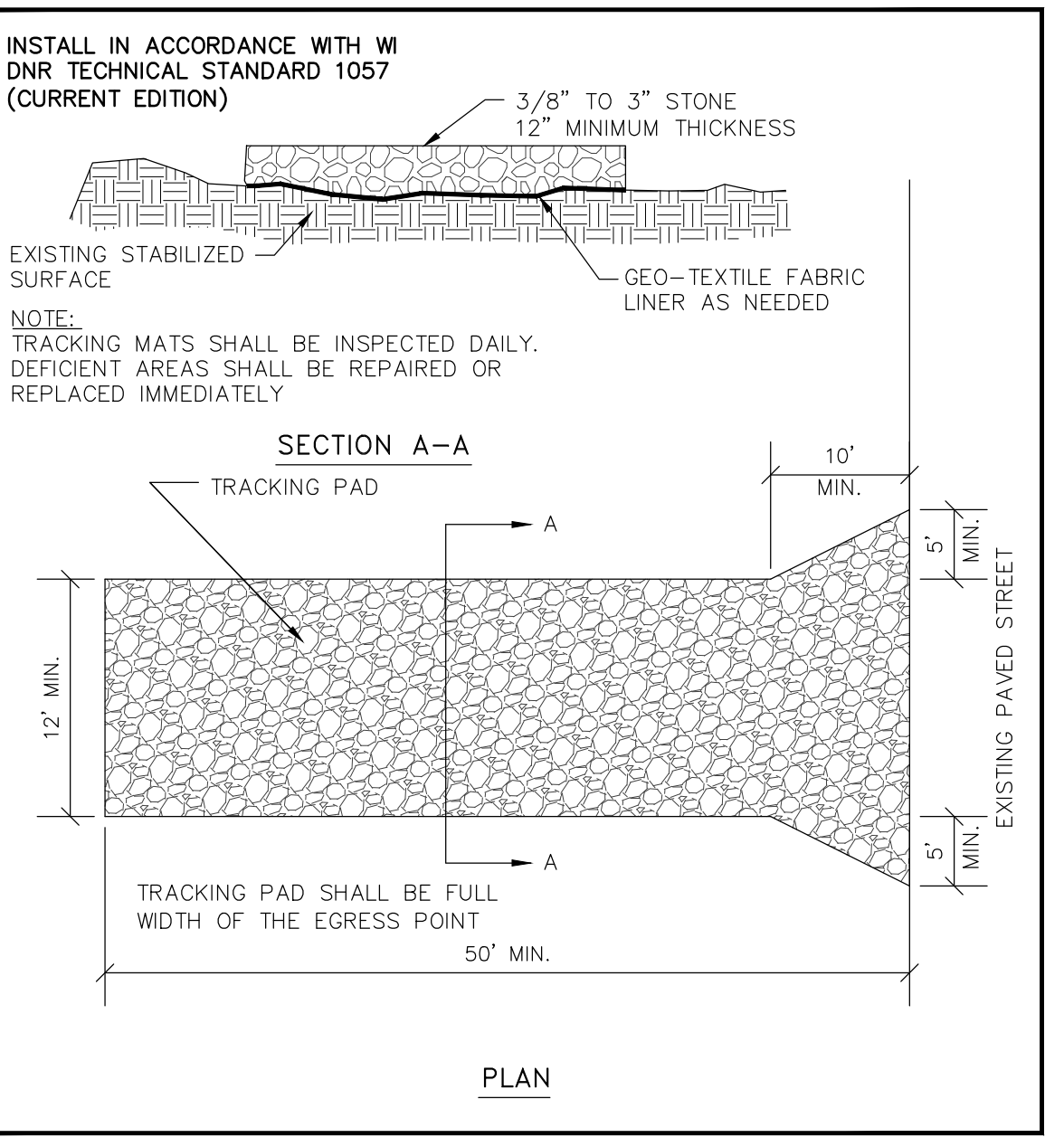
NOTES:

- BARE SURFACES - AFTER THROUGH SCRAPING, WIRE BRUSHING & CLEANING, APPLY THE THREE COAT SYSTEM LISTED.
- EACH COAT AN OVERALL COAT
- ALLOW 24-48 HOURS DRYING TIME BETWEEN COATS.

GRATE INSTALLATION DETAIL
NO SCALE

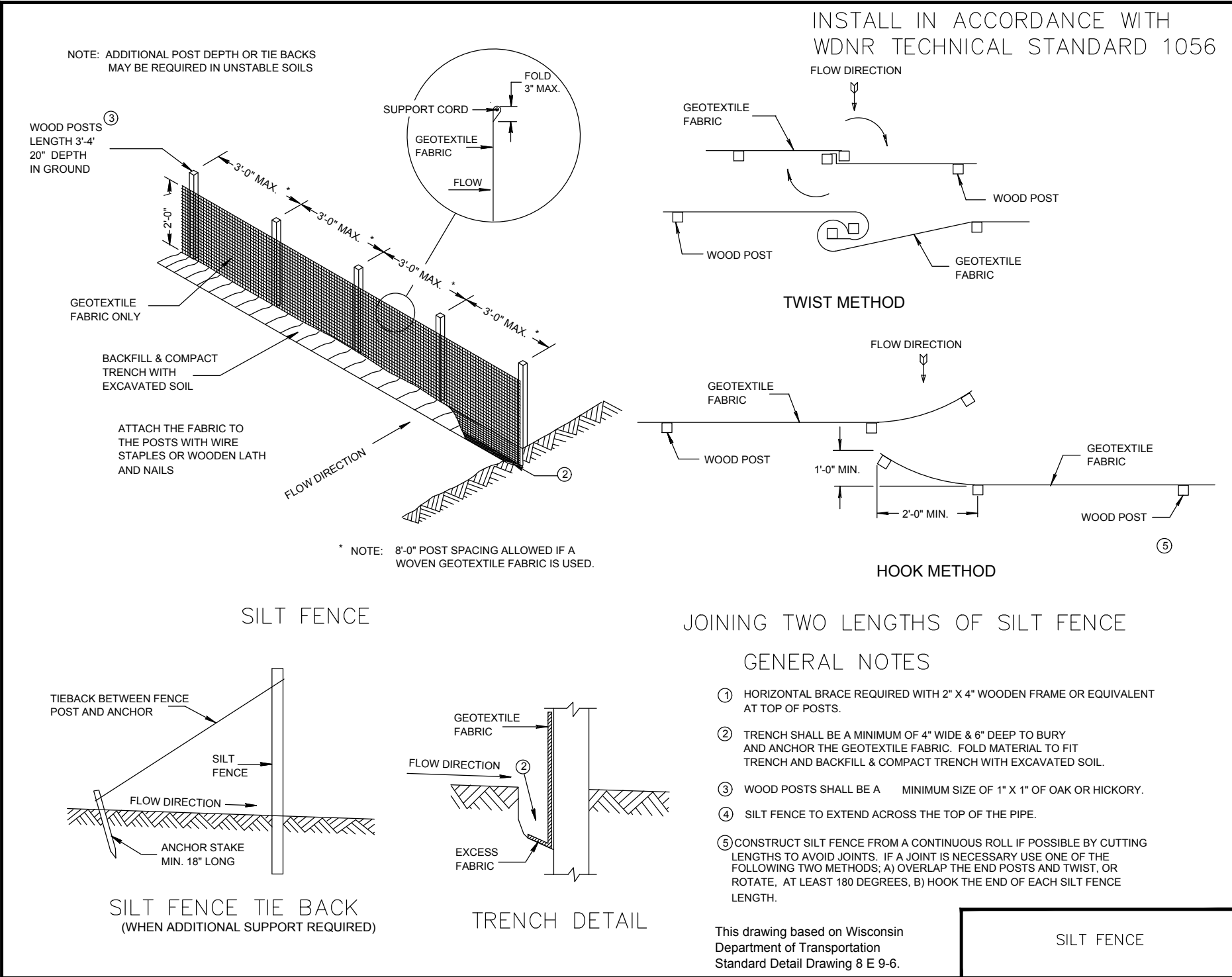


STORM CATCH BASIN DETAIL
NO SCALE



TRACKPAD DETAILS
NO SCALE

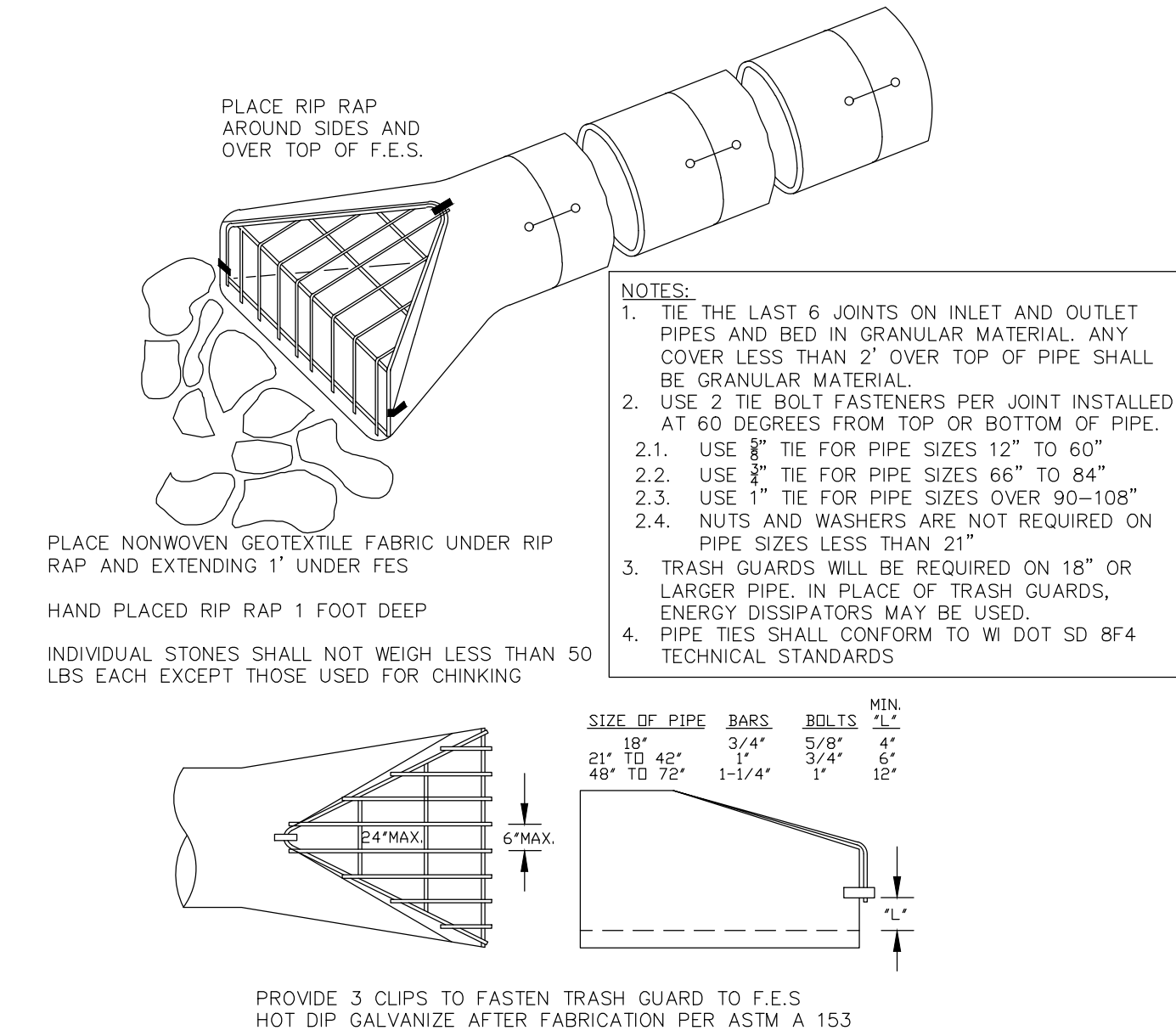
INLET PROTECTION DETAIL
NO SCALE



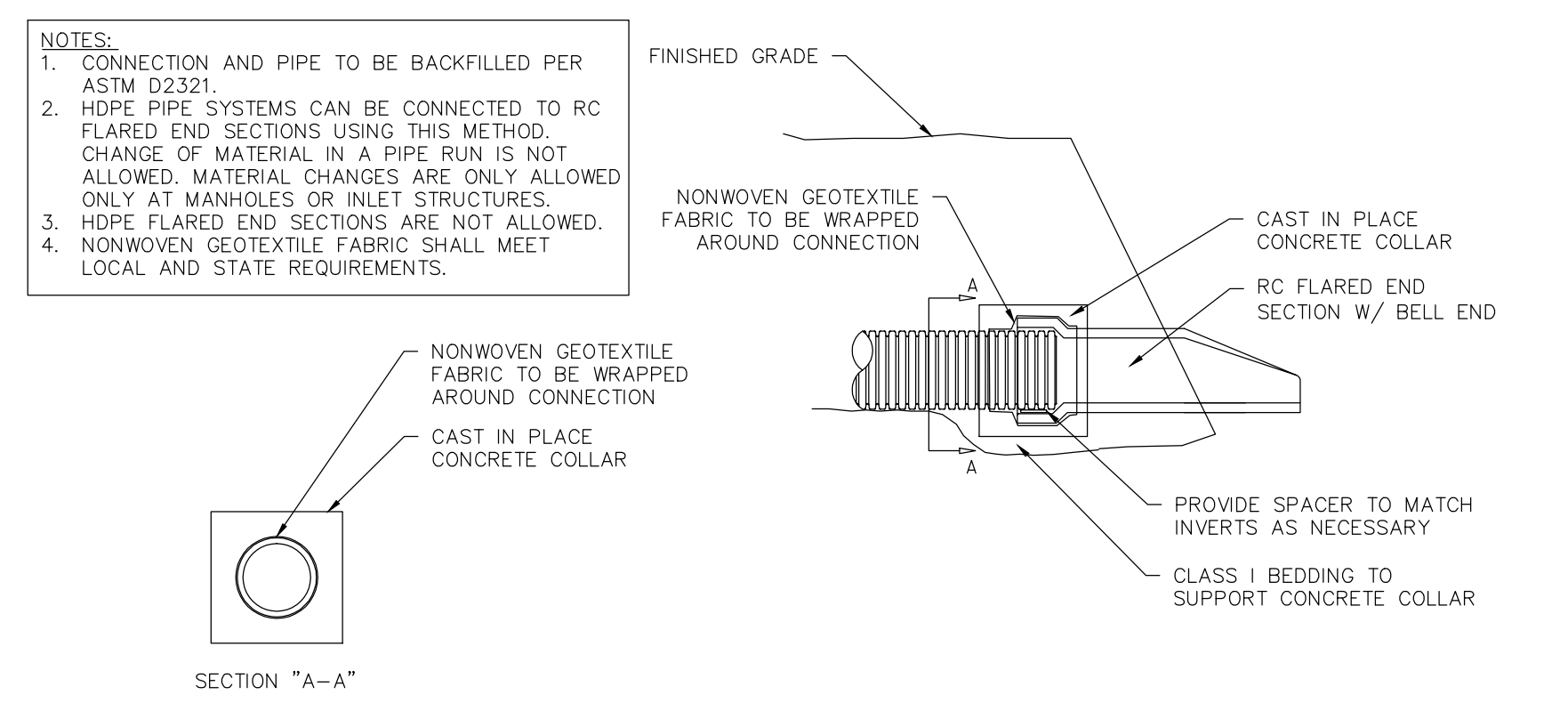
SILT FENCE - INSTALLATION DETAIL
NO SCALE

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	<ol style="list-style-type: none"> CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. CONTRACTOR TO MAKE SURE THE REGIONAL STORMWATER POND IS IN PLACE BEFORE CONSTRUCTION CAN BEGIN. PLACE ALL SILT FENCE. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	<ol style="list-style-type: none"> SITE DEMOLITION AS REQUIRED. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. DIG AND POUR ALL BUILDING FOOTINGS. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. CONSTRUCT BUILDING. PAVE DRIVEWAYS AND PARKING AREAS. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. ONCE SITE IS STABILIZED, CONSTRUCT INFILTRATION BASIN.
3. POST CONSTRUCTION ACTION	<ol style="list-style-type: none"> CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



CONCRETE END SECTION DETAIL
NO SCALE



CONNECTION DETAIL FOR HDPE PIPE TO RC FLARED END SECTION BELL END
NO SCALE

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 6, 2023
NOV. 10, 2023
NOV. 16, 2023
DEC. 7, 2023
JAN. 5, 2024
JAN. 12, 2024
JAN. 19, 2024
MAR. 6, 2024
MAR. 7, 2024
MAR. 28, 2024
APR. 2, 2024
MAY 10, 2024

JOB NUMBER

230322300

SHEET NUMBER

C2.0

CIVIL DETAILS

NOT FOR CONSTRUCTION

PROJECT INFORMATION

PROPOSED BUILDING ADDITION TO:
KUNES FOX VALLEY RV
26915 WEST AMERICAN DRIVE • TOWN OF CLAYTON, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 6, 2023
MAR. 6, 2024
MAR. 28, 2024

NOT FOR CONSTRUCTION

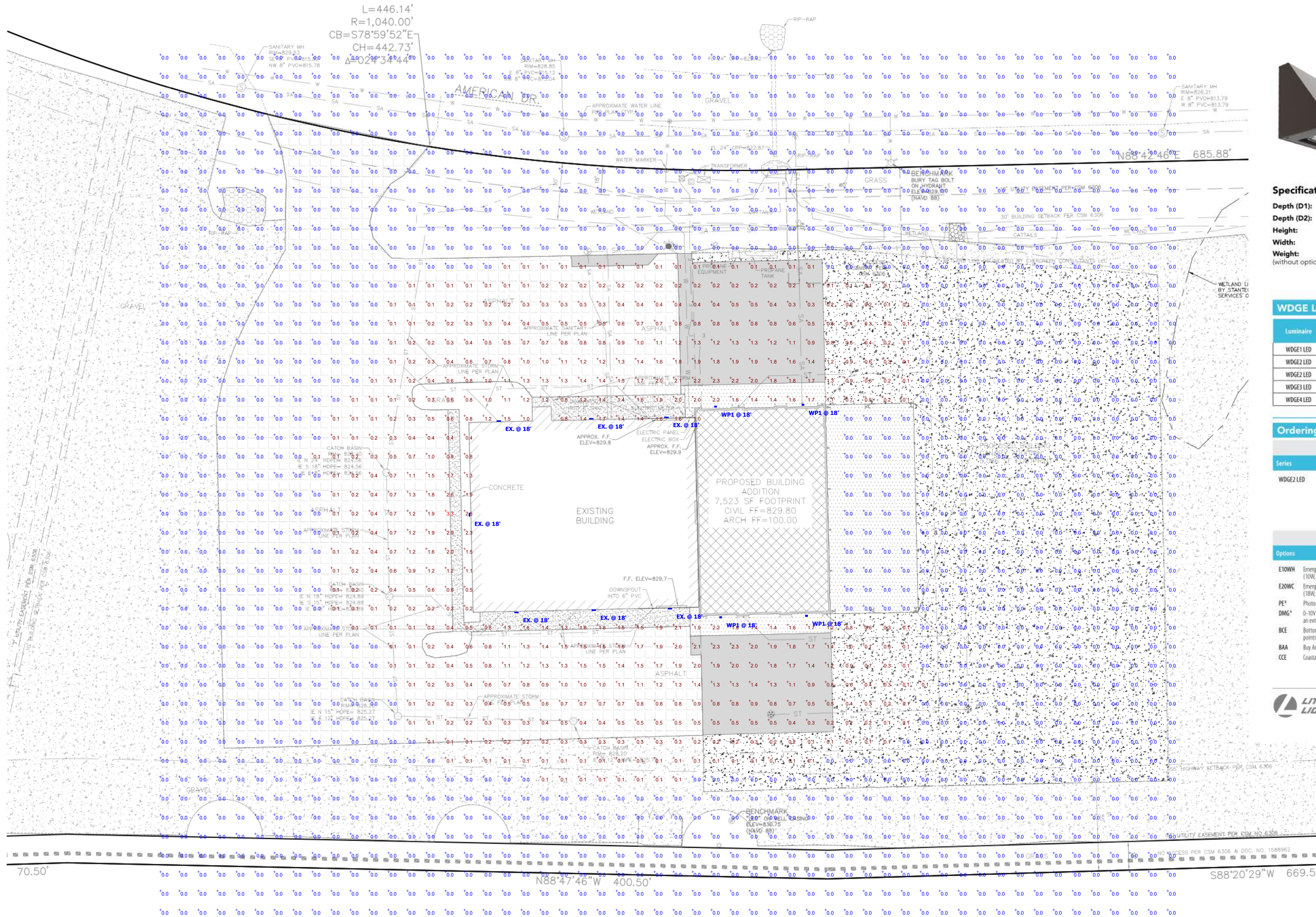
JOB NUMBER

230322300

SHEET NUMBER

C3.1

E 26.48'



WDG2 LED
Architectural Wall Sconce
Precision Refractive Optic



Catalog Number	
Notes	
Type	

Fit the tab, flip or mouse over the page to see all interactive elements.

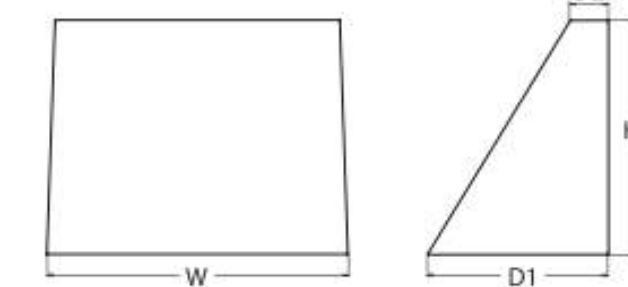
Introduction

The WDG2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDG2 family provides additional energy savings and code compliance.

WDG2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDG2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



WDG2 LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDG2 LED	Visual Comfort	4W	—	—	750	1,200	2,000	—	—	—	—
WDG2 LED	Visual Comfort	10W	18W	Standalone / nLight	—	1,200	2,000	3,000	4,500	6,000	—
WDG2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	—	—
WDG2 LED	Precision Refractive	15W	18W	Standalone / nLight	—	7,500	8,500	10,000	12,000	—	—
WDG2 LED	Precision Refractive	—	—	Standalone / nLight	—	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDG2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CR	Distribution	Voltage	Mounting	Shipped separately
WDG2 LED	P0 ¹	27K / 2700K	70CRI ²	T1S Type I Short	MVOLT	SRM Surface mounting bracket	Shipped separately AWS 3/8inch Architectural wall spacer ³ PBW 5 surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available!
	P1 ²	30K / 3000K	80CRI	T2M Type II Medium	347V	IKW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)	
	P2 ³	40K / 4000K	LW Limited Wavelength	T3M Type III Medium	480V		
	P3 ⁴	50K / 5000K		T4M Type IV Medium			
	P4 ⁵	AMB ⁶ Amber		TFTM Forward Throw Medium			

Options

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAEERS (10W, 5X min)	DDBXK Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAEERS (18W, -20°C min)	DDBLD Black
PE* Photocell, Button Type	DNAWD Natural aluminum
DIMG* 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DNAWD White
BCE Bottom conduit entry for back box (PBW). Total of 4 entry points.	DSSD Sandstone
BAA Buy America(s) Act Compliant	DOBXT Textured dark bronze
CCE Coastal Construction ⁷	DDBLXK Textured black
	DNAWXD Textured natural aluminum
	DWHGXD Textured white
	DSSTD Textured sandstone

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WDG2 LED Rev. 02/28/24
© 2019-2024 Acuity Brands Lighting, Inc. All rights reserved.

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
WP1	WP1	4	Lithonia Lighting	WDG2 LED P4 30K 70CRI TFTM	WDG2 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	4402	1	46.6589

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.2 fc	3.3 fc	0.0 fc	N/A	N/A



CIVIL SITE PHOTOMETRIC PLAN & DETAILS