

CITY OF CHIPLEY

STAFF REPORT

SUBJECT: Request for a Certificate of Appropriateness – J.Corb LLC – 747 3rd Street

MEETING DATE

Thursday, May 7, 2026

PREPARED BY

Tamara Donjuan, Planning & Zoning Officer

SUMMARY

J. Corb LLC requests a certificate of appropriateness for a proposed development order for the property located at 747 3rd Street (Parcel ID: 00-1807-0000), consisting of approximately 0.468 acres. The property is located in the Historical District and requires Planning & Zoning approval for the certificate of appropriateness per Chapter 18 – Historic Preservation - Article III. Construction, Alteration, Removal or Demolition of Improvements, Section 18-56 Certificate of appropriateness required application.

The proposed development will be for a new construction of a residential home and has met all standards for uses, allowed, density, intensity and design standards for Chapter 44 – Zoning – Article VI – District Regulations, Section 44-160 Historical residential land use district.

The proposed construction is consistent with the general intent of the comprehensive plan and land development pertaining to the historical residential district. The proposed development would be in harmony with the historic district and the external appearance of the neighborhood.

City of Chipley’s Code of Ordinances reviewed are listed below.

Chapter 18, HISTORIC PRESERVATION - ARTICLE III. - CONSTRUCTION, ALTERATION, REMOVAL OR DEMOLITION OF IMPROVEMENTS

- a. Sec. 18-56. Certificate of appropriateness required; application.
- b. Sec. 18-57. Effect on historic sites, districts.

Chapter 44 – ZONING– ARTICLE VI, DISTRICT REGULATIONS

- a. Sec. 44-160. Historical residential land use district.

The notice of hearing was sent via certified mail on April 9, 2026, to eighteen (25) property owners located within Historical District. To date, eight-teen (18) recipients have received the certified mail.

According to FEMA National Flood Hazard Layer data maps approximately 100% of the property is in Flood Zone "X", which is an area of minimal flood hazard.

RECOMMENDATION

City Staff recommends approval of the certificate of appropriateness for a proposed development order.

ATTACHMENTS

1. Certificate of appropriateness.
2. Development order packet.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Name: Jeremiah Corbett

Address: 747 E 3rd St.

Phone #: 850-326-1875

Address of property to be improved: 747 3rd St.

List of improvements including materials to be used, paint colors, and other details which will alter the current appearance of the structure or property.

new construction - see attached rendering & plans.

Note: Include a site plan showing location of proposed construction if the improvement is not on the existing structure.

I (name of applicant) J Corb, LLC certify that the information submitted truly reflects all improvements which will be made on the property. Should any changes be desired, I will notify the City of Chipley. I acknowledge that penalties can be the result of varying from the plans or description submitted and approved.

Signed: Jeremiah Corbett, J Corb, LLC Date: 4/8/26.

Action: Approved _____ Not Approved _____

Comments: _____

Signature/Title/Authority

**City of Chipley
Development Order**

File No. _____ Fees Paid \$ _____
Name of Owner: J. Corb, LLC Phone #: 850-326-1875
Address: 747 3rd St
Name of Developer/Contractor: M. Corb Homes, LLC
Address: 1267 Church Ave, Chipley Phone #: 850 326 1875
Type of Development: Residential Parcel Size: 0.468
Location of Development: 747 3rd St, Chipley
Land Use Designation: R1 Sq. Ft. of Building 1519

Site Plan Required? Yes ___ No ___ Stormwater Permit Required? Yes ___ No ___

City Utilities Needed? Potable Water Waste Water Natural Gas Garbage

Attachments to Order: 1. _____ 2. _____
3. _____ 4. _____

Date of Planning & Zoning Commission Approval: _____

Date of City Council Approval: _____

Contingencies/Conditions of Approval: _____

The City Council hereby authorizes the development of land within the City of Chipley, Florida, as specified herein. Any development undertaken pursuant to this order shall be in strict conformance with the application for development approval and site plan(s) as approved by the City.

Signature - City Administrator _____ Date _____ Attest _____ Date _____

SEAL

Owner/Developer/Contractor: Jennifer Corbett



City of Chipley

Land Use Compliance Certificate



Fee Amount \$ _____

Verification provided for (Owner's Name): J. Corb, LLC

Project Site Address: 747 3rd St.

Phone Number: 850 326 1875

Contractor Name/Address M. CORB Homes, LLC

Contractor Phone #: 850 326 1875 Parcel I.D. Number: 00-1807-0000

City of Chipley Future Land Use Designation

Low Density Residential	<input checked="" type="checkbox"/>	Neighborhood Commercial	
Medium Density Residential		Historic Commercial	
High Density Residential		Industrial	
Historic	<input checked="" type="checkbox"/>	Recreational	
Commercial		Public/Semi Public/Educational	

Flood Zone: Yes No Zone Type X

Asbestos: Yes No

Scope of work (Please provide details of all work): New single family residence, 1500+/- square feet w/ privacy fence.
See attached plans.

A site inspection has been performed on the above development site within the City of Chipley, Florida. It is hereby verified that all site development standards meet the City's land use, zoning and comprehensive planning requirements.

Jennifer Corbett
Applicant

4/8/26
Date

City Official Verifying Compliance

Date


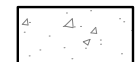
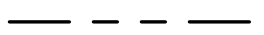

Notice to Applicant: This certificate must be presented to the Washington County Building Official and is requisite to issuance of a "Certificate of Occupancy" for your construction project.





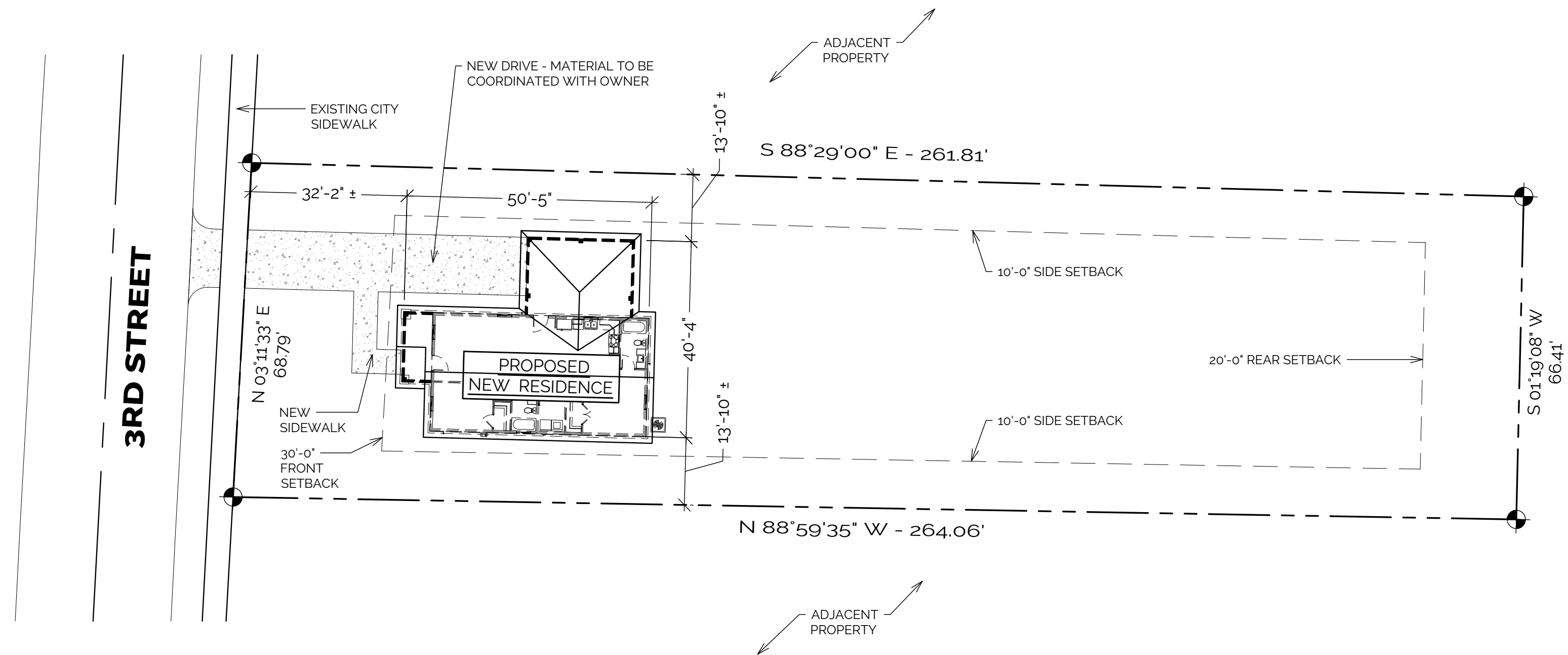
M.CORB
ARCHITECTURAL DESIGN
1265 CHURCH AVE.
CHIPLEY, FL 32428
(850) 676-4206
WWW.MCORB.DESIGN

SITE DEVELOPMENT LEGEND

-  NEW CONSTRUCTION
-  NEW CONCRETE
-  PROPERTY LINE
-  SETBACK LINE

SITE DEVELOPMENT NOTES:

1. THE INFORMATION PROVIDED ON THIS SITE DEVELOPMENT PLAN MAY HAVE BEEN DERIVED FROM A THIRD PARTY SURVEY AND / OR PROPERTY SEARCH DATA. ACTUAL PROPERTY INFORMATION MUST BE OBTAINED BY SURVEY IF REQUIRED FOR PERMITTING.
2. FINISH FLOOR ELEVATION TO BE SET IN FIELD BY CONTRACTOR / CONCRETE SLAB SUB-CONTRACTOR. FINISH FLOOR SHALL BE A MINIMUM OF 1'-0" A.F.F. ABOVE CREST OF ROAD OR 1'-0" ABOVE FEMA BASE FLOOD LINE OR 1'-0" ABOVE ANY POINT OF THE AVERAGE EXISTING NATIVE SOIL BENEATH BUILDING FOOTPRINT WITHIN 20'-0" OF SLAB PERIMETER, WHICHEVER IS GREATER. FOR FLOOD ZONES OTHER THAN 'X', VERIFY MINIMUM F.F.E. WITH APPLICABLE LOCAL FLOOD MANAGEMENT REQUIREMENTS.
3. SITE CONDITIONS MAY VARY & EXACT LOCATION OF NEW STRUCTURE, DRIVEWAY, WATER & WASTE CONNECTIONS, & ETC. TO BE DETERMINED & MODIFIED IN FIELD BY GENERAL CONTRACTOR AND / OR OWNER. COORDINATE LOCATION OF ALL SITE UTILITY CONNECTIONS BETWEEN THE APPROPRIATE UTILITY COMPANIES AND JOB-SITE UTILITY SUB-CONTRACTORS.
4. THE CONSTRUCTION OR BUILDING SITE SHALL BE KEPT CLEAN AT ALL TIMES. ALL DEBRIS OR SOLID WASTE MUST BE CONFINED IN A SPECIFIC AREA OF THE CONSTRUCTION OR BUILDING SITE. IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL OBTAINING THE BUILDING PERMIT AND THE GENERAL CONTRACTOR TO PROPERLY DISPOSE OF CONSTRUCTION DEBRIS AND SOLID WASTE.
5. ALL EFFORTS SHOULD BE MADE TO PROTECT THE ENVIRONMENT. THE AREA SHOULD ALSO BE KEPT CLEAN OF ALL TRASH AND DEBRIS FROM THE CONSTRUCTION ZONE THAT COULD OTHERWISE POLLUTE THE ECOSYSTEM AND ENVIRONMENT.
6. WHERE APPLICABLE - IF TREES & VEGETATION WILL REQUIRE REMOVAL FOR THE PURPOSE OF CONSTRUCTION, THE OWNER AND / OR GENERAL CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE CITY OR COUNTY PRESIDING OVER THE SITE FOR TO ENSURE THAT NO PROTECTED TREE OR VEGETATION IS REMOVED WITHOUT THE PRIOR CONSENT.



SITE DEVELOPMENT PLAN
1" = 20' (24x36) 1" = 10' (11x17)

REV. DESCRIPTION

NEW RESIDENTIAL CONSTRUCTION

FOR: M.CORB HOMES
747 3RD STREET
CHIPLEY, FL 32428

JOB # 2026-050

DRAWN BY: JCC

PLOT DATE: 4/8/2026

SHEET TITLE

SITE DEVELOPMENT PLAN

SHEET NUMBER

X1.0

FOUNDATION / CONCRETE NOTES:

- EXCAVATION AND SOIL BEARING:**
 - SOIL BEARINGS PRESSURE BASED ON MINIMUM OF 2,000 P.S.F.
 - EXCAVATION FOR FOOTINGS TO BE TAKEN DOWN TO UNDISTURBED SOIL.
 - TOP SOIL AND ORGANIC MATERIAL TO BE REMOVED FROM WITHIN BUILDING AREA.
 - AREAS BELOW SLABS AND FOOTINGS TO BE COMPACTED 95% OF STANDARD PROCTOR, MAXIMUM DRY DENSITY TO A DEPTH OF 1'-0" E. REMOVE ANY EXPANSIVE CLAYS ENCOUNTERED WITHIN BUILDING AREA.
 - FILL BELOW SLABS SAND CLAY, FREE FROM ORGANIC MATERIAL WITH NO MORE THAN 30% COMPACTABLE CLAY BY DRY WEIGHT.
- CONCRETE AND CEMENT FINISH WORK:**
 - ALL CONCRETE EXCEPT EXTERIOR SIDEWALKS SHALL BE 3,000 P.S.I. AT 28 DAYS; SIDEWALKS - 2,500 P.S.I. AT 28 DAYS.
 - RECOMMENDED CURING: KEEP WET FOR A PERIOD OF SEVEN DAYS MINIMUM.
 - REINFORCING SHALL BE PLACED IN ACCORDANCE WITH C.R.S.I. USE APPROVED CHAIRS TO SUPPORT REINFORCING. ALL LAPS MINIMUM OF 5" DIAMETERS. ALL CORNERS, FOOTINGS, AND TIE BEAMS TO HAVE CORNER BARS. ALL REINFORCING SHALL HAVE A MINIMUM OF 2" CONCRETE COVERAGE.
- CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK REINFORCED W/ 6x6 W14 xW14 W.W.M. OR APPROVED FIBERMESH W/ 650 FIBER REINFORCING OVER COMPACTED SAND/ CLAY FILL.
- ALL REINFORCING SHALL BE GRADE 60.
- ALL REINFORCING STEEL AND ACCESSORIES SHALL BE FABRICATED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF A.C.I. MANUAL ("MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES").
- REINFORCING IN ALL CONCRETE BEAMS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS WITH ADDITIONAL BARS (SIZE AND NUMBER TO MATCH REINFORCING). BEND 2'-0" EACH WAY AROUND CORNERS. WHERE WALL FOOTINGS STEP, REINFORCING SHALL BE CONTINUOUS IN STEP.
- ALL SOIL BENEATH NEW CONSTRUCTION TO BE TERMITTE TREATED.
- MASONRY REINFORCED CELLS WITH 1 # 5 SHALL BE FROM BOTTOM OF STEEL IN FOOTING TO TOP OF STEEL IN BOND BEAM BLOCK IN ALL FULL HEIGHT WALLS AND TO TOP OF MASONRY IN FOUNDATION STEM WALLS.
- VERIFY ANY REQUIRED UNDER SLAB CONDUIT FOR ISLAND, OUTDOOR LIGHTING, FLOOR OUTLETS, ETC. WITH ELECTRICAL PLANS AND CONTRACTOR PRIOR TO COMPACTING. ALL ELECTRICAL WORK SHALL COMPLY WITH N.E.C. OR APPLICABLE LOCAL CODES.
- FIELD VERIFY ALL DRAIN LOCATIONS SHOWN WITH TUBS / SHOWERS, SINKS, ETC. SPECIFIED BY CONTRACTOR PRIOR TO PLUMBING. DRAIN PIPE ROUGH-IN. ALL PLUMBING WORK SHALL COMPLY WITH STANDARD PLUMBING CODE OR APPLICABLE LOCAL CODES.
- COORDINATE / VERIFY LOCATIONS OF ANY REQUIRED GRADE BEAM / THICKENED SLABS WITH ENGINEERED TRUSS DRAWING PACKAGE.
- INSTALL UFER GROUND AS PER N.E.C. 2023, 2050.52 (A)(3)

UNDER-SLAB UTILITY NOTES:

- PLUMBING DRAIN LOCATION DIMENSIONS MAY VARY BASED ON UNFORESEEN PLAN CHANGES MADE IN THE FIELD.
- ALL ADDITIONAL UNDER-SLAB PLUMBING & CONDUIT REQUIREMENTS NOT SHOWN SHALL BE VERIFIED IN FIELD WITH GENERAL CONTRACTOR.
- ANY SPECIFIED DRAIN REQUIREMENTS BASED ON MAKE AND MODEL OF PLUMBING FIXTURES SHALL BE COORDINATED WITH GENERAL CONTRACTOR.

WALL CONNECTION OPTIONS:

- SEE DESIGN CRITERIA ON THIS SHEET FOR EXPOSURE ZONE
 - EXPOSURE 'B' - SELECT ONE OF THE OPTIONS BELOW
 - EXPOSURE 'C' AND 'D' - INSTALL ONE OPTION AT DOUBLE THE O.C. SPACING OR OPTION 1 OR 2 WITH A COMBINATION OF OPTION 3 OR 4
 - ALL CONNECTORS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. (WHERE APPLICABLE)
- OPTION 1 - THREADED BOLT SYSTEM: MIN. 5/8" ROD SYSTEM WITHIN 12" OF CORNERS, WITHIN 12" OF EACH OPENING (BOTH SIDES), AND 5'-4" O.C. (6'-0" O.C. MAX. SPACING) CONTINUOUS FROM FOUNDATION ANCHOR BOLTS TO TOP OF CONTINUOUS DOUBLE TOP PLATE AT THE HIGHEST TRUSS BEARING LEVEL. USE 2x4x1x8" WASHERS AT TOP PLATE OF 2x6 WALL FRAMING AND 3"x3x1/8" WASHERS AT TOP PLATE OF 2x4 WALL FRAMING.
 - EXPOSURE 'C' AND 'D' - THREADED BOLT SYSTEM SHALL BE INSTALLED @ 2'-8" O.C. (MAX. SPACING)
 - OPTION 2 - QUICK TIE CABLE TIE-DOWN SYSTEM INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS (@ 8'-0" O.C. MAX. SPACING) CONTINUOUS FROM FOUNDATION ANCHOR BOLTS TO TOP OF CONTINUOUS DOUBLE TOP PLATE AT HIGHEST TRUSS BEARING LEVEL WITH COUPLINGS AS REQ'D. PROVIDE ANY AND ALL ADDITIONAL STRAPPING BETWEEN CABLE TIES AND @ HEADERS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE SPARTAN ANCHORS @ 8'-0" O.C. (MAX) IN BETWEEN QUICK-TIE CABLE TIE DOWNS INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. SEE SHEET S-2 FOR GENERAL INSTALLATION SPECIFICATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL MANUFACTURER SPECIFICATIONS & INSTALLATION INSTRUCTIONS.
 - EXPOSURE 'C' AND 'D' - QUICK TIE CABLES SHALL BE INSTALLED @ 4'-0" O.C. WITH SPARTAN ANCHORS OMITTED.
 - OPTION 3 - SIMPSON SP1 AND SP2 STUD TIES @ 32" O.C.
 - EXPOSURE 'C' AND 'D' - STUD TIE SHALL BE INSTALLED @ 16" O.C.
 - OPTION 4 - SIMPSON STRONG-TIE STRUCTURAL FASTENER SCREWS INSTALLED AS PER PRODUCT SPECIFICATIONS
 - SDWC15450 - @ EACH STUD TO SILL PLATES
 - SDWC15600 - @ EACH STUD TO DOUBLE TOP PLATES
 - SDWC15600 - @ EACH DOUBLE TOP PLATES TO PRE-ENGINEERED ROOF TRUSS AND / OR RAFTER FRAMED SYSTEM
 - EXPANSION BOLT ANCHORS, THREADED ROD SEGMENTS, OR QUICK TIE SPARTAN ANCHOR (FL #3557) MAY BE USED IN LIEU OF ANCHOR BOLTS AT LOCATIONS WHERE SUPPLEMENTAL ANCHORING MAY BE REQUIRED. THREADED RODS SHALL HAVE A MINIMUM OF 6" EMBEDMENT AND EPOXIED IN PLACE WITH SIMPSON ATXP ADHESIVE OR EQUAL.

WALL FRAMING NOTES:

- INSTALL 5/8"Ø x10" J-BOLT ANCHORS W/ MIN. 7" EMBEDMENT @ 32" O.C. FOR ALL LOAD BEARING WALLS. SEE WALL CONNECTION NOTES FOR ALTERNATE SPACING AND / OR ALTERNATE OPTIONS
- EXTERIOR SHEAR WALLS - 2x6 STUDS WITH MINIMUM 1/2" SHEATHING ON BOTH SIDES WITH MID-SPAN BLOCKING.
- INTERIOR SHEAR WALLS - 2x4 STUDS WITH MINIMUM 1/2" SHEATHING ON ONE SIDE. PROVIDE MID-SPAN BLOCKING.
- EXTERIOR NON-SHEAR WALLS - 2x6 STUDS WITH 1/2" EXTERIOR SHEATHING. PROVIDE MID-SPAN BLOCKING @ WALLS 10'-0"
- ATTACH ALL LVL BEAMS W/ SIMPSON SDW 0.220 SCREWS (OR EQUAL) STAGGERED W/ 1-1/2" MIN. EDGE DISTANCE.
 - (2) ROWS @ 24" O.C. < 10' LVL
 - (3) ROWS @ 24" O.C. > 10' LVL
 - 2 PLY - 3-3/8" LONG STAGGER INSTALLED FROM BOTH OUTER PLIES
 - 3 PLY - 5" LONG STAGGER INSTALLED FROM BOTH OUTER PLIES
 - 4 PLY - 6-3/4" LONG STAGGER INSTALLED FROM BOTH OUTER PLIES
- PROVIDE THE FOLLOWING MINIMUM INSULATION R-VALUES:
 - CEILING / ATTIC: R-38
 - EXTERIOR WOOD-FRAMED WALLS: R-13
 - FLOORS: FRAMING - R-13, CONCRETE SLAB - N/A

WOOD SHEATHING NOTES:

- SEE NAILING PATTERN SCHEDULE ON THIS SHEET FOR MINIMUM PLYWOOD SHEATHING REQUIRED FOR THE PROJECT WIND EXPOSURE ZONE.
- THERMO-PLY RED STRUCTURAL SHEATHING AS MANUFACTURED BY OX ENGINEERED PRODUCTS MAY BE USED IN LIEU OF PLYWOOD SHEATHING. THERMO-PLY SHALL BE INSTALLED AS PER MANUFACTURER'S INSTALLATION GUIDE & SPECIFICATIONS.
- SEE NAILING PATTERN SCHEDULE ON THIS SHEET. NAILING PATTERNS SHALL COMPLY WITH F.B.C. (2023 EDITION).
- IF APPLICABLE, AT INDEPENDENT STANDING GARAGE DOOR PORTALS, INSTALL 4'-0" x 8'-0" PLYWOOD SHEATHING @ TOP CORNER LENGTHWISE (NOTCHED AROUND OPENING) TO ENSURE SHEATHING CONNECTION BETWEEN JACK, KING, CRIPPLE STUDS, AND LVL BEAM.

PORCH FRAMING NOTES: (IF APPLICABLE)

- PORCH COLUMN - P.T. AS NOTED ON PLAN AND / OR SECTIONS. CONNECT TO SLAB W/ SIMPSON ABU OR EQUAL. CONTRACTOR OPTION TO USE KDAT COLUMN. PROVIDE 5/8"Ø x10" LONG A.B. @ CENTER OF COLUMN BASE OR KDAT LOCATION.
- PORCH BEAMS - (2) 2x12 P.T. SYP FLITCHED W/ 1/2" PLYWOOD U.N.O. ON PLAN AND SECTIONS. BEAMS SHALL NOT HAVE MID-SPAN SPLICES. PORCH GIRDER AND HEADER SPANS SHALL COMPLY WITH I.R.C. (2023 EDITION) TABLES R602.7(3) AND WOOD FRAME CONSTRUCTION MANUAL.
- ATTACHED BEAMS TOGETHER W/ SDW 0.220' x3/8" SCREWS STAGGERED IN 2 ROWS SPACED @ 12" O.C.
- COLUMN TO BEAM CONNECTIONS - THRU-BOLT WITH (2) 5/8"Ø BOLTS SPACED @ 2/5" FROM EDGES WITH COLUMN NOTCHED NO MORE THAN 50% OF COLUMN WIDTH. FOR BEAM-TO-TOP OF COLUMN CONNECTIONS, CONNECT EACH ASSEMBLED BEAM WITH A MINIMUM OF (2) SIMPSON CS16 STRAPS LAPPED A MIN. OF 12" ONTO COLUMN.
- BEAM-TO-CORNER CONNECTION - POCKET AND NAIL INTO WALL W/ (10) 16 PENNY NAILS. STRAP W/ SIMPSON HZ @ BEAM-TO-CORNER LOCATIONS. STRAP W/ (2) SIMPSON MSTC28 ACROSS TOP PLATES-TO-BEAM LOCATIONS. PROVIDE A MINIMUM 3-PLY STUD PACK @ BEAM BEARING LOCATIONS.
- TYPICAL TRUSS TO BEAM CONNECTION - SIMPSON H10A OR (2) SDWC15600 SCREWS (OR EQUIVALENT, SEE FLOOR / TRUSS NOTES).
- TYPICAL TRUSS TO WALL CONNECTION - SIMPSON H10A OR (2) SDWC15600 SCREWS (OR EQUIVALENT, SEE FLOOR / TRUSS NOTES).
- HIP TRUSS TO CORNER COLUMN - SIMPSON HCP PLATES OR MTS TWIST STRAPS.

DECK FRAMING NOTES: (IF APPLICABLE)

- DECK PERIMETER BEAM - 2x12 P.T. #2 SYP U.N.O. ON PLAN AND SECTIONS. BEAMS SHALL NOT HAVE MID-SPAN SPLICES.
- DECK FLOOR JOISTS - 2x10 P.T. #2 SYP @ 16" O.C. U.N.O. WITH SIMPSON LUS JOIST HANGERS @ EACH END U.N.O. ON PLAN AND SECTIONS.
- DECK JOIST SPACING FOR PLASTIC COMPOSITE EXTERIOR DECK BOARDS AND STAIR TREADS SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D7032 AND THE REQUIREMENTS OF SECTION 507.2 (F.B.C.)
- DECK COLUMN TO DECK PERIMETER BEAM CONNECTION - NOTCH COLUMN NO MORE THAN 50% OF COLUMN WIDTH AND THRU-BOLT WITH (2) 5/8"Ø x LENGTH AS REQUIRED BOLTS TO THE DECK PERIMETER BEAM.
- SEE PORCH NOTES ABOVE FOR ROOFED DECKS.

DECK FINISH NOTES: (IF APPLICABLE)

- 5/4" x6" P.T. WOOD DECKING ATTACHED W/ MIN. #10 x 2-1/2" DECK SCREWS.
- PLASTIC COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, GUARDS AND HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D7032 AND THE REQUIREMENTS OF SECTION 507.2 (F.B.C.)

FLOOR & ROOF TRUSS NOTES:

- ALL FLOOR TRUSS AND /OR ROOF FRAMING IS TO BE DETERMINED BY THE TRUSS MANUFACTURER AND TRUSS DRAWINGS SHALL BE SIGNED AND SEALED BY THE SAME. FRAMING LAYOUTS CONTAINED IN THESE DRAWINGS ARE TO BE CONSIDERED A PROPOSED SCHEMATIC REPRESENTATION ONLY AND FINAL MANUFACTURER DESIGN MAY VARY FROM THAT SHOWN. THE TRUSS MANUFACTURER'S CALCULATED SIZE AND SPACING OF PRE-ENGINEERED TRUSSES SHALL TAKE PRECEDENCE OVER WHAT HAS BEEN PROPOSED. THE OWNER AND / OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRAY, CATHEDRAL, AND OTHER DIMENSIONAL CEILING ASPECTS OF THIS PROJECT THAT MAY OR MAY NOT BE SHOWN ON PLANS PRIOR TO FABRICATION. IT IS RECOMMENDED THAT THE OWNER AND /OR GENERAL CONTRACTOR COORDINATE AND UNDERSTAND ALL ASPECTS OF THE SPECIFIED TRUSS PACKAGE LAYOUT BEFORE COMMENCING WITH INSTALLATION.
- DESIGN OF WOOD FLOOR TRUSSES (IF APPLICABLE) AND ROOF TRUSSES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SUBMITTED SHOP DRAWINGS, DESIGN LOAD DATA, AND SUPPORT REACTIONS SHALL BE SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE PROJECT STATE AND SUBMITTED TO BUILDING DEPARTMENT FOR PERMITTING, IF APPLICABLE. ENGINEER OF RECORD SHALL REVIEW THE SIGNED AND SEALED TRUSS DRAWINGS FOR GENERAL CONFORMITY WITH THESE DESIGN DOCUMENTS WITH REGARD TO TRUSS CONFIGURATION ONLY.
- ERECTION AND BRACING OF PREFABRICATED WOOD TRUSSES SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE TRUSS MANUFACTURER AND THE TRUSS PLATE INSTITUTES' BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS.
- TRUSS DESIGNER / ENGINEER SHALL UTILIZE RAISED HEEL(S) AS REQUIRED TO ENSURE A UNIFORM FASCIA LEVEL OF ALL CONNECTED ROOF PLANES.
- GENERAL CONTRACTOR SHALL COORDINATE ROOF OVERHANG DISTANCE(S) WITH TRUSS MANUFACTURER AND MODIFY (IF OTHER THAN DESIGNATED ON PLANS) PRIOR TO FABRICATION.
- SECURE EACH COMMON ROOF TRUSS/RAFTER TO TOP PLATE WITH ONE OF THE FOLLOWING SIMPSON ANCHOR CLIPS AT ALL BEARING POINTS:
 - H-10A (PREFERRED), OR (2) SDWC15600 SCREWS, H2-5A, H7, OR MTS16
 - USE SIMPSON H-7 AT GIRDER TRUSSES. PROVIDE A MINIMUM OF TWO STUDS UNDER GIRDER TRUSS END BEARING.
- TRUSS TO TRUSS CONNECTIONS SHALL BE VERIFIED AND PROVIDED BY THE TRUSS DESIGNER.
- CONTRACTOR TO PROVIDE ALL BLOCKING BETWEEN TRUSSES AND / OR RAFTER FRAMING.
- CONTRACTOR TO REFER TO F.B.C. (2023 EDITION) AND WFCM FOR FRAMING REQUIREMENTS OF WOOD FRAMED WALL SYSTEMS.
- TRUSS MANUFACTURER SHALL REFER TO ANY MEP DRAWINGS FOR OTHER ITEMS OR APPENDAGES THAT MAY EFFECT THE TRUSS LOADING. ANY SUCH ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR ENGINEER OF RECORD.

ROOFING REQUIREMENTS:

- ALL ROOF ASSEMBLIES SHALL COMPLY WITH THE F.B.C. (2023 EDITION).
- OPTION 1 - INSTALL ONE LAYER OF SELF-ADHERING RUBBERIZED UNDERLAYMENT COMPLYING WITH ASTM D1970 DIRECTLY TO ENTIRE ROOF DECK.
- OPTION 2 - INSTALL ONE 4" MIN. STRIP OF SELF-ADHERING RUBBERIZED UNDERLAYMENT ON ALL DECKING JOINTS COMPLYING WITH ASTM D1970 AND (1) LAYER OF 30# (MIN) FELT OR SYNTHETIC UNDERLAYMENT.
- OPTION 3 - INSTALL (2) LAYERS OF 30# (MIN) FELT OR SYNTHETIC UNDERLAYMENT COMPLYING WITH ASTM D226 TYPE II, ASTM D4689 TYPES III OR IV.

RAFTER FRAMING NOTES:

- ALL RAFTER FRAMING SHALL BE ATTACHED AT ALL EXTERIOR WALL AND BEAM BEARING POINTS) W/ SIMPSON H10A, H10A-2, HURRICANE CLIPS OR MTS12/16 TWIST STRAPS.
- RAFTERS BEARING ON OTHER MEMBERS SHALL BE CONNECTED W/ SIMPSON H2-5A OR MTS12/16 TWIST STRAPS.
- RAFTERS BEARING @ CORNERS SHALL BE ATTACHED W/ SIMPSON HCP PLATES OR MTS TWIST STRAPS.
- RIDGE BEAMS SHALL BE A MINIMUM OF 2" LARGER IN WIDTH THAN RAFTER FRAMING AND NO LESS THAN THE DEPTH OF THE RAFTER CUT END LENGTH.
- RAFTERS SHALL BE CONNECTED TO RIDGE BEAMS WITH SIMPSON LRU HANGERS OR EQUAL.
- OPPOSING RAFTERS SHALL BE CONNECTED ACROSS RIDGE WITH EITHER:
 - SIMPSON LSTA21 STRAPS ACROSS THE RIDGE BEAM, EQUAL ON BOTH SIDES.
 - COLLAR TIES LOCATED WITHIN THE UPPER 1/3 OF THE RAFTER LENGTH OF AT LEAST 2x6 SYP ATTACHED TO EACH RAFTER W/ (5) 10D NAILS.
- RAFTER FRAMING SHALL CONSIST OF #2 GRADED SYP AND SHALL NOT EXCEED LENGTHS DEFINED WITHIN THE STICK FRAMING SPAN SCHEDULE ON THIS SHEET.

LOAD BEARING HEADER / BEAM SCHEDULE & JACK / KING STUD FRAMING REQUIREMENTS

HORIZONTAL SPAN (FEET)	MINIMUM HEADER SIZE	JACK STUDS	KING STUDS
< 3'	(2) 2x6 OR (3) 2x4	1	1
3' TO 4'	(2) 2x8 OR (3) 2x6	1	2
4' TO 6'	(2) 2x10 OR (3) 2x8	2	2
6' TO 8'	(2) 2x12 OR (3) 2x10	2	2
8' TO 12'	(3) 2x12 OR (3) 1-3/4" x12' LVL	3	2
12' TO 16'	(3) 1-3/4" x16' LVL	3	3
16' >	REQUIRES STRUCTURAL	-	-

NOTE: ALL WOOD HEADERS TO BE A MIN. OF SOUTHERN YELLOW PINE # 2 GRADE. FLITCH W/ 1/2" CDX PLYWOOD. USE (3) 2x HEADERS FOR 2x6 FRAMED WALLS.

NAILING PATTERN SCHEDULE

LOCATION	MIN. THICKNESS / PANEL SPAN RATING	FASTENER TYPE (MIN.)	FASTENER SPACING
FLOORS	23/32" (48 / 24)	FULL HEAD, 10D RINGSHANKS OR SCREWS	6" O.C. EDGES, 6" O.C. FIELD
WALLS	7/16" (24 / 16)	FULL HEAD, 8D COMMON	4" O.C. EDGES (NAIL BOTH TOP PLATES); 6" O.C. FIELD
PORCH CEILINGS	7/16" (24 / 16)	FULL HEAD, 8D COMMON	6" O.C. EDGES, 6" O.C. FIELD
ROOF	Vult ≤ 149 MPH, EXPOSURE B ONLY 150 MPH ≤ Vult ≤ 159 MPH, EXPOSURE B ONLY Vult ≥ 160 MPH, EXPOSURE C OR D	7/16" (24/16) 15/32" (24/16) 19/32" (24/16)	FULL HEAD, 2-3/8" x 0.113 RINGSHANK NAILS 6" O.C. EDGES, 6" O.C. FIELD FULL HEAD, 2-1/2" x 0.131 RINGSHANK NAILS 4" O.C. EDGES, 4" O.C. FIELD

'STICK FRAMING' SPAN SCHEDULE BASED ON THE AMERICAN WOOD COUNCIL STANDARDS - SOUTHERN PINE NO. 2 GRADE

SIZE	FLOOR JOIST MAX SPAN 40 PSF LL, 20 PSF DL, L/360				CEILING JOIST MAX SPAN 20 PSF LL, 10 PSF DL, L/240				RAFTER MAX SPAN 20 PSF LL, 15 PSF DL, L/240			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2x4	--	--	--	--	9'-3"	8'-0"	7'-4"	6'-7"	--	--	--	--
2x6	9'-10"	8'-6"	7'-9"	6'-11"	13'-11"	12'-0"	11'-0"	9'-10"	14'-5"	12'-6"	11'-5"	10'-2"
2x8	12'-6"	10'-10"	9'-10"	8'-10"	17'-7"	15'-3"	13'-11"	12'-6"	18'-3"	15'-10"	14'-5"	12'-11"
2x10	14'-9"	12'-10"	11'-8"	10'-5"	20'-11"	18'-1"	16'-6"	14'-9"	21'-8"	18'-9"	17'-1"	15'-4"
2x12	17'-5"	15'-1"	13'-9"	12'-4"	--	--	--	--	25'-6"	22'-1"	20'-2"	18'-0"

NOTE: IN LIEU OF PRE-ENGINEERED WOOD FLOOR & ROOF TRUSSES, THIS SCHEDULE MAY BE USED AS A REFERENCE FOR STICK FRAMING. ANY SUPPLEMENTAL ENGINEERED DRAWINGS SPECIFYING SIZE AND SPACING SHALL SUPERCEDE THIS SCHEDULE.

DESIGN CRITERIA:

2023 FLORIDA BUILDING CODE, RESIDENTIAL (FBC-R), 8TH EDITION, 2024 WFCM (WOOD FRAME CONSTRUCTION MANUAL)

PRESCRIPTIVE DESIGN

THE DESIGNS SHOWN ON THESE DRAWINGS ARE BASED ON THE PRESCRIPTIVE PROVISIONS OF THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) FOR ONE- AND TWO-FAMILY DWELLINGS, 2024 EDITION, AS PERMITTED BY FLORIDA BUILDING CODE (RESIDENTIAL SECTION R301.1.1 - ALTERNATIVE PROVISIONS).

THE STRUCTURE HAS BEEN DESIGNED TO FALL WITHIN THE PRESCRIPTIVE DESIGN LIMITATIONS ESTABLISHED IN WFCM SECTION 31 - TABLE 3. IF ACTUAL FIELD CONDITIONS VARY FROM THOSE ASSUMED, OR IF ANY PRESCRIPTIVE LIMITATIONS ARE EXCEEDED, ADDITIONAL ENGINEERED DESIGN SHALL BE PROVIDED FOR THE AFFECTED STRUCTURAL ELEMENTS. ANY SUCH REVISIONS OR SUPPLEMENTAL ENGINEERING SHALL BE SIGNED AND SEALED BY A FLORIDA-LICENSED PROFESSIONAL ENGINEER.

BUILDING OCCUPANCY CATEGORY - II (PER ASCE 7-22 TABLE 1-1)

DESIGN LOADS:

- FLOOR - LIVE LOAD: 1ST STORY - 40 PSF
- ADDITIONAL FLOORS IF APPLICABLE
- FLOOR - LIVE LOAD: 2ND STORY - 40 PSF
- FLOOR - LIVE LOAD: 3RD STORY - 40 PSF
- FLOOR - DEAD LOADS - 20 PSF
- ROOF - LIVE LOADS - 20 PSF
- ROOF - DEAD LOADS - 20 PSF

WIND DESIGN:

EXPOSURE - B
WIND SPEED DESIGN - 130 VMPH
CATEGORY - II (PER ASCE 7-22 TABLE 1-1)
ENCLOSURE CLASSIFICATION - ENCLOSED
INTERNAL PRESSURE COEFFICIENT - +0.18 TO +0.18
SEE F.B.C. - FIGURE R301.2(7) FOR COMPONENT AND CLADDING PRESSURE ZONE OCCUPANCY



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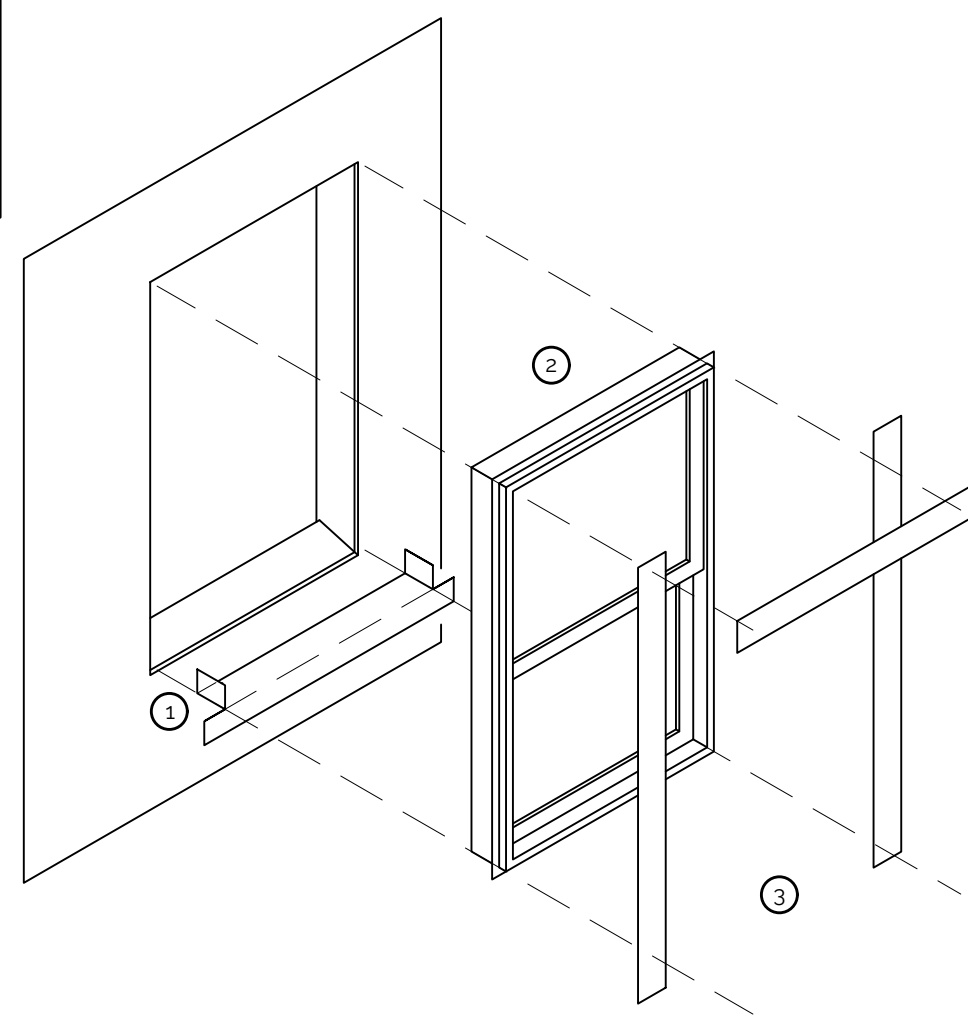
DESCRIPTION	REV.

NEW RESIDENTIAL CONSTRUCTION FOR: M.CORB HOMES 747 3RD STREET CHIPLEY, FL 32428

JOB # 2026-050
DRAWN BY: JCC
PLOT DATE: 4/8/2026

SHEET TITLE
NOTES

SHEET NUMBER
A0.0

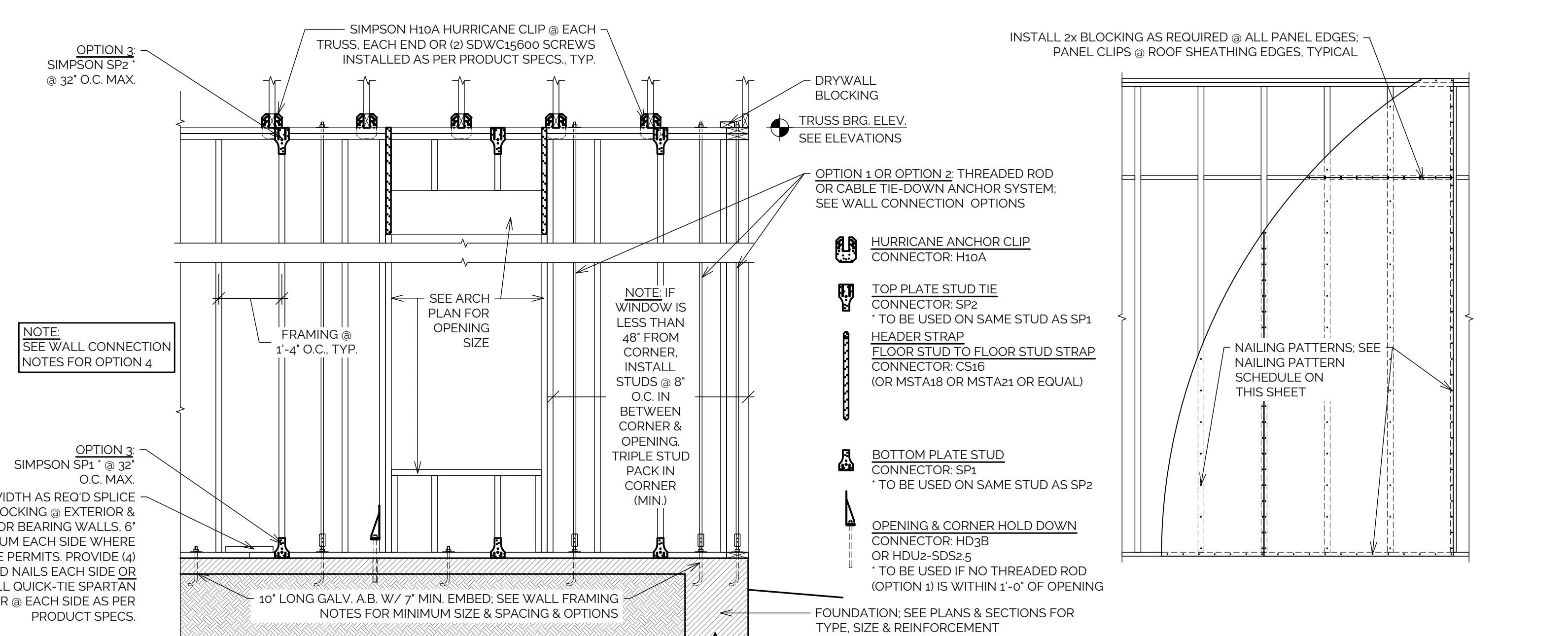


FLASHING DETAIL

NOT TO SCALE

INSTALLATION SEQUENCE FOR STRIP FLASHING TERM MOISTURE / AIR / TERMITE BARRIER TO A FLANGED WINDOW, DOOR, OR FIXTURE:

- FREE THE SURFACES THAT WILL RECEIVE THE FLASHING FROM ANY IRREGULARITIES THAT WOULD INTERFERE WITH A FLAT INTERFACE WITH THE FLASHING, OR POSE A FLASHING PUNCTURE HAZARD.
- VERIFY FLASHING INSTALLATION METHODS WITH PRODUCT SPECIFICATIONS PRIOR TO APPLICATION.
- INSTALL TERM MOISTURE / AIR / TERMITE BARRIER TO COVER THE SLOPED SILL / THRESHOLD, WALL FACE, AND EACH JAMB. CHECK FOR NO GAPS OR PINHOLES.
- INSTALL THE WINDOW, DOOR, OR FIXTURE. APPLY SEALANT & NAILS / SCREWS AS PER PRODUCT SPECIFICATIONS.
- INSTALL TERM MOISTURE / AIR / TERMITE BARRIER TO COVER THE FLANGE AND WALL ALONG EACH JAMB AND ABOVE THE HEAD AND BELOW THE SILL / THRESHOLD.
- CHECK ALL BARRIER, ESPECIALLY AT CORNERS, FOR NO GAPS OR PINHOLES.
- SEAL INTERIOR SIDE OF WINDOW, DOOR, OR FIXTURE WITH FOAM OR OTHER APPROVED SEALANT.





WALL CONNECTIONS - SINGLE LEVEL

1/2" - 1'-0" (24x36 SHEET) 1/4" - 1'-0" (11x17 SHEET)

TYP. SHEATHING NAIL PATTERN

1/2" - 1'-0" (24x36 SHEET) 1/4" - 1'-0" (11x17 SHEET)

FLOOR PLAN WALL LEGEND

-  2x4 WOOD STUD FRAMING
-  2x6 WOOD STUD FRAMING

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	SWING	NOTES	QTY.
01	3'-0"	6'-8"	RIGHT	--	1
02	3'-0"	6'-8"	RIGHT	--	1
03	2'-8"	6'-8"	RIGHT	--	1
04	2'-8"	6'-8"	LEFT	--	1
05	2'-8"	6'-8"	LEFT	--	1
06	2'-8"	6'-8"	LEFT	--	1
07	2'-0"	6'-8"	LEFT	--	1
08	2'-8"	6'-8"	LEFT	--	1
09	4'-0"	6'-8"	NA	--	1
10	2'-8"	6'-8"	LEFT	--	1
11	2'-0"	6'-8"	LEFT	--	1
TOTAL					11

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	NOTES	QTY.
A	3'-0"	5'-0"	SH OR DH	--	4
B	3'-0"	3'-0"	SH OR DH	--	1
C	3'-0"	1'-0"	SH OR DH	--	1
TOTAL					6

AREA CALCULATIONS

NAME	AREA (S.F.)
HEATED & COOLED	1081
CARPORT	352
FRONT PORCH	86
TOTAL	1519

GENERAL CONSTRUCTION NOTES

- DIMENSIONS & VERIFICATION:** CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE CONSTRUCTION. DIMENSIONS ARE TYPICALLY MEASURED FROM THE EXTERIOR FACE OF EXTERIOR WALLS TO FACE OF INTERIOR WALLS, UNLESS NOTED OTHERWISE (U.N.O.).
- WALL FRAMING:**
 - EXTERIOR WALLS: 2x6 STUDS @ 16" O.C. U.N.O.
 - 2x4 STUDS MAY BE USED ONLY IF STRUCTURE IS IN WIND EXPOSURE CATEGORY B (FBC R301.2.1.4) AND WALL HEIGHTS DO NOT EXCEED 9'-0" (PRE-CUT 104 5/8"). CONTRACTOR SHALL MODIFY DIMENSIONS AS REQ'D TO ACCOMMODATE 2x4 OPTION.)
 - INTERIOR WALLS: 2x4 STUDS @ 16" O.C. U.N.O.
- PLUMBING WALLS:** INTERIOR PLUMBING WALLS MAY BE FRAMED W/ 2x6 STUD FRAMING WHERE INDICATED ON THE PLANS OR WHERE REQUIRED TO ACCOMMODATE DRAIN, WASTE, VENT, OR SUPPLY PIPING. WHERE NOT SPECIFICALLY DIMENSIONED, THE CONTRACTOR MAY ELECT TO PROVIDE A 2x6 PLUMBING CHASE WALL TO PROPERLY INSTALL REQUIRED PIPING WITHOUT COMPROMISING STRUCTURAL, FIRE-RATED, OR FINISHED CONDITIONS. VERIFY ALL WALL THICKNESS ADJUSTMENTS IN THE FIELD PRIOR TO CONSTRUCTION.
- STAIR CONSTRUCTION (IF APPLICABLE):** PER FBC R311-R312: MAX RISER 7-3/4", MIN TREAD 10". HANDRAILS REQUIRED ON ONE SIDE OF STAIRS WITH 4" RISERS. GUARDS REQUIRED WHERE FLOOR/STAIR IS 30" OR MORE ABOVE GRADE.
- FINISH COORDINATION:** GENERAL CONTRACTOR TO COORDINATE ALL FINISHES (CABINETS, FIXTURES, APPLIANCES, DOORS, WINDOWS, ETC.) WITH OWNER. FIELD ADJUSTMENTS ARE ALLOWED BUT MUST MEET CODE AND CLEARANCE REQUIREMENTS.
- EXTERIOR FINISHES:** GENERAL CONTRACTOR TO SELECT AND COORDINATE ALL EXTERIOR MATERIALS (SIDING, VENEER, ROOFING, ETC.) WITH OWNER AND HOA (IF APPLICABLE). ALL PRODUCTS MUST COMPLY WITH FBC AND HAVE VALID FLORIDA PRODUCT APPROVALS.
- GARAGE SEPARATION (IF APPLICABLE):** PER FBC R302.6, PROVIDE MIN. 1/2" GYPSUM BOARD ON GARAGE SIDE OF ALL WALLS AND CEILINGS ADJACENT TO CONDITIONED SPACE.
- DRYER VENTING (IF APPLICABLE):** INSTALL PER FBC M1502, INCLUDING APPROVED DUCT MATERIAL, MAX LENGTH LIMITS, REQUIRED FITTINGS, AND PROPER TERMINATION.
- TYPICAL NOTES:** ITEMS LABELED "TYPICAL" APPLY TO ALL SIMILAR CONDITIONS, EVEN IF NOT REPEATED.

WINDOW & DOOR NOTES:

- FENESTRATION CHANGES:** WINDOW AND DOOR OPENINGS MAY BE OMITTED, RESIZED, OR RELOCATED ONLY WITH APPROVAL FROM THE WINDOW VENDOR AND DESIGN PROFESSIONAL. ALL CHANGES MUST MEET STRUCTURAL, EGRESS, ENERGY, AND WIND LOAD CODE REQUIREMENTS.
- HEADER ALIGNMENT:** ALIGN WINDOW AND DOOR HEADERS WITHIN ±2", UNLESS STRUCTURE REQUIRES OTHERWISE.
- TRANSOMS:** TRANSOMS (IF USED) SHALL SIT ABOVE THE SAME HEADER AS THE OPENING BELOW, UNLESS OTHERWISE SPECIFIED OR REQUIRED STRUCTURALLY.
- MUNTIN PATTERNS:** SEE ELEVATIONS AND WINDOW/DOOR SCHEDULE FOR MUNTIN LAYOUTS. FINAL SELECTION TO BE COORDINATED WITH OWNER AND GENERAL CONTRACTOR.
- EGRESS COMPLIANCE:** BEDROOM WINDOWS MUST MEET EGRESS PER FBC-R310. WINDOW VENDOR TO VERIFY CLEAR OPENINGS AND COORDINATE ANY CHANGES WITH THE DESIGNER.
- TEMPERED GLASS:** PROVIDE TEMPERED GLAZING AS REQUIRED BY FBC R308.4 (E.G. NEAR DOORS, TUBS, SHOWERS, AND STAIRS). WINDOW VENDOR IS RESPONSIBLE FOR COMPLIANCE.
- IMPACT RATING & WIND LOADS:** ALL EXTERIOR DOORS AND WINDOWS SHALL MEET REQUIRED DESIGN PRESSURES FOR THE APPLICABLE WIND ZONE. IMPACT PROTECTION SHALL BE PROVIDED WHERE REQUIRED.
- CLERESTORY & SPECIALTY WINDOWS:** CONTRACTOR TO FIELD-VERIFY ROUGH OPENINGS AND COORDINATE FRAMING FOR CLERESTORY/SPECIALTY WINDOWS PER MANUFACTURER'S TOLERANCES AND ANCHORING NEEDS.
- HEADERS & JACK STUDS:** HEADER/JACK STUD SIZES TO FOLLOW 2023 FBC-R TABLES R602.7(1) & (2). OR WFCM AS APPLICABLE. USE (3) 2x MEMBERS FOR 2x6 WALLS AND (2) FOR 2x4 WALLS. NAIL WITH 16D NAILS STAGGERED 6" O.C., MAINTAINING 2" EDGE DISTANCE.



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REV. DESCRIPTION

NEW RESIDENTIAL CONSTRUCTION
FOR:
MCORB HOMES
747 3RD STREET
CHIPLEY, FL 32428

JOB # 2026-050

DRAWN BY: JCC

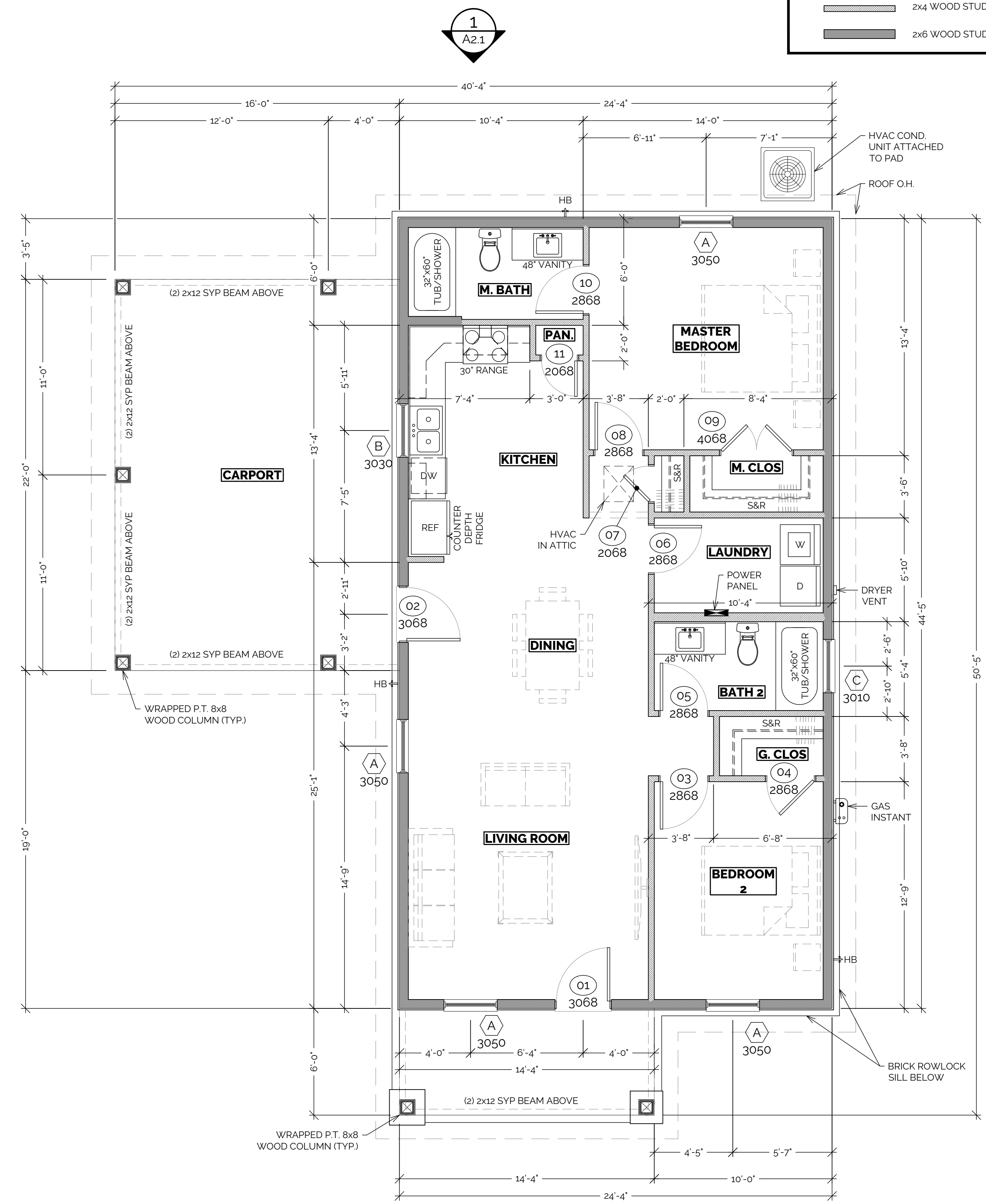
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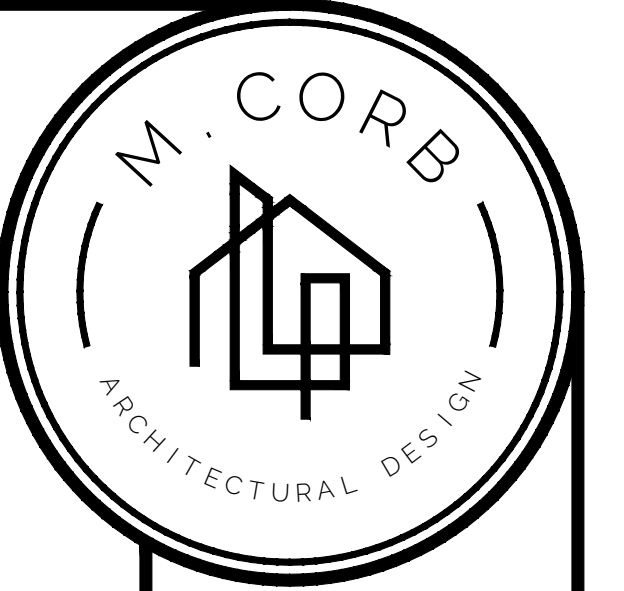
FLOOR PLAN

SHEET NUMBER

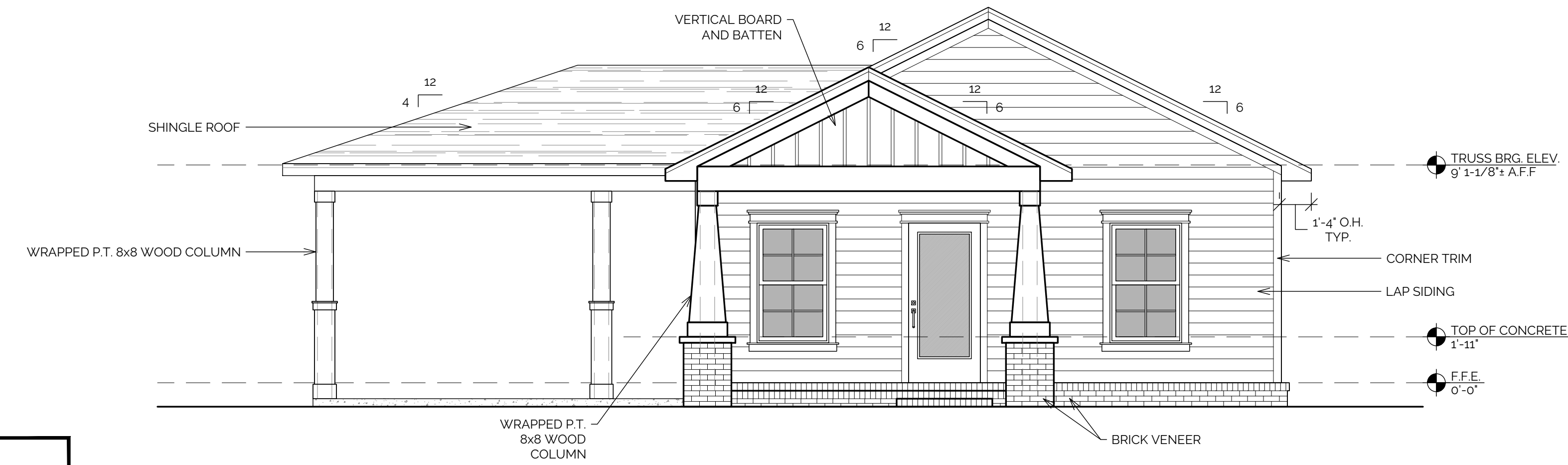
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FLOOR PLAN
1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)



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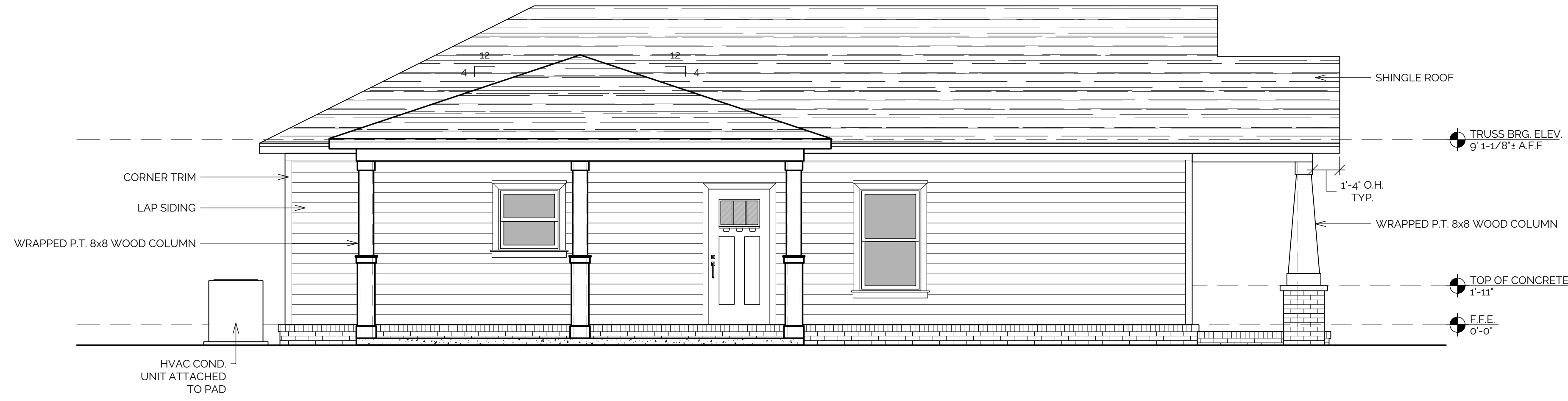


1 FRONT ELEVATION
A2.0 1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)

EXTERIOR FINISH MATERIAL LEGEND

ALL EXTERIOR FINISHES, SIDING, VENEER, ROOFING MATERIAL, ETC. ARE TO BE SELECTED BY THE GENERAL CONTRACTOR. COORDINATE MATERIAL TYPE AND COLOR SELECTIONS WITH OWNER AND HOME OWNERS ASSOCIATION IF APPLICABLE.

- HORIZONTAL FIBER CEMENT BOARD SIDING W/ REVEAL AS PER CONTRACTOR / OWNER
- BRICK VENEER
- CONCRETE OR CEMENTITIOUS PARGE COAT
- ARCHITECTURAL SHINGLES



2 LEFT ELEVATION
A2.0 1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)

REV.	DESCRIPTION

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FOR:
MCORB HOMES
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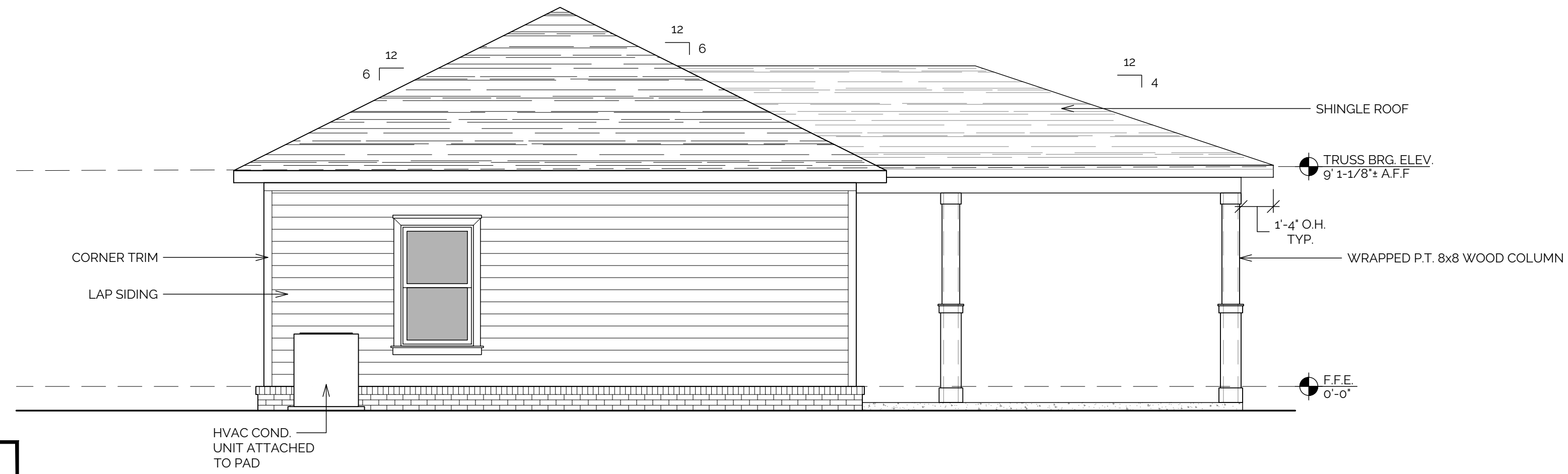
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SHEET TITLE
ELEVATIONS

SHEET NUMBER
A2.0



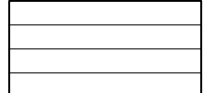
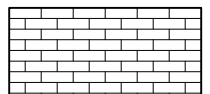
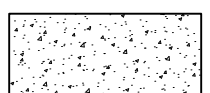
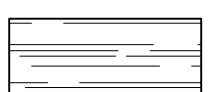
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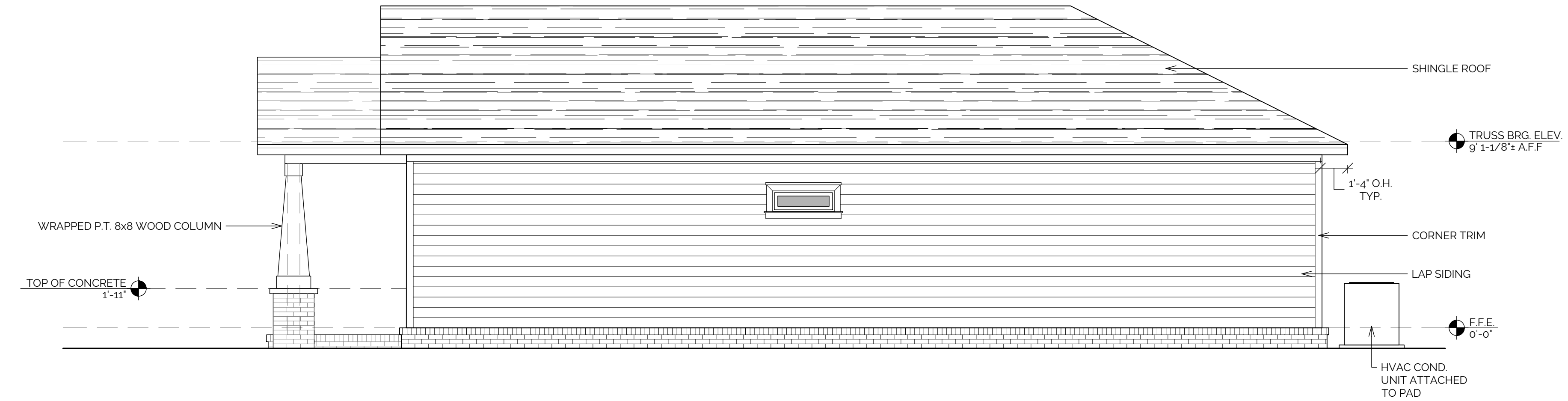


1 REAR ELEVATION
A2.1 1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)

EXTERIOR FINISH MATERIAL LEGEND

ALL EXTERIOR FINISHES, SIDING, VENEER, ROOFING MATERIAL, ETC. ARE TO BE SELECTED BY THE GENERAL CONTRACTOR. COORDINATE MATERIAL TYPE AND COLOR SELECTIONS WITH OWNER AND HOME OWNERS ASSOCIATION IF APPLICABLE.

-  HORIZONTAL FIBER CEMENT BOARD SIDING W/ REVEAL AS PER CONTRACTOR / OWNER
-  BRICK VENEER
-  CONCRETE OR CEMENTITIOUS PARGE COAT
-  ARCHITECTURAL SHINGLES



2 RIGHT ELEVATION
A2.1 1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)

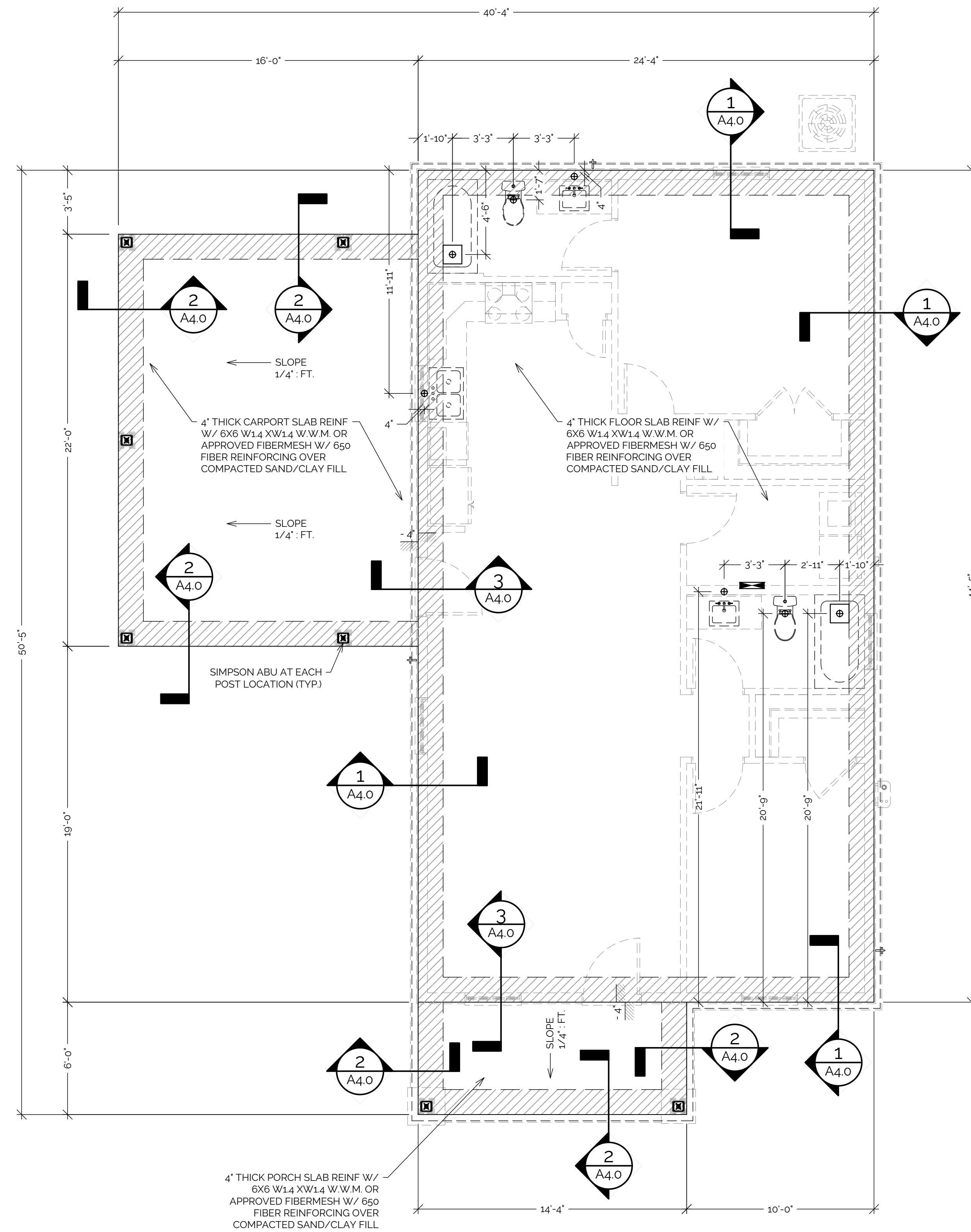
DESCRIPTION
REV.

NEW RESIDENTIAL CONSTRUCTION
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747 3RD STREET
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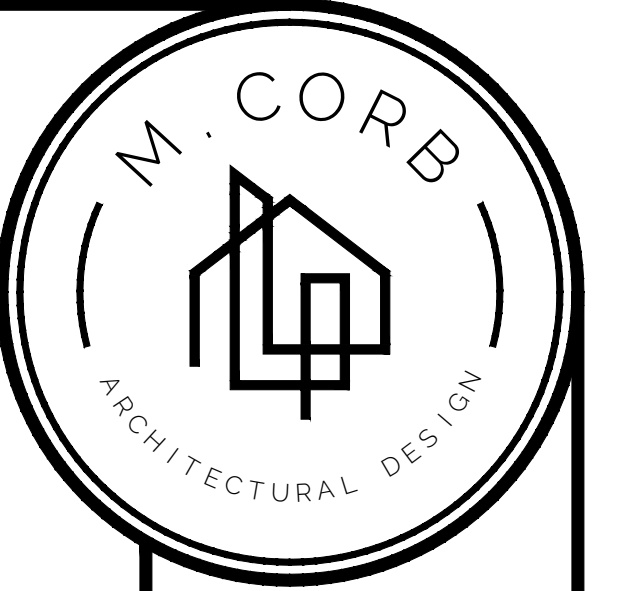
SHEET TITLE
ELEVATIONS

SHEET NUMBER
A2.1



SLAB NOTES:

1. PLUMBING DRAIN LOCATION DIMENSIONS MAY VARY BASED ON UNFORESEEN PLAN CHANGES MADE IN THE FIELD.
2. THE GENERAL CONTRACTOR SHALL CONFIRM, COORDINATE, AND FIELD MODIFY ANY DRAIN LOCATIONS BASED ON THE SELECTED PLUMBING FIXTURE(S) SPECIFICATIONS PRIOR TO POURING OF FOUNDATION SLAB.
3. THE GENERAL CONTRACTOR SHALL SUPPLEMENT ANY UNDER-SLAB PLUMBING, ELECTRICAL CONDUIT (INTERIOR & EXTERIOR), HVAC CHASE, FUEL GAS PIPING SYSTEMS FOR APPLIANCES AND RELATED ACCESSORIES (SEE FBC - SECTION G2401 (101)), AND DRYER VENT REQUIREMENTS IN FIELD PRIOR TO POURING OF FOUNDATION SLAB.
4. RECOMMENDED - SAW CUT 1/8" WIDE x 3/4" DEEP CONTROL JOINTS NO MORE THAN 12'-0" MAXIMUM O.C. SPACING. LOCATE @ INTERIOR CORNERS WHERE FEASIBLE.
5. INSTALL A CONCRETE-ENCASED GROUNDING ELECTRODE IN COMPLIANCE WITH NEC 2023 5250.52(A)(3).
6. COORDINATE / VERIFY LOCATIONS OF ANY SHOWN OR ADDITIONAL REQUIRED GRADE BEAM / THICKENED SLABS WITH ENGINEERED TRUSS DRAWING PACKAGE.



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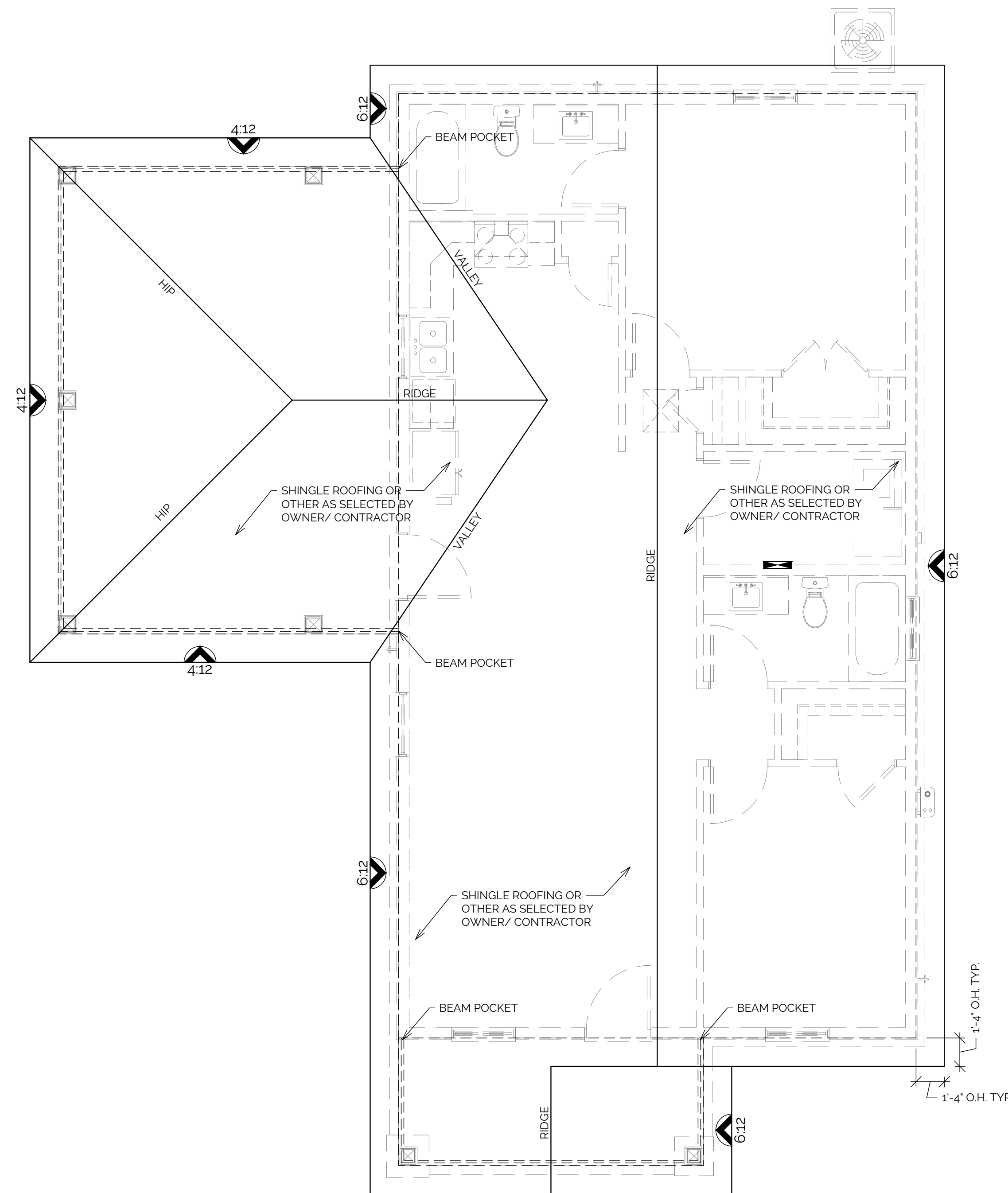
SHEET TITLE

FOUNDATION PLAN

SHEET NUMBER

A3.0

FOUNDATION PLAN
 1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)



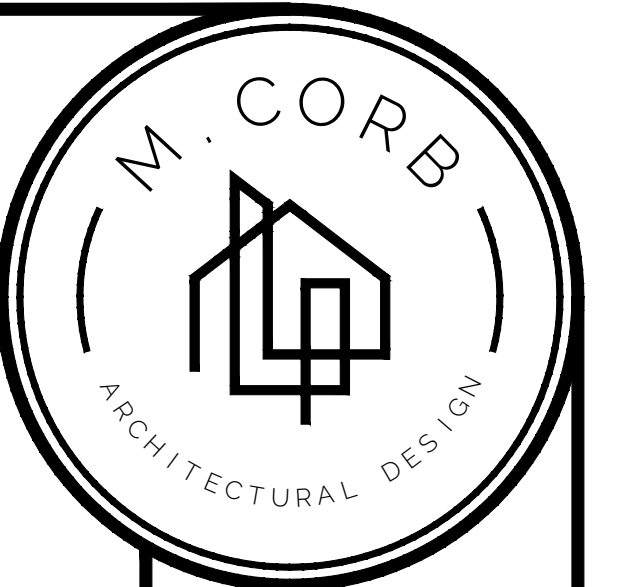
ROOF PLAN
 1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)

ROOF NOTES:

1. PLUMBING & MECHANICAL SUB-CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATION & LOCATION OF ALL PENETRATIONS THROUGH THE ROOF PLANE PRIOR TO APPLICATION OF FINISHED ROOF ASSEMBLY. FLASHING SHALL BE USED TO SEAL ROOF SYSTEMS WHERE THE SYSTEM IS INTERRUPTED & SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING BELOW ROOF PLANE.
2. ALL ROOF PENETRATIONS SHALL BE LOCATED ON THE REAR SIDE OF THE STRUCTURE & NOT VISIBLE FROM THE FRONT ELEVATION.

TRUSS NOTES:

1. ALL ROOF AND/OR FLOOR TRUSSES SHALL BE DESIGNED, ENGINEERED, AND DETAILED BY THE TRUSS MANUFACTURER. SEALED TRUSS DESIGN DRAWINGS, LAYOUTS, DESIGN CRITERIA, AND SUPPORT REACTION SCHEDULES SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE PROJECT STATE AND SUBMITTED FOR PERMITTING PRIOR TO FABRICATION. PROCUREMENT, COORDINATION, REVIEW, AND SUBMISSION OF THE TRUSS PACKAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND TRUSS SUBMITTALS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR ENGINEER OF RECORD PRIOR TO FABRICATION. IF APPLICABLE, THE ENGINEER OF RECORD SHALL REVIEW SEALED TRUSS SUBMITTALS FOR GENERAL CONFORMITY WITH DESIGN INTENT REGARDING TRUSS CONFIGURATION ONLY. SUCH REVIEW SHALL NOT RELIEVE THE TRUSS DESIGN ENGINEER OF RESPONSIBILITY FOR STRUCTURAL ADEQUACY.
3. TEMPORARY AND PERMANENT ERECTION AND BRACING OF PREFABRICATED WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE TRUSS MANUFACTURER'S INSTALLATION REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS (INCLUDING BCSI), AND THE TRUSS PLATE INSTITUTE'S 'BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS.'
4. DO NOT CUT, DRILL, NOTCH, SPLICE, OR OTHERWISE MODIFY TRUSSES WITHOUT A SEALED REPAIR OR ALTERATION DETAIL PREPARED BY THE TRUSS DESIGN ENGINEER.
5. THE TRUSS DESIGN ENGINEER SHALL UTILIZE RAISED HEELS, WHERE REQUIRED, TO MAINTAIN A UNIFORM FASCIA ELEVATION. THE GENERAL CONTRACTOR SHALL COORDINATE ROOF OVERHANG DIMENSIONS, CEILING CONDITIONS INCLUDING TRAY, CATHEDRAL, AND VAULTED CEILINGS, SOFFITS, CHASES, AND OTHER GEOMETRIC CONDITIONS WITH THE TRUSS MANUFACTURER PRIOR TO FABRICATION.
6. CONNECT EACH ROOF AND/OR FLOOR TRUSS TO THE SUPPORTING STRUCTURE WITH CONNECTORS AND FASTENERS IN ACCORDANCE WITH THE ENGINEER OF RECORD'S DETAILS AND SPECIFICATIONS WHERE AN ENGINEER OF RECORD IS PROVIDED. WHEN NO ENGINEER OF RECORD IS PROVIDED, CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE SEALED TRUSS DESIGN DRAWINGS AND APPLICABLE CODE REQUIREMENTS. CONNECTORS SHALL BE SIZED TO RESIST ALL DESIGN GRAVITY AND UPLIFT LOADS AND SHALL PROVIDE A CONTINUOUS LOAD PATH TO THE FOUNDATION. PROVIDE CONNECTORS AND FASTENERS WITH CORROSION RESISTANCE APPROPRIATE FOR THE PROJECT EXPOSURE CONDITIONS.
7. TRUSS-TO-TRUSS CONNECTIONS, GIRDER CONNECTIONS, REQUIRED BLOCKING OR BRIDGING, AND SUPPORTING WALLS, BEAMS, COLUMNS, AND FOUNDATIONS SHALL BE PROVIDED AND ALIGNED TO RECEIVE TRUSS REACTIONS AND MAINTAIN A CONTINUOUS LOAD PATH TO THE FOUNDATION.
8. TRUSS MANUFACTURER SHALL REVIEW ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS FOR ITEMS AFFECTING TRUSS LOADING OR GEOMETRY. ANY CONFLICTS OR ADDITIONAL LOADS SHALL BE REPORTED PRIOR TO FABRICATION. IN THE EVENT OF A CONFLICT BETWEEN THESE DRAWINGS AND SEALED TRUSS DESIGN DOCUMENTS, THE SEALED TRUSS DESIGN DRAWINGS AND REACTION SCHEDULES SHALL GOVERN.



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REV.	DESCRIPTION

NEW RESIDENTIAL CONSTRUCTION
 FOR:
M CORB HOMES
 747 3RD STREET
 CHIPLEY, FL 32428

JOB # 2026-050

DRAWN BY: JCC

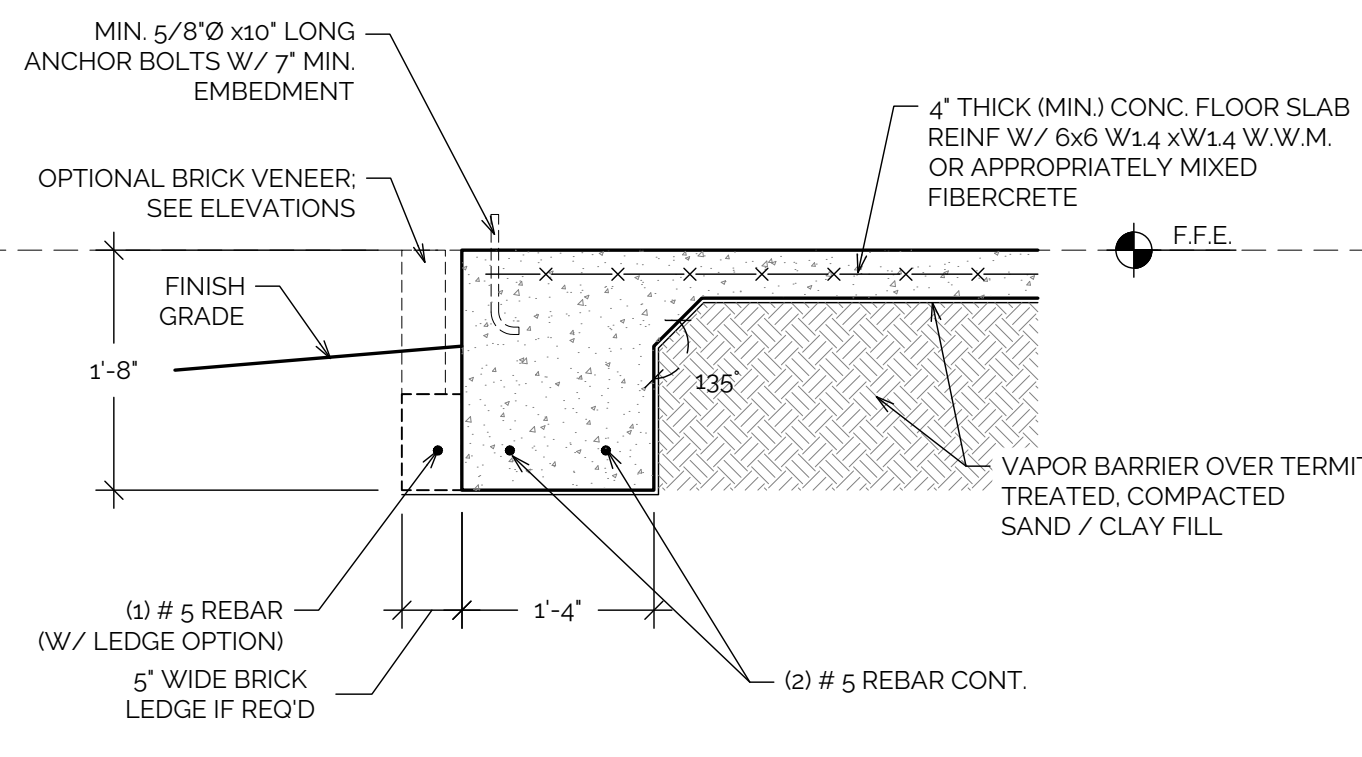
PLOT DATE: 4/8/2026

SHEET TITLE

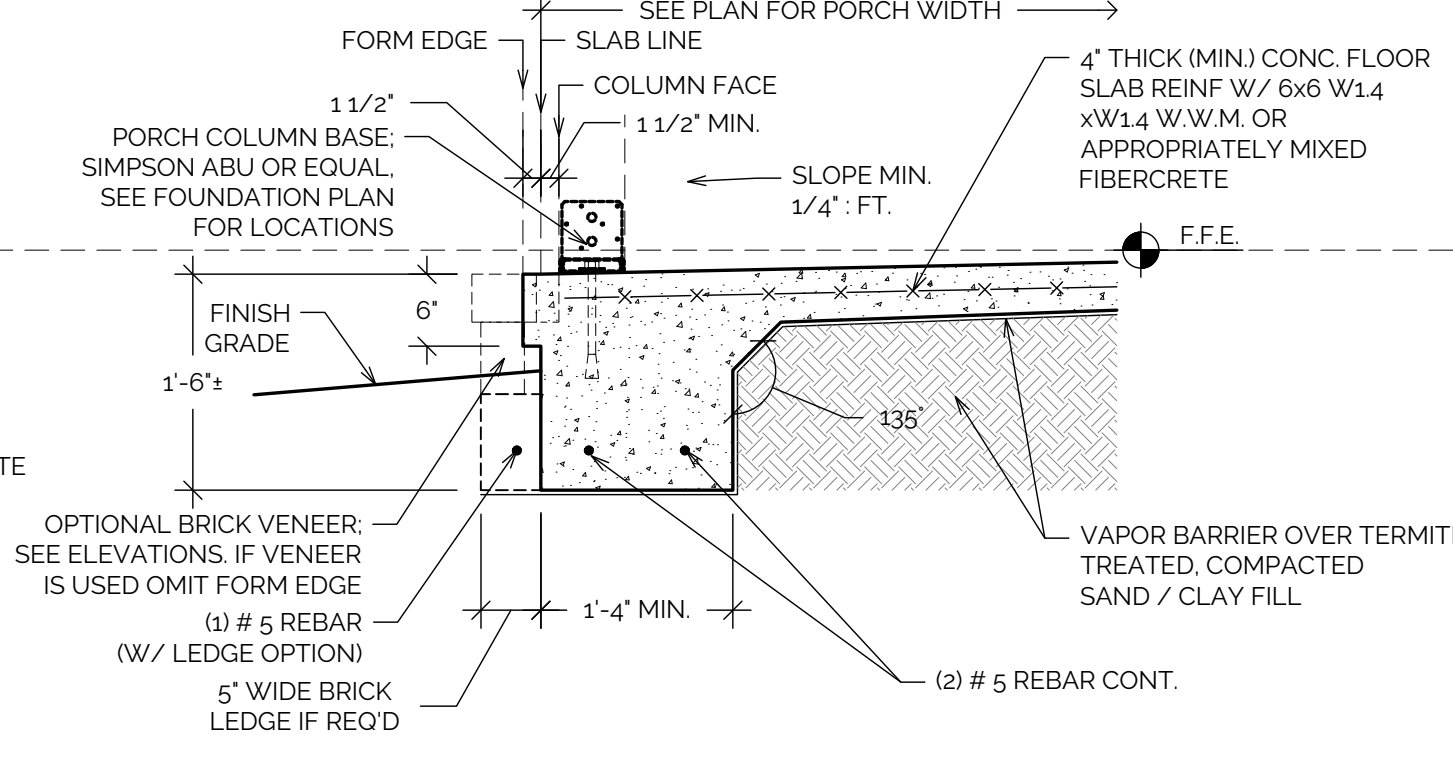
ROOF PLAN

SHEET NUMBER

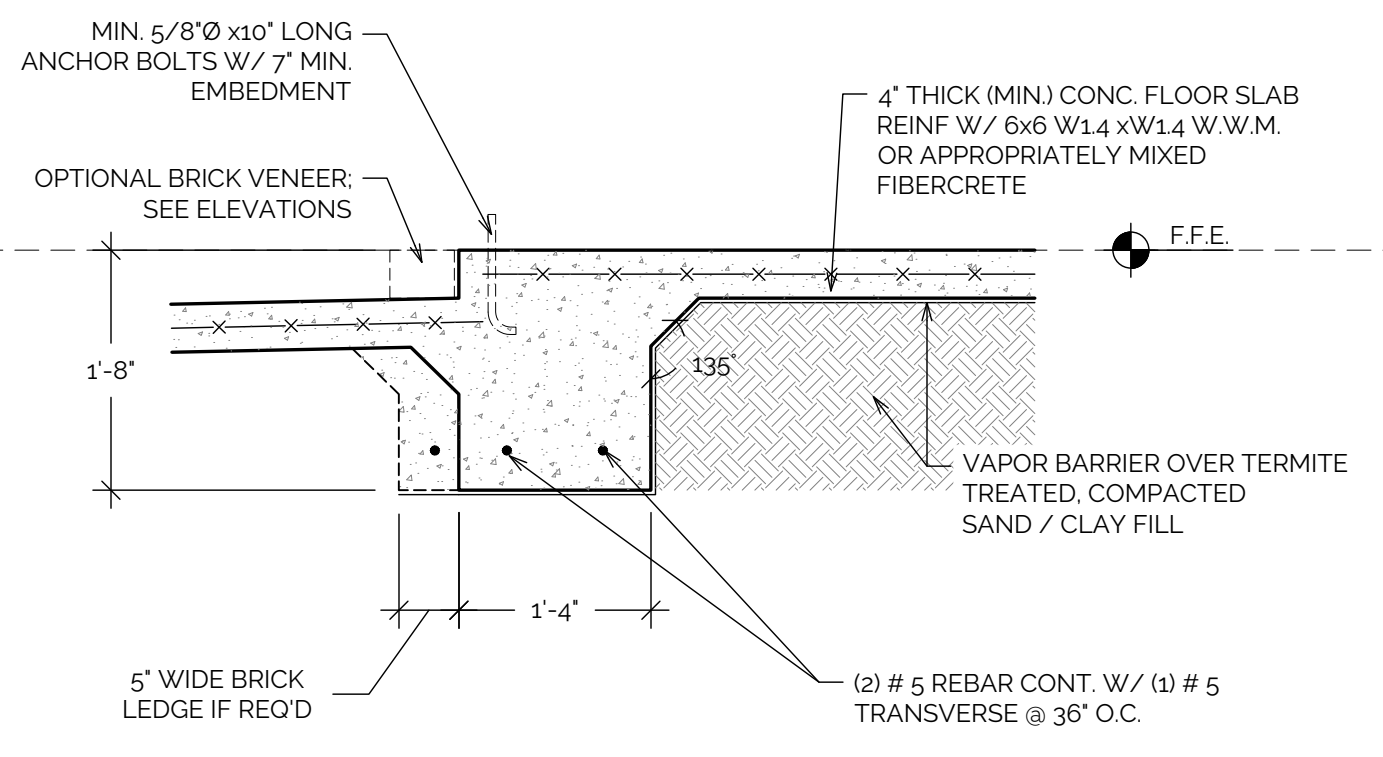
A3.1



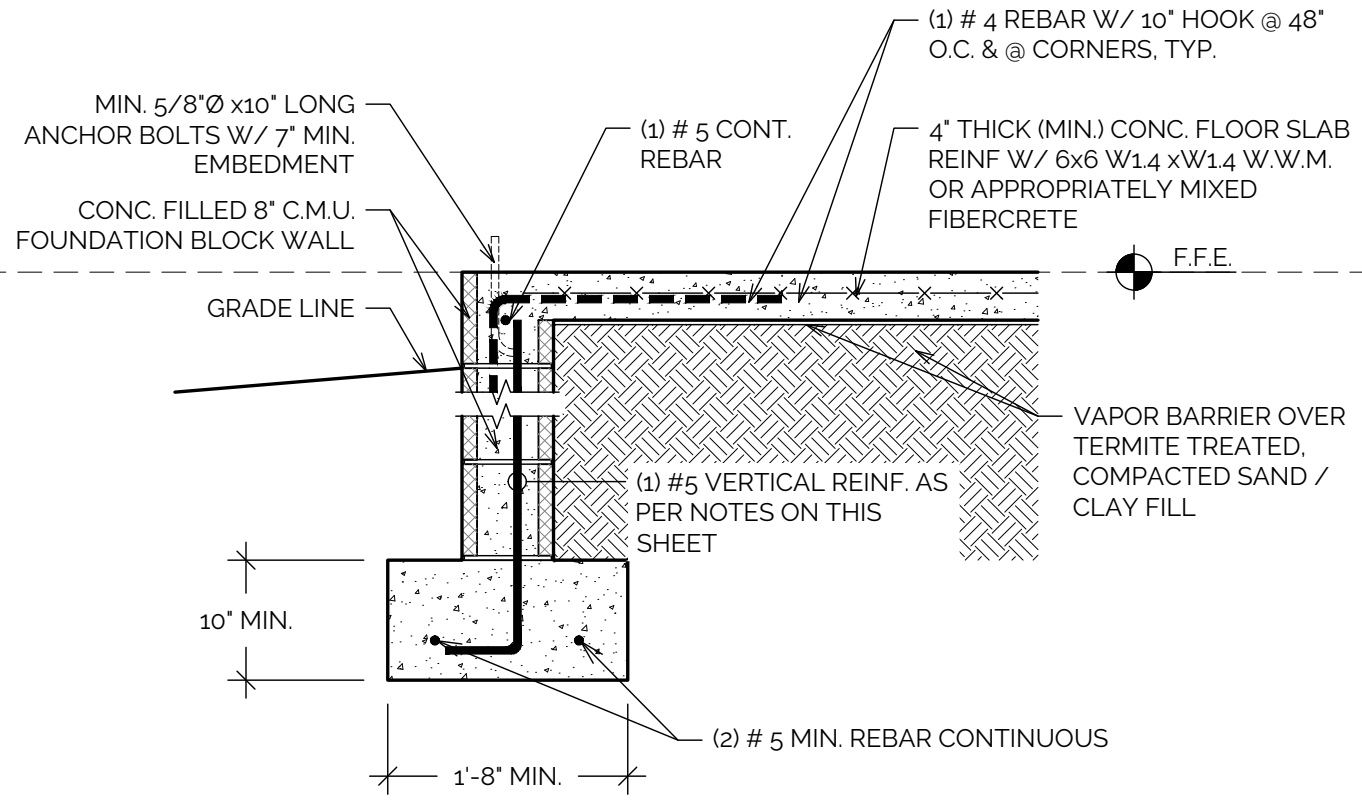
1 MONO SLAB EDGE TYP. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



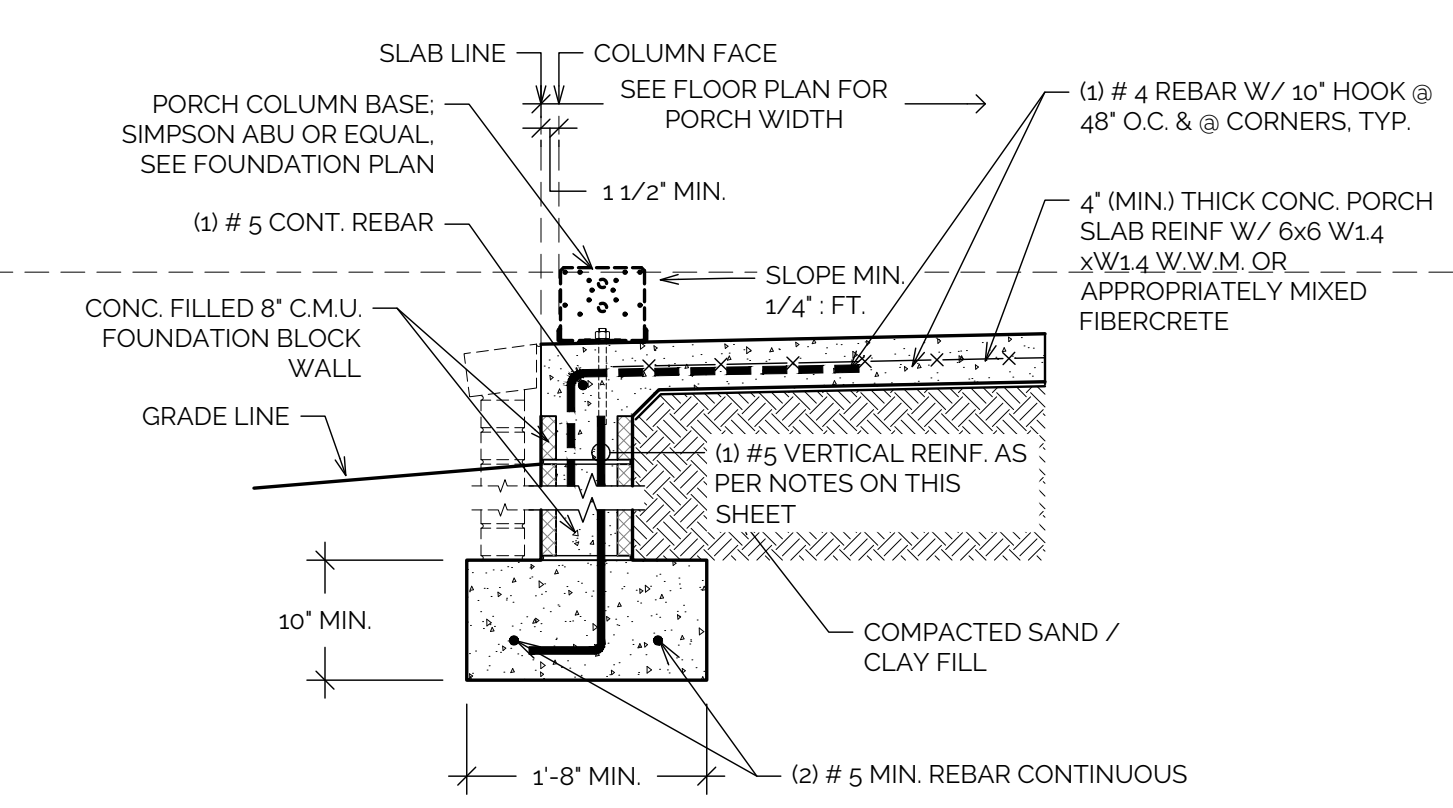
2 MONO SLAB PORCH EXT. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



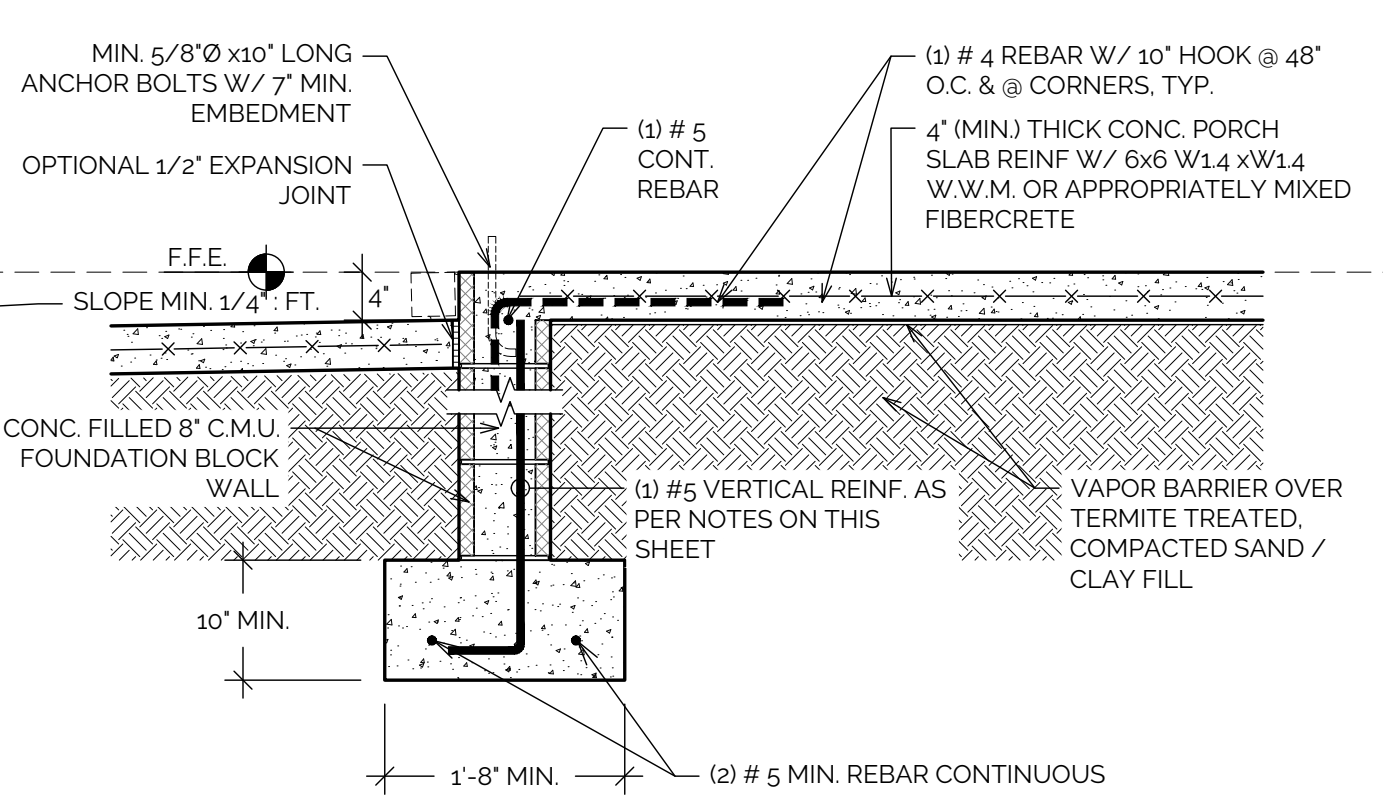
3 MONO SLAB PORCH INT. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



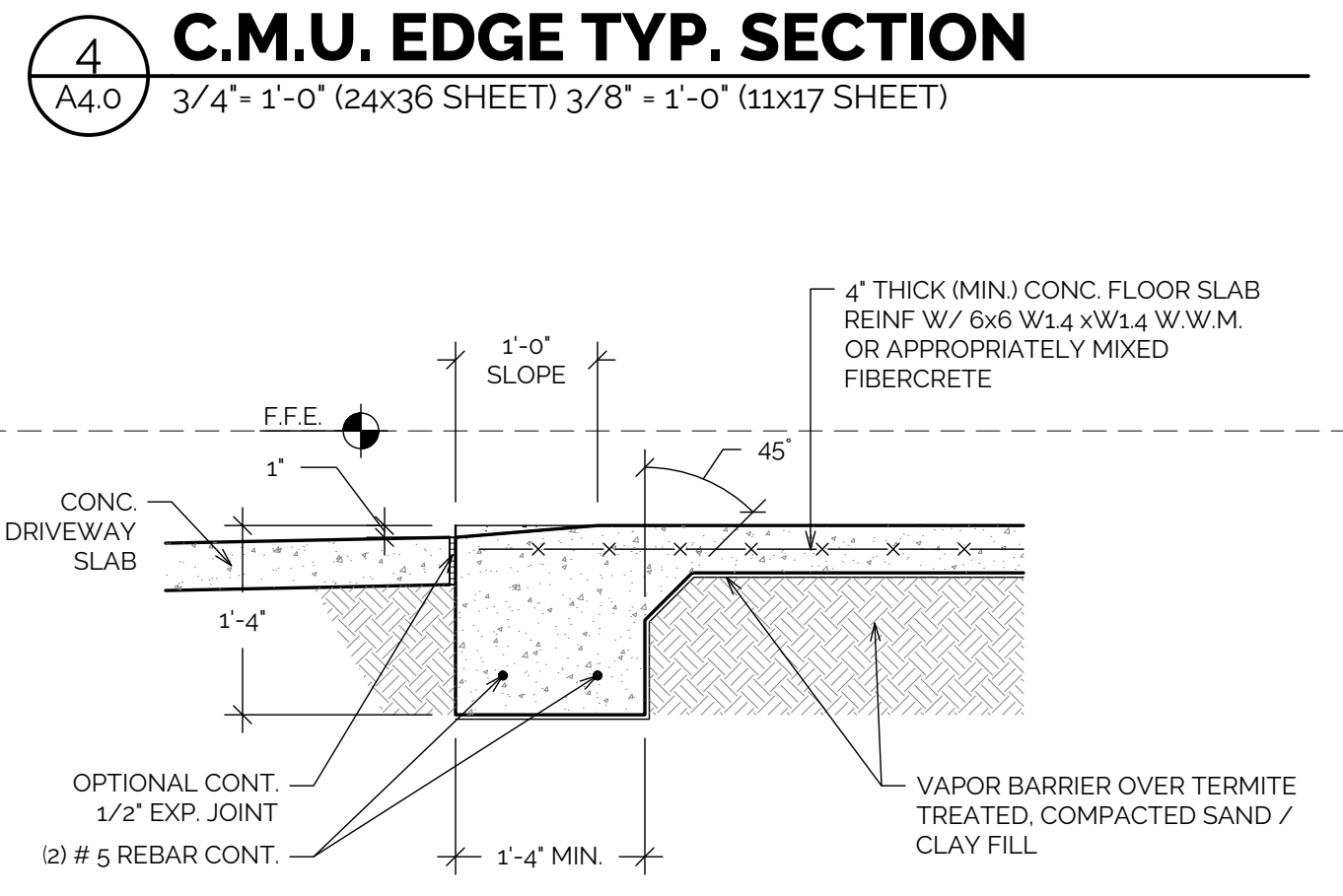
4 C.M.U. EDGE TYP. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



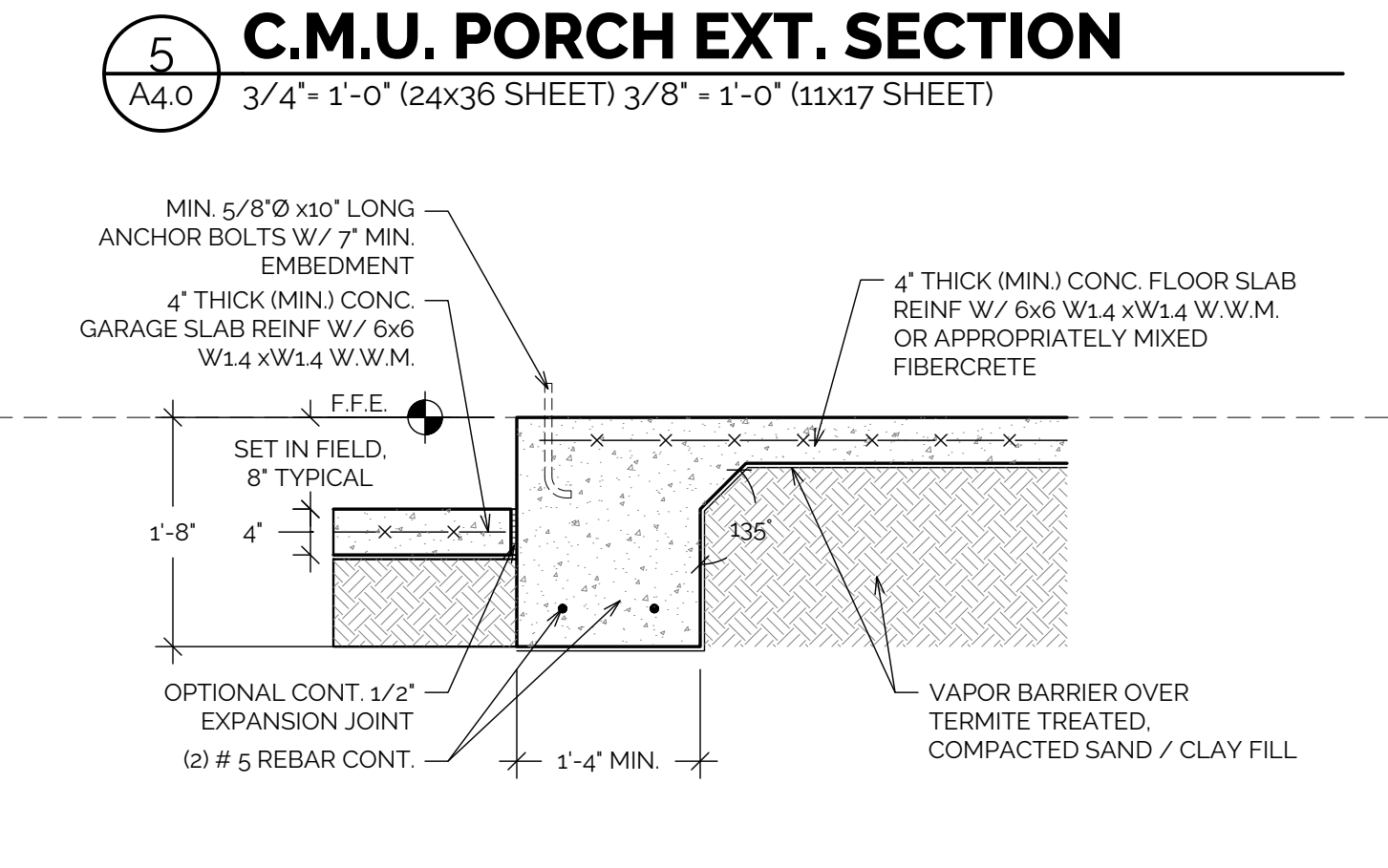
5 C.M.U. PORCH EXT. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



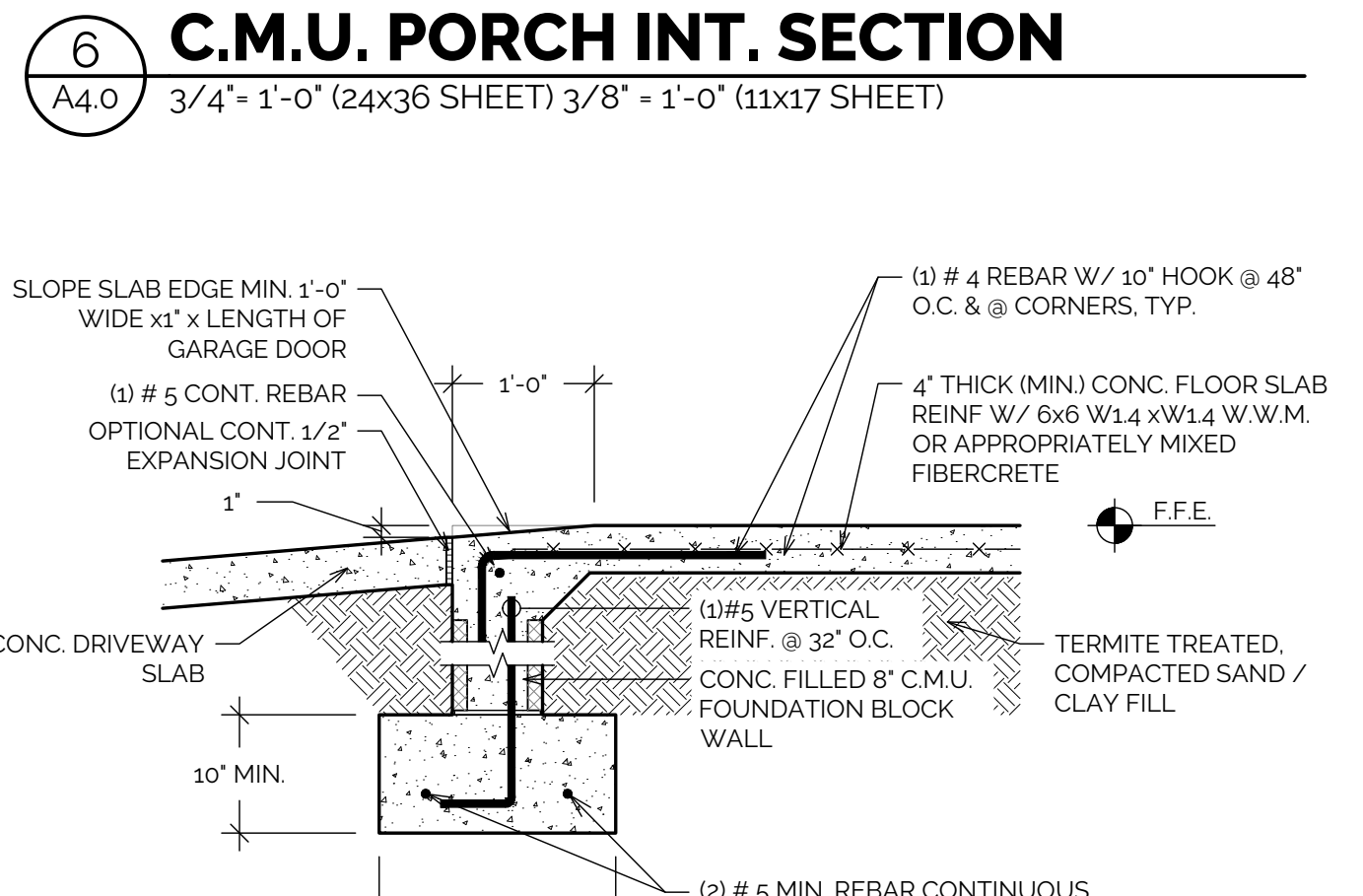
6 C.M.U. PORCH INT. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



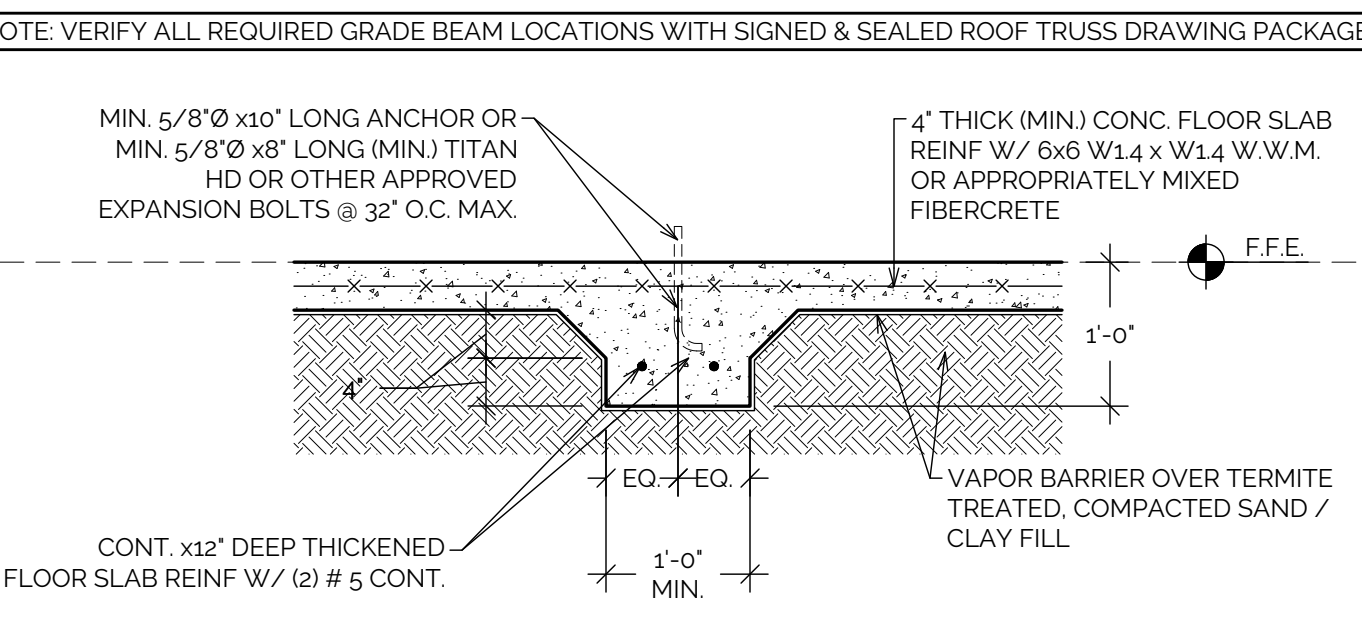
7 MONO SLAB GARAGE EDGE SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



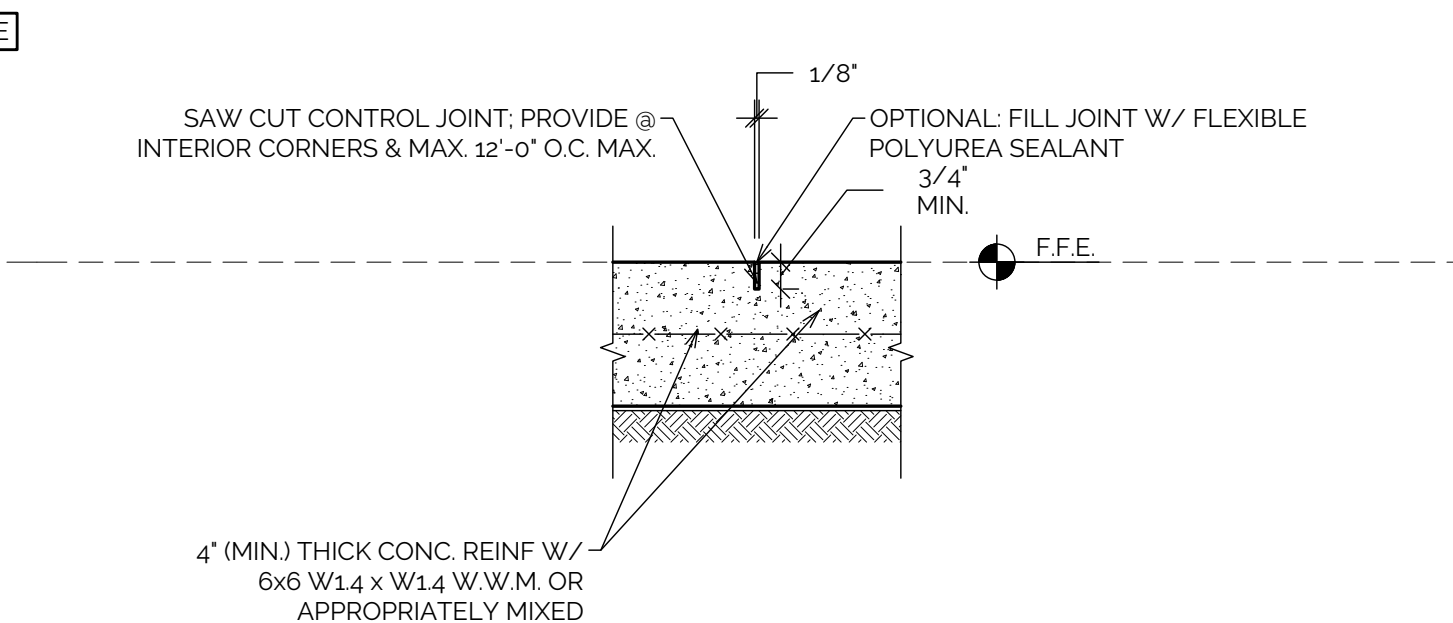
8 MONO SLAB GARAGE INT. SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



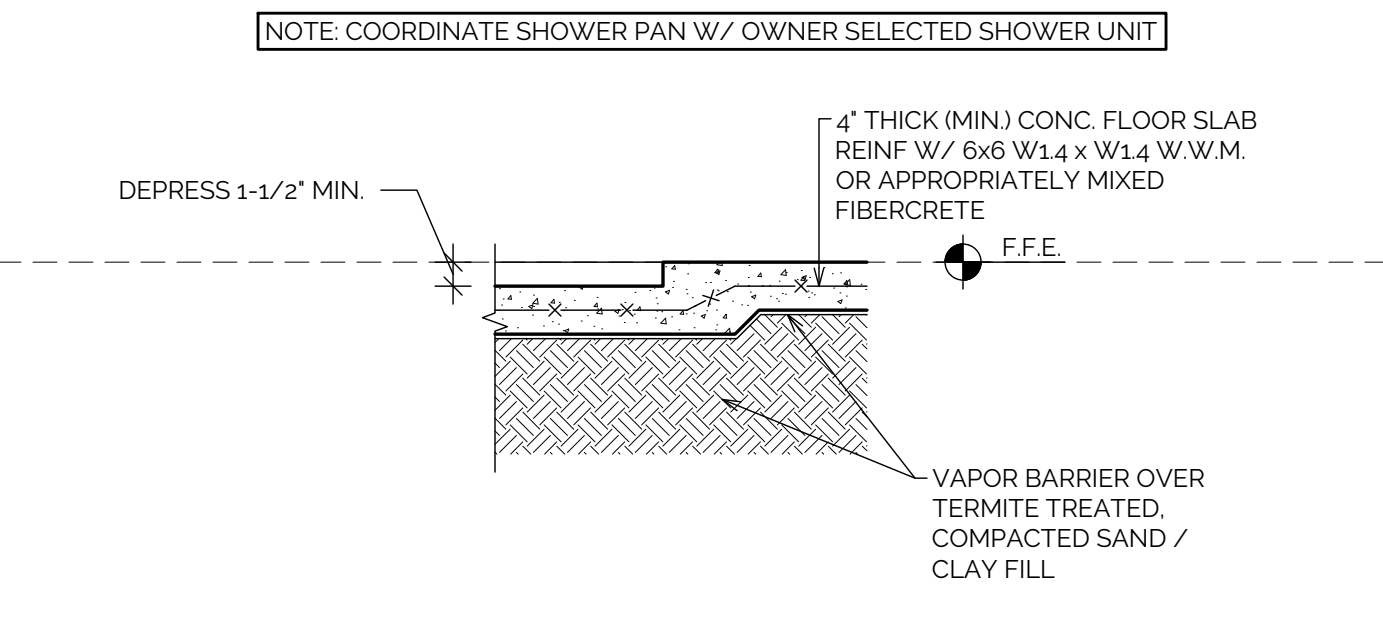
9 C.M.U. GARAGE EDGE SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



10 GRADE BEAM SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



11 CONTROL JOINT DETAIL
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



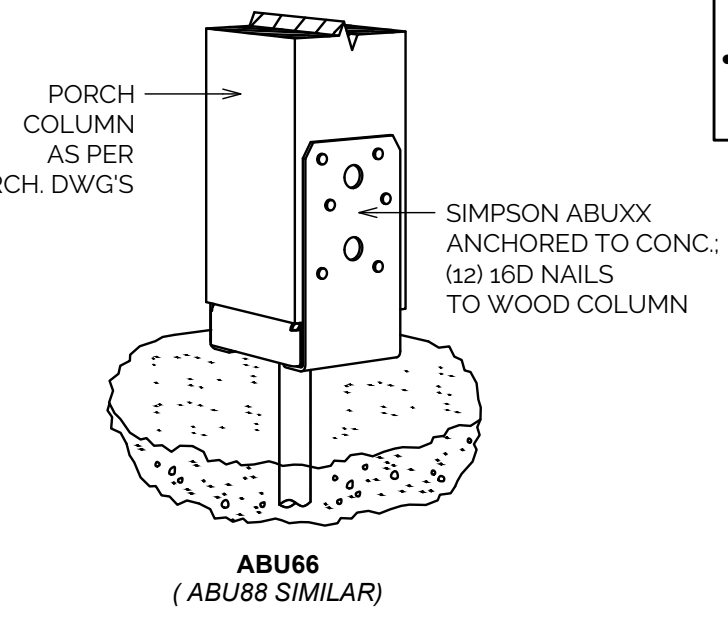
12 SHOWER SLAB SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)

SLAB NOTES:

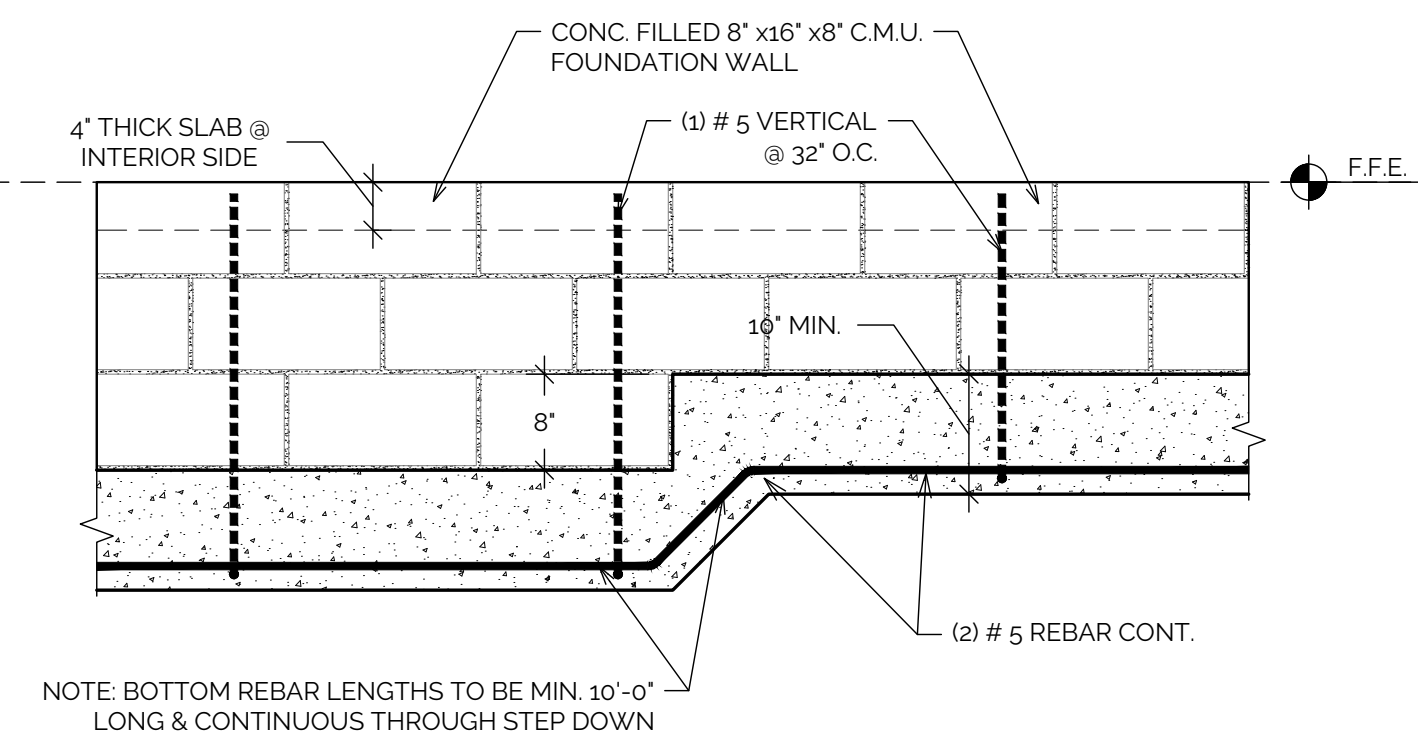
- SEE PLAN NOTES (A0.0) FOR ALL CONC. & FOUNDATION NOTES / SPECIFICATIONS
- COORDINATE LOCATIONS OF ANY REQUIRED GRADE BEAM / THICKENED SLABS WITH ENGINEERED TRUSS DRAWING PACKAGE
- FIELD VERIFY ALL DRAIN LOCATIONS SHOWN WITH TUB / SHOWERS, SINKS, ETC. SPECIFIED BY CONTRACTOR PRIOR TO PLUMBING DRAIN PIPE ROUGH-IN

C.M.U. FOUNDATION WALL NOTES:

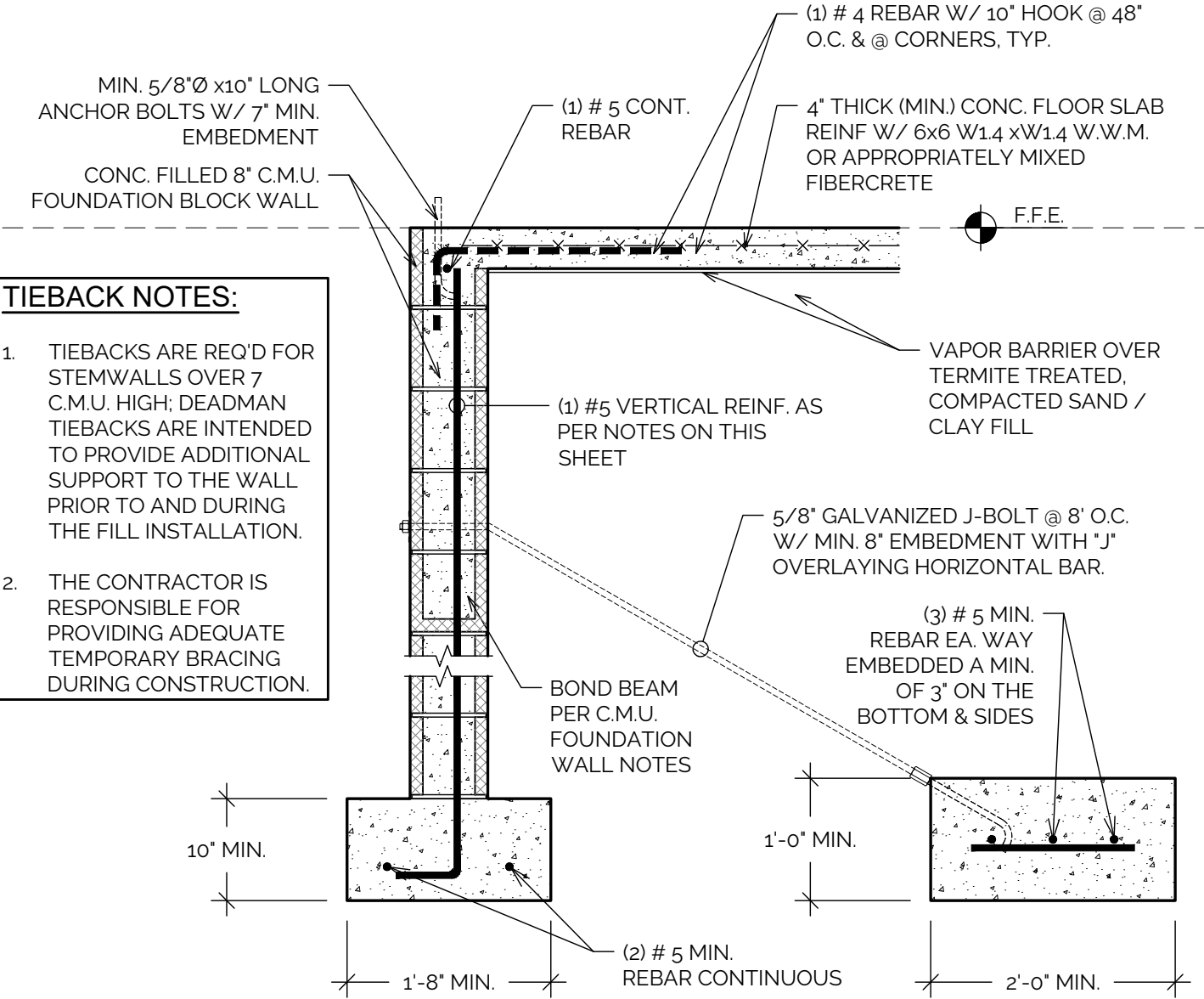
- VERTICALLY REINFORCING: FOUNDATION CONTRACTOR SHALL MODIFY AS REQUIRED BASED ON OVERALL HEIGHT OF STEM WALL.
 - FOR CMU 1-4 COURSES HIGH, INSTALL 1#4 VERTICAL @ 48" O.C. MAX.
 - FOR CMU 5-8 COURSES HIGH, INSTALL 1#4 VERTICAL @ 32" O.C. MAX. (SEE TIEBACK NOTES)
 - FOR CMU 9-10 COURSES HIGH, INSTALL 1#5 VERTICAL @ 24" O.C. MAX. (SEE TIEBACK NOTES)
 - FOR CMU 11-12 COURSES HIGH, INSTALL 1#5 VERTICAL @ 16" O.C. MAX. (SEE TIEBACK NOTES)
 - FOR CMU 13 OR MORE COURSES HIGH SHALL BE ENGINEERED.
- HORIZONTAL REINFORCING:
 - INSTALL MINIMUM OF 1#4 CONT. @ TOP LINTEL BLOCK; HOOK / TIE VERTICAL REINFORCING TO HORIZONTAL TYP.
 - FOR BASEMENT WALLS UNDER 8 COURSES HIGH, INSTALL BOND BEAM W/ 1#4 HORIZ. REBAR NEAR MIDPOINT OF WALL HEIGHT.
 - FOR BASEMENT WALLS OVER 8 COURSES HIGH, INSTALL BOND BEAM W/ 1#4 HORIZ. REBAR NEAR 1/3 POINTS OF WALL HEIGHT.



POST BASE DETAIL
N.T.S.



13 STEP FOOTING SECTION
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



14 C.M.U. DEADMAN TIEBACK DETAIL
A4.0 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)

NOTE: NOT ALL SECTIONS & DETAILS ON THIS SHEET MAY APPLY TO THIS PROJECT.

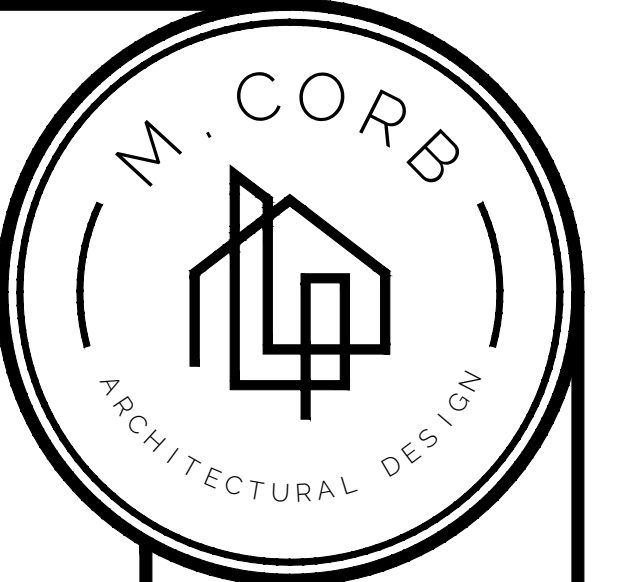


M. CORB ARCHITECTURAL DESIGN
1265 CHURCH AVE.
CHIPLEY, FL 32428
(850) 676-4206
WWW.MCORB.DESIGN

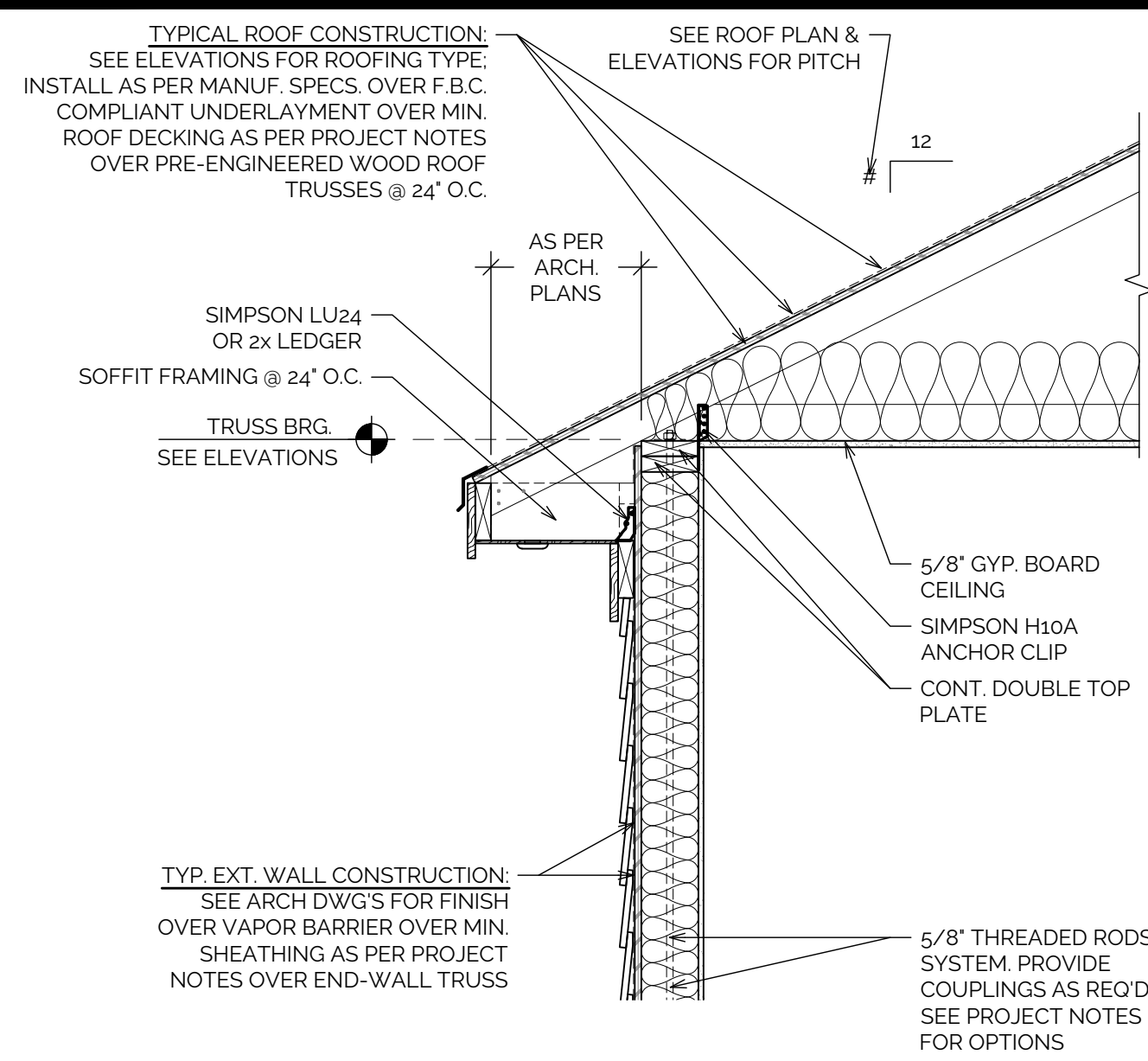
REV.	DESCRIPTION

NEW RESIDENTIAL CONSTRUCTION
FOR: **MCORB HOMES**
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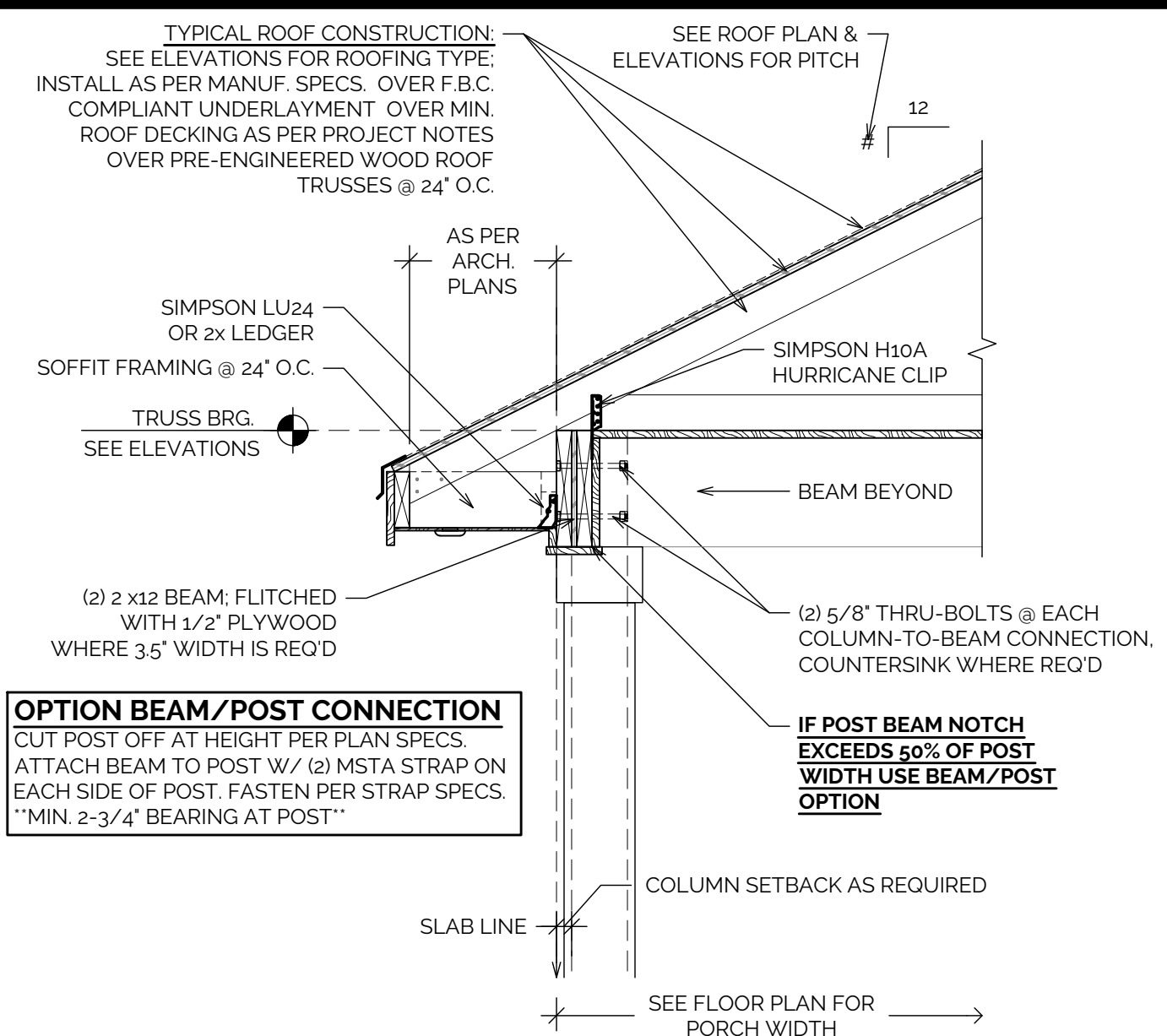
JOB #	2026-050
DRAWN BY:	JCC
PLOT DATE:	4/8/2026
SHEET TITLE	SECTIONS & DETAILS
SHEET NUMBER	A4.0



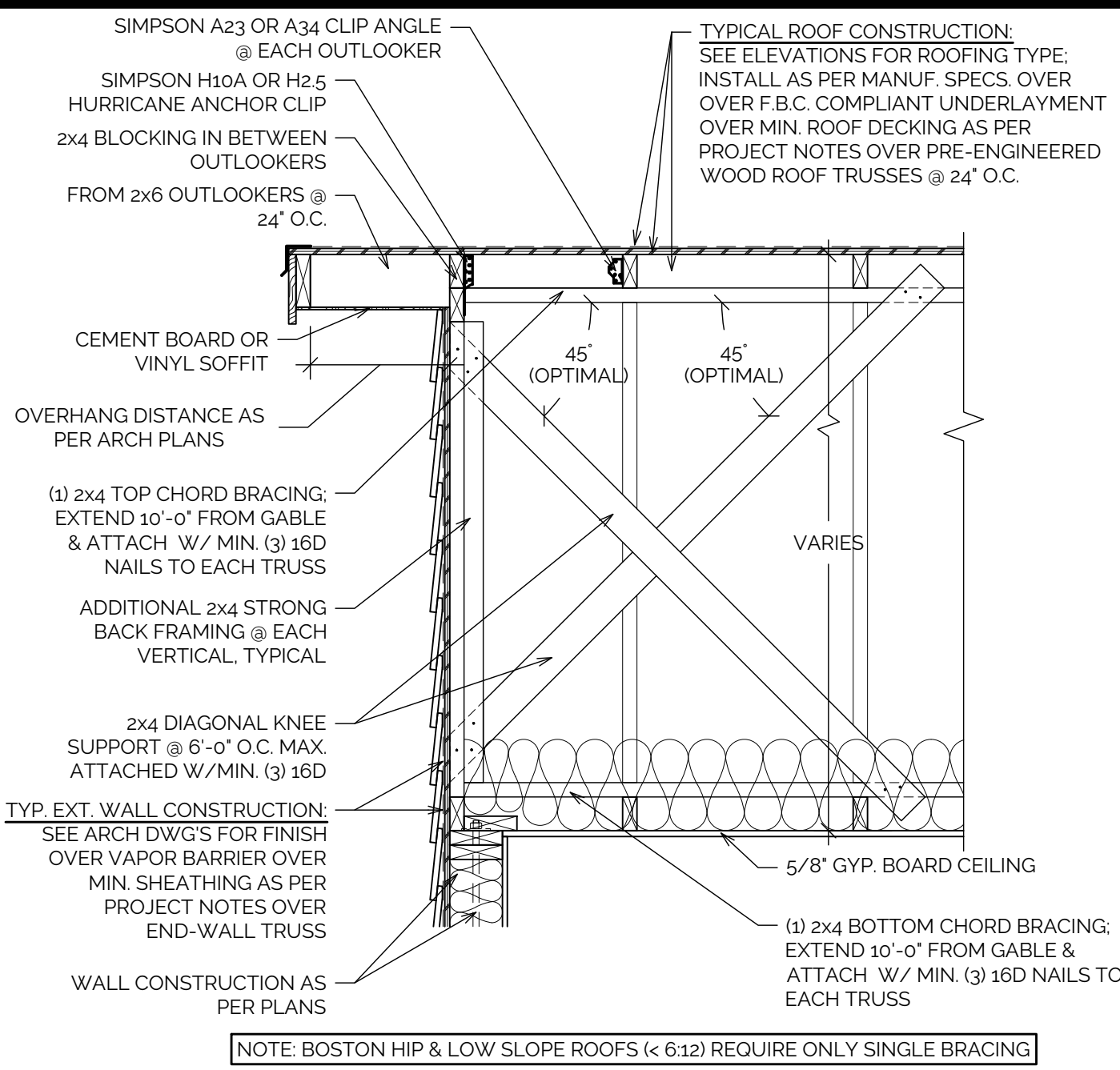
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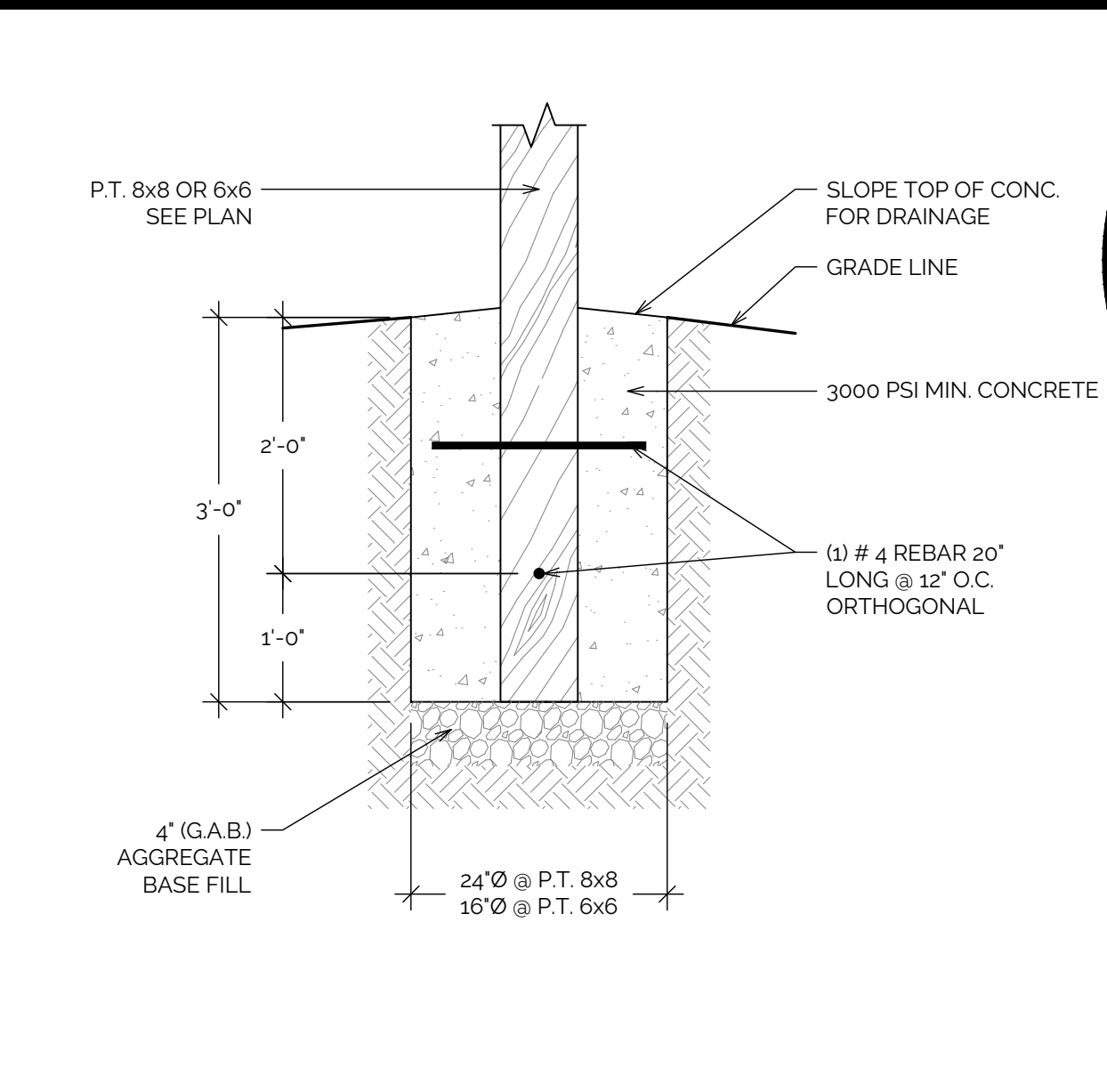
1 TYPICAL WALL / ROOF SECTION
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



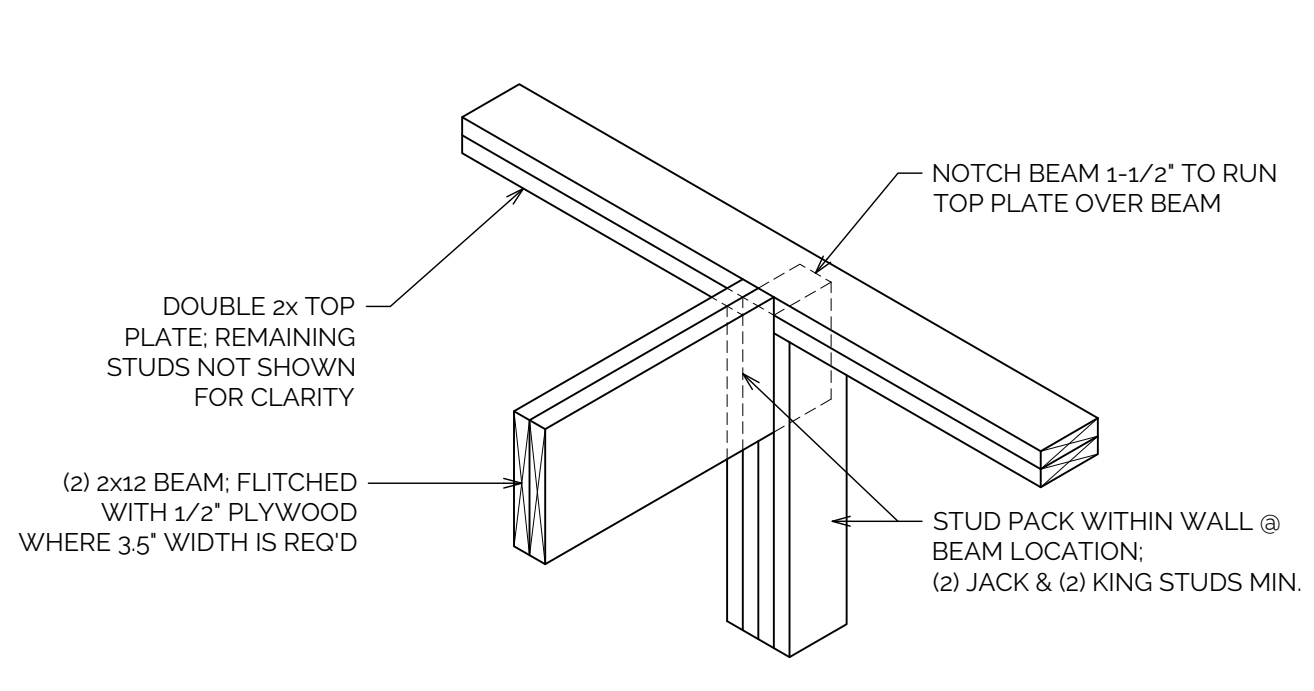
2 TYPICAL PORCH / ROOF SECTION
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



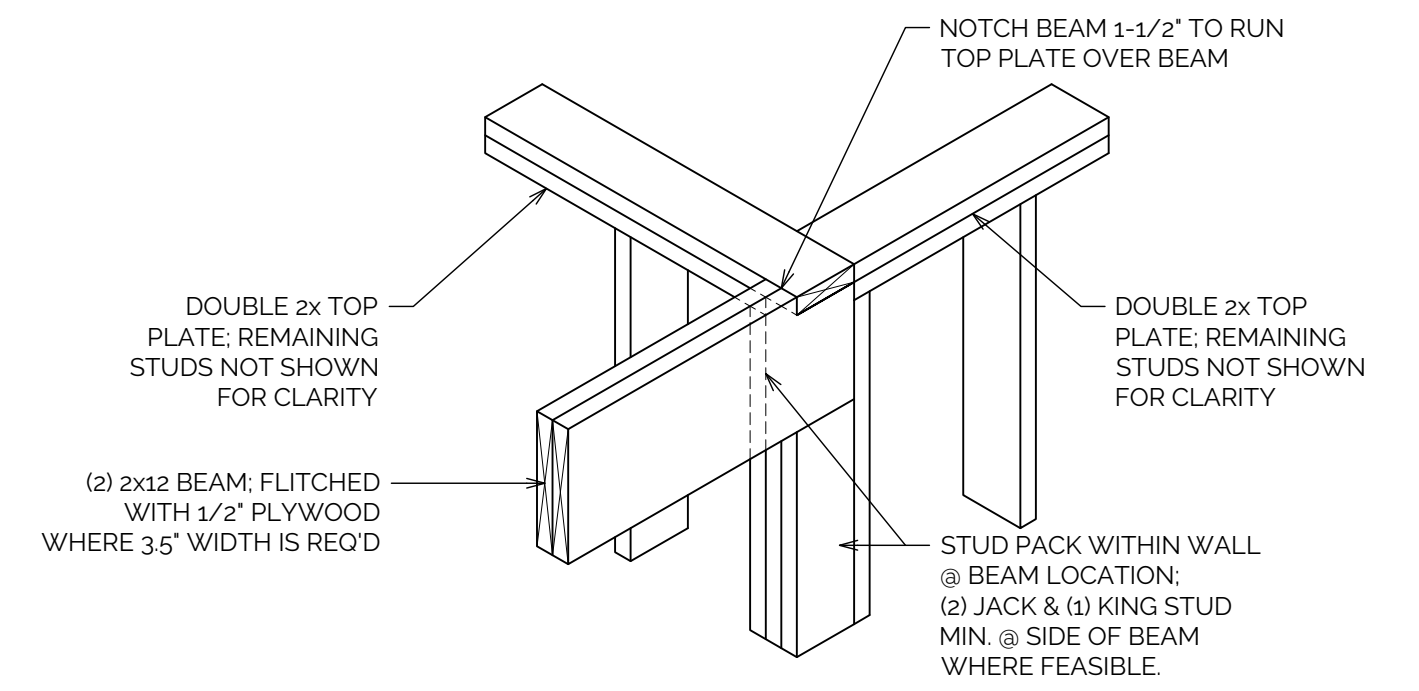
3 GABLE BRACING SECTION
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



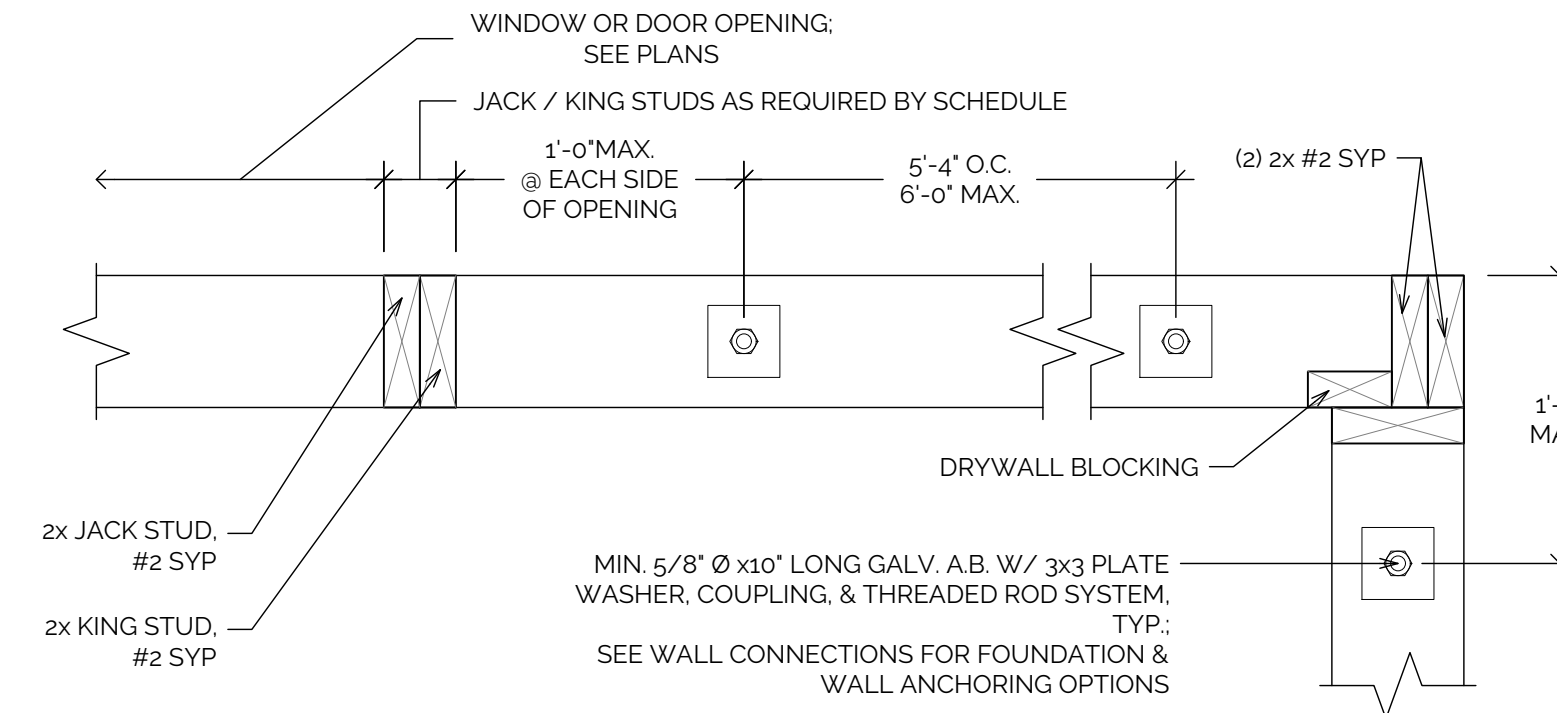
4 COLUMN FOOTING DETAIL
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



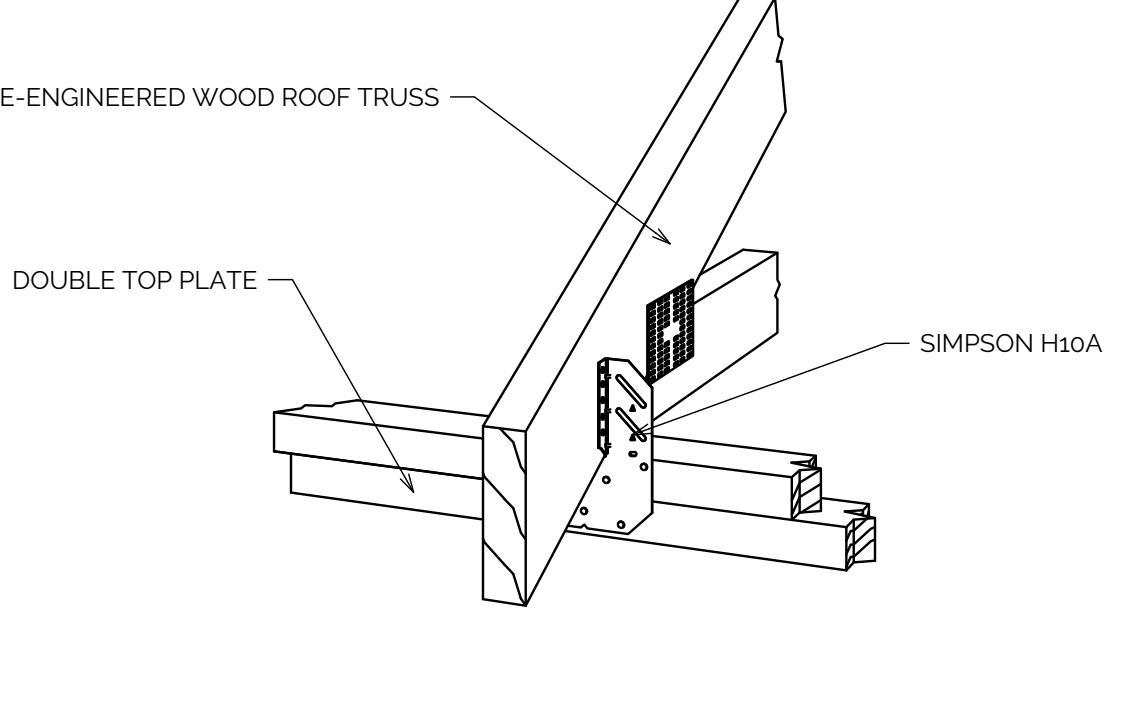
5 TYPICAL BEAM / WALL CONN.
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



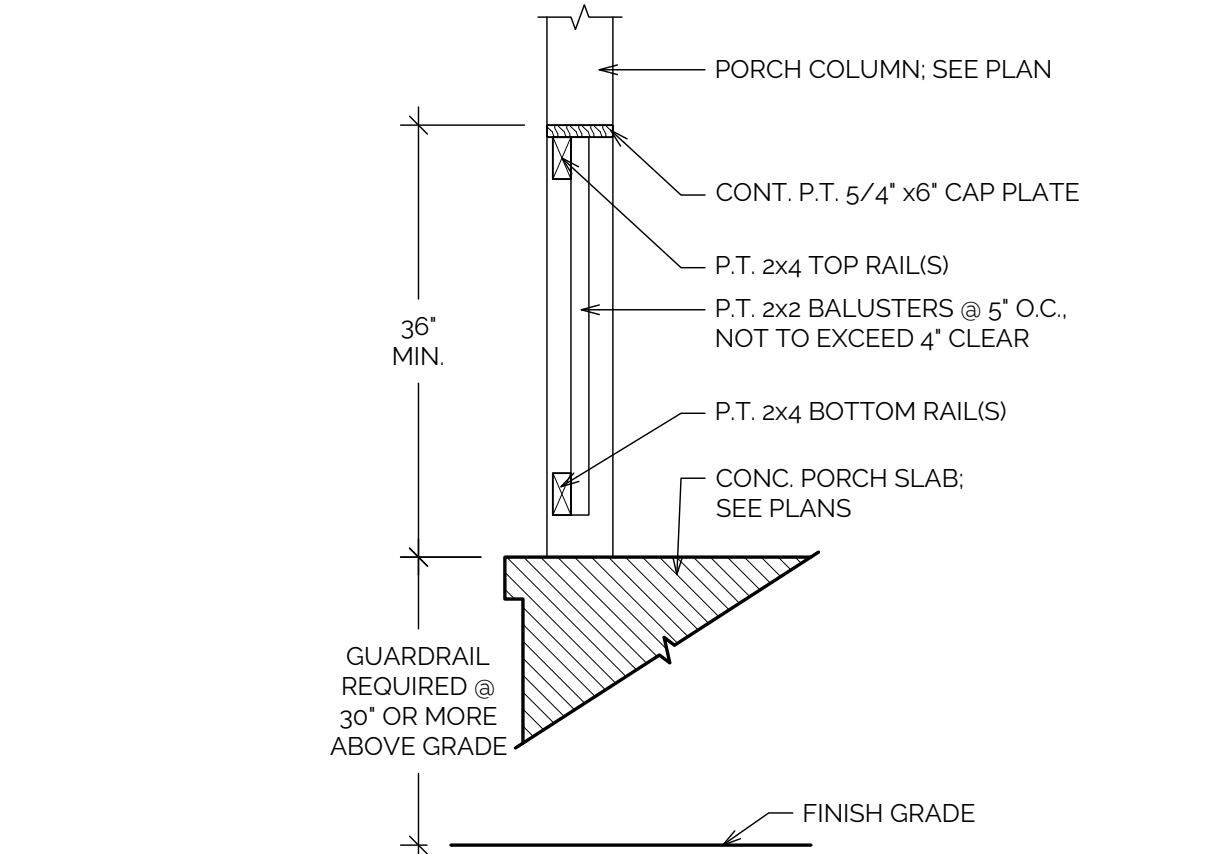
6 TYPICAL BEAM / CORNER CONN.
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



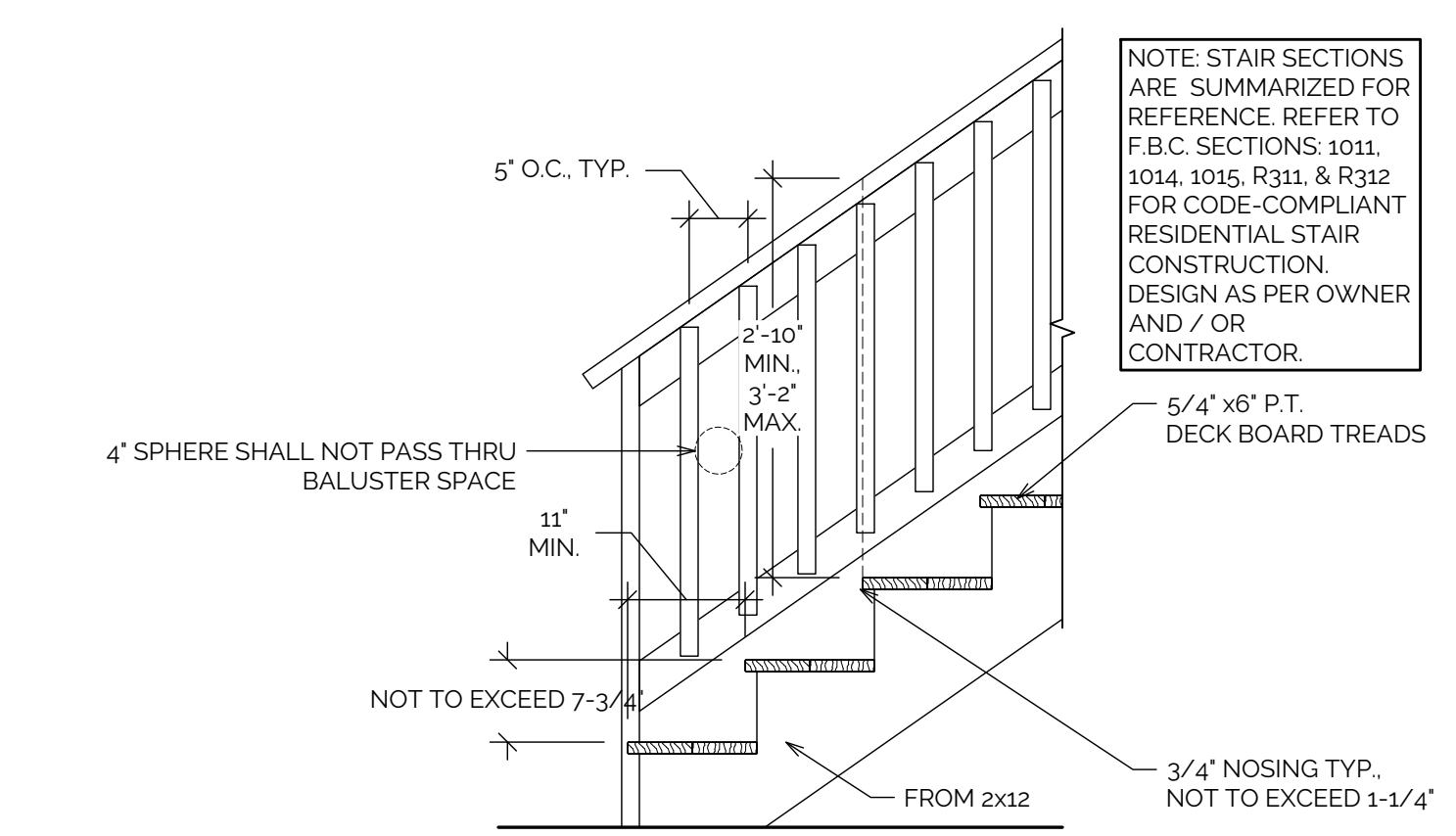
7 TYPICAL WALL ANCHORING PLAN VIEW
A4.1 1-1/2" = 1'-0" (24x36 SHEET) 3/4" = 1'-0" (11x17 SHEET)



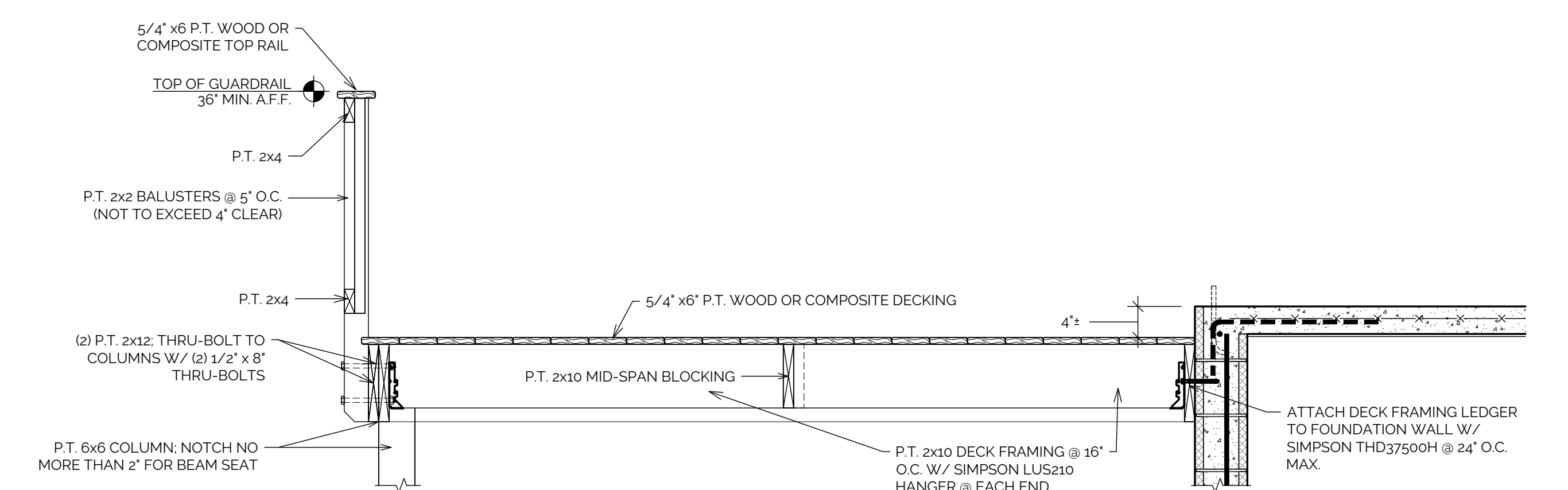
TRUSS TO TOP PLATE CONNECTION
N.T.S.



8 TYP. EXT. GUARDRAIL SECTION
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



9 TYP. EXT. STAIR SECTION
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)



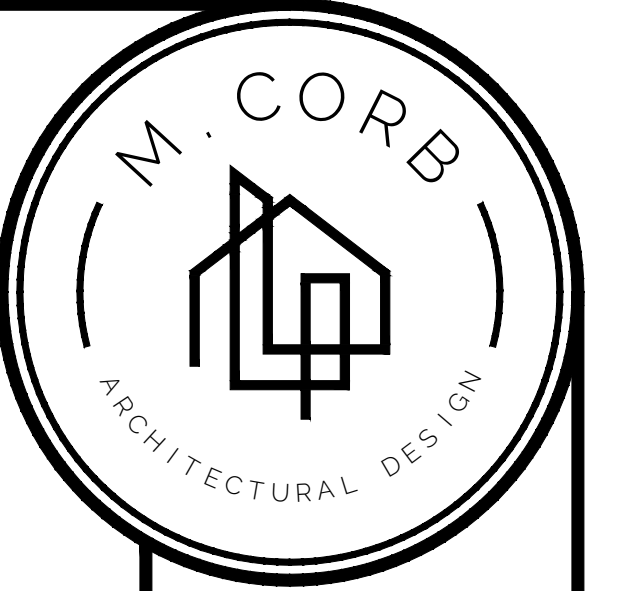
10 DECK SECTION
A4.1 3/4" = 1'-0" (24x36 SHEET) 3/8" = 1'-0" (11x17 SHEET)

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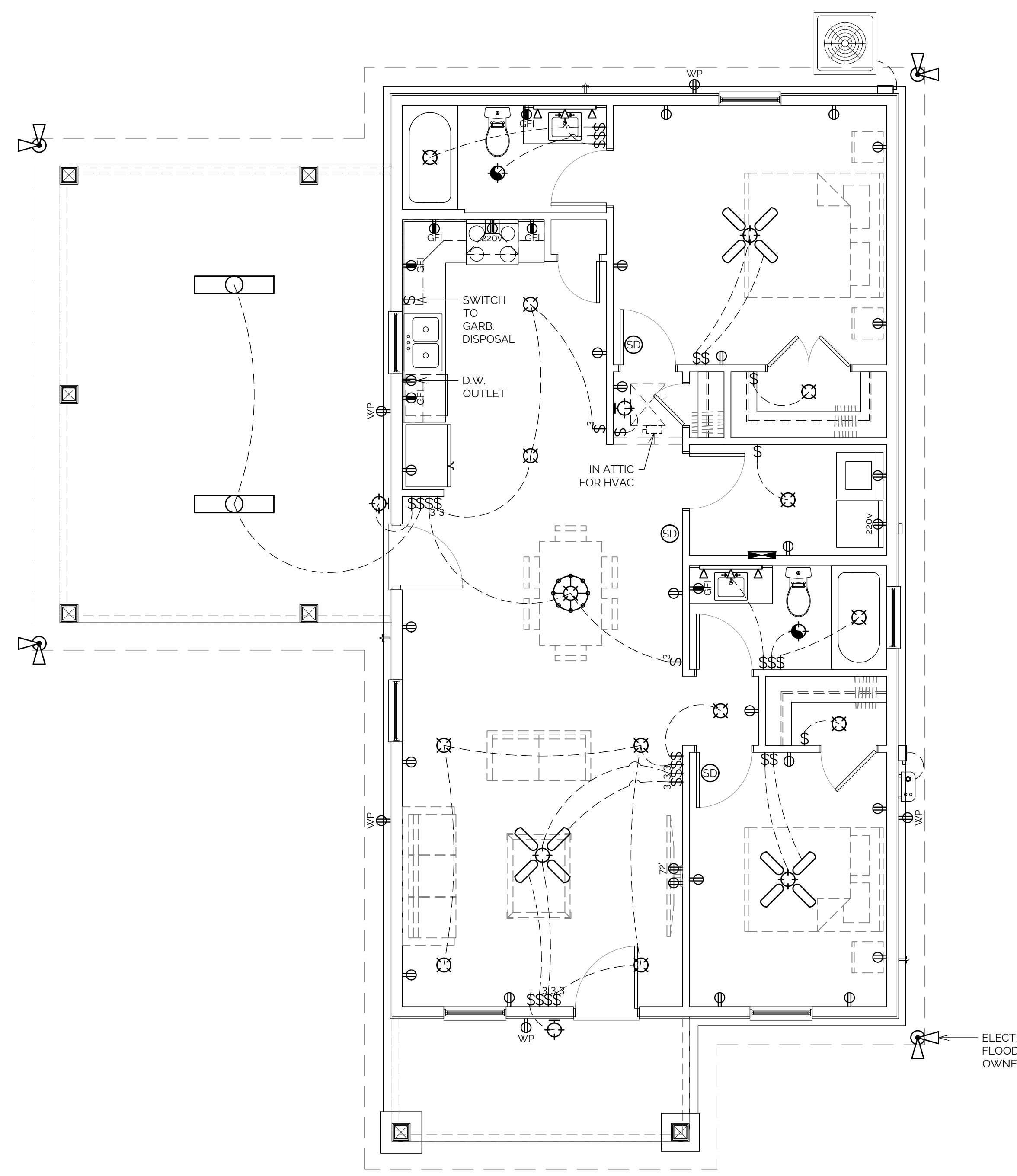
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SHEET TITLE
ELECTRICAL PLAN

SHEET NUMBER
E1.0

- ELECTRICAL NOTES**
- THIS PLAN IS DIAGRAMMATIC. FINAL FIXTURE SELECTIONS AND EXACT MOUNTING LOCATIONS SHALL BE COORDINATED IN FIELD WITH OWNER AND CONTRACTOR. MAINTAIN CODE-REQUIRED DEVICE LOCATIONS, ILLUMINATION LEVELS, AND EGRESS LIGHTING. PROVIDE POWER AND CONTROLS FOR OWNER-FURNISHED EQUIPMENT AS REQUIRED. COORDINATE ANY GAS-FIRED EQUIPMENT WITH OWNER AND MODIFY ELECTRICAL AS REQUIRED.
 - ALL ELECTRICAL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE (FBC), NATIONAL ELECTRICAL CODE (NEC), AND ALL LOCAL AMENDMENTS, PER THE EDITIONS ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
 - ELECTRICAL CONTRACTOR SHALL PROVIDE FINAL LOAD CALCULATIONS, SERVICE AND FEEDER SIZING, PANEL SCHEDULES, BREAKERS, DISCONNECTS, GROUNDING, BONDING, AND LABELING AS REQUIRED BY THE ADOPTED NEC AND LOCAL CODES.
 - ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
 - PROVIDE UL LISTED SMOKE ALARMS PER FBC RESIDENTIAL SECTION R314 (ADOPTED EDITION) AND NFPA 72. SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED WHERE REQUIRED BY CODE.
 - PROVIDE CARBON MONOXIDE ALARMS WHERE REQUIRED BY FBC RESIDENTIAL SECTION R315 (ADOPTED EDITION), INCLUDING DWELLINGS WITH ATTACHED GARAGES OR FUEL-FIRED APPLIANCES. CO ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, OR AS OTHERWISE REQUIRED BY CODE.
 - PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) PROTECTION WHERE REQUIRED BY NEC SECTION 210.12 (ADOPTED EDITION), INCLUDING DWELLING UNIT LOCATIONS IDENTIFIED THEREIN.
 - PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION WHERE REQUIRED BY NEC SECTION 210.8 (ADOPTED EDITION), INCLUDING REQUIRED KITCHEN RECEPTACLES AND OTHER LOCATIONS IDENTIFIED BY CODE.
 - CONTRACTOR SHALL VERIFY ALL ELECTRICAL FIXTURE TYPES, VOLTAGE REQUIREMENTS, DIMMING/CONTROL REQUIREMENTS, AND DEVICE SPECIFICATIONS WITH OWNER PRIOR TO ROUGH-IN AND INSTALLATION.
 - PROVIDE DOORBELL, THERMOSTATS, AND TELECOMMUNICATION/DATA OUTLETS AS REQUIRED BY OWNER AND CODE. LOCATIONS SHALL BE COORDINATED IN FIELD WITH GENERAL CONTRACTOR AND OWNER.
 - VERIFY OUTDOOR LIGHTING, YARD LIGHTING, AND ASSOCIATED POWER/CONDUIT REQUIREMENTS WITH GENERAL CONTRACTOR AND OWNER. COORDINATE ANY UNDER-SLAB CONDUIT REQUIREMENTS WITH FOUNDATION CONTRACTOR PRIOR TO POUR.
 - OWNER AND/OR GENERAL CONTRACTOR ARE ADVISED TO CONDUCT AN ELECTRICAL WALK-THROUGH PRIOR TO INSTALLATION OF WALL FINISHES TO CONFIRM OR MODIFY SWITCH RECEPTACLE, AND LIGHTING LOCATIONS.
 - APPLY THESE NOTES WHERE CONDITIONS EXIST.



ELECTRICAL LEGEND

LIGHTING & FIXTURES	
	CEILING MOUNTED OR CANLESS RECESSED LIGHT FIXTURE AS SELECTED BY G.C. / OWNER
	CEILING MOUNTED OR SUSPENDED LIGHT CHANDELIER FIXTURE AS SELECTED BY G.C. / OWNER
	CEILING MOUNTED PENDANT LIGHT AS SELECTED BY G.C. / OWNER
	WALL MOUNTED ELEC. LIGHT FIXTURE AS SELECTED BY G.C. / OWNER
	WALL MTD. VANITY LTG OR CLG. MTD. TRACK FIXTURE AS SELECTED BY G.C. / OWNER
	SOFFIT MOUNTED FLOOD LAMP FIXTURE AS SELECTED BY G.C. / OWNER
	UNDER-COUNTER OR CABINET TOE KICK STRIP LIGHT FIXTURE AS SELECTED BY G.C. / OWNER
	STRIP LIGHT FIXTURE AS SELECTED BY G.C. / OWNER
	WALL MOUNTED ELEC. WALL SCONCE FIXTURE AS SELECTED BY G.C. / OWNER
	RACEWAY LIGHTING AS SELECTED BY OWNER (CONCEALED IN TRIM @ TRAY CEILING)
	FAN FIXTURE AS SELECTED BY OWNER. SWITCH FAN AS REQUIRED
	FAN / LIGHT FIXTURE AS SELECTED BY OWNER. SWITCH FAN AS REQUIRED
	FAN / LIGHT FIXTURE AS SELECTED BY OWNER. SWITCH FAN AS REQUIRED

SWITCHES & OUTLETS	
	2 WAY SWITCH MOUNTED @ 48" A.F.F.
	3 WAY SWITCH MOUNTED @ 48" A.F.F.
	DIMMER SWITCH MOUNTED @ 48" A.F.F.
	DUPLEX RECEPTACLE 120 V. MOUNTED @ 12" A.F.F.
	DUPLEX RECEPTACLE 120 V. MOUNTED ABOVE COUNTER
	220 V. RECEPTACLE
	220 V. RECEPTACLE FOR ELECTRONIC VEHICLE (EV) CONNECTION
	GFI DUPLEX RECEPTACLE 120 V. MOUNTED @ 12" A.F.F.
	GFI DUPLEX RECEPTACLE 120 V. MOUNTED @ 12" A.F.F. W/ WEATHER PROOF BOX
	DUPLEX RECEPTACLE 120 V. MOUNTED FLUSH W/ CEILING
	DUPLEX RECEPTACLE 120 V. MOUNTED FLUSH W/ FLOOR
	QUADPLEX RECEPTACLE 120 V. MOUNTED @ 12" A.F.F.

MISC	
	CEILING OR WALL MOUNTED SMOKE OR CARBON MONOXIDE DETECTOR
	SPECIAL SERVICE CONNECTION / NON-FUSIBLE DISCONNECT SWITCH
	SPECIAL SERVICE CONNECTION / JUNCTION BOX
	200 AMP ELECTRICAL SERVICE PANEL
	WIRE RUN TO SWITCH

ELECTRICAL PLAN
1/4" = 1'-0" (24x36 SHEET) 1/8" = 1'-0" (11x17 SHEET)

NOTICE OF PUBLIC HEARING

The Planning & Zoning Commission of the City of Chipley, FL will conduct a public hearing at the City Hall Council Chambers located at 1442 Jackson Ave, Chipley, FL and via Zoom, on Thursday, May 7, 2026, at 3:00 p.m. CST. The purpose of this hearing is to review and consider the following request:

1. Request for a Variance – John Duncan. 5th Street, Parcel ID: 00000000-00-1941-0001.
2. Request for a Development Order -Jack's Family Restaurant, 1331 Main Street, Parcel ID: 00000000-00-2218-0004.
3. Request for a Certificate of Appropriateness – JCorb LLC, 747 3rd Street, Parcel ID: 00000000-00-1807- 0000.

You are invited to a Zoom webinar!

When: May 7, 2026, 03:00 PM Central Time (US and Canada)

Topic: Planning & Zoning Commission Meeting

Join from PC, Mac, iPad, or Android: <https://us02web.zoom.us/j/87559690479>

Phone one-tap: +13126266799,,87559690479# US (Chicago) +16465588656,,87559690479# US (New York)

Join via audio:

+1 312 626 6799 US (Chicago) +1 646 558 8656 US (New York) +1 646 931 3860 US +1 301 715 8592 US (Washington DC) +1 305 224 1968 US +1 309 205 3325 US +1 360 209 5623 US +1 386 347 5053 US +1 507 473 4847 US +1 564 217 2000 US +1 669 444 9171 US +1 669 900 9128 US (San Jose) +1 689 278 1000 US +1 719 359 4580 US +1 253 205 0468 US +1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston)

Webinar ID: 875 5969 0479

All citizens and interested parties are encouraged to attend the public hearing in person or via zoom. Any inquiries regarding the public hearings or any person requiring special accommodation due to disability or physical impairment, including speech or hearing impairments, should contact the City Hall at 850-638-6350 at least five (5) business days prior to the hearing.

Tamara Donjuan
Code Enforcement and Planning Officer



City of Chipley

1442 Jackson Avenue
P.O. Box 1007
Chipley, Florida 32428
(850) 638-6350



NOTICE OF PUBLIC HEARING

April 9, 2026

Dear Citizen:

The City of Chipley Planning & Zoning Commission will conduct a public hearing on May 7, 2026, at 3:00 p.m., City Hall Council Chambers. The purpose of this hearing is to review and consider the following request:

JCorb LLC is requesting a certificate of appropriateness for the construction of a new home in the Historical District.

Property Location: 747 3rd Street
Parcel ID #: 00-1807-0000.

Chapter 18 - Historic Preservation - Sec. 18-56. Certificate of appropriateness required application.

(d) Following the receipt of an application for a certificate of appropriateness, the planning and zoning commission shall determine whether in its opinion the proposed work would adversely change, destroy or affect any exterior architectural feature of the improvement upon which the work is to be done or, if it is new construction, whether it would lack harmony with the historic site or district or the external appearance of neighboring improvements, or adversely affect the artistic quality of the surrounding district, and whether the work would be appropriate for and consistent with the purposes of this chapter. Following such review, the planning and zoning commission shall issue or deny the certificate of appropriateness.

In accordance with City Code of Ordinances Chapter 18 – Sec. 18-85. Public Hearings, property owners located within the established historical district are to be notified by mail at least 15 days prior to the scheduled hearing.

If you have any questions or need additional information regarding this request, please contact City Hall prior to the public hearing at (850) 638-6350.

Sincerely,

Tamara Donjuan
Code Enforcement / Planning Officer

**CITY OF CHIPLEY
AFFIDAVIT OF MAILING**

April 9, 2026

Re: Notice of Public Hearing for the Planning and Zoning Commission, on May 7, 2026, at 3:00 pm located at 1442 Jackson Avenue, Chipley, FL 32428, in the city's chambers,

I, Tamara Donjuan, designated and employed by the City of Chipley, Florida, did mail the notice of a public hearings to the following:

See Exhibit A, on April 9, 2026.

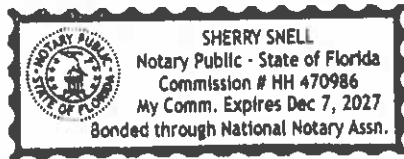


Employee Signature



Date

Sworn to and subscribed before me this 9th day of April, 2026 by
Tamara Donjuan, who is personally known by me.



Signature of Notary Public

EXHIBIT A

CAIN JAMES F

CAIN LINDA K

706 3RD ST
CHIPLEY, FL 32428

BOWLIN AUDREY
754 3RD ST
CHIPLEY, FL 32428

HAZEN CHARLES
HAZEN JANET
755 3RD ST
CHIPLEY, FL 32428

SPEEDLING MICHAEL D
5387 NW SURFSIDE DR
ALTA, FL 32421

HUTCHINSON JUNE
760 3RD ST
CHIPLEY, FL 32428

THE ENTRUST GROUP INC
555 12TH ST
STE 1250
OAKLAND, CA 94607

DRAAYOM PHILLIP PAUL
DRAAYOM GRETA B
720 3RD ST
CHIPLEY, FL 32428

BASS AUSTIN JAMES
BASS MAKYNZIE O'BRYAN
789 2ND ST
CHIPLEY, FL 32428

J CORB LLC
912 HWY 277
CHIPLEY, FL 32428

FERENCZY SANDOR R
FERENCZY LAURA L
636 W WALNUT ST
LANCASTER, PA 17603

HALL THOMAS LEON
HALL AMANDA LORENE
764 3RD ST
CHIPLEY, FL 32428

HANSEN MICHAEL
745 3RD ST
CHIPLEY, FL 32428

ROGERS GERALD
ROGERS KATHLEEN
730 3RD ST
CHIPLEY, FL 32428

~~SPITZER PATRICIA
768 3RD ST
CHIPLEY, FL 32428~~

EVERETT WILLIAM F
PITTMAN LILLIAN P
743 3RD ST
CHIPLEY, FL 32428

JOINER SCOTT
JOINER KIM
742 3RD ST
CHIPLEY, FL 32428

BRANNON LEOLA PORTER
PARISH TAMI P
782 3RD ST
CHIPLEY, FL 32428

HAYS FRANCIS B
HAYS JUANITA HENDERSON
741 3RD ST
CHIPLEY, FL 32428

MINCHIN MALCOLM G JR
MINCHIN REBEKAH LYNN
744 3RD ST
CHIPLEY, FL 32428

ZURAFF JAMES L JR
ZURAFF CRYSTAL A
790 3RD ST
CHIPLEY, FL 32428

WILLIAM BRETT AND PAMELA
HON BUTLER CO-TRSTE
731 3RD ST
CHIPLEY, FL 32428

REHBERG MONICA C

746 3RD ST
CHIPLEY, FL 32428

WILLIAMS ASHLEY
WILLIAMS WENDY
794 3RD ST
CHIPLEY, FL 32428

NEWTON ANDREW
1311 WELLS AVE
CHIPLEY, FL 32428

PLATT DARLA
PLATT JEFFERY MARK
748 3RD ST
CHIPLEY, FL 32428

~~DON JUAN EDGAR
DON JUAN ARMARA
769 3RD ST
CHIPLEY, FL 32428~~

GARNER BENJAMIN GARRETT
GARNER BONNIE
110 OAKLAND SPRINGS
UNIT 11104
MADISON, AL 35756

GRAHAM JOHN
761 3RD ST
CHIPLEY, FL 32428

National Flood Hazard Layer FIRMette



5°32'51"W 30°46'46"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<p>SPECIAL FLOOD HAZARD AREAS</p> <ul style="list-style-type: none"> Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AP Regulatory Floodway 	<p>OTHER AREAS OF FLOOD HAZARD</p> <ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, An of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due to Levee. See Notes. Zone X Area with Flood Risk due to Levee Zone
<p>OTHER AREAS</p> <ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMIRs Area of Undetermined Flood Hazard Zone X 	<p>GENERAL STRUCTURES</p> <ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
<p>OTHER FEATURES</p> <ul style="list-style-type: none"> Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature 	<p>MAP PANELS</p> <ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/9/2026 at 4:20 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Washington County, FL

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Maps have been compiled from the most authentic information available and is to be used for assessment purposes only. Washington County Property Appraiser's Office assumes **NO** responsibility for the errors and/or omission contained herein. **THIS MAP IS NOT A SURVEY**

Parcel Summary

Parcel ID 00000000-00-1807-0000
 Location Address 747 3RD ST
 CHIPLEY 32428
 Brief Tax Description 4 4 13 BLK 41, LESS 138' OFF S. SIDE, S1/2 OF SW1/4 ORB 1305 P 429
 (Note: Not to be used on legal documents.)
 Property Use Code VACANT (0000)
 Sec/Twp/Rng 4-4-13
 Tax District Chipley (2)
 Millage Rate 20.8507
 Acreage 0.468
 Homestead N

[View Map](#)

*The Property Use code is a Department of Revenue code. For zoning information please contact the Planning and Zoning department at 850-415-5093.

Owner Information

Primary Owner
[J CORB LLC](#)
 912 HWY 277
 CHIPLEY, FL 32428

Valuation

	2025 Final Values
Building Value	\$0
Extra Features Value	\$0
Land Value	\$15,200
Land Agricultural Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$15,200
Assessed Value	\$15,200
Exempt Value	\$0
Taxable Value	\$15,200
Save Our Homes or AGL Amount	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Land Information

Land Use	Number of Units	Unit Type	Frontage	Depth
000000 - RESIDENTIAL	80	FF	80	255

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Vacant/Improved	Grantor	Grantee
N	5/28/2024	\$25,000	WD	1305/429	Vacant	MARTIN MARY	J CORB LLC
N	7/7/2006	\$40,000	WD	0678/0218	Vacant	TATE AMY & ETAL	MARTIN MARY
N	9/2/2003	\$0	N/A	0495/0152	Vacant	MALESZEWSKI EDWARD ESTATE	MARTIN MARY & ETAL

Tax Collector Site

[Click here to view the Tax Collector website.](#)

Generate Owner List by Radius

Distance:

Use Address From:

 Owner
 Property

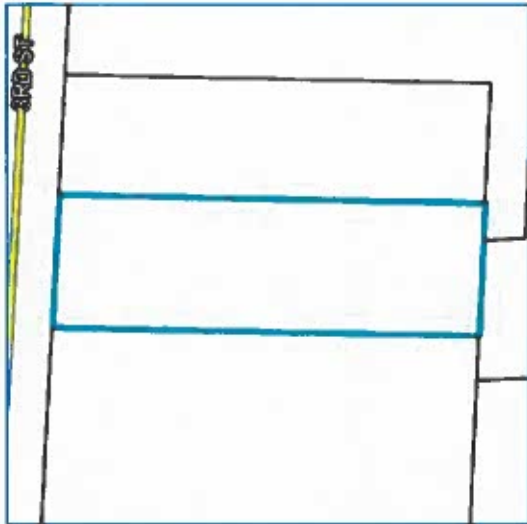
Select export file format:

International mailing labels that exceed 5 lines are not supported on the Address labels (5160). For international addresses, please use the xlsx, csv or tab download formats.

- Show All Owners
- Show Parcel ID on Label

Skip Labels

Map



No data available for the following modules: Building Information, Extra Features, Sketches.

Washington County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Developed by
SCHNEIDER
GEO SPATIAL

Add/Change/Void Cash Receipt CD1281258



Money Received

	Amount	Type	Payment Info
<input checked="" type="checkbox"/>	50.00	CK	2136

Distributions

	Type	Amount	Apply To	Description	Port	Discount Per Forgive
<input checked="" type="checkbox"/>	FMSD	50.00	DIST CD: 2550	PLANNING & ZONING FEES-747 3RD ST		0.00

Operator Code: JANET
Receipt Code: CD1281258
Receipt Date: 04/09/26
 Voided
Distributions: 50.00
Money: 50.00
Change Due: 0.00
 From: JENNIFER CORBITT
Email Address:
Destination Phone: