PROPOSED BUILDING ADDITTION FOR:

Marty Nikodem

Towne Court Town of Clayton

Neenah,

ARCHITECTURAL / CIVIL

STRUCTURAL

PLUMBING

THIS IS A DESIGN BUILD PROJECT FOR PLUMBING.
THE PLUMBING CONTRACTOR SHALL PROVIDE PLANS TO THE GENERAL CONTRACTOR & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN DEPARTMENT OF COMMERCE. THE PLUMBING CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

HVAC

THIS IS A DESIGN BUILD PROJECT FOR HVAC.
THE HVAC CONTRACTOR SHALL PROVIDE PLANS TO THE GENERAL CONTRACTOR & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN DEPARTMENT OF COMMERCE. THE HVAC CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

ELECTRICAL

THIS IS A DESIGN BUILD PROJECT FOR ELECTRICAL.
THE ELECTRICAL CONTRACTOR SHALL PROVIDE PLANS TO THE GENERAL CONTRACTOR & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN DEPARTMENT OF COMMERCE. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

PROJECT INFORMATION

PROJECT: WAREHOUSE

ADDRESS: 2710 TONNE COURT CLAYTON, WI 54956

USE: STORAGE S-1 NON-SEPARATED

OWNER: MARTY NIKODEM 250 ALDER AVE. OMRO, WI 54963

CONTACT: MARTY NIKODEM -

DESIGNERS OF RECORD:

ARCHITECT: FISHER & ASSOCIATES ARCHITECTS / PLANNERS W13654 BALSAM LAKE RD. CRIVITZ, WI 54114 P.(920) 376-0007

CONTACT: RICHARD J. FISHER AIA

BUILDING CODE ANALYSIS

OCCUPANCY: STORAGE S-1 F-1 & B NON-SEPARATED
TYPE OF CONSTRUCTION: IIB (METAL FRAMED UNPROTECTED) NON-SPRINKLERED

OCCUPANT LOAD 20

EGESS WIDTH REQUIRED
.2"/ OCCUPANT NON-SPRINKLED

13B X .2 = 28" REQUIRED

EXIT ACCESS TRAVEL DISTANCE
250' PER TABLE 1004.2.4

TOILET FACILITIES PER TABLE 2902.1
LESS THAN 15 OCC. EGAH SPACE ALLOWS SINGLE UNISEX TOILET ROOM
1 WC., 1 LAV. PROVIDED EACH SPACE
UP TO 50% OF TOILETS MAY BE URINALS
1 SERVICE SINK PROVIDED EACH SPACE

GRADE PLAN DETERMINATION
THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 22'-0"
ALLOWABLE HEGHT PER TABLE 503 IS 55'

NUMBER OF STORIES (2)
THIS BUILDING HAS TWO FLOOR LEVELS

AREA PER FLOOR

EXISTING BUILDING AREA	6,050 S.F.
PROPOSD BUILDING ADDITION	4,247 S.F.
	10,297 S.F.

ALLOWABLE AREA PER FLOOR
STORAGE S-1
17,500 PER TABLE 503 ONE STORY AND 40' IN HEIGHT

FIRE FIGHTING APPARATUS
THE BUILDING IS LIMITED IN AREA
THE FIRELANE IS UNOBSTRUCTED

THE FIRELANE IS WITHIN 150' OF ALL PARTS OF THE EXTERIOR WALL WITH A MIN. UNOBSTRUCTED HEIGHT OF 13'-6"
THE BUILDING IS 20'-0" TALL

CONTROL AREAS
NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING PER TABLES 307.1(1) AND 307.1 (2)

TABLE 502.1.2
BUILDING ENVELOPE REQUIREMENTS OPAQUE ELEMENT, MAXIMUM *U*-FACTORS

CLIMATE ZONE	1		2		3		4 EXCEPT MARINE		5 AND MARINE 4		6		7		8	
	All other	Group R	All other	Group R	All other	Group R	All other	Group R	All other	Group R	All other	Group R	All other	Group R	All other	Group R
Roofs																
Insulation entirely above deck	U-0.063	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.048	U-0.039	U-0.039	U-0.039	U-0.039
Metal buildings	U-0.065	U-0.065	U-0.055	U-0.055	U-0.055	U-0.055	U-0.055	U-0.055	U-0.055	U-0.055	U-0.049	U-0.049	U-0.049	U-0.049	U-0.035	U-0.035
Attic and other	U-0.034	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027	U-0.027
Walls, Above Grade																
Mass	U-0.58	U-0.151	U-0.151	U-0.123	U-0.123	U-0.104	U-0.104	U-0.090	U-0.090	U-0.080	U-0.080	U-0.071	U-0.071	U-0.071	U-0.071	U-0.052
Metal building	U-0.093	U-0.093	U-0.093	U-0.093	U-0.084	U-0.084	U-0.084	U-0.084	U-0.069	U-0.069	U-0.069	U-0.069	U-0.057	U-0.057	U-0.057	U-0.057
Metal framed	U-0.124	U-0.124	U-0.124	U-0.064	U-0.084	U-0.064	U-0.064	U-0.064	U-0.064	U-0.064	U-0.064	U-0.057	U-0.064	U-0.052	U-0.064	U-0.037
Wood framed and other	U-0.089	U-0.089	U-0.089	U-0.089	U-0.089	U-0.089	U-0.089	U-0.064	U-0.064	U-0.051	U-0.051	U-0.051	U-0.051	U-0.051	U-0.036	U-0.036
Walls, Below Grade																
Below-grade wall[a]	C-1.140	C-1.140	C-1.140	C-1.140	C-1.140	C-1.140	C-1.140	C-0.119	C-0.119	C-0.119	C-0.119	C-0.119	C-0.119	C-0.092	C-0.119	C-0.075
Floors																
Mass	U-0.322	U-0.322	U-0.107	U-0.087	U-0.107	U-0.087	U-0.087	U-0.074	U-0.074	U-0.064	U-0.064	U-0.057	U-0.064	U-0.051	U-0.057	U-0.051
Joist/Framing	U-0.282	U-0.282	U-0.052	U-0.052	—	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033	U-0.033
Slab-on-Grade Floors																
Unheated slabs	F-0.730	F-0.730	F-0.730	F-0.730	F-0.730	F-0.730	F-0.730	F-0.540	F-0.730	F-0.540	F-0.540	F-0.520	F-0.520	F-0.520	F-0.520	F-0.510
Heated slabs	F-1.020	F-1.020	F-1.020	F-1.020	F-0.900	F-0.900	F-0.860	F-0.860	F-0.860	F-0.860	F-0.860	F-0.688	F-0.830	F-0.688	F-0.688	F-0.688

a. When heated slabs are placed below-grade, below grade walls must meet the *F*-factor requirements for perimeter insulation according to the heated slab-on-grade construction.

BUILDING ENVELOPE SYSTEMS

ENERGY CONSERVATION CODE REQUIREMENTS
THIS PROJECT WAS DESIGNED UNDER THE WISCONSIN BUILDING CODE BASED ON IBC 2015.
THE BUILDING ENVELOPE IS BASE ON THE PRESCRIPTIVE REQUIREMENTS OF TABLE 502.2.2 IECC 2009 AS ALLOWED BY THE STATE OF WISCONSIN

ROOF METAL BUILDING ROOF PURLIN DRAPED ROOF INSULATION 2 LAYER SYSTEM R11 WITH THERMAL BLOCKS AND R 19 BELOW U=.043 REQUIRED .049 OR LESS

WALLS METAL BUILDING WALL SYSTEM GIRT FILL SYSTEM SINGLE LAYER INSUL R25 W/ THERMAL TAPE ON FACE OF GIRTS U=.054 REQUIRED .064 OR LESS

FLOOR UNHEATED 6' CONCRETE R10 24" DEEP MIN PERIMETER F=.54 REQUIRED .54 OR LESS
DOORS U=.70 FOR SWING DOORS AND U=.70 FOR SECTIONAL OVERHEAD DOORS
WINDOWS SEE TABLE C402.4 BELOW

TABLE C402.4
BUILDING ENVELOPE FENESTRATION MAXIMUM *U*-FACTOR AND SHGC REQUIREMENTS

CLIMATE ZONE	1	2	3	4 EXCEPT MARINE	5 AND MARINE 4	6	7	8
Vertical fenestration								
U-factor								
Fixed fenestration	0.50	0.50	0.46	0.38	0.38	0.36	0.29	0.29
Operable fenestration	0.65	0.65	0.60	0.45	0.45	0.43	0.37	0.37
Entrance doors	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77
SHGC								
Orientation[a]	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N
PF < 0.2	0.25	0.33	0.25	0.33	0.25	0.33	0.40	0.53	0.40	0.53	0.40	0.53	0.40	0.53	0.45	NR	0.45	NR
0.2 ≤ PF < 0.5	0.30	0.37	0.30	0.37	0.30	0.37	0.48	0.58	0.48	0.58	0.48	0.58	0.48	0.58	NR	NR	NR	NR
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.64	0.64	0.64	0.64	0.64	0.64	0.64	NR	NR	NR	NR	NR	NR
Skylights								
U-factor	0.75		0.65		0.55		0.50		0.50		0.50		0.50		0.50	
SHGC	0.35		0.35		0.35		0.40		0.40		0.40		NR		NR	

NR = No requirement, PF = Projection factor.
a. "N" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientations other than "N." For buildings in the southern hemisphere, reverse south and north. Buildings located at less than 23.5 degrees latitude shall use SEW for all orientations.

RICHARD J. FISHER A-8293 CRIVITZ WISCONSIN ARCHITECT

8/21/23

RELEASED FOR CONSTRUCTION 8/21/23
RELEASED FOR SITE PLAN APPROVAL 6/28/23

REVISIONS:

RJ ALBRIGHT CONSTRUCTION

FISHER & ASSOCIATES, LLC.
Architects / Planners
816 CEDAR STREET DE PERE, WI 54115
PH.(920) 532-4994
rfisher@fisherandassociatesllc.com

PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Nikodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY: RJF
CHK'D BY: RJF
JOB NUMBER: 17034
DATE: 6/30/17

TS

ARCHITECTURAL ABBREVIATIONS

A
- A.B. — ANCHOR BOLT
- AC.FLR. — ACCESS FLOOR
- ACOUS. — ACOUSTIC
- ADA — AMERICANS WITH DISABILITIES ACT
- ADD. — ADDENDUM
- ADDL. — ADDITIONAL
- ADJ. — ADJUSTABLE
- ADJ. — ADJACENT
- ADMIN. — ADMINISTRATION
- A.F.F. — ABOVE FINISHED FLOOR
- AHU — AIR HANDLING UNIT
- ALT. — ALTERNATE
- ALUM. — ALUMINUM
- AMEND. — AMENDMENT
- ANNUN. — ANNUNCIATOR
- AP — ACCESS PANEL
- APPROX. — APPROXIMATE
- ARCH. — ARCHITECTURAL
- ATC — ACOUSTIC TILE CEILING
- AUTO. — AUTOMATIC

B
- BUL.BD. — BULLETIN BOARD
- BD. — BOARD
- BG — BUMPER GUARD
- BIT. — BITUMINOUS
- BKT. — BRACKET
- BLDG. — BUILDING
- BLKG. — BLOCKING
- BM. — BEAM
- BOT. — BOTTOM
- BRG. — BEARING
- BSMT. — BASEMENT
- BUL. — BULLETIN

C
- CAB. — CABINET
- CCTV — CLOSED CIRCUIT TELEVISION
- CD — COILING DOOR
- CEIL. — CEILING
- CG — CORNER GUARD
- CH — COAT HOOK
- C.J. — CONSTRUCTION JOINT
- CLG. — CEILING
- CLR. — CLEAR
- CM — CONSTRUCTION MANAGER
- CMU — CONCRETE MASONRY UNITS
- CO — CLEAN-OUT
- COL. — COLUMN
- COMB. — COMBINATION
- CONC. — CONCRETE
- CONF. — CONFERENCE
- CONN. — CONNECTION
- CONST. — CONSTRUCTION
- CONT. — CONTINUOUS
- CONTR. — CONTRACTOR
- COORD. — COORDINATE
- CORR. — CORRIDOR
- CPT. — CARPET
- CT — CERAMIC TILE
- CTR. — CENTER
- CTSK. — COUNTERSINK
- CUH — CABINET UNIT HEATER
- CW — COLD WATER
- CYL. — CYLINDER

D
- DEMO. — DEMOLITION
- DEPR. — DEPRESSION
- DEPT. — DEPARTMENT
- DTLS. — DETAILS
- DF — DRINKING FOUNTAIN
- DIA. — DIAMETER
- DIAG. — DIAGONAL
- DIFF. — DIFFUSER
- DIM. — DIMENSION
- DISP. — DISPENSER
- DIST. — DISTRIBUTION
- DIV. — DIVISION
- DN — DOWN
- DP. — DEEP
- DR. — DOOR
- DR. — DRIVE
- DS — DOWNSPOUT
- DW — DISHWASHER
- DWG. — DRAWING
- DWLS. — DOWELS

E
- E — ELECTRIC
- EA — EXHAUST-AIR
- EA. — EACH
- EC — ELECTRICAL CABINET
- EF — EXHAUST FAN
- EL. — ELEVATOR
- ELEC. — ELECTRICAL
- ELEV. — ELEVATION
- EMERG. — EMERGENCY
- ENCL. — ENCLOSURE
- ENTR. — ENTRANCE
- EO — ELECTRICAL OUTLET
- EP — ELECTRIC PANEL
- EQ. — EQUAL
- EQUIP. — EQUIPMENT
- EWC — ELECTRIC WATER COOLER
- EX. — EXISTING
- EXC. — EXCAVATE
- EXH. — EXHAUST
- EXIST. — EXISTING
- EXP. — EXPANSION
- EXT. — EXTERIOR

F
- FA — FIRE ALARM
- FB — FIRE BLANKET
- FD — FIRE DAMPER
- FD — FLOOR DRAIN
- FDN. — FOUNDATION
- FE — FIRE EXTINGUISHER
- FEC — FIRE EXTINGUISHER CABINET
- FH — FIRE HOSE
- FHC — FIRE HOSE CABINET
- FIN. — FINISH
- FIXT. — FIXTURE
- FLR. — FLOOR
- FLASH. — FLASHING
- FLEX. — FLEXIBLE
- FLG. — FLANGE
- FLUOR. — FLUORESCENT
- FM — FACTORY MUTUAL
- FP — FIREPROOF
- FRMG. — FRAMING
- FS — FLOOR SINK
- FT. — FOOT/FEET
- FTG. — FOOTING
- FTN. — FOUNTAIN
- FUT. — FUTURE

G
- G — GAS
- GA. — GAUGE
- GALV. — GALVANIZED
- GB — GRAB BAR
- GBC — GENERAL BUILDING CONTRACTOR
- GEN. — GENERAL
- GENER. — GENERATOR
- GL. — GLASS
- GR. — GRADE
- GYP. — GYPSUM

H
- H. — HIGH
- HB — HOSE BIBB
- HD — HAND DRYER
- HDCP. — HANDICAP
- HDR. — HEADER
- HDWD. — HARDWOOD
- HDWR. — HARDWARE
- HGT. — HEIGHT
- HM — HOLLOW METAL
- HORIZ. — HORIZONTAL
- HTR. — HEATER
- HVAC — HEATING VENTILATING AIR-CONDITIONING
- HW — HOT WATER

I
- I.D. — INSIDE DIAMETER
- IN. — INCH
- INSUL. — INSULATION
- INT. — INTERIOR
- ISO. — ISOLATION

J
- JAN. — JANITOR
- JB — JUNCTION BOX
- JST. — JOIST
- JT. — JOINT

K
- KO — KNOCK OUT
- KS — KNEE SPACE
- KW — KILOWATT

L
- L. — LAVATORY
- LAM. — LAMINATE
- LAV. — LAVATORY
- LB. — POUND
- LIN. — LINEAR
- LKR. — LOCKER
- LL — LEAD LINED
- LLH — LONG LEG HORIZONTAL
- LLV — LONG LEG VERTICAL
- LP — LIGHT POLE
- LVR. — LOUVER

M
- MAN. — MANUAL
- MATL. — MATERIAL
- MAX. — MAXIMUM
- MECH. — MECHANICAL
- MEMB. — MEMBRANE
- MTL. — METAL
- MEZZ. — MEZZANINE
- MFG. — MANUFACTURING
- MFR. — MANUFACTURER
- MH — MANHOLE
- MIN. — MINIMUM
- MIR. — MIRROR
- MISC. — MISCELLANEOUS
- M.O. — MASONRY OPENING
- MTD. — MOUNTED

N
- N/A — NOT APPLICABLE
- NEC — NATIONAL ELECTRIC CODE
- NIC — NOT IN CONTRACT
- NO. — NUMBER
- NOM. — NOMINAL
- NRC — NOISR REDUCTION COEFFICIENT
- NTS — NOT TO SCALE

O
- O.C. — ON CENTER
- O.D. — OUTSIDE DIAMETER
- OFF. — OFFICE
- OH. — OVERHEAD
- OPER. — OPERATOR
- OPNG. — OPENING
- OPP. — OPPOSITE
- ORD — OVERFLOW ROOF DRAIN

P
- PART. — PARTITION
- PB — PASS BOX
- PC — PRECAST
- PD — PENCIL DRAWER
- PH — PANIC HARDWARE
- PL. — PLATE
- PLAM. — PLASTIC LAMINATE
- PLAS. — PLASTIC
- PLAST. — PLASTER
- PLMB. — PLUMBING
- PLWD. — PLYWOOD
- PNL. — PANEL
- PR. — PAIR
- PRELIM. — PRELIMINARY
- PRV — POWER ROOF VENTILATOR
- PTN. — PARTITION
- PVC — POLYVINYL CHLORIDE

Q
- QT — QUARRY TILE

R
- R — RADIUS
- R. — RISER
- RA — RETURN-AIR
- RD — ROOF DRAIN
- REBAR — REINFORCING ROD
- REC. — RECESSED
- REF. — REFERENCE
- REFRIG. — REFRIGERATOR
- REINF. — REINFORCING
- REQD. — REQUIRED
- RET. — RETAINING
- REV. — REVISION
- RH — ROOF HATCH
- RM. — ROOM
- RO — ROUGH OPENING
- R&S — ROD AND SHELF

S
- S. — SINK
- SCHED. — SCHEDULE
- SD — SMOKE DAMPER
- SECT. — SECTION
- SF — SQUARE FOOT/FEET
- SH. — SHELF
- SHR. — SHOWER
- SHT. — SHEET
- SHTG. — SHEATHING
- SIM. — SIMILAR
- SPEC. — SPECIFICATION
- SQ. — SQUARE
- SS — STAINLESS STEEL
- SS — STORM SEWER
- ST. — STAINLESS
- ST. — STREET
- STD. — STANDARD
- STL. — STEEL
- STOR. — STORAGE
- STRUCT. — STRUCTURAL
- STWD. — SOFTWOOD
- SUPV. — SUPERVISOR
- SUSP. — SUSPENDED
- SW. — SWITCH

T
- T — TOILET
- T. — TREAD
- TAN. — TANGENT
- TC — TIME CLOCK
- TEL. — TELEPHONE
- TEMP. — TEMPERED
- TEMP. — TEMPERATURE
- TERR. — TERRAZZO
- T&G — TONGUE AND GROOVE
- THRES. — THRESHOLD
- TLT. — TOILET
- TRANS. — TRANSFORMER
- TS — TUBE STEEL
- TV — TELEVISION
- TYP. — TYPICAL

U
- UC — UNDERCUT
- UCR — UNDERCOUNTER REFRIGERATOR
- UL — UNDERWRITERS LABORATORIES
- UNFIN. — UNFINISHED
- UNO — UNLESS NOTED OTHERWISE
- UR. — URINAL
- UTIL. — UTILITY

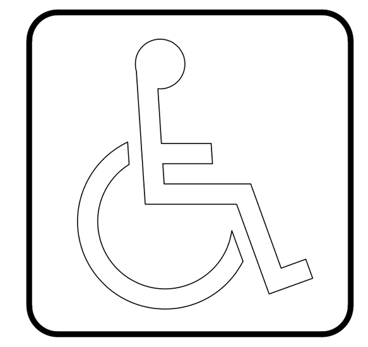
V
- V — VENT
- VCT — VINYL COMPOSITION TILE
- VENT. — VENTILATION
- VERT. — VERTICAL
- VEST. — VESTIBULE
- VNL. — VINYL
- VTR — VENT THROUGH ROOF
- VWC — VINYL WALL COVERING

W
- W. — WIDE
- W/ — WITH
- W/O — WITHOUT
- WC — WATER CLOSET
- WD. — WOOD
- WDW. — WINDOW
- WF — WIDE FLANGE
- WGT. — WEIGHT
- W.H. — WATER HEATER
- WHCR. — WHEELCHAIR
- WP — WATERPROOF
- WS — WEATHERSTRIP
- WSCT. — WAINSCOT
- W.W.F. — WELDED WIRE MESH

X
- XFMR. — TRANSFORMER

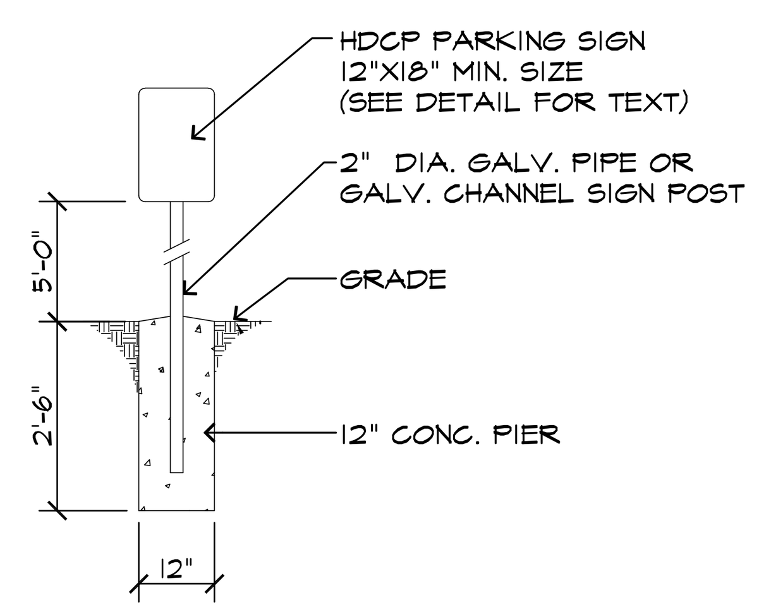
Y
- YD. — YARD

- < — ANGLE
- @ — AT
- CL — CENTER LINE
- [— CHANNEL

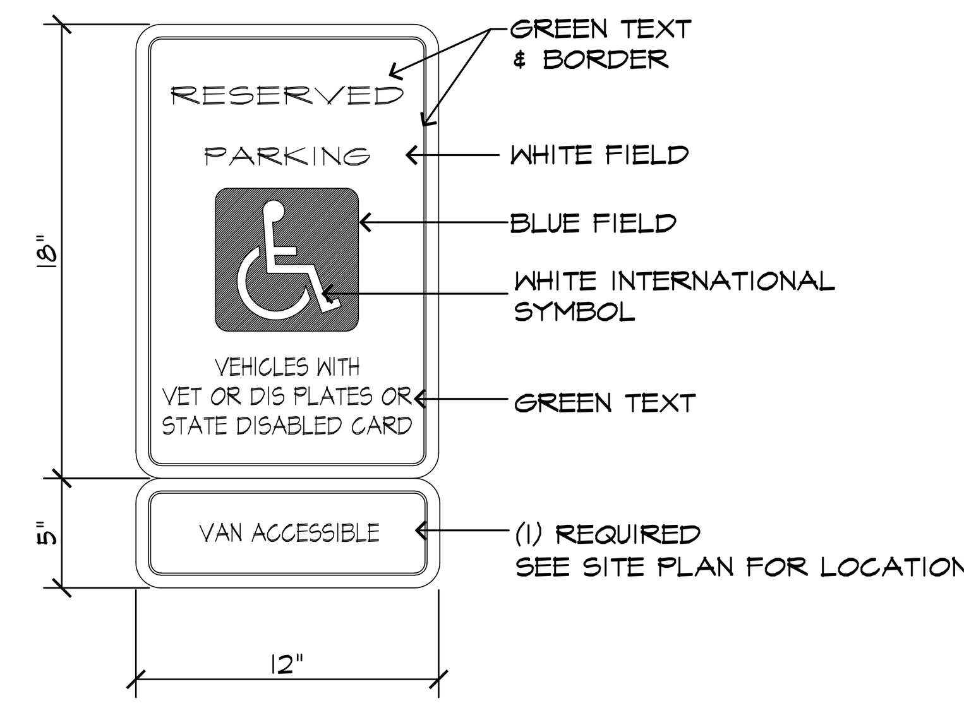


INTERNATIONAL SYMBOL OF ACCESSIBILITY

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE CODE: TRANS #200.07



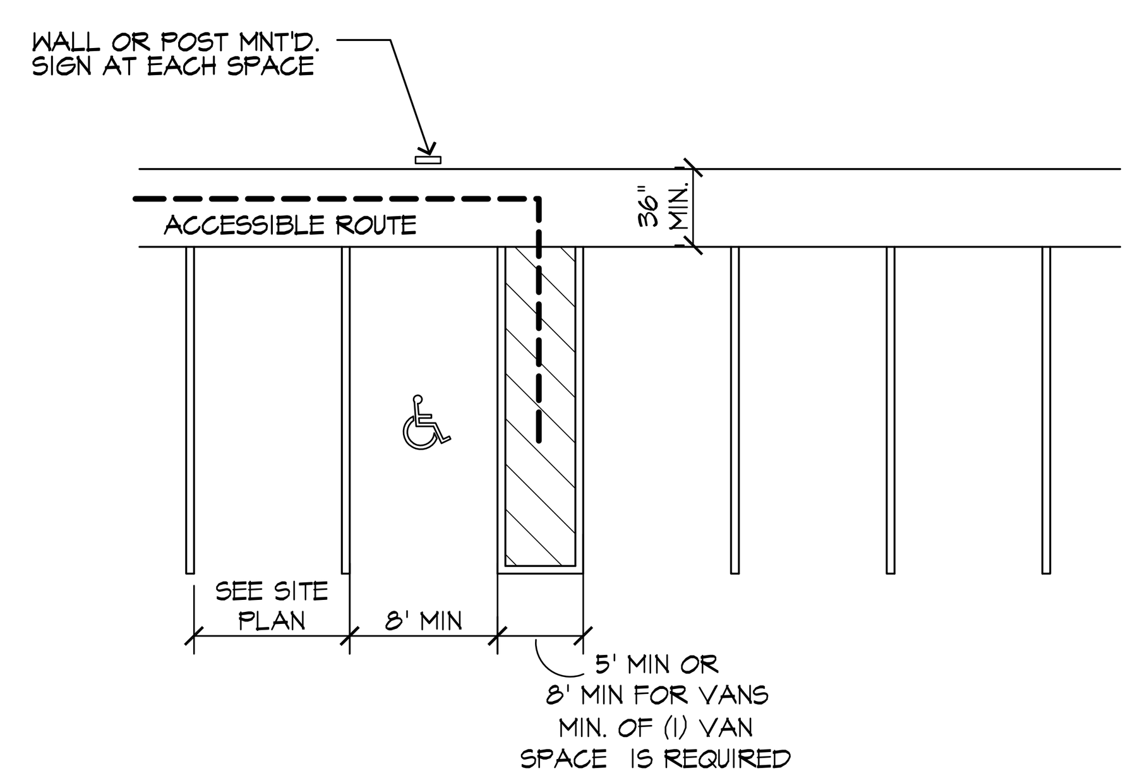
SIGN POST DETAIL



PARKING SIGN DETAIL

HANDICAPPED PARKING SIGN DETAILS

NOT TO SCALE

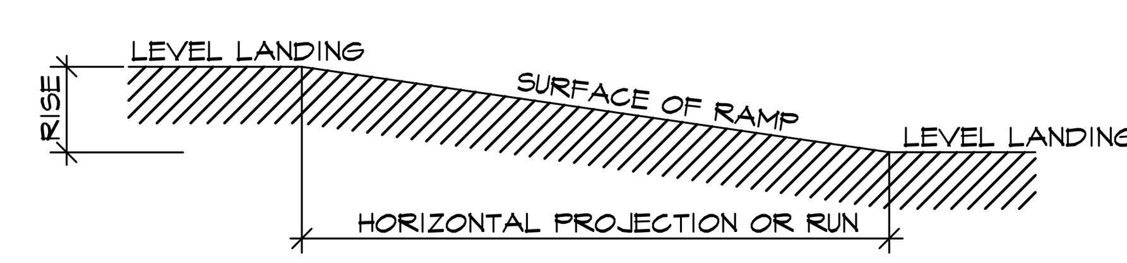


HANDICAPPED PARKING SPACES

THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)

405.1 GENERAL.
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 405.

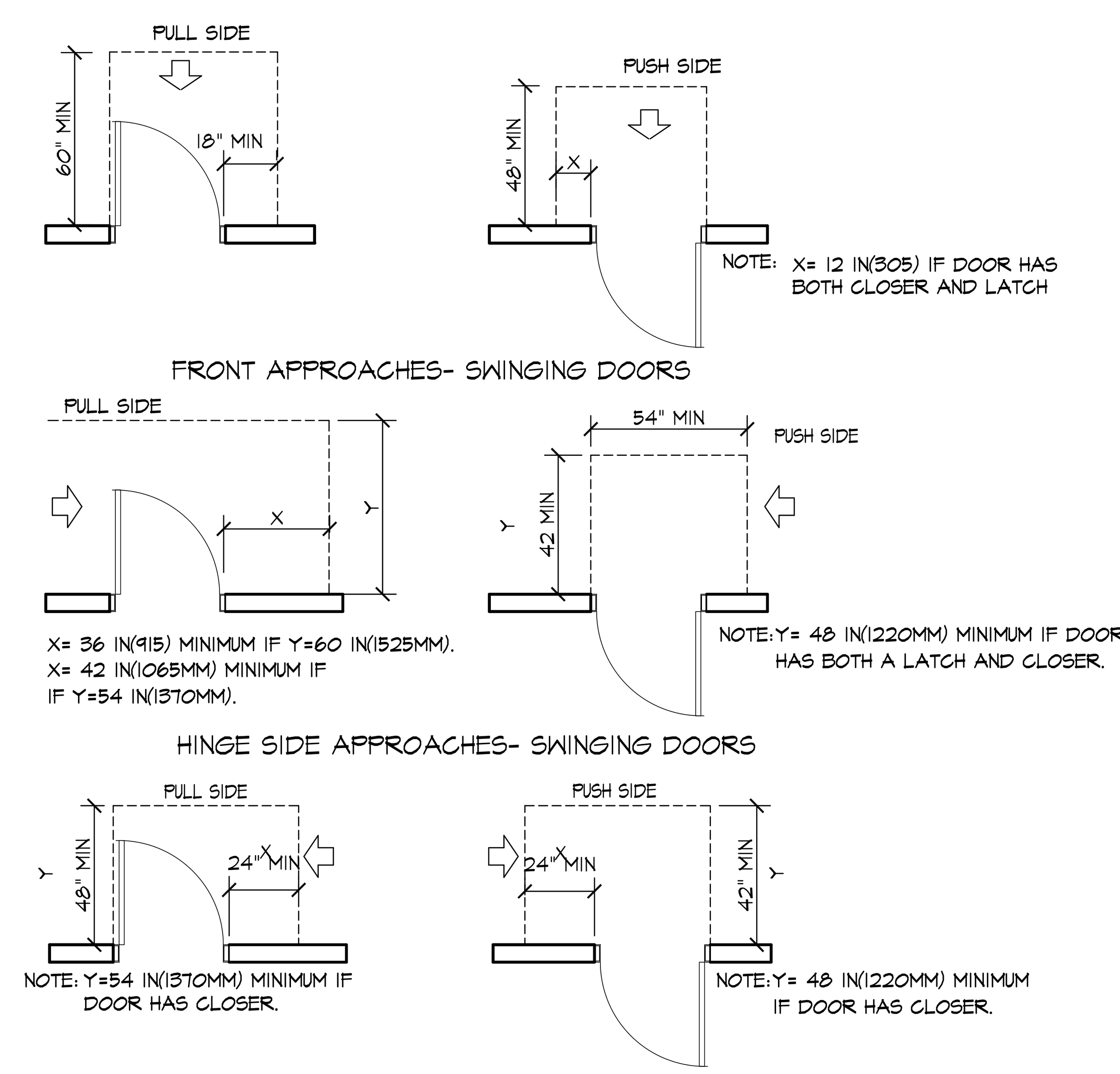
SLOPE AND RISE.
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN.(760MM) (SEE FIG. 16). CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 405.2 IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.



SLOPE	MAXIMUM RISE IN.	MAXIMUM HORIZONTAL PROJECTION FT.
1:12 TO 1:16	30	30
1:16 TO 1:20	30	40

SINGLE RAMP RUN

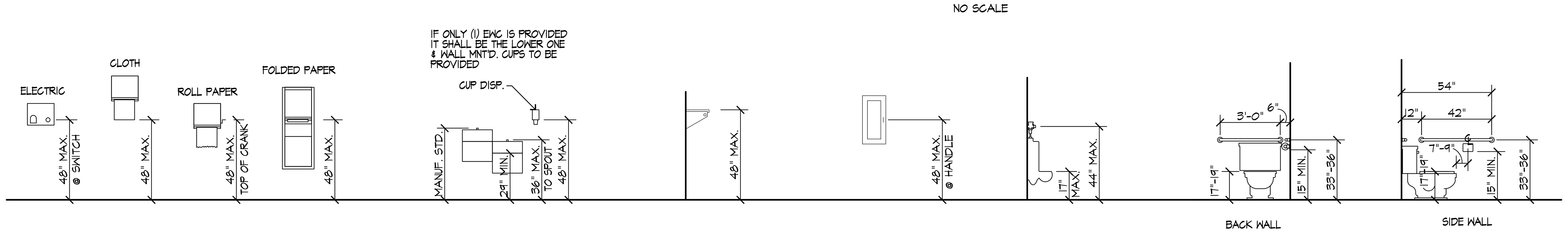
NO SCALE

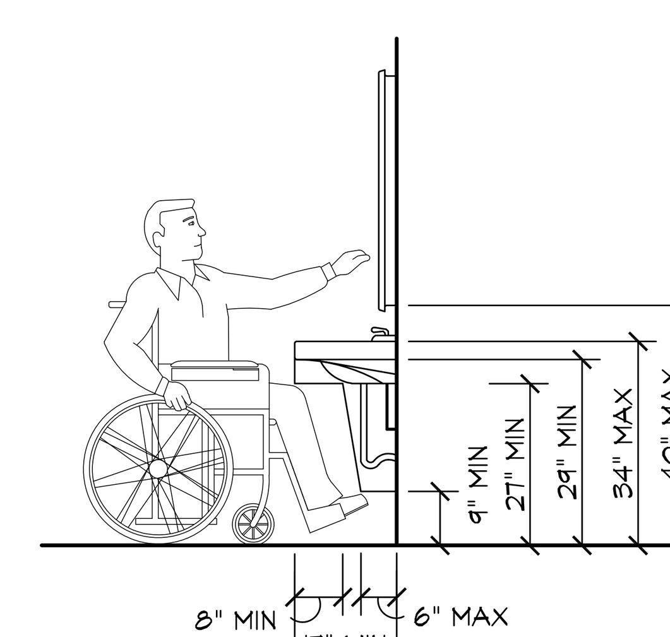


NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCE FOR FRONT APPROACHES

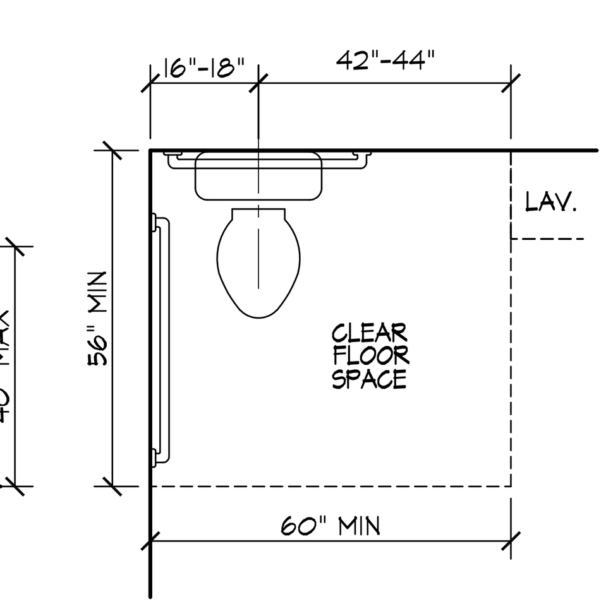
MANEUVERING CLEARANCES AT DOORS

NO SCALE

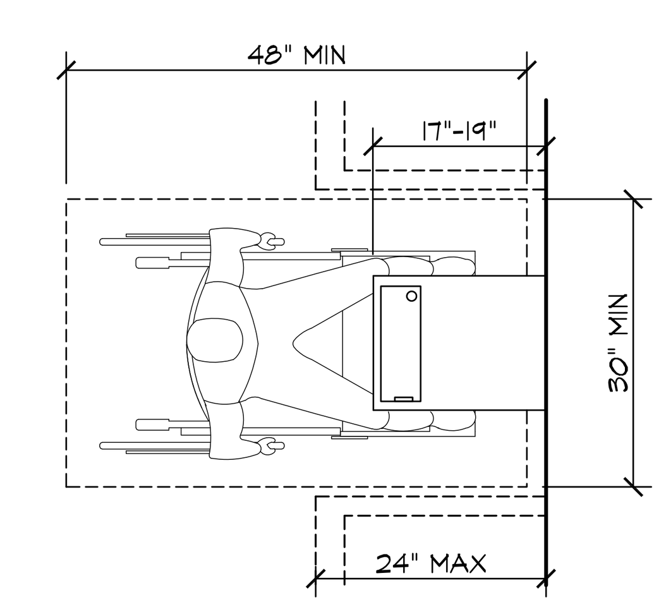




LAVATORY CLEARANCES



CLEAR FLOOR SPACE AT WATER CLOSET



CLEAR FLOOR SPACE

TOILET & BUILDING ACCESSORY MOUNTING HEIGHTS & CLEARANCES

NOT TO SCALE

REVISIONS:

RJ ALBRIGHT INC CONSTRUCTION

FISHER & ASSOCIATES, LLC
Architects / Planners
916 CEDAR STREET DE PERE, WI 54115
Ph.(920) 532-9199
rfisher@fisherandassociatesllc.com

PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Nikodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY: RJF

CHK'D BY: RJF

JOB NUMBER: 23029

DATE: 7/27/23

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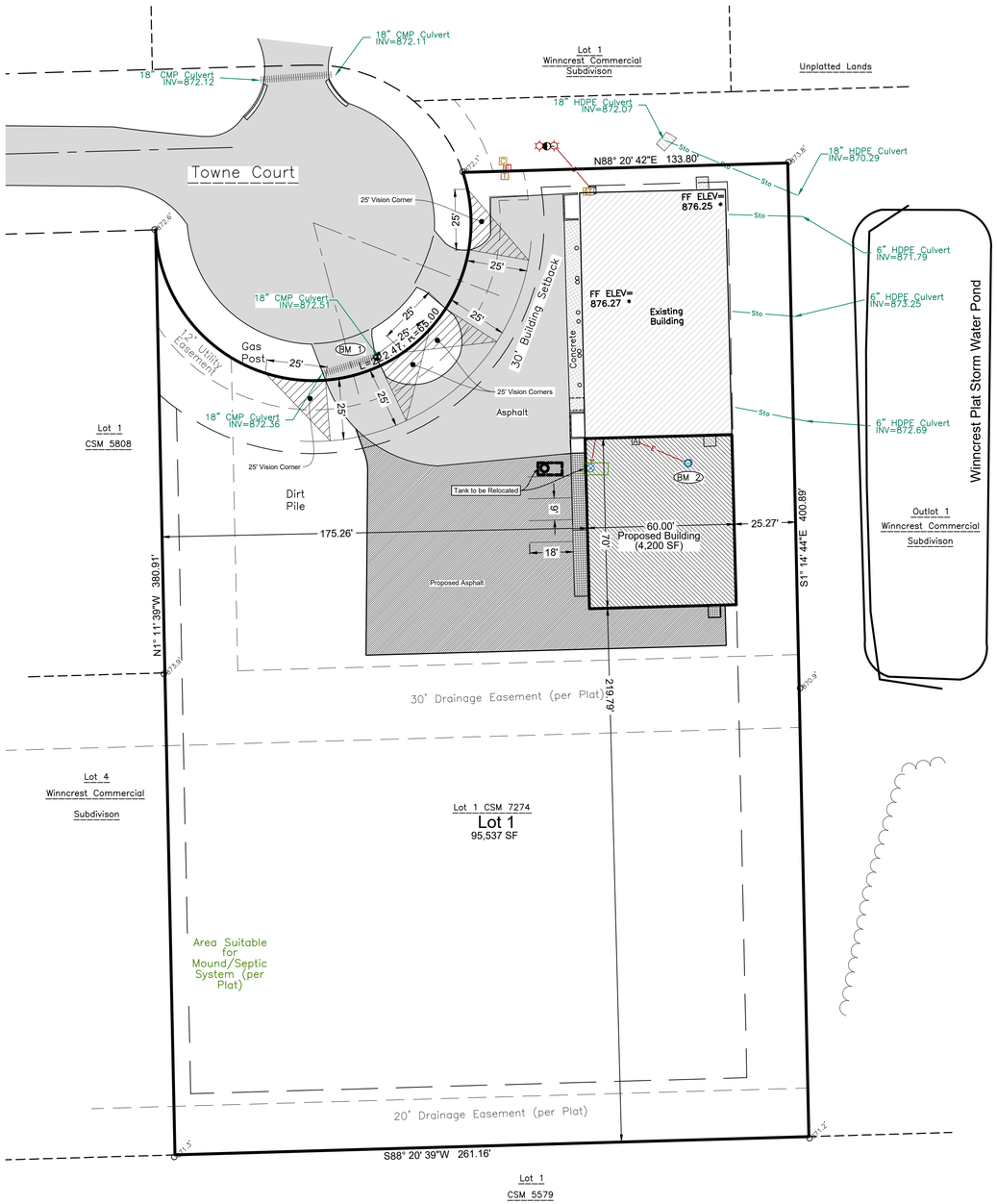
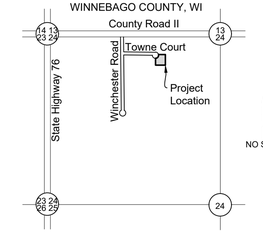


LOCATION MAP

NW 1/4 SEC 24, T 20 N, R 16 E,
TOWN OF CLAYTON
WINNEBAGO COUNTY, WI



NOTES:

Site Information
Proposed Storage

Town of Clayton, Parcel # 0061777
Zoning: I-2 Heavy Industrial District

Setbacks
Street: 30'
Rear: 25'
Sides: 7' on one side, 10' on the other

Existing Areas

Building coverage	6,000 SF
Parking and Drives	10,443 SF
Lawn and Landscaping	95,537 SF
Total Site Area	95,537 SF (2.19 Acres)

Proposed Areas

	Existing	Change	Total
Building Coverage	6,000	4,200	10,200
Parking & Drives	8,394	8,202	16,596
Lawn & Landscaping	81,143	-12,402	68,741
		Total Site Area:	95,537 SF

Total Impervious 26,796 SF (28.0%)

Owner
Nikodem Family Trust
W 3614 Rock Rd
Appleton, WI 54913

Contractor
R.J. Albright, Inc.
5711 Green Valley Road
Oshkosh, WI 54904

LEGEND

Sto Sto — Storm Sewer	Clean Out / Curb Stop / Pull Box	CATV Pedestal
E E — Underground Electric	Water MH / Well	Gas Regulator
Treeline	Utility Meter	Post / Guard Post
Culvert	Light Pole / Signal	Flag Pole
800 — Index Contour	Electric Pedestal	Benchmark
799 — Intermediate Contour	Air Conditioner	Asphalt Pavement
	Telephone Pedestal	Concrete Pavement
+799.9 Ex Spot Elevation		Gravel

30 0 30 60 90

SHEET INDEX:

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

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SITE PLAN

5215 Winncrest Commercial Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

Date: 08/28/2023
Filename: 5125eng.dwg
Author: JRD
Last Saved by: jennifer
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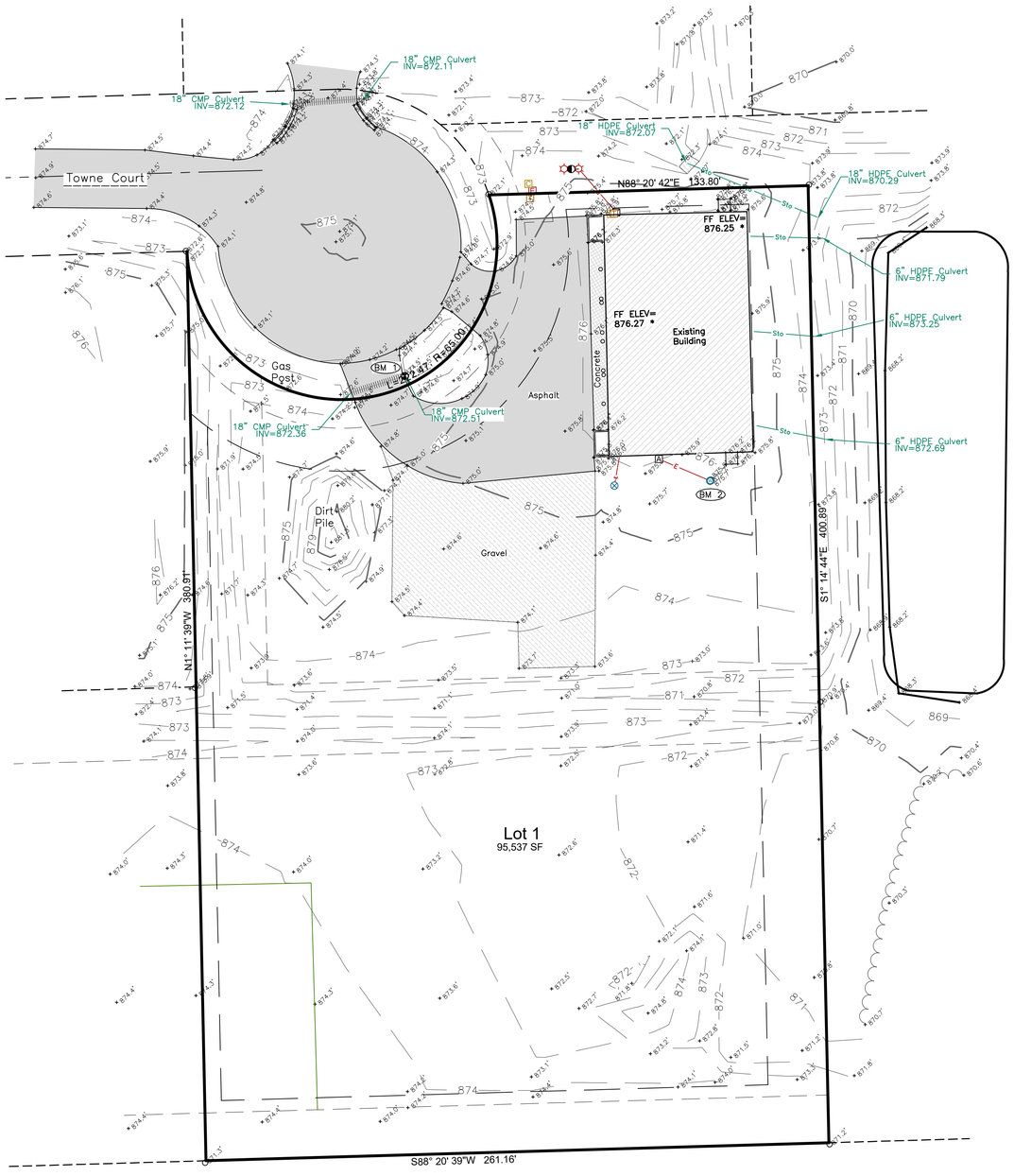
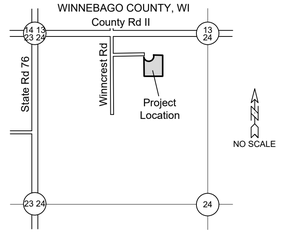


LOCATION MAP

NW 1/4 SEC 24, T 20 N, R 16 E,
TOWN OF CLAYTON
WINNEBAGO COUNTY, WI



General Notes:

1. Zoning Information
   Town of Clayton:
   I-2 Heavy Industrial District
   Setbacks:
   Front Yard: 30 Feet
   Side Yard: 7 Feet & 10 Feet
   Rear Yard: 25 Feet
   Height: No Limitation

   Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the Town of Clayton and any other local agencies.

2. Floodplain Information
   (Subject Site per FIRM Map No. 55139C0100E with and effective date of March 3, 2003)
   Mapped as "Zone X": Area determined to be outside the 0.2% annual chance floodplain.

3. Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

4. This is not a boundary survey.

SURVEYOR'S CERTIFICATE

I, Scott R. Andersen, hereby certify that I have surveyed this property and this topographical map is a true representation thereof and shows the size and location of the property and the location of all apparent roadways. I hereby certify that said topographical survey and map were made in accordance with acceptable professional standards and that the information contained thereon is, to the best of my knowledge, information and belief, a true and accurate representation thereof.

LEGEND

- Storm Sewer
- Underground Electric
- Treeline
- Culvert
- Index Contour
- Intermediate Contour
- Clean Out / Curb Stop / Pull Box
- Water MH / Well
- Utility Meter
- Light Pole / Signal
- Electric Pedestal
- Air Conditioner
- Telephone Pedestal
- +799.9 Ex Spot Elevation
- CATV Pedestal
- Gas Regulator
- Post / Guard Post
- Flag Pole
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel

30 0 30 60 90

BENCHMARKS (NAVD88 WI-Geoid 12A)

BM 1 Top Center of Well
Adjacent to southeast corner of main building
Elev 877.54

BM 2 Top of Culvert on east end of culvert at entrance to parking lot
±580' E of BM 1, N R/W Deerwood Ave
Elev 874.15

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

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TOPOGRAPHIC SURVEY

5215 Winncrest Commerical Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

Date: 08/1/2023
Filename: 5125TOPO.dwg
Author: SRA
Last Saved by: jennifer
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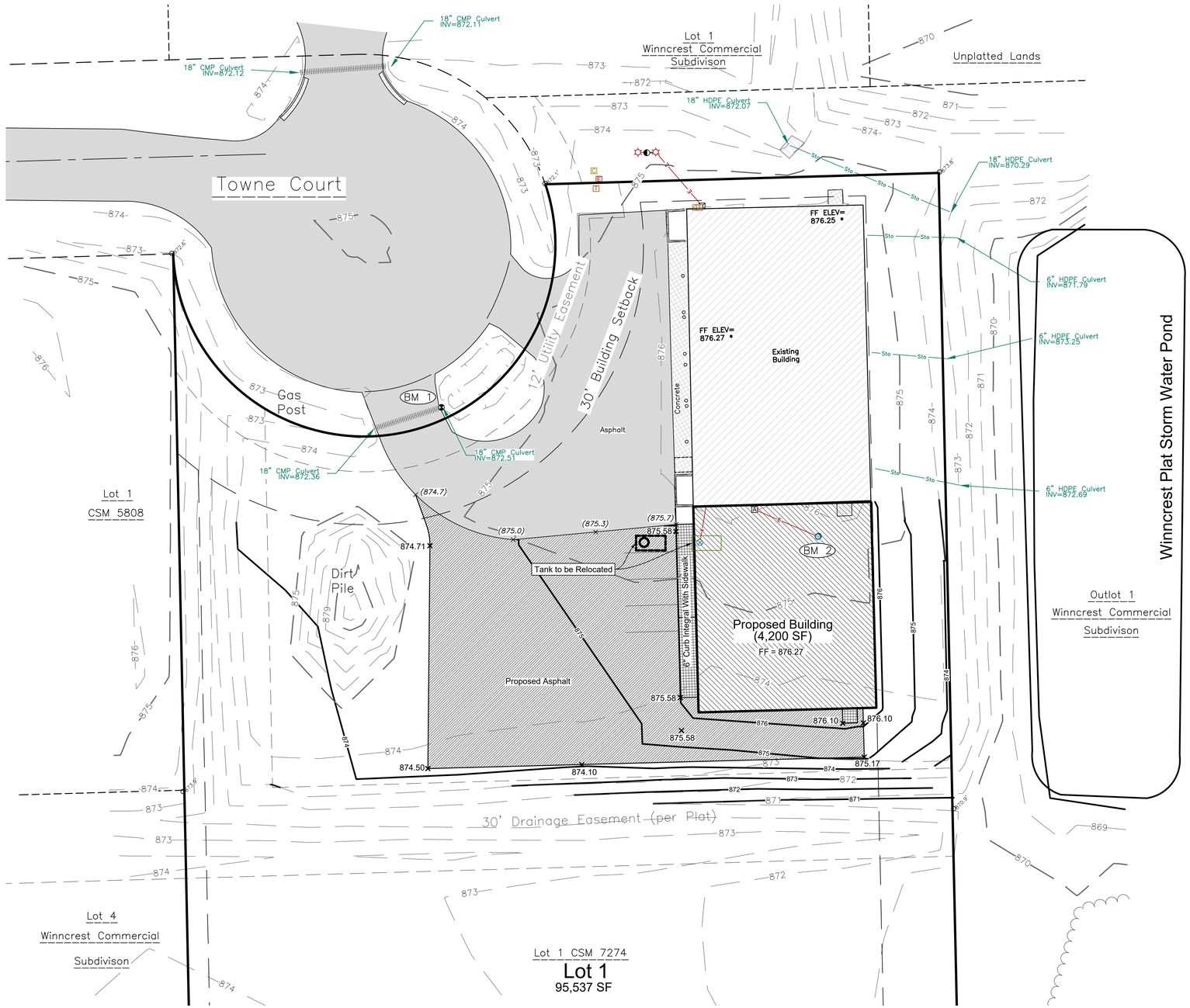

LEGEND

Storm Sewer	Clean Out / Curb Stop / Pull Box	CATV Pedestal
Underground Electric	Water MH / Well	Gas Regulator
Treeline	Utility Meter	Post / Guard Post
Culvert	Light Pole / Signal	Flag Pole
Index Contour	Electric Pedestal	Benchmark
Intermediate Contour	Air Conditioner	Asphalt Pavement
	Telephone Pedestal	Concrete Pavement
	+799.9 Ex Spot Elevation	Gravel
Proposed Storm Sewer	Proposed Storm Manhole	
608 Proposed Contour	Proposed Curb Inlet	
Proposed Swale	Prop. Catch Basin / Yard Drain	
Proposed Culvert	Proposed Endwall	
×608.73 Prop. Flowline Spot Elev.	Proposed Rip Rap	
×608.73 TW Prop. Top of Walk Elev.	Prop. Drainage Direction	
+(608.7) Existing Grade	FF=000.0 Prop. Finished Floor Elev.	

20 0 20 40 60

NOTES:

1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. Vegetation beyond slopes shall remain.
4. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
5. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
6. All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
7. The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
8. The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
9. Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
10. Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

STORM WATER PLAN:

1. This property is tributary to the Winncrest Plat Storm Water Pond located directly east. This pond provides both peak flow control and water quality treatment. The pond was designed for properties having a proposed runoff curve number (RCN) of 94. This project has an RCN of 80.7.

BENCHMARKS:

1. Top of iron rod on north property corner on east end of cul de sac, Elev. = 872.10
2. Top of iron rod on northwest property corner on cul de sac, Elev. = 872.66

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DRAINAGE & GRADING PLAN

5215 Winncrest Commercial Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

Date:	08/1/2023
Filename:	5125eng.dwg
Author:	JRD
Last Saved by:	jennifer
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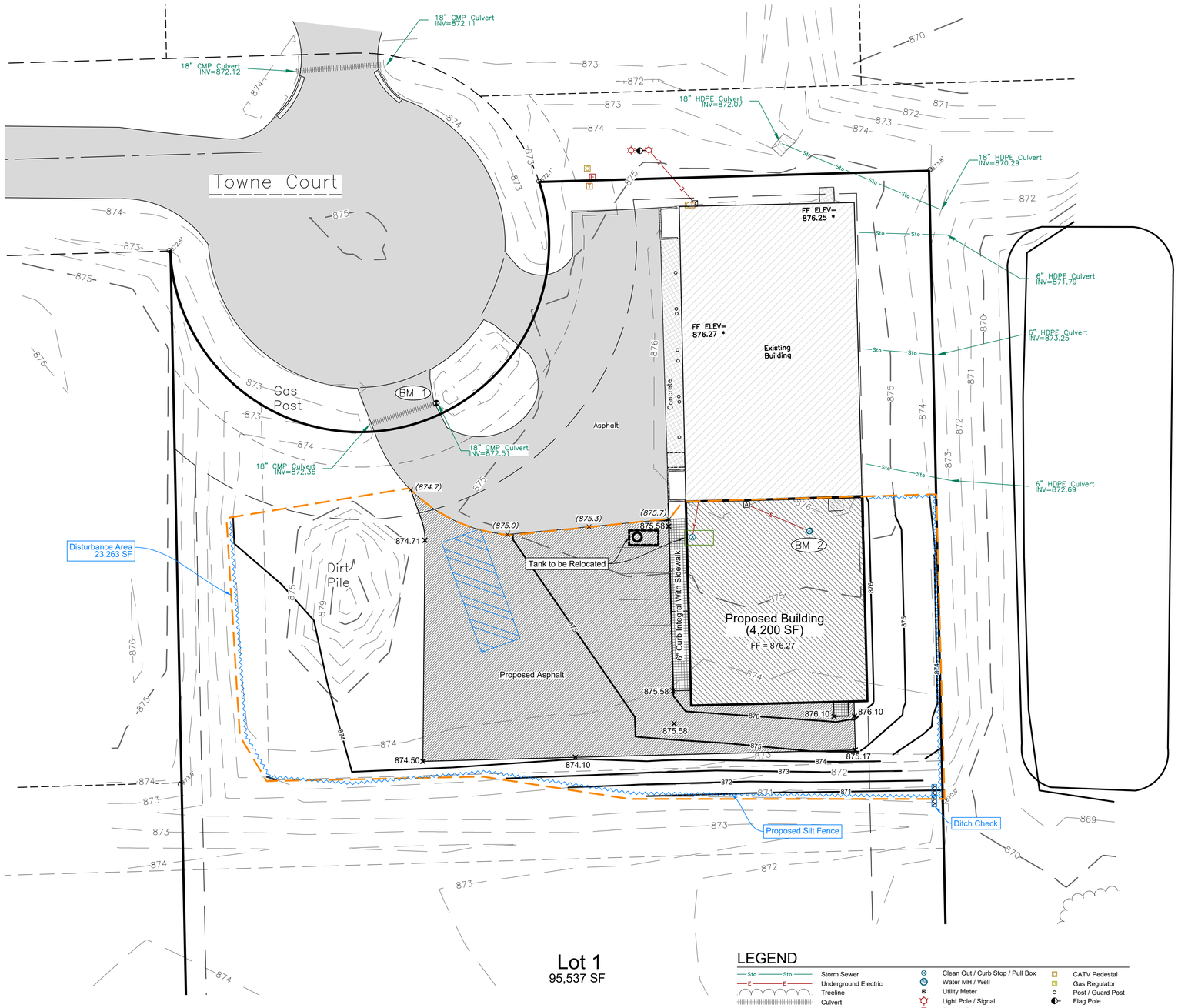

Notes:
1. Soils are Kewaunee Silt Loam and Manawa Silty Clay Loam.

LEGEND

- Sto — Sto — Storm Sewer
- E — E — Underground Electric
- Treeline
- Culvert
- 800 — Index Contour
- 799 — Intermediate Contour
- Clean Out / Curb Stop / Pull Box
- Water MH / Well
- Utility Meter
- Light Pole / Signal
- Electric Pedestal
- Air Conditioner
- Telephone Pedestal
- +799.9 Ex Spot Elevation
- CATV Pedestal
- Gas Regulator
- Post / Guard Post
- Flag Pole
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel
- Proposed Storm Sewer
- 608 Proposed Contour
- Proposed Swale
- Proposed Culvert
- Proposed Silt Fence
- Prop. Drainage Direction
- Proposed Tracking Pad
- Proposed Ditch Check
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Rip Rap
- Proposed Urban Type B Erosion Mat
- Proposed Class I Type B Erosion Mat
- Proposed Class III Type B Erosion Mat
- Proposed Inlet Protection
- A Type of Inlet Protection

Total site disturbance: 0.79 acres

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

Onsite soils are generally silty clay loam being Manawa silty clay loam, Navan silt loam, and Kewaunee silt loam. The site discharges to the adjacent southwest property and is within the Lake Butte des Morts watershed.

1) Diverting Flow
   a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the drainage swales and storm water pond.

   b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged with out adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used upslope of any soil piles to reduce the amount of sediment transported. There is a temporary diversion along the east property line to divert potential turbid construction site runoff to the proposed onsite storm water pond. **All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.**

2) Overland Flow
   a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056**. It will be placed at the following locations:
   i) along the site boundary where runoff will leave the site;

   b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058**. In addition to mulching, Erosion Mat will be used in the following areas:
   i) on all permanent and temporary diversions;
   ii) and on any areas with slopes greater than 4:1 or as specified on the plan.

   c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1059**. Seed mixture 40 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1st. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.

3) Trapping Sediment in Channelized Flow
   a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062**. Ditch Checks will be used where indicated on the plan. Additional ditch checks may be required in areas where erosion is occurring.

4) Permanent Channel Stabilization
   a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of curb cuts will be stabilized using riprap. Additionally, the swale along the pavement edge will require riprap to prevent erosion of the slope.

   b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. Vegetated waterways will be used in the following areas:
   i) drainage swales as indicated on the plans;

5) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057**. A tracking pad will be constructed at the site entrances as indicated on the plan.

6) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.

7) Dewatering BMP- Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.** The use of geotextile bags is required to prevent sedimentation. The bags shall meet the requirements of Technical Standard 1061. Dewatering is not anticipated for this project.

8) Sediment Basin - The existing ponds will serve as a sediment basin during construction. The sediment basin is designed in accordance with DNR Technical Standard 1064 utilizing the post construction primary orifice and outlet with a temporary reduced primary orifice. Upon final stabilization of the site, the remaining sediment storage capacity of the pond shall be verified with a 5-foot average depth. If inadequate sediment storage is available the accumulated sediment shall be removed and disposed of according to the Operation and Maintenance Plan.

Sequence of Construction

Obtain plan approval and other applicable permits.

1) Install all erosion control measures. **August 2023.**
2) Strip topsoil prior to filling activities, haul away excess. Stabilize topsoil in accordance with the appropriate WDNR Technical Standard. Temporary seeding is required on all disturbed soils if conditions allow. **August 2023.**
3) Site grading. **August 2023.**
4) Construct buildings, driveways and parking areas upon completion of pond construction. Field inspect and add additional measures if necessary. **August 2023**
5) Stabilize lawn and ditch areas no later than one week after final grade is established. **November 2023**
6) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be removed once final site stabilization has occurred.

Note: The dates provided are approximate for construction and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of they day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C of the Erosion and Sediment Control Plan (report) or visit http://dnr.wi.gov/runoff/stormwater/constrforms.htm for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, Winnebago County, or the Wisconsin Department of Natural Resources.

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1668 Fax: 920-441-0804
www.davel.pro

EROSION & SEDIMENT CONTROL PLAN

5215 Winncrest Commercial Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

Date:	08/1/2023
Filename:	5125eng.dwg
Author:	JRD
Last Saved by:	jennifer
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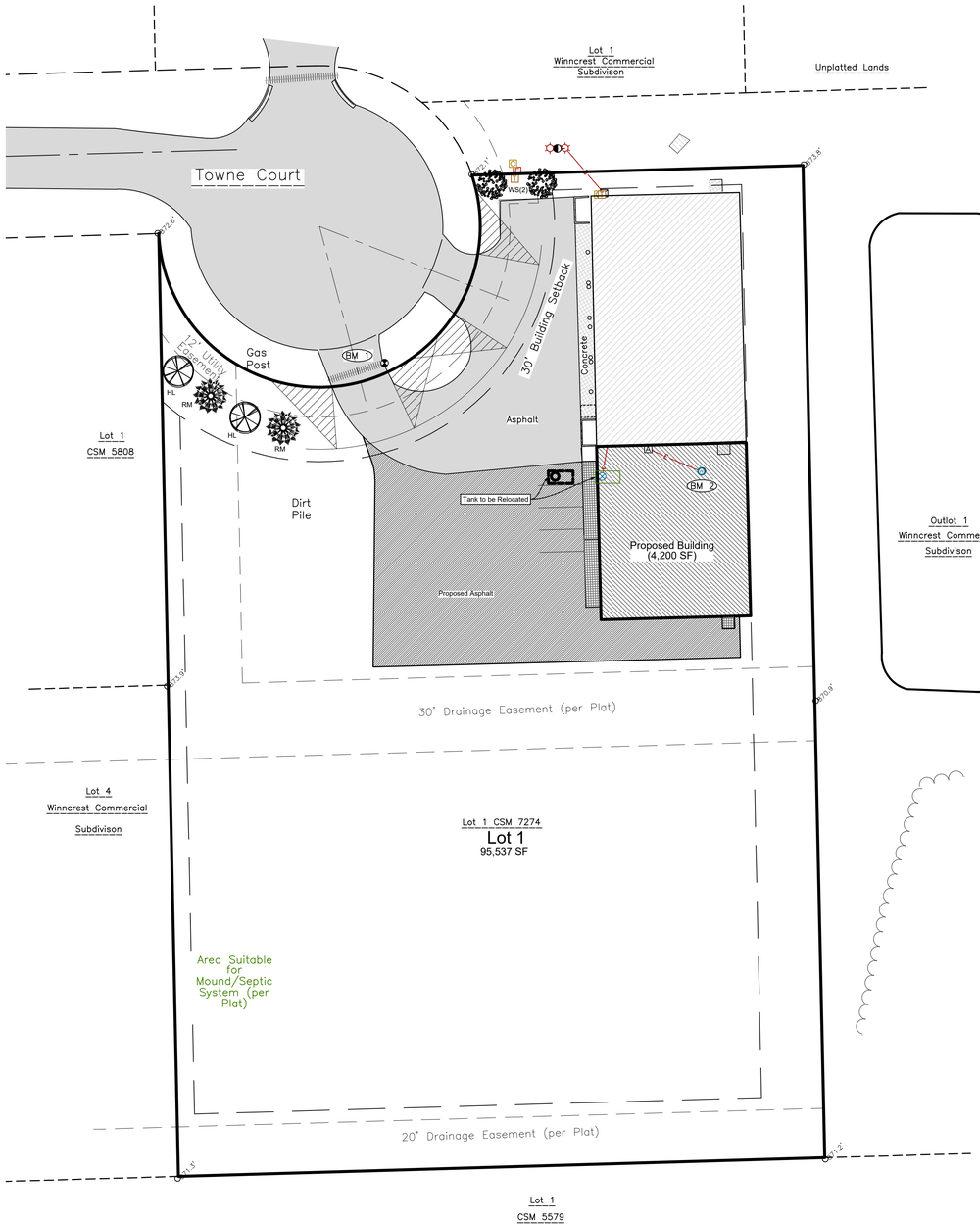

LEGEND

Sto Sto	Storm Sewer		Clean Out / Curb Stop / Pull Box		CATV Pedestal
E E	Underground Electric		Water MH / Well		Gas Regulator
	Treeline		Utility Meter		Post / Guard Post
	Culvert		Light Pole / Signal		Flag Pole
800	Index Contour		Electric Pedestal		Benchmark
799	Intermediate Contour		Air Conditioner		Asphalt Pavement
			Telephone Pedestal		Concrete Pavement
		+799.9	Ex Spot Elevation		Gravel

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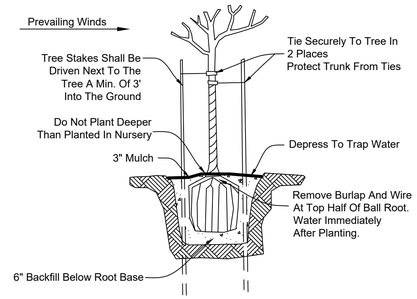

TREE PLANTING DETAILS

Landscape Requirements

Three trees per 100 linear feet of frontage = 6 trees

Note:

1. All trees are to be mulched with hardwood mulch. Trees shall be minimum 4-foot height at time of planting. Species may be substituted based on availability and local nursery stock.

Plant Schudule		
I.D.	Common Name	Quantity
WS	White Swamp Oak	2
RM	Red Maple	2
HL	Honeylocust	2

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1164 Province Terrace, Menasha, WI 54952
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LANDSCAPE PLAN

5215 Winncrest Commercial Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

Date: 08/28/2023
Filename: 5125eng.dwg
Author: JRD
Last Saved by: jennifer
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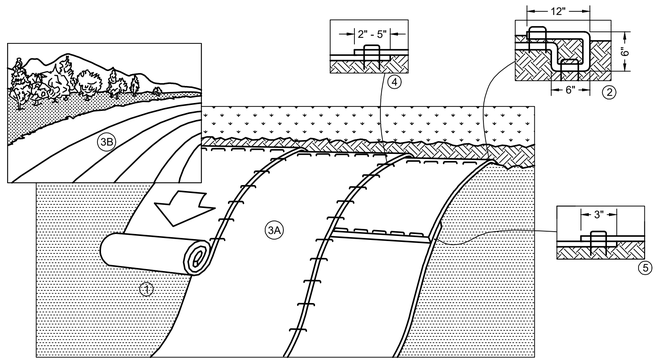
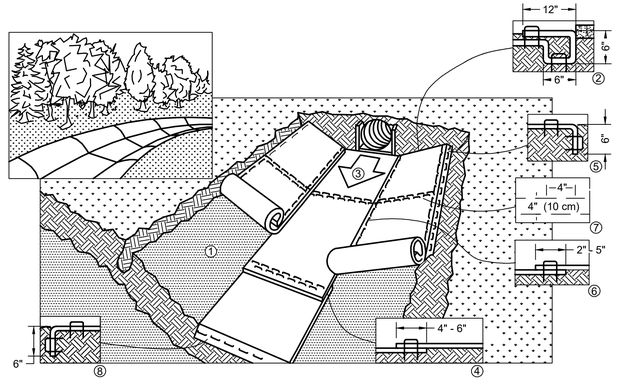
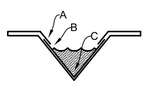


1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.
3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.
6. Detail provided by North American Green (www.nagreen.com)
7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
2. Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.
3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.
5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECP's must be overlapped approximately 2" - 5" (5cm - 12.5 cm) (depending on RECP's type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
8. The terminal end of the RECP's must be anchored with a row of staples.stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
Note:
* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.
9. Detail provided by North American Green (www.nagreen.com)

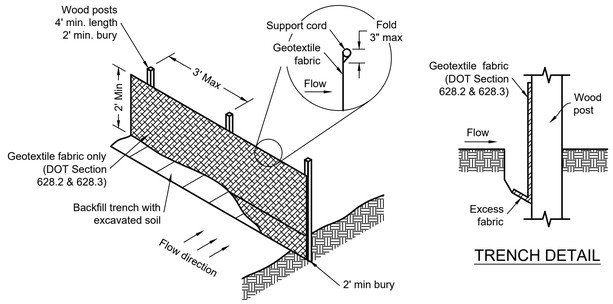


Critical Points
A. Overlaps and seams
B. Projected Water line
C. Channel Bottom/side slope vertices

Note:
* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

** In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

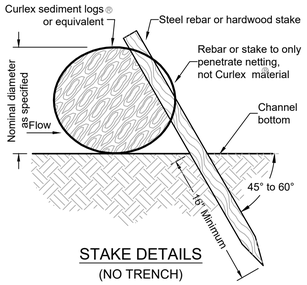
EROSION MAT CHANNEL INSTALLATION



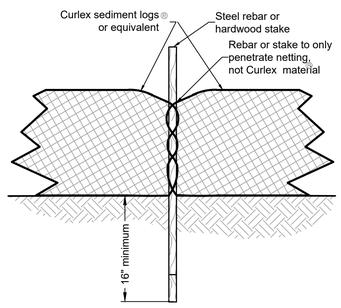
TRENCH DETAIL

Silt fence notes:
1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

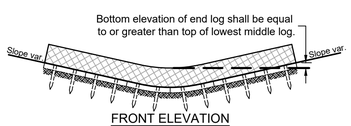
SILT FENCE INSTALLATION



STAKE DETAILS
(NO TRENCH)



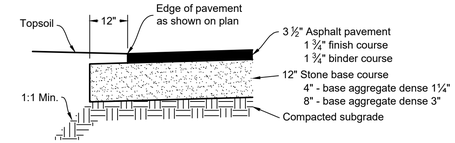
STAKE DETAIL
(FRONT VIEW)



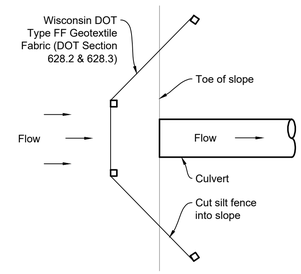
FRONT ELEVATION

NOTE:
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

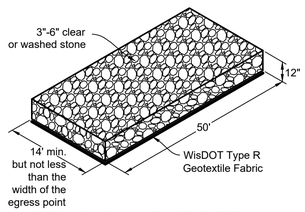
SEDIMENT LOG DETAIL



PAVEMENT SECTION



INLET PROTECTION



TRACKING PAD DETAIL

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1666 Fax: 920-441-0804
www.davel.pro

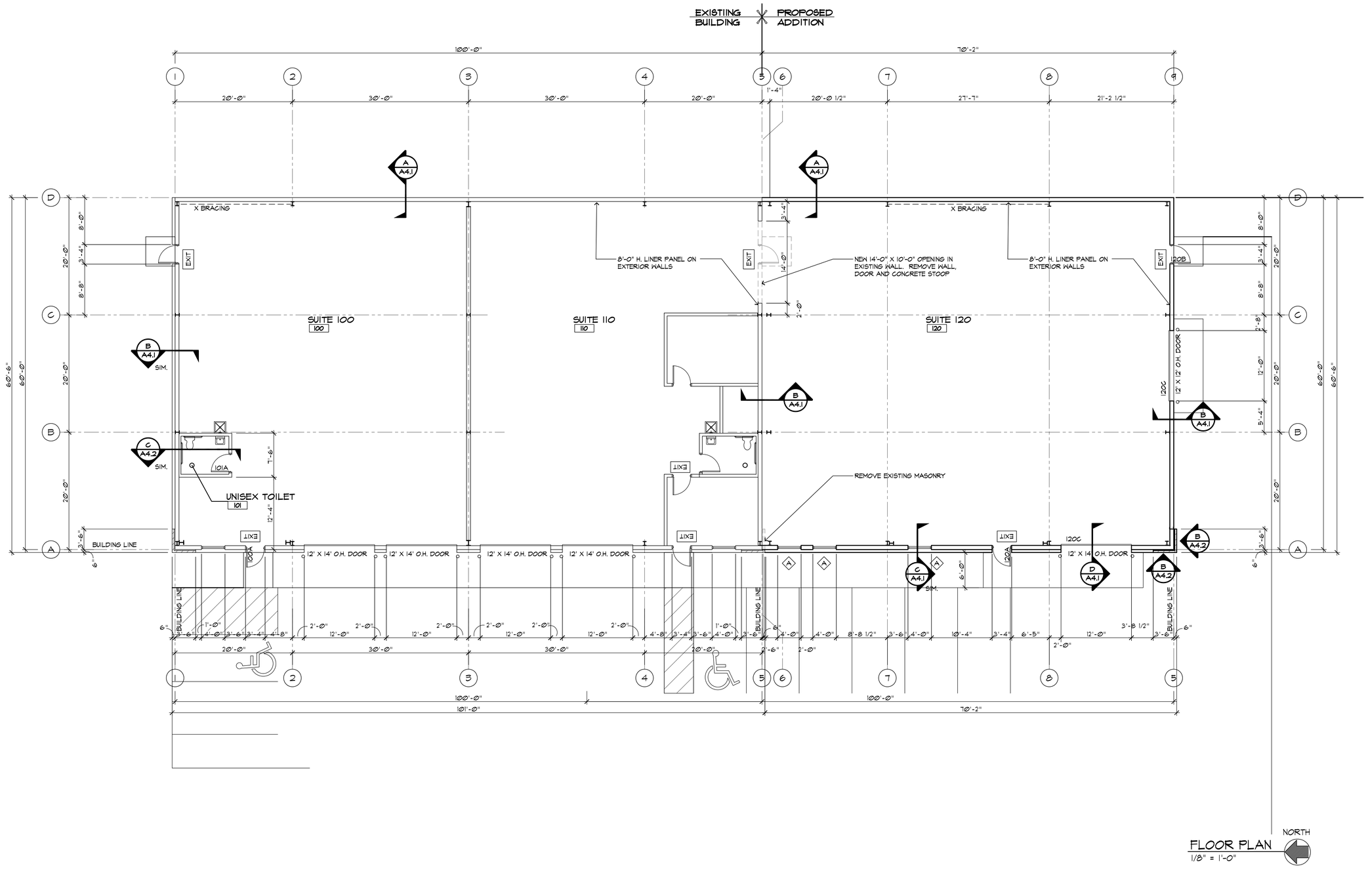
8/1/2023 10:57 AM J:\Projects\5125prj\dwg\Civil 3D\5125eng.dwg Printed by: jennifer

CONSTRUCTION DETAILS

5215 Winncrest Commercial Plat Lot 2 & 3

Town of Clayton, Winnebago County, WI
For: RJ Albright Inc.

Date: 08/1/2023
Filename: 5125eng.dwg
Author: JRD
Last Saved by: jennifer
Page C2.1



FLOOR PLAN
1/8" = 1'-0"

NORTH

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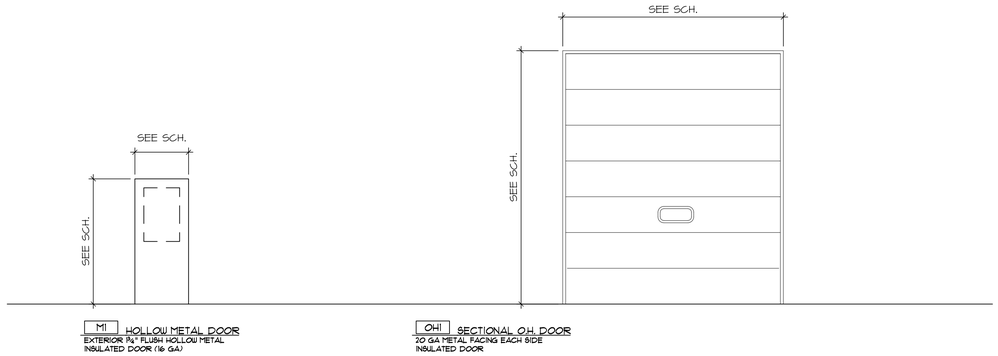
PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Wilhodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY:
RJF
CHK'D BY:
RJF
JOB NUMBER:
23029
DATE:
6/28/23

A1.1



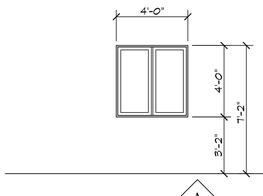
M1 HOLLOW METAL DOOR
EXTERIOR PLY FLUSH HOLLOW METAL INSULATED DOOR (16 GA.)

OH1 SECTIONAL O.H. DOOR
.30 GA METAL FACING EACH SIDE INSULATED DOOR

DOOR ELEVATIONS
1/4" = 1'-0"

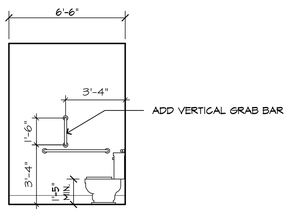
HM1 HOLLOW METAL FRAME
EXTERIOR HOLLOW METAL (16 GA.) FRAME

FRAME ELEVATIONS
1/4" = 1'-0"



WOOD CLAD
METAL CLAD WOOD WINDOW W/ 1" INSUL. GLASS

WINDOW ELEVATIONS
1/4" = 1'-0"



1 / A2.1 UNISEX ROOMS
1/4" = 1'-0"

DOOR AND FRAME SCHEDULE

MARK	SIZE	TYPE				FRAME		DETAIL			OTHER REQUIREMENTS
		DOOR	FRAME	FIRE RATING (MINUTES)	HARDWARE	FRAME PROFILE	ANCHOR	HEAD	JAMB	SILL	
120A	3'-0" X 7'-0" X 1-3/4"	M1	HM1		L1, C1, H3, T1, WS1, RS	5 3/4					
120B	3'-0" X 7'-0" X 1-3/4"	M1	HM1		L1, C1, H3, T1, WS1, RS	5 3/4					
120C	12'-0" X 14'-0"	OH1			BY SUPPLIER						POWER OPERATOR
120D	12'-0" X 12'-0"	OH1			BY SUPPLIER						

VERIFY ALL SCHEDULES W/ OWNER

ROOM FINISH SCHEDULE

ROOM				WALLS				CEILING		
NO.	NAME	FLOOR	BASE	N	E	S	W	CLG	HGT	OTHER REQUIREMENTS
120	SUITE 100	SC	-	MLP	MLP	ES	MLP	ES	VARIES	SEE PLAN FOR MLP HEIGHT
101	UNISEX	SC	VB4	PD	PD	PD	PD	PD	8'-0"	

FINISH KEY

FLOOR		WALL	
		PD	PAINTED DRYWALL
CT1	CERAMIC FLOOR TILE	FRP	FIBERGLASS PANEL OVER DRYWALL
CPT	CARPET-	CWT	CERAMIC WALL TILE
WD	LAMINATED WOOD	MLP	METAL LINER PANEL
SC	SEALED CONC.		
BASE		**CEILING**	
VB4	4" VINYL BASE	ACT1	2' X 2' ACOUSTIC CEILING TILE - REVEALED EDGE
CT4	4" CERAMIC TILE	ACT2	2' X 2' ACOUSTIC CEILING TILE - VINYL COVERED DW
CT6	6" CERAMIC TILE	PD	PAINTED DRYWALL

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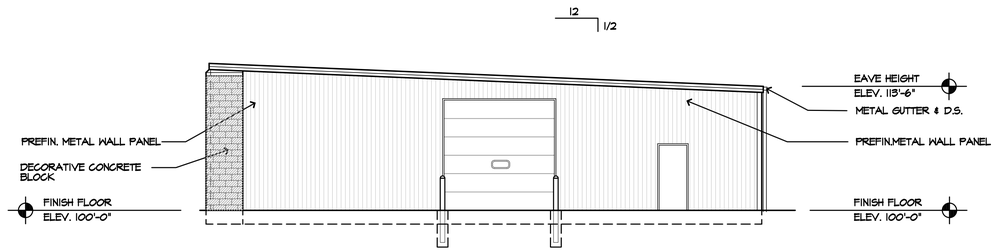
PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Wilcodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY: RJF
CHK'D BY: RJF
JOB NUMBER: 23029
DATE: 6/2/23

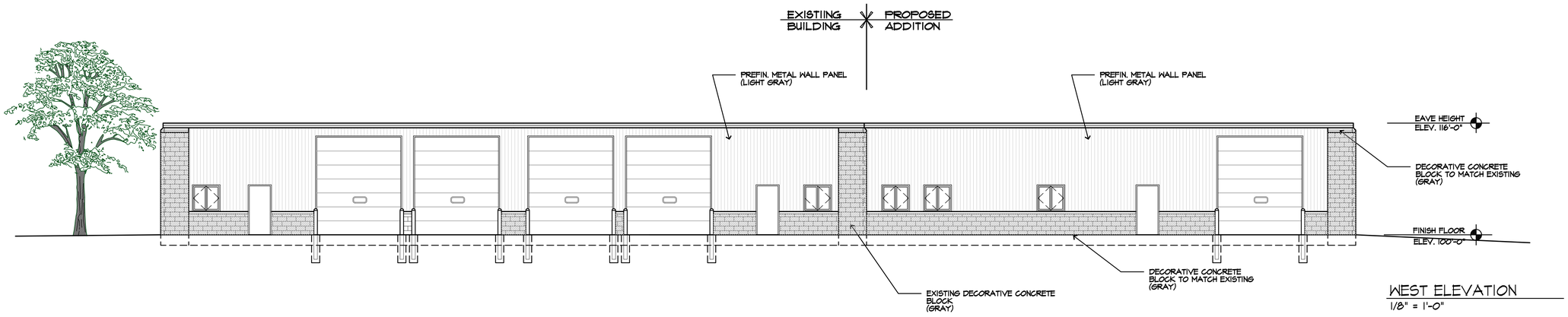
A2.1



SOUTH ELEVATION

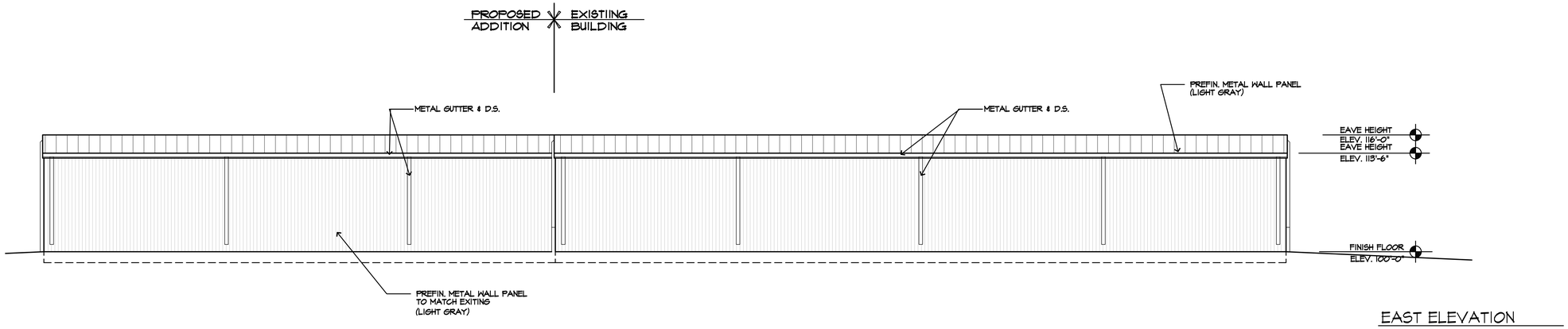
1/8" = 1'-0"

EXISTING EXTERIOR IMAGE



WEST ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

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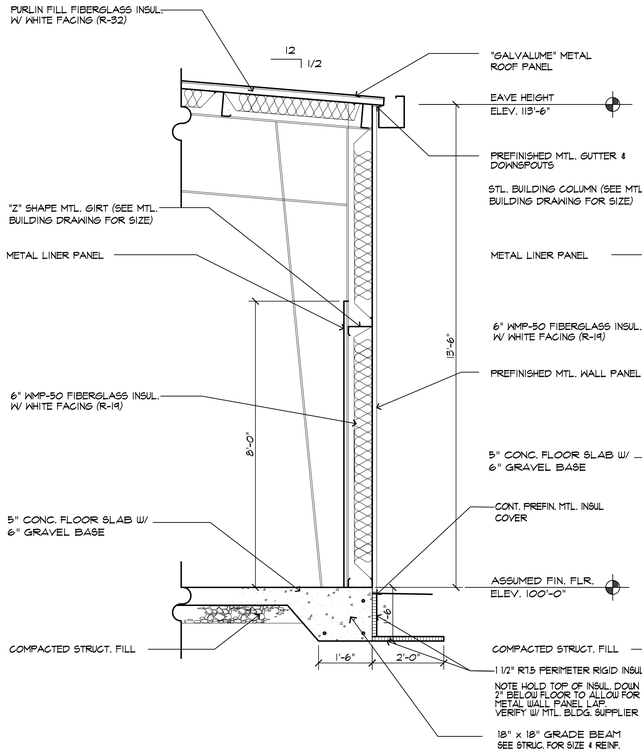
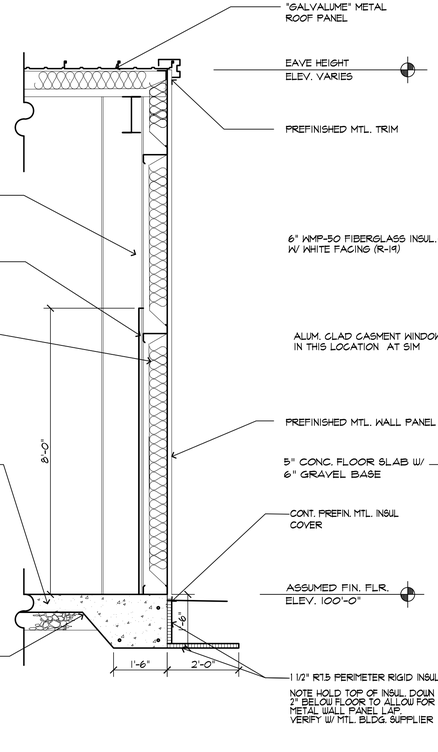
6/28/23

A3.1



A SECTION
A4.1 SCALE: 1/2" = 1'-0"



B SECTION
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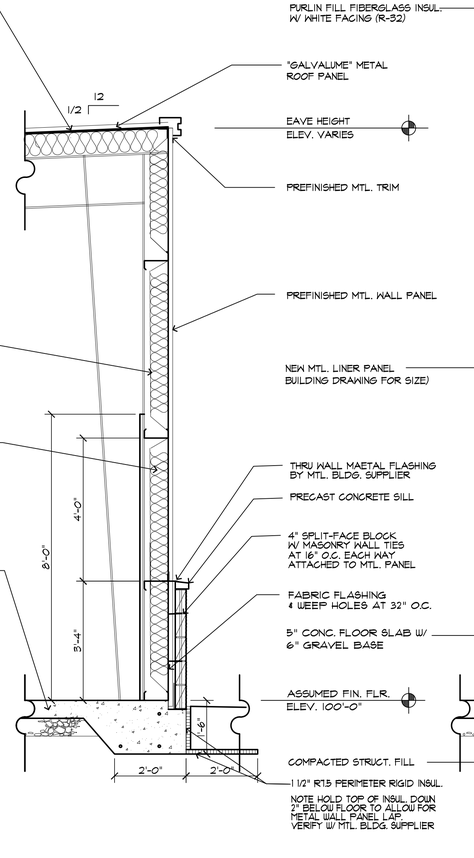
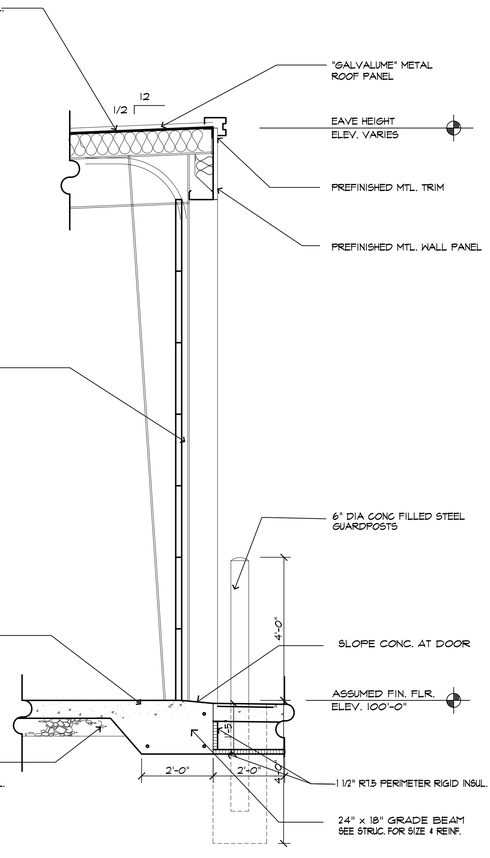


C SECTION
A4.1 SCALE: 1/2" = 1'-0"



D SECTION
A4.1 SCALE: 1/2" = 1'-0"

REVISIONS:

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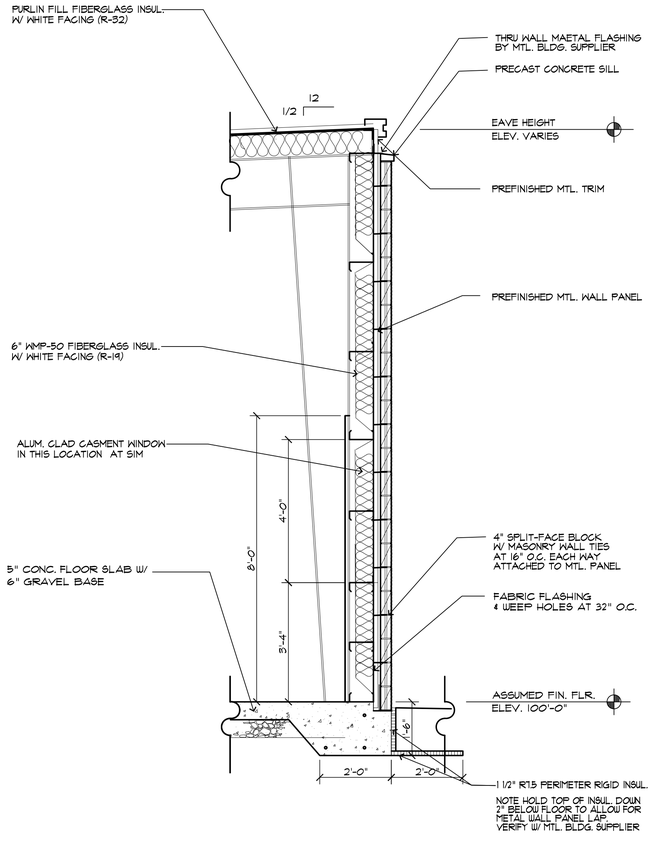
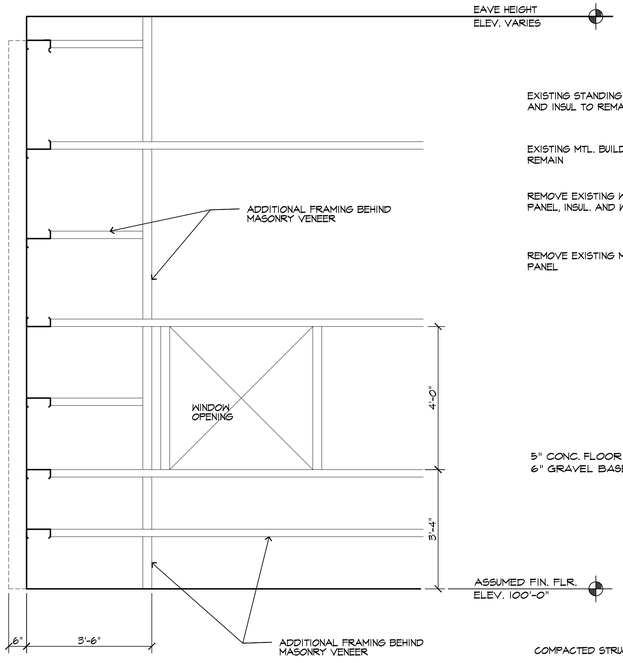
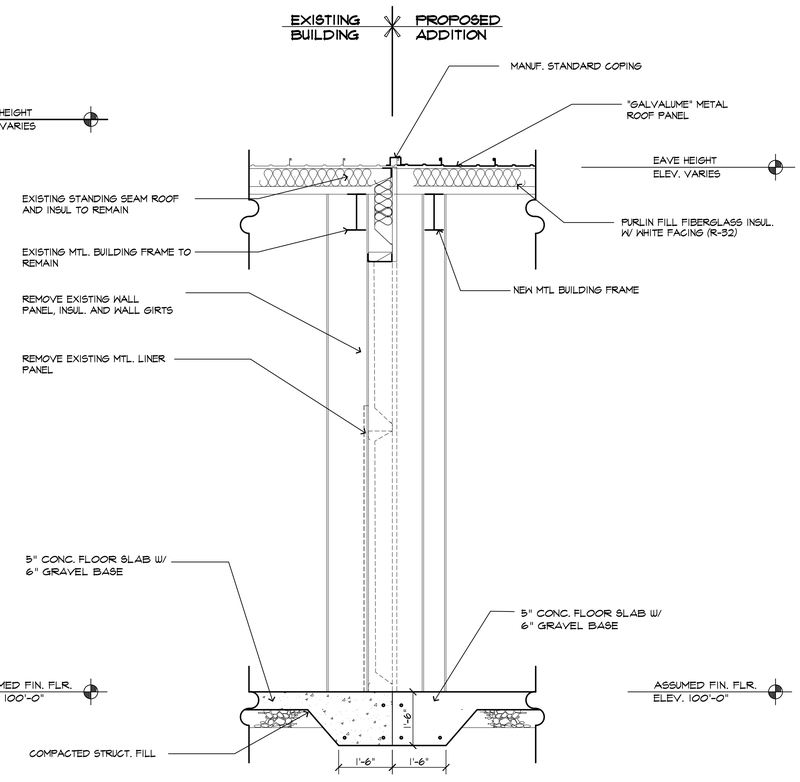
A4.1



A SECTION
A4.2 SCALE: 1/2" = 1'-0"



B WALL FRAMING ELEVATION
A4.2 SCALE: 1/2" = 1'-0"



C SECTION
A4.2 SCALE: 1/2" = 1'-0"

REVISIONS:

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DRAWN BY:	
RJF	
CHK'D BY:	
RJF	
JOB NUMBER:	
23029	
DATE:	
6/28/23	

A4.2

GENERAL

1. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE 2009 EDITION OF THE "INTERNATIONAL BUILDING CODE".
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
3. OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT & ENGINEER.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

DESIGN LOADS

SNOW LOADS:

GROUND SNOW LOAD	Pg = 35 PSF
ROOF SNOW LOAD	Pf = 24.5 PSF
SNOW EXPOSURE	Ce = 1.0
SNOW LOAD IMPORTANCE	I = 1.0
THERMAL FACTOR	Ct = 1.0
COLLATERAL	= 5 PSF

SEISMIC LOADS PER IBC 1613:

Sds	= 4.5%
S1	= 3.5%
OCCUPANCY CATEGORY	= II
SITE CLASS	= D
SEISMIC CATEGORY	= A
SEISMIC RESISTANCE SYSTEM	STEEL SYSTEM (R=3.0)

WIND LOADS:

BASIC WIND SPEED	V= 90 MPH
EXPOSURE	C
ENCLOSED BUILDING	
IMPORTANCE FACTOR	I

FOUNDATIONS

1. FOUNDATION WORK FOR THIS PROJECT SHALL CONSIST OF SPREAD FOOTINGS, CONTINUOUS WALL FOOTINGS AND SLABS-ON-GRADE.
2. ALL FOUNDATIONS SHALL BE SUPPORTED ON APPROVED EXISTING SUBGRADE OR APPROVED COMPACTED STRUCTURAL FILL HAVING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF PRESUMED.
3. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED IN THE DRAWINGS, SPECIFICATIONS, TEST BORINGS OR GEOTECHNICAL REPORTS. THESE DATA ARE INCLUDED TO ASSIST THE CONTRACTOR DURING BIDDING AND SUBSEQUENT CONSTRUCTION AND TO REPRESENT CONDITIONS ONLY AT SPECIFIC LOCATIONS AT THE PARTICULAR TIME OBSERVATIONS WERE MADE.
4. ALL EXTERIOR FOUNDATIONS SHALL BEAR ON APPROVED SUBGRADE AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE, OR SHALL BE FROST PROTECTED SHALLOW FOUNDATIONS MEETING THE REQUIREMENTS OF SEI/ASCE 32-01.
5. FOOTING ELEVATIONS SHOWN ON THE DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
6. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
7. CONTRACTOR SHALL PROVIDE CONTROL OF SURFACE AND SUBSURFACE WATER PROMPTLY TO INSURE THAT ALL FOUNDATION WORK IS DONE IN THE DRY.
8. NO FOUNDATION(S) SHALL BE PLACED ON FROZEN SUBGRADE.
9. PROTECT IN-PLACE FOUNDATIONS AND SLABS-ON-GRADE FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.
10. FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND COMPACTION OPERATIONS. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT STRUCTURAL SUPPORT SYSTEM IS INSTALLED AND APPROVED BY ARCHITECT.
11. BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF WALL.

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS:

   ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE"
   ACI MCP - "MANUAL OF CONCRETE PRACTICE"
   ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
   ACI 318.1 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE"

2. CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH AS FOLLOWS:

PILE CAPS AND GRADE BEAMS	4,000 PSI
SLABS-ON-GRADE	4,000 PSI
FOOTINGS AND WALLS	3,000 PSI
PRECAST CONCRETE	5,000 PSI
EXTERIOR EXPOSED CONCRETE	4,000 PSI

3. CONCRETE MIX DESIGN (INCLUDING AGGREGATE SIZE, WATER/CEMENT RATIO, AIR ENTRAINMENT, ADMIXTURES AND SLUMP) SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. MAXIMUM WATER/CEMENT RATIOS PERMITTED AS FOLLOWS:

   0.50 FOR SLABS-ON-GRADE
   0.54 FOR BELOW GRADE CONCRETE
   0.48 FOR EXPOSED CONCRETE

4. CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT.
5. CONCRETE STRENGTH SHALL BE EVALUATED ACCORDING TO METHOD 1 OR METHOD 2 AS DESCRIBED IN ACI 301. THE RESULTS OF THESE ANALYSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ANY WORK.
6. CONTRACTOR SHALL MAKE PROVISIONS TO ALLOW AN INDEPENDENT TESTING AGENCY, HIRED BY THE OWNER, TO CAST 4 TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED OR FOR ANY ONE DAY'S OPERATION. TESTING AGENCY SHALL BE RESPONSIBLE FOR CASTING AND CURING SPECIMENS IN CONFORMANCE TO ASTM C31 AND TESTING SPECIMENS IN CONFORMANCE TO ASTM C39.
7. CONSTRUCTION JOINTS SHOWN ON THE CONTRACT DRAWINGS SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
8. DRAWINGS SHOWING THE LOCATION OF CONSTRUCTION JOINTS, CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE PREPARATION OF REINFORCING SHOP DRAWINGS.
9. GROUT USED TO SET PLATES SHALL BE NON-SHRINK AND NON-METALLIC.
10. CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN.
11. PROVIDE A MINIMUM OF 6" COMPACTED GRANULAR FILL UNDER ALL SLABS-ON-GRADE.
12. FLATWORK CONTRACTOR SHALL SUBMIT FLOOR SLAB PLACEMENT SEQUENCE TO ENGINEER FOR APPROVAL PRIOR TO BEGINNING WORK.
13. FLOOR FLATNESS AND LEVELNESS: CONCRETE SLABS-ON-GRADE SHALL HAVE MINIMUM F NUMBERS OF FF 35/FL25 AS RECOGNIZED BY THE MOST CURRENT VERSION OF ASTM E 1155 AND ACI 302.1. SEE SPECIFICATIONS FOR FURTHER RESTRICTIONS IF APPLICABLE.

REINFORCEMENT

1. DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:

   ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
   ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
   MSP2 - "CRSI MANUAL OF STANDARD PRACTICE"
   AWS D1.4 - "STRUCTURAL WELDING CODE - REINFORCING STEEL"
   WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"

2. STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
3. REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND THE NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.
4. CLEARANCES FOR REINFORCEMENT. CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM. ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING.
5. CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.
6. WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.
7. WELDED WIRE FABRIC SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.
8. CONTRACTOR SHALL NOTIFY ARCHITECT OF COMPLETION OF REINFORCEMENT INSTALLATION AND ALLOW AT LEAST 24 HOURS BEFORE SCHEDULED CONCRETE PLACEMENT FOR ARCHITECT TO INSPECT REINFORCEMENT.

REINFORCEMENT DEVELOPMENT AND SPLICE LENGTH SCHEDULE

Fy = 60 KSI f'c = 3000 PSI

BAR SIZE		#3	#4	#5	#6	#7	#8	#9	#10	#11
CLASS A SPLICE LENGTH	TOP BARS	22	29	36	43	63	72	91	91	101
	OTHERS	17	22	28	33	48	55	62	70	78
CLASS B SPLICE LENGTH	TOP BARS	28	37	47	56	81	93	105	118	131
	OTHERS	22	29	36	43	63	72	81	91	101

NOTES

1. ALL SPLICE LENGTHS SHALL BE CLASS B UNLESS NOTED OTHERWISE.
2. TABULATED VALUES ARE BASED ON GRADE 60 REINFORCING BARS AND NORMAL WEIGHT CONCRETE
3. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER ACI 318-95, SECTIONS 12.2 AND 12.15 RESPECTIVELY. TABULATED VALUES FOR BEAMS AND COLUMNS ARE BASED ON TRANSVERSE REINFORCEMENT AND CONCRETE COVER MEETING MIN. CODE REQUIREMENTS. LENGTHS ARE IN INCHES.
4. TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST IN THE MEMBER BELOW THE REINFORCEMENT. (EXCEPT IN WALLS)
5. SPLICE AND DEVELOPMENT LENGTHS IN THIS SCHEDULE ARE BASED ON THE SPACING GREATER THAN OR EQUAL TO SIX(6) BAR DIAMETERS AND CONCRETE COVER GREATER THAN OR EQUAL TO TWO(2) INCHES, IN NORMAL WEIGHT CONCRETE.

BEAMS OR COLUMNS:	COVER AT LEAST 1.0 BAR DIA, AND C.-C. SPACING AT LEAST 2.0 BAR DIA.
ALL OTHERS:	COVER AT LEAST 1.0 BAR DIA, AND C.-C. SPACING AT LEAST 3.0 BAR DIA.

REINFORCED MASONRY

1. ALL REINFORCED CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:

   ACI 530.1-05/ASCE 6-05/TMS 602-05 SPECIFICATIONS FOR MASONRY STRUCTURES"

   ACI 530-05/ASCE 5-05/TMS 402-05 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

2. CONCRETE BLOCK SHALL CONFORM TO ASTM C-90. THE REQUIRED STRENGTH ON THE NET CROSS SECTIONAL OF THE CONCRETE BLOCK SHALL BE 2300 PSI.
3. MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270.
4. GROUT SHALL CONFORM TO ASTM C476. GROUT MAY BE PLACED BY THE "HIGH LIFT" METHOD, CONFORMING TO THE GROUTING PATTERNS REQUIRED BY THE CONTRACT DRAWINGS.
5. THE REQUIRED MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE COMBINATION OF CONCRETE BLOCK, GROUT AND MORTAR ON THE NET AREA OF THE WALL (f'm) SHALL BE 1,850 PSI.
6. ALL CONCRETE BLOCK MASONRY UNITS SHALL BE LAID IN A RUNNING BOND.
7. MASONRY BLOCK CELLS CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID. FILLING CELLS WITH MORTAR IS UNACCEPTABLE.
8. THE BASE OF EACH CELL IN WHICH A BAR IS PLACED, MUST HAVE A CLEANOUT HOLE.
9. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.
10. PROVIDE CONTINUOUS REINFORCED BOND-BEAMS IN ALL REINFORCED MASONRY WALLS AT TOPS OF WALLS, IMMEDIATELY BELOW STEEL BEARINGS AND WHEREVER CALLED FOR IN CONTRACT DRAWINGS. BOND BEAM REINFORCING SHALL EXTEND INTO AND BE CONTINUOUS WITH ALL INTERSECTING BOND BEAMS.
11. REINFORCED MASONRY WALLS SHALL HAVE #9 GAUGE (TRUSS TYPE) HORIZONTAL REINFORCING AT SPACING AS NOTED ON THE CONTRACT DRAWINGS, BUT AT A MINIMUM OF 16" O.C.
12. FILL CORES OF MASONRY UNDER ALL BEARING PLATES FOR A WIDTH EQUAL TO THREE TIMES THE BEARING PLATE LENGTH FOR THREE COURSES BELOW BEARING.
13. PROVIDE AND INSTALL ONE LINTEL FOR EACH 4" OF WALL THICKNESS ACCORDING TO THE FOLLOWING SCHEDULE.

FOR NON-BEARING WALLS

OPENING	LINTEL
3'-0"	3 1/2X3 1/2X 5/16
4'-0"	L4X3 1/2X5/16
5'-0"	L4X3 1/2X5/16
6'-0"	L5X3 1/2X5/16
7'-0"	L6X3 1/2X5/16

LINTELS SHALL BEAR A MINIMUM OF 6" ON EACH SIDE OF OPENING. LONG LEG OF ANGLE SHALL BE VERTICAL.

STRUCTURAL STEEL

1. STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING:

   AISC - "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS".

   AISC - "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

   AWS D1.1 - "STRUCTURAL WELDING CODE - STEEL".

   AISC - "STRUCTURAL STEEL DETAILING MANUAL".

2. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:

   HOT ROLLED WIDE-FLANGE - ASTM A992 (Fy=50 KSI)
   ALL OTHER STRUCTURAL SHAPES AND PLATES - ASTM A36 (Fy=36KSI)
   STRUCTURAL STEEL PIPE - ASTM A53 GRADE B (Fy=35 KSI).
   TUBULAR STEEL - ASTM A500 GRADE B (Fy=46 KSI)
   HIGH STRENGTH BOLTS - ASTM A325N (BEARING TYPE) ASTM A325F (FRICTION TYPE)
   ASTM F1554 GRADE 36 THREADED ROD MAY BE USED IN PLACE OF ASTM F1554 ROD.

3. PROVIDE 2 MIL. THICK RED OR GREY OXIDE PRIMER ON ALL STEEL SURFACES UNLESS NOTED OTHERWISE.
4. ANCHOR BOLTS SHALL BE PRESET WITH TEMPLATES AT REQUIRED LOCATIONS.
5. LEVELING PLATES AND BEARING PLATES SHALL BE SET IN FULL BED OF NON-SHRINK GROUT.
6. CONNECTIONS MAY BE EITHER BOLTED OR WELDED AT THE FABRICATOR'S OPTION. BOLTED CONNECTIONS SHALL BE AS FOLLOWS:

   MINIMUM BOLT DIAMETER: 3/4"

   SHEAR CONNECTIONS FOR MOMENT CONNECTED MEMBERS: FRICTION TYPE HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR.

   SHEAR CONNECTIONS FOR OTHER MEMBERS: BEARING TYPE HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR.

   SIMPLE SHEAR CONNECTIONS SHALL BE CAPABLE OF END ROTATION PER AISC REQUIREMENTS FOR UNRESTRAINED MEMBERS.

7. ALL BEAM CONNECTIONS NOT DETAILED, SHALL SUPPORT 1/2 THE TOTAL UNIFORM LOAD CAPACITY FOR THE GIVEN BEAM AND SPAN OR THE INDICATED REACTION, WHICHEVER IS GREATER. CONNECTIONS SHALL GENERALLY FOLLOW THE TYPES SHOWN IN THE "AISC MANUAL OF STEEL CONSTRUCTION," TABLE II, III, OR X.
8. WELDS SHALL FULLY DEVELOP STRENGTH OF THE MATERIALS BEING WELDED, UNLESS NOTED OTHERWISE, EXCEPT THAT FILLET WELDS SHALL BE A MINIMUM 3/16".
9. WELDED CONNECTIONS SHALL BE MADE BY APPROVED CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E70XX.
10. CONTRACTOR SHALL: PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION. TEMPORARY BRACING SHALL REMAIN UNTIL THE PERMANENT LATERAL BRACING HAS BEEN INSTALLED AND THE CONCRETE FOR FLOOR SLABS HAS ATTAINED 75% OF ITS REQUIRED STRENGTH.
11. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE FINAL BOLTING OR WELDING OF CONNECTIONS.
12. CONTRACTOR SHALL NOT MODIFY OR CUT ANY STRUCTURAL STEEL WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
13. CONTRACTOR SHALL: FIELD TOUCH UP ALL ABRASIONS, BURNS AND SIMILAR DEFECTS IN PAINT OF THE STRUCTURAL STEEL, JOISTS AND STEEL DECK.

COLD FORMED STRUCTURAL STEEL MEMBERS INCLUDING LIGHT GAUGE STEEL

1. ALL COLD FORMED STRUCTURAL MATERIAL AND WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING:

   AISI "SPECIFICATIONS FOR THE DESIGN OF LIGHT-GAUGE COLD-FORMED STEEL STRUCTURAL MEMBERS"

   AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"

2. COLD FORMED STEEL SHALL CONFORM TO THE FOLLOWING:

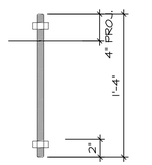
   LIGHT GAUGE STUDS, JOIST, TRACKS AND ACCESSORIES: ASTM A 653 /653 M, G60 GALVANIZED.

ASTM S653 COLD FORMED GALVANIZED LIGHT GAUGE FRAMING MEMBERS

A. STUDS AND JOISTS SHALL BE CHANNEL SHAPED WITH LIPPED FLANGES, PUNCHED WEB, SIZE, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).
B. TRACKS SHALL BE CHANNEL SHAPED SOLID WEB, DEPTH COMPATIBLE WITH STUDS, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).
C. FRAMING ACCESSORIES SHALL HAVE A MINIMUM YIELD STRENGTH OF 65 KSI.
D. SCREWS SHALL BE CORROSION RESISTANT, SELF DRILLING PAN OR HEX WASHER HEAD AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).
E. POWDER ACTUATED FASTENERS: AISI 1062 OR 1065 STEEL, MINIMUM CORE HARDNESS 50 TO 54 HRC AND ZINC PLATED IN ACCORDANCE WITH ASTM B 633 DIAMETER AND LENGTH AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).
F. ALL LIGHT GAUGE FRAMING MEMBERS SHALL BE DIETRICH CSJ OR CSH SERIES UNLESS NOTED OTHERWISE.
G. WIND DESIGN LOADING FOR SECONDARY FRAMING PER (THE LATEST ADDITION OF ASCE 7 FOR COMPONENTS AND CLADDING, WIND DESIGN SPEED AND EXPOSURE ARE NOTED UNDER DESIGN LOADS.
H. MATERIAL SUPPLIER IS RESPONSIBLE FOR MEMBER DESIGN, THEREFORE CALCULATIONS MUST BE INCLUDED WITH SHOP DRAWINGS FOR APPROVAL.

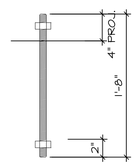
FOUNDATION SCHEDULE

MARK	PLAN DIMENSION	DEPTH	REINFORCING	T.O. FTG.	ANCHOR BOLTS	PIER		
						T.O.P.	PLAN DIM.	REINFORCING
F-1	3'-0" X 3'-0"	18"	(3) #5 EACH WAY	100'-0"	AB1			
F-2	3'-0" X 4'-0"	18"	(3) #5'S LONG WAY (4) #5'S SHORT WAY	100'-0"	AB1			
F-3	4'-0" X 7'-0"	18"	(4) #6'S LONG WAY (8) #6'S SHORT WAY	100'-0"	AB2			
F-4	4'-0" X 4'-0"	18"	(4) #5 EACH WAY	100'-0"	AB1			
F-5	3'-0" X 4'-0"	18"	(4) #6'S LONG WAY (8) #6'S SHORT WAY	100'-0"	AB1			



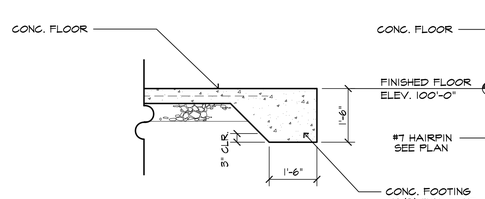
5/8" DIA. ASTM F1554 GR. 36
ANCHOR BOLT -TACK WELD BOTTOM NUT

ANCHOR BOLT (AB1)
SCALE: N.T.S.

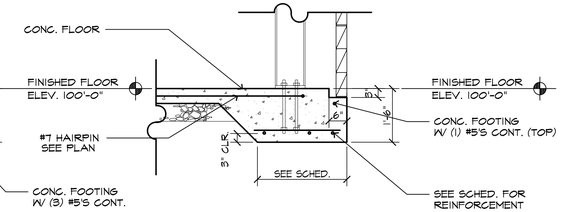


3/4" DIA. ASTM F1554 GR. 36
ANCHOR BOLT -TACK WELD BOTTOM NUT

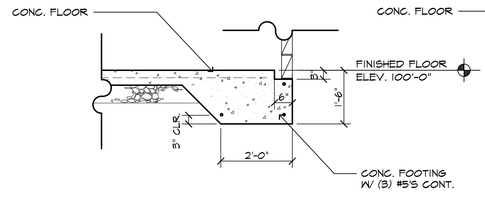
ANCHOR BOLT (AB2)
SCALE: N.T.S.



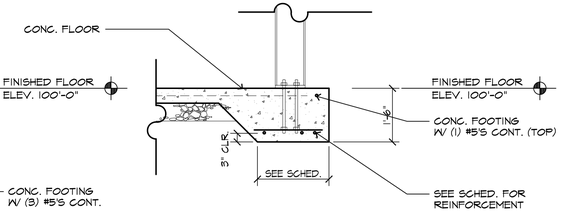
A S1.0 SECTION
1/2" = 1'-0"



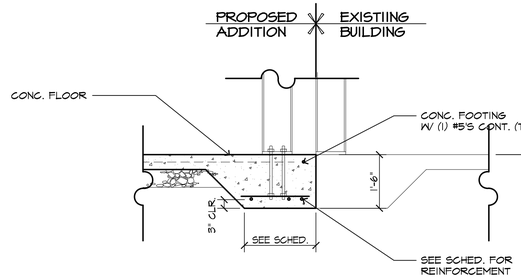
B S1.0 SECTION
1/2" = 1'-0"



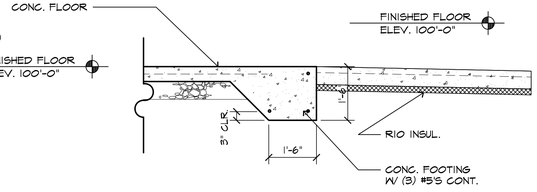
C S1.0 SECTION
1/2" = 1'-0"



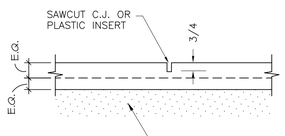
D S1.0 SECTION
1/2" = 1'-0"



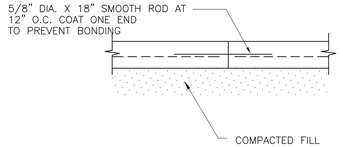
E S1.0 SECTION
1/2" = 1'-0"



F S1.0 SECTION
1/2" = 1'-0"



1 S1.0 CONTROL JOINT (C.J.)



NOTE: TO BE USED AT END OF EACH POUR.

2 S1.0 CONSTRUCTION JOINT

REVISIONS:

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Architects / Planners
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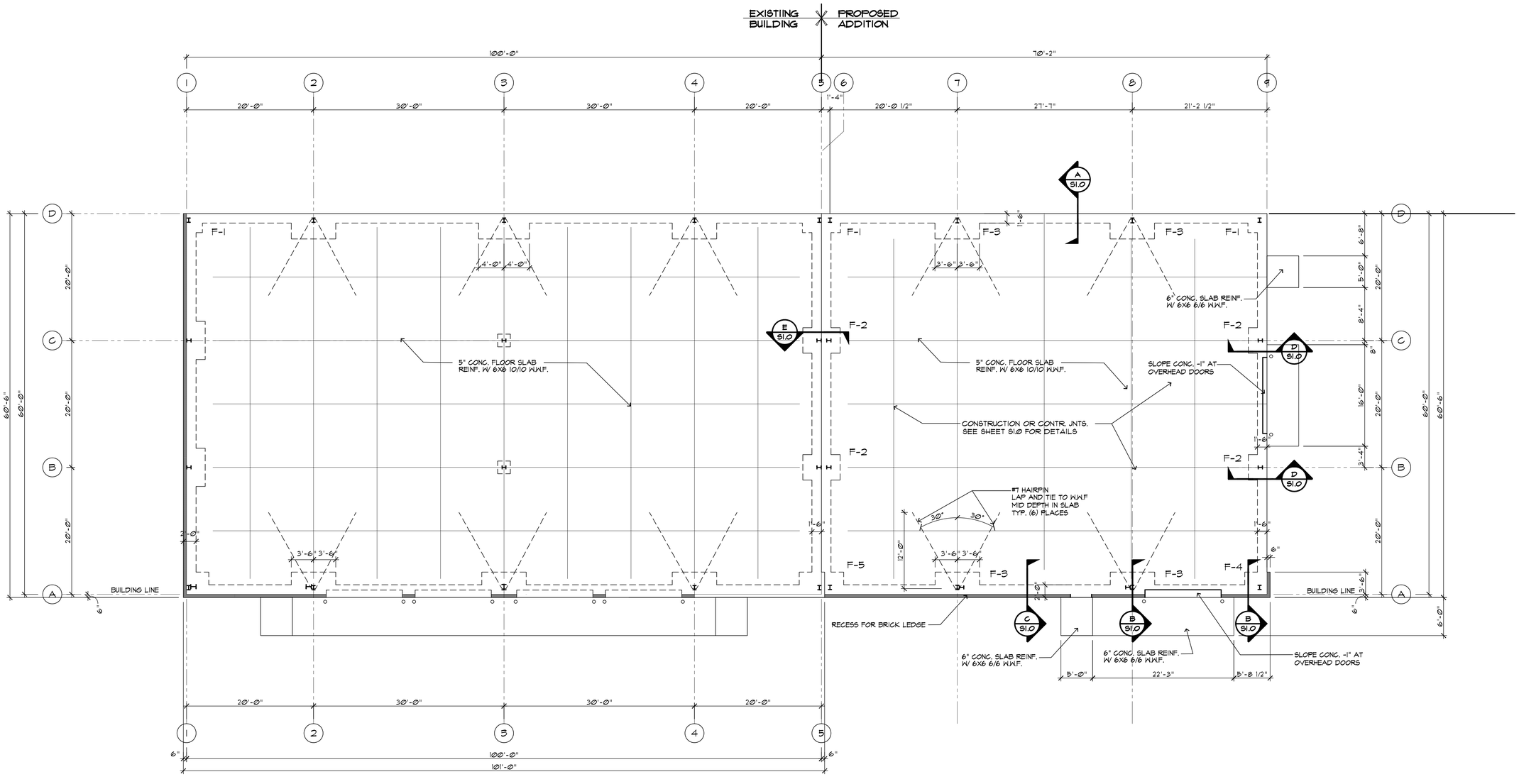
rfisher@fisherandassociatesllc.com

PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Mikodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY: RJF
CHK'D BY: RJF
JOB NUMBER: 23029
DATE: 7/27/23

S1.0



FOUNDATION PLAN
1/8" = 1'-0"

NORTH

REVISIONS:

RJ ALBRIGHT INC CONSTRUCTION

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PROJECT:
PROPOSED BUILDING ADDITION FOR:
Marty Woodem
Towne Court Town of Clayton
Neenah, WISCONSIN

DRAWN BY:
RJF
CHK'D BY:
RJF
JOB NUMBER:
23029
DATE:
6/28/23

S1.1