

City of Chipley Development Order

File No. 484

Fees Paid \$ 500

Name of Owner: WDF Park Alliance, LLC

Phone #: (503) 515-2925

Address: 6420 NW LAMBERT LN CAMAS, WA 98607

Name of Developer/Contractor: BOBBY BOWEN (KLB CONTRACTING, LLC)

Address: 3085 NORTHRIDE LN. BONIFAY, FL

Phone #: (850) 7686478

Type of Development: RESTAURANT/FOOD VENDOR SERVICES Parcel Size: .14 ACRES

Location of Development: 684 7TH ST. CHIPLEY, FL

Land Use Designation: COMMERCIAL Sq. Ft. of Building 2,400

Site Plan Required? Yes ☒ No ☐

Stormwater Permit Required? Yes ☐ No ☒

City Utilities Needed? Potable Water ☒ Waste Water ☒ Natural Gas ☐ Garbage ☒

Attachments to Order: 1. _____ 2. _____

3. _____ 4. _____

Date of Planning & Zoning Commission Approval: JANUARY 23, 2024

Date of City Council Approval: _____

Contingencies/Conditions of Approval: _____

The City Council hereby authorizes the development of land within the City of Chipley, Florida, as specified herein. Any development undertaken pursuant to this order shall be in strict conformance with the application for development approval and site plan(s) as approved by the City.

Signature – City Administrator _____

Date _____

Attest _____

Date _____

Owner/Developer/Contractor: [Signature]

SEAL

Add/Change/Void Cash Receipt CD3007462

Print Receipt	Void Receipt	Close Receipt	UBS	STS	FMS
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Money Received

	Amount	Type	Payment Info
	500.00	PP	VISA: 5989 / AUTH: 148153211

Provider Fees Paid: \$6.00**Distributions**

	Type	Amount	Apply To	Description	For	Discount Pen Forgive
	FMSD	500.00	DIST CD: 2550	PLANNING & ZONING FEES	KLB CONTRACTING	0.00

Operator Code: DEANNA**Receipt Code:** CD3007462**Receipt Date:** 12/20/23☐ **Voided****Distributions:** 500.00**Money:** 500.00**Change Due:** 0.00 **From:** KLB CONTRACTING**Email Address:****Destination Phone:**



City of Chipley

Land Use Compliance Certificate

Fee Amount \$ included PD



Verification provided for (Owner's Name): Wolf Pack Alliance LLC

Project Site Address: 684 7TH ST. CHIPLEY, FL

Phone Number: _____

Contractor Name/Address BOBBY BAWEN (KLB CONTRACTING, LLC)

Contractor Phone # (850) 768-6478 Parcel I.D. Number: 00-1430-0000

City of Chipley Future Land Use Designation

Low Density Residential	☐	Neighborhood Commercial	☐
Medium Density Residential	☐	Historic Commercial	☐
High Density Residential	☐	Industrial	☐
Historic <u>Commercial</u>	☒	Recreational	☐
Commercial	☐	Public/Semi Public/Educational	☐

Flood Zone: ☐ Yes ☒ No Zone Type X

Scope of work (Please provide details of all work): SITE BUILT STEEL BUILDING WITH INTERIOR BUILD OUT AS PER ISSUED PRELIM CONSTRUCTION DRAWINGS

A site inspection has been performed on the above development site within the City of Chipley, Florida. It is hereby verified that all site development standards meet the City's land use, zoning and comprehensive planning requirements.

Applicant

12/18/23

Date

City Official Verifying Compliance

Date

Notice to Applicant: This certificate must be presented to the Washington County Building Official and is requisite to issuance of a "Certificate of Occupancy" for your construction project.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Name: Bobby Bowen

Address: 3085 Northside Ln.
Bonifay, FL 32425

Phone #: _____

Address of property to be improved: 684 7th St. Chipley, FL

List of improvements including materials to be used, paint colors, and other details which will alter the current appearance of the structure or property.

ENGINEERED STEEL BUILDING W/ METAL ROOF IN COLOR
W/ COLORED WALLS.

Note: Include a site plan showing location of proposed construction if the improvement is not on the existing structure.

I (name of applicant) Bobby Bowen certify that the information submitted truly reflects all improvements which will be made on the property. Should any changes be desired, I will notify the City of Chipley. I acknowledge that penalties can be the result of varying from the plans or description submitted and approved.

Signed: [Signature] Date: 12/18/23

Action: Approved _____ Not Approved _____

Comments: _____

Signature/Title/Authority

NFWFMD Report

Geographical Information

Latitude/Longitude: 30.78023,-85.53765
 Address: 684 7th St, Chipley, FL, 32428, USA
 Parcel ID: 00000000-00-1430-0000
 Firm Panel (Preliminary): N/A
 Firm Panel (Effective): 12133C0070D

Effective SFHA Flood Map (Effective Issue Date: 7/4/2011)



Flood Information

Flood Zone Information

Preliminary Flood Zone

Location of Interest: N/A
 Parcel: N/A
 Base Flood Information*: N/A

Effective Flood Zone

Location of Interest: X
 Parcel: X:100%;
 Base Flood Information*: N/A

*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

Zone VE: A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding; (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided; (AH) Shallow flooding base floodplain where BFEs have been determined. **Zone A:** An area inundated by 100-year flooding, for which no BFEs have been determined. **Zone 0.2PCT (0.2 PCT ANNUAL CHANCE FLOOD HAZARD/X500):** An area inundated by 500-year flooding and an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

Disclaimer:

Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NFWFMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

Washington County, FL

IMPORTANT NOTICE

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is **NOT TO BE USED AS AN OFFICIAL RECORD OR FOR FINANCING PURPOSES, INSURANCE PURPOSES, PROPERTY OWNERSHIP** (Deeds are the official record of title), **ELIGIBILITY FOR ANY PROGRAM, AND/OR ADDRESS VERIFICATION**. If you need address verification, please contact the E-911 Addressing Coordinator at (850) 638-6325.

Maps have been compiled from the most authentic information available and is to be used for assessment purposes only. Washington County Property Appraiser's Office assumes **NO** responsibility for the errors and/or omission contained herein. **THIS MAP IS NOT A SURVEY**

Parcel Summary

Parcel ID	00000000-00-1430-0000
Location Address	684 7TH ST CHIPLEY 32428
Brief Tax Description	4 4 13 ORB ORB 1246 P 752 S 50' OF LOTS 220,221 IN S1/2 OF NE1/4,(AND ORDINANCE #962 AS DESC IN ORB 1179 P 11) (Note: Not to be used on legal documents.)
Property Use Code	WAREHOUSE (4800)
Sec/Twp/Rng	4-4-13
Tax District	Chipley (2)
Millage Rate	20.6504
Acreage	0.135
Homestead	N

[View Map](#)

*The Property Use code is a Department of Revenue code. For zoning information please contact the Planning and Zoning department at 850-415-5093.

Owner Information

Primary Owner
WOLFPACK ALLIANCE LLC
6420 NW LAMBERT LN
CAMAS, WA 98607

Valuation

	2023 Final Values
Building Value	\$7,001
Extra Features Value	\$0
Land Value	\$10,450
Land Agricultural Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$17,451
Assessed Value	\$17,451
Exempt Value	\$0
Taxable Value	\$17,451
Save Our Homes or AGL Amount	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Land Information

Land Use	Number of Units	Unit Type	Frontage	Depth
001000 - COMMERCIAL	55	FF	55	107

Building Information

Type WAREHOUSE
Total Area 5,063
Heated Area 4,646
Exterior Walls BRICK
Roof Cover GALV SHT M
Interior Walls MASONRY
Frame Type MASONRY
Floor Cover NONE

Heat NONE
Air Conditioning NONE
Bathrooms 0
Bedrooms 0
Stories 0
Actual Year Built 1901

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Vacant/Improved	Grantor	Grantee
N	6/30/2022	\$70,000	WD	1246/752	Improved	TAYLOR MARK	WOLFPACK ALLIANCE LLC
N	7/16/2019	\$47,500	WD	1150/361	Improved	CLOUD MICHAEL LAWRENCE	TAYLOR MARK
N	9/26/2014	\$100	WD	1018/346	Improved	CLOUD LAWRENCE	CLOUD MICHAEL LAWRENCE

Tax Collector Site

[Click here to view the Tax Collector website.](#)

Generate Owner List by Radius

Distance:

100

Feet



Use Address From:

☒ Owner ☐ Property

Select export file format:

Address labels (5160)

☒ Show All Owners☐ Show Parcel ID on Label

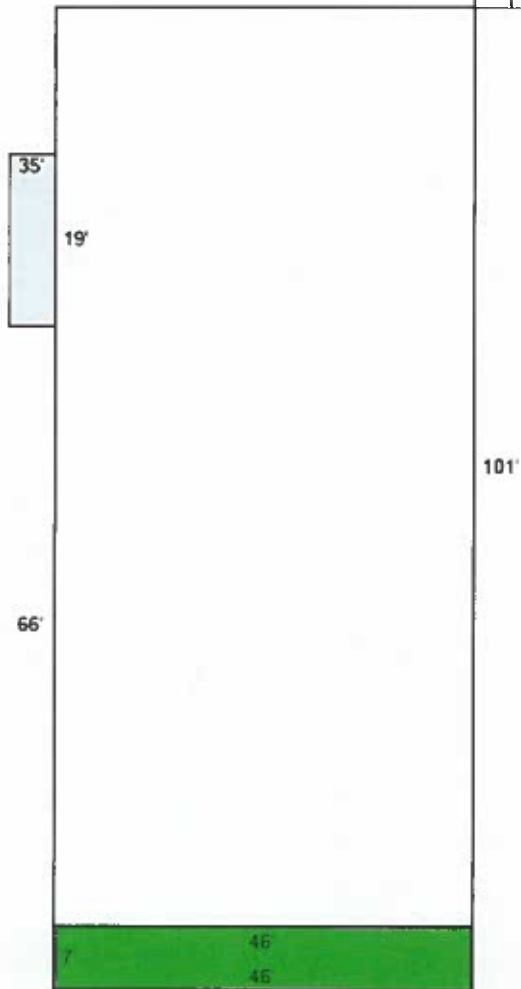
Skip Labels

0

International mailing labels that exceed 5 lines are not supported on the Address labels (5160).
For international addresses, please use the xls, csv or tab download format.

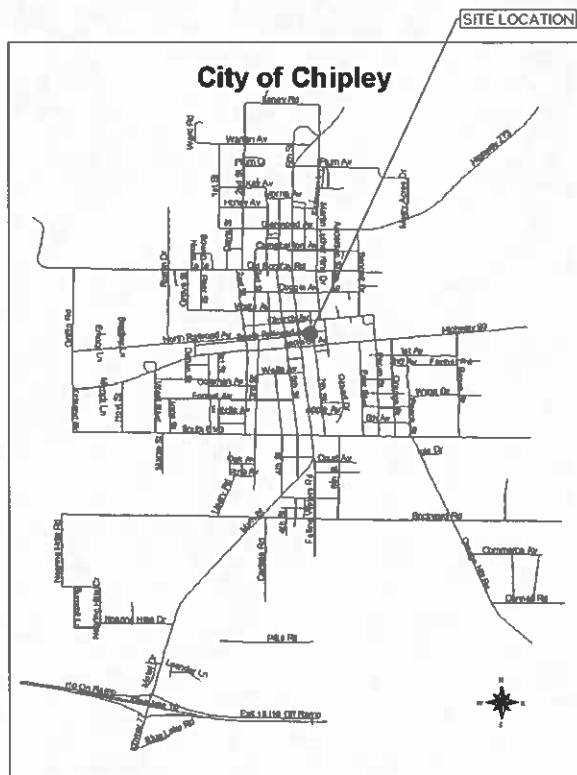
[Download](#)**Sketches**

FOP	F OPEN PRC	322	1952
LDP	LOADG PLTF	95	1952
BAS	BASE AREA	4646	1952

**Map**

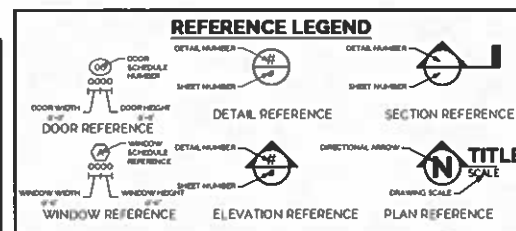
No data available for the following modules: Extra Features.

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA



SITE LOCATION MAP

DRAWING INDEX	
PROJECT INFO	C1.0
SITE DEVELOPMENT PLAN	X1.0
LIFE SAFETY PLAN	A0.0
FLOOR PLAN	LS1.0
PARTIAL ENLARGED FLOOR PLAN, NOTES	A1.0
ELEVATIONS	A1.1
ELEVATIONS	A2.0
FOUNDATION PLAN	A2.1
MEZZANINE FRAMING PLAN	A3.0
CONSTRUCTION SECTIONS, DETAILS	A3.1
MECHANICAL PLAN	A4.0
ELECTRICAL PLAN	M1.0
	E1.0



DESIGN CRITERIA:

FLORIDA BUILDING CODE - CURRENT EDITION
2018 IFBC-2018 FRIEDRICH CONSTRUCTION HANDBOOK

BUILDING OCCUPANCY CATEGORY: GROUP AICE 7-8 TABLE 6-1

DESIGN LOADS:

- FLOOR - LIVE LOAD - 20 PSF
- FLOOR - DEAD LOADS - 20 PSF
- ROOF - LIVE LOADS - 20 PSF
- ROOF - DEAD LOADS - 10 PSF

WIND DESIGN:

EXPOSURE - B

WIND SPEED DESIGN - 130 MPH WITH 3 SECOND GUSTS AT 37 ABOVE GROUND

ENCLOSURE CLASSIFICATION - ENCLOSED

INTERNAL PRESSURE COEFFICIENT - +0

- ☐ PRELIMINARY DESIGN SET
☐ ORS SUBMITTAL
☐ PLAN REVIEW SET
☐ FINAL REVIEW SET
☒ PERMIT SET

☐ REVIEWED

CHECKING THE ABOVE BOX INDICATES THAT THE ENGINEER-OF-RECORD HAS REVIEWED THE SIGNED AND SEALED TRUSS DRAWINGS FOR GENERAL CONFORMITY WITH THESE DESIGN DOCUMENTS & WITH REGARD TO TRUSS CONSTRUCTION ONLY.

- LEGAL NOTE:**

[illegible]SITE DEVELOPMENT INFO.

PARCELS # - 08080800-00-2430-000
LOT SIZE - 0.135 ACRES
LAND USE ZONE - C - COMMERCIAL
FLOOD ZONE - X

SQUARE FOOTAGE CALCULATIONS:

- 2,400 SQ FT HEATED AND COOL
- 305 SQ FT ENTRY PORCH
- 2,805 SQ FT TOTAL SLAB UNDER ROOF
- 1,735 SQ FT COURTYARD AREA

PROJECT NOTE:

THIS DRAWING PACKAGE HAS BEEN DEVELOPED BY MOOREAS AN INTERIOR BUILD-OUT OF A PRE-ENGINEERED METAL BUILDING FROM PERMITS ENGINEERED PERMIT PLANS PROVIDED BY STEEL BUILDING SYSTEMS, INC. ADEL, GA.

[illegible]

1348 N. RAILROAD AVE
CHIPLEY, FL 32428
(850) 340-1287
WWW.MCONE.DESIGN

[illegible]

CHIPLEY STATION
OR:
WOLF PACK ALLIANCE LLC.
24 7th St CHIPLEY, FLORIDA

DOI: 10.1002/for

DRAWN BY: JWH

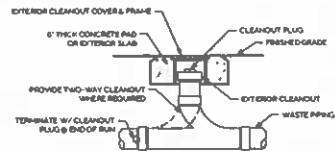
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SHEET TITLE

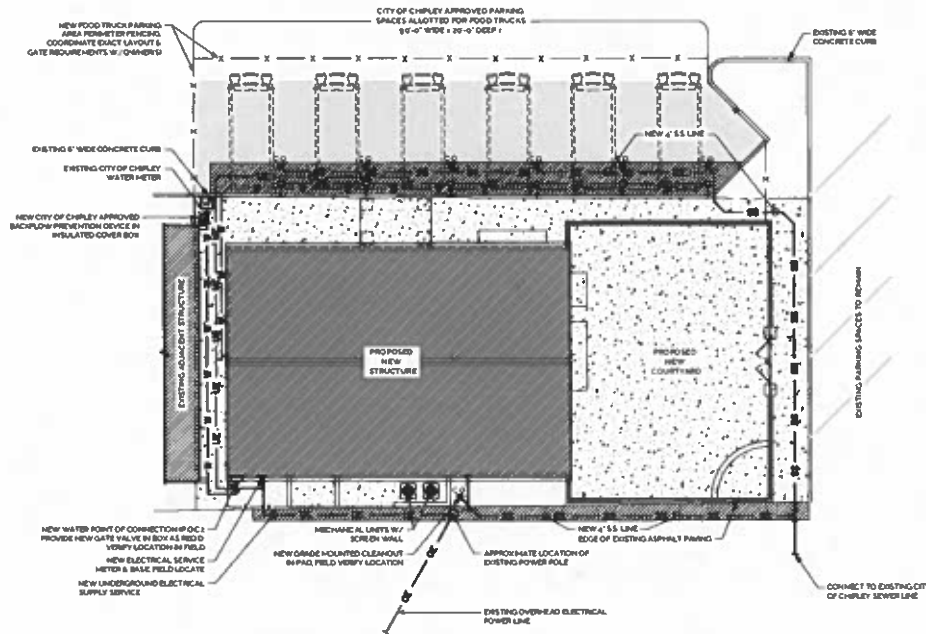
PROJECT INFO

SHEET AMB100

C10



1 TYP. EXT. CLEANOUT DETAIL
X1.0 NOT TO SCALE



SITE DEVELOPMENT PLAN
1\"/>

SITE DEVELOPMENT LEGEND

- NEW 60\"/>

SITE DEVELOPMENT NOTES:

1. THE INFORMATION PROVIDED ON THIS SITE DEVELOPMENT PLAN MAY HAVE BEEN DERIVED FROM A THIRD PARTY SURVEY AND / OR PROPERTY SEARCH DATA. ACTUAL PROPERTY INFORMATION MUST BE OBTAINED BY SURVEY IF REQUIRED FOR PERMITTING.
2. SITE CONDITIONS MAY VARY & EXACT LOCATION OF NEW STRUCTURE, DRIVEWAY, WATER & WASTE CONNECTIONS, ETC. TO BE DETERMINED & MODIFIED IN FIELD BY GENERAL CONTRACTOR COORDINATE LOCATION OF ALL SITE UTILITY CONNECTIONS BETWEEN THE APPROPRIATE UTILITY COMPANIES AND JOB-SITE UTILITY SUB-CONTRACTORS.



1348 N. RAILROAD AVE.
CHIPLEY, FL 32428
(904) 348-4447
WWW.MCORB.DESIGN

REV	DESCRIPTION

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
664 7th St CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: JWM
PLOT DATE: 12/27/2023

SHEET TITLE
SITE DEVELOPMENT PLAN

SHEET NUMBER

X1.0

PROJECT INFORMATION:

PROJECT NAME: CHIPLEY STATION
1000 7th St
CHIPLEY, FL

CONSTRUCTION TYPE: INDUSTRIAL
TYPE V-10 B/F BC - CHAPTER 9A

OCCUPANCY CLASSIFICATION: GROUP A-2 ASSEMBLY
TOTAL GROSS BUILDING SQUARE FOOTAGE: 1,400 SQ FT

TOTAL OCCUPANT LOAD:

GROUP A-2 ASSEMBLY: 30 NET PER SF
TOTAL OCCUPANT LOAD: 80 PERSONS

MINIMUM NUMBER OF EXITS: 7 EXITS REQUIRED BY BC TABLE 1006.3.9

TRAVEL DISTANCE TO EXITS: BC TABLE 1007.3.1
GROUP A-2 ASSEMBLY: 3000' WITH SPRINKLER SYSTEM
3000' WITHOUT SPRINKLER SYSTEM

FIRE PROTECTION: AUTOMATIC FIRE PROTECTION SYSTEM NOT REQUIRED
ALARM DETECTION & NOTIFICATION

FIRE ALARM SYSTEM TO BE PROVIDED:

CORRIDOR FIRE RESISTANCE RATING: 1 HOUR RATED REQUIRED

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES:
FSC - RELATING SECTION 203
WATER CLOSETS:

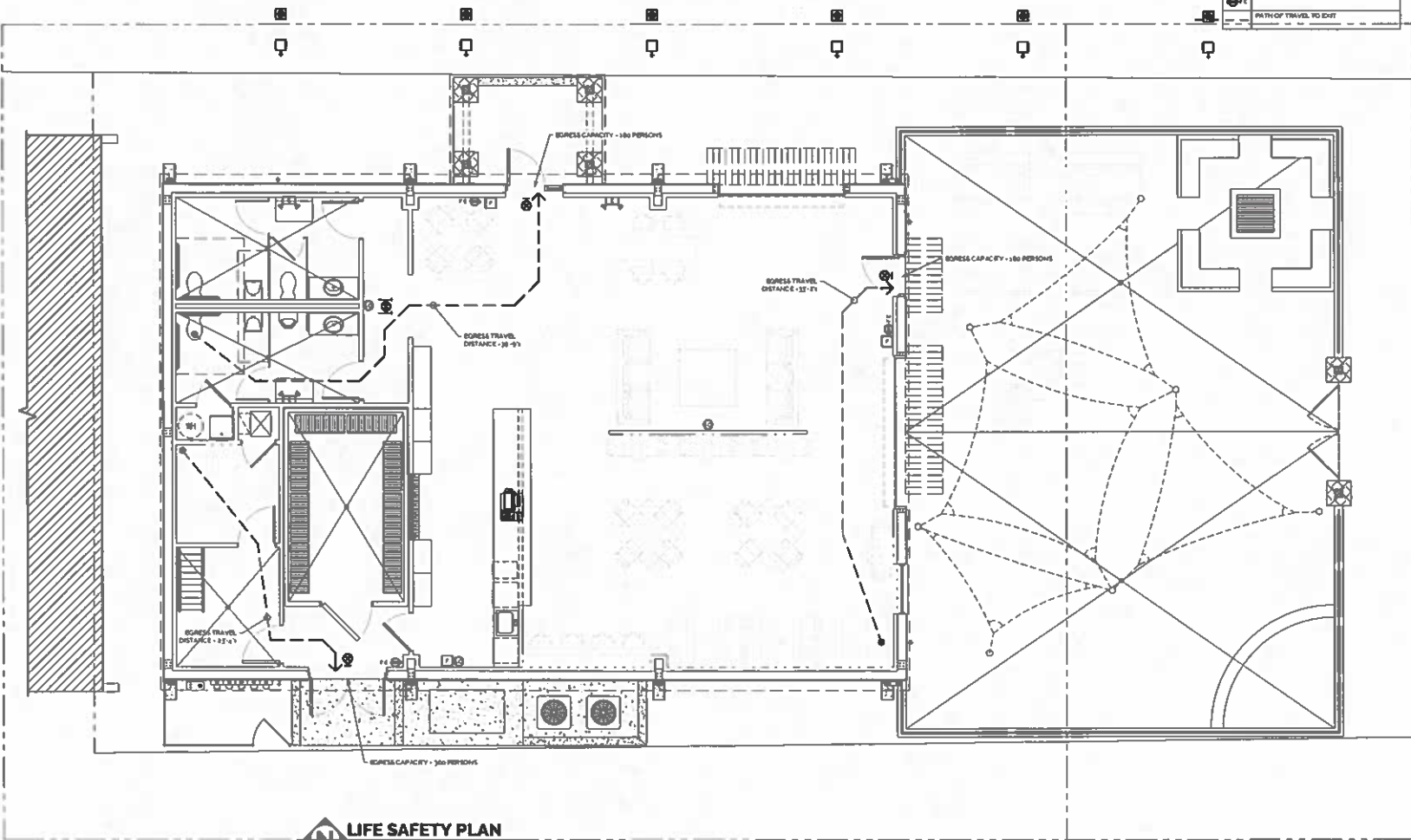
MALE: 1 PER 40 - 2 PROVIDED
FEMALE: 1 PER 40 - 2 PROVIDED
LAVATORIES: 1 PER 75 - 2 PROVIDED
SERVICE SINK: 1 PROVIDED

LIFE SAFETY PLAN NOTES:

THIS PLAN IS DIAGNOSTIC AND ACTUAL LAYOUT / DESIGN MAY VARY FROM SHOWN TO COMPLY WITH FLORIDA BUILDING CODE AND LOCAL FIRE CODE REQUIREMENTS AND REGULATIONS. ORIGINAL CONTRACTOR IS TO VERIFY LOCATIONS ON SITE AND PROVIDE ANY ADDITIONAL REQUIRED LIFE SAFETY / FIRE ALARM SYSTEMS, NEW FIRE ALARM PULL STATIONS, SMOKE DETECTORS, ALARMS, STROBE LIGHTING, FIRE EXTINGUISHERS, ETC.
BUILDING IS TO BE INSPECTED AND CERTIFIED BEFORE OCCUPATION.

LIFE SAFETY PLAN LEGEND:

- CEILING MOUNTED EXIT SIGN
- WALL MOUNTED EXIT SIGN
- CEILING MOUNTED DIRECTIONAL EXIT SIGN
- FIRE ALARM SYSTEM AUTOMATIC SMOKE DETECTOR, CEILING OR WALL MOUNTED
- EMERGENCY STROBE LIGHTING
- FIRE ALARM SYSTEM MANUAL PULL STATION MOUNTED 4' TO CENTERLINE
- FIRE EXTINGUISHER LOCATION
- PATH OF TRAVEL TO EXIT



LIFE SAFETY PLAN
1/8" = 1'-0" (5/16" = 1'-0") 1/4" = 1'-0" (2/8" = 1'-0")



1348 N. RAHWAY AVE.
CHIPLEY, FL 32628
(850) 348-4387
WWW.MCORB.DESIGN

REV	DESCRIPTION

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: JWM
PLOT DATE: 12/6/2023

SHEET TITLE
LIFE SAFETY PLAN
SHEET NUMBER

LS1.0



1348 N. RAILROAD AVE.
CHIPLEY, FL 32428
(904) 348-1889
WWW.MCORB.DESIGN

REV. DESCRIPTION

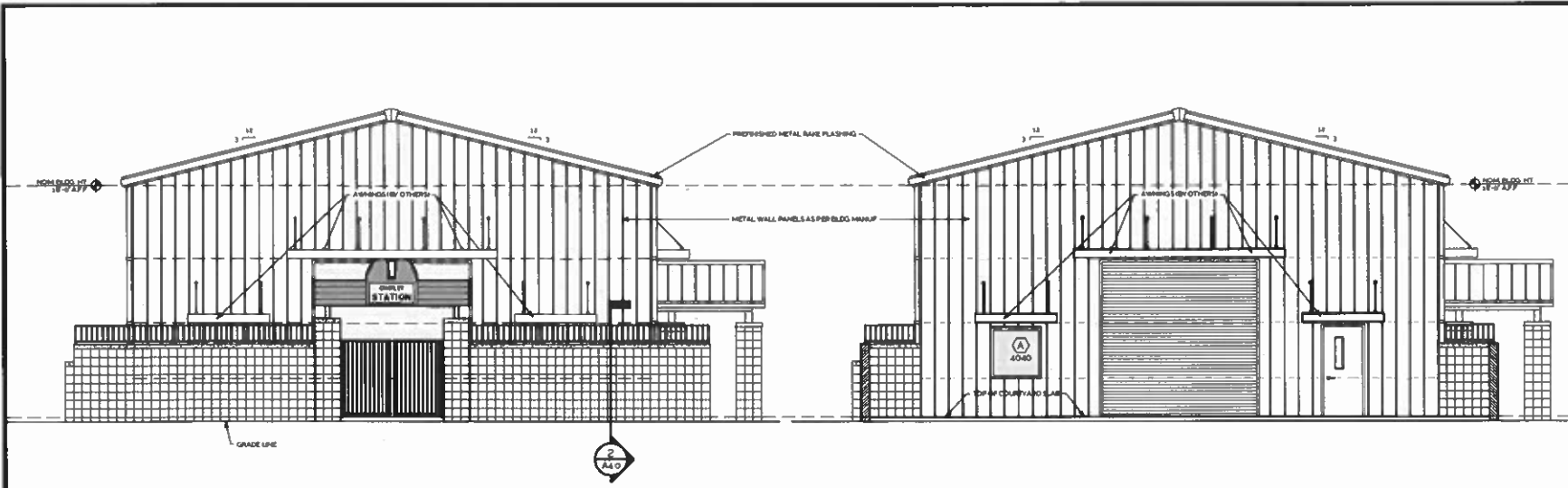
CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: J.W.M.
PLOT DATE: 12/6/2023

SHEET TITLE
ELEVATIONS

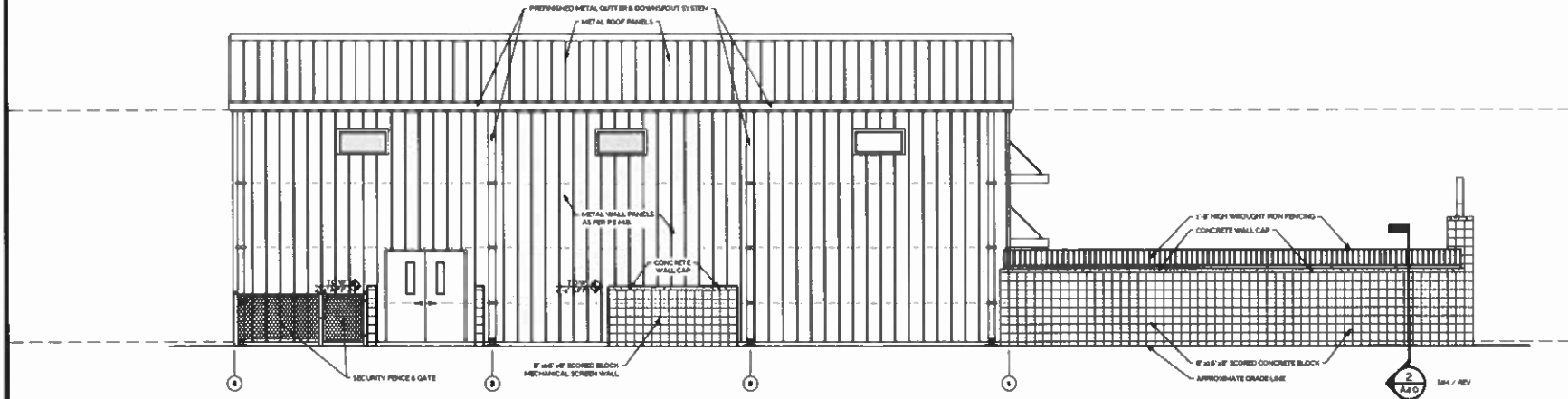
SHEET NUMBER

A2.0



3 COURTYARD WALL (WEST SIDE) ELEVATION
A2.0 1/8" = 1'-0" (1x12) 1/4" = 1'-0" (2x36)

1 EXTERIOR (WEST SIDE) ELEVATION
A2.0 1/8" = 1'-0" (1x12) 1/4" = 1'-0" (2x36)



2 EXTERIOR (SOUTH SIDE) ELEVATION
A2.0 1/8" = 1'-0" (1x12) 1/4" = 1'-0" (2x36)

NOTE
STEEL BUILDING ENGINEERED PERMANENT PLANS PROVIDED
BY STEEL BUILDING SYSTEMS, INC. ADL, GA.



1348 N. RAILROAD AVE.
CHIPLEY, FL 32428
(904) 348-4289
WWW.JACORIS.DESIGN

DESCRIPTION
REV

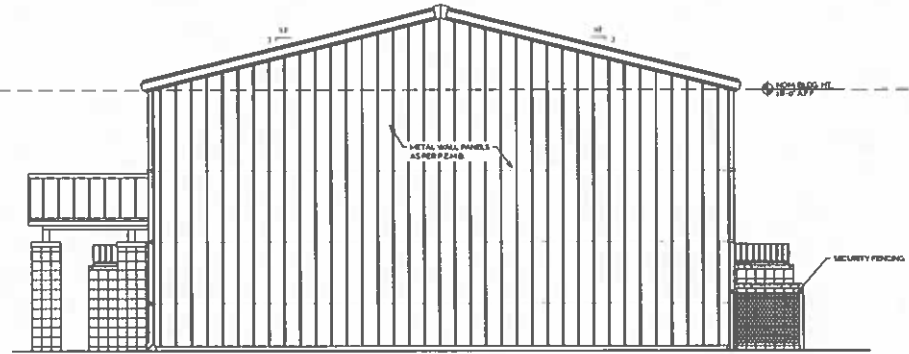
CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
644 7th St CHIPLEY, FLORIDA

JOB # 208 3-210
DRAWN BY JWM
PLOT DATE: 12/6/2023

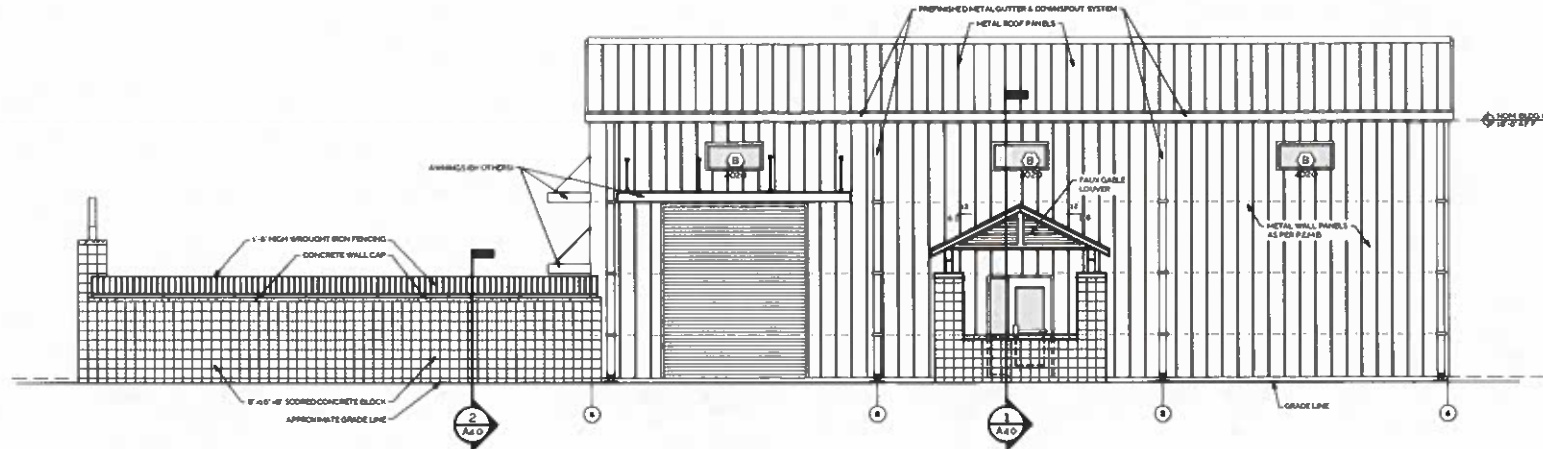
SHEET TITLE
ELEVATIONS

SHEET NUMBER

A2.1



EXTERIOR (EAST SIDE) ELEVATION
A2.1 1/8" = 1'-0" (12x17) 1/4" = 1'-0" (24x36)



EXTERIOR (NORTH SIDE) ELEVATION
A2.1 1/8" = 1'-0" (12x17) 1/4" = 1'-0" (24x36)

NOTE:
STEEL BUILDING ENGINEERED PER HP PLANS PROVIDED
BY STEEL BUILDING SYSTEMS, INC. ADE, GA



1348 N. RAILROAD AVE.
CHIPLEY, FL 32428
(904) 348-1387
WWW.HCORB.DESIGN

REV DESCRIPTION

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: JWM
PLOT DATE: 12/5/2023

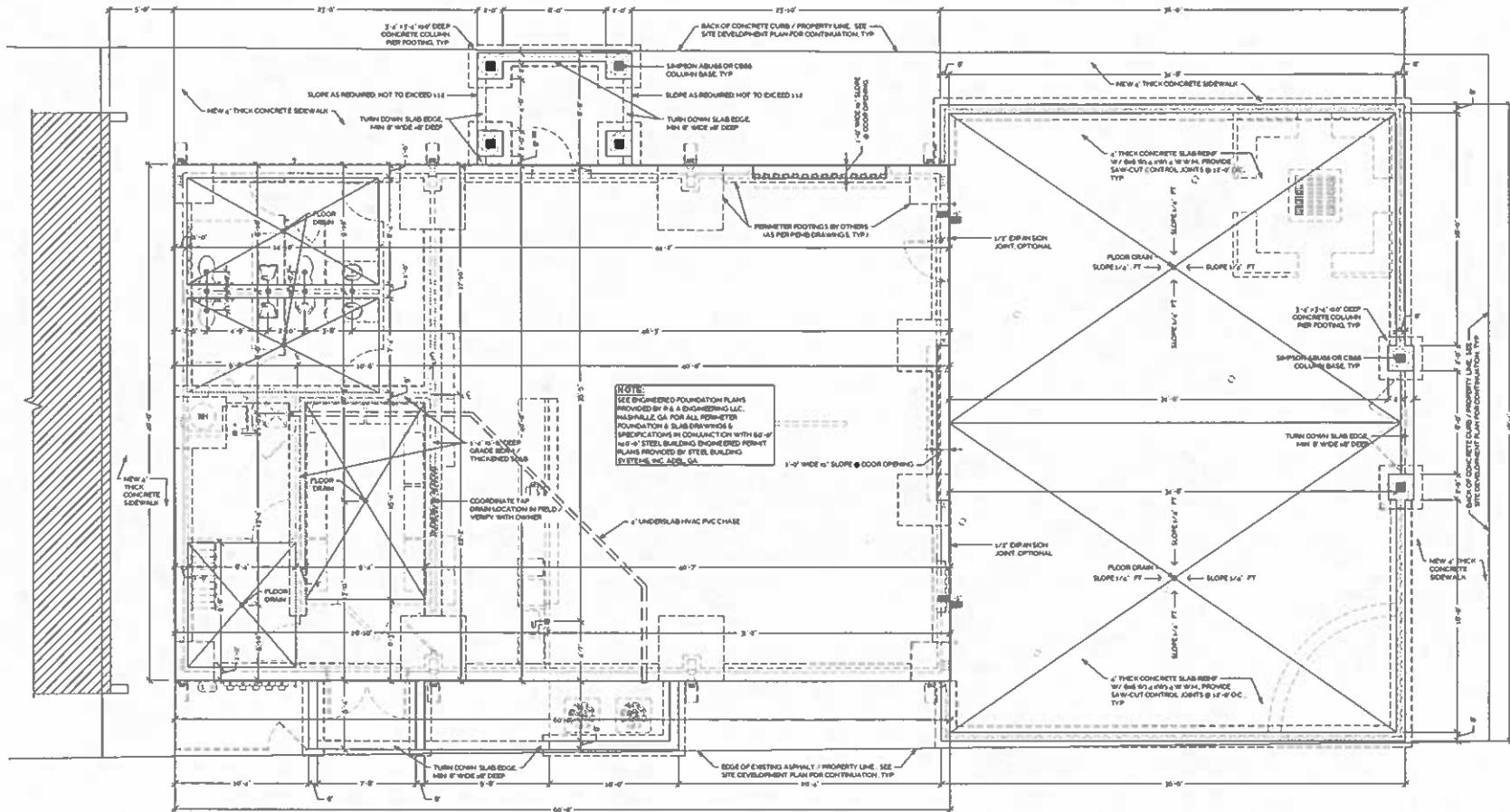
SHEET TITLE
FOUNDATION
PLAN

SHEET NUMBER

A3.0

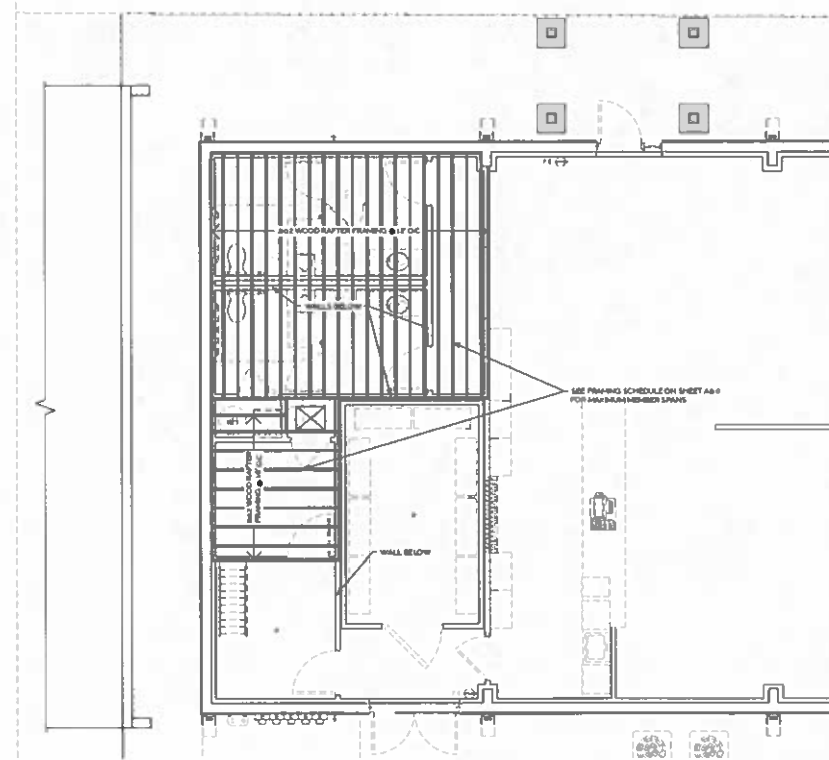
PLUMBING DRAIN NOTES:

1. PLUMBING DRAIN LOCATION DIMENSIONS MAY VARY BASED ON UNFORESEEN PLAN CHANGES MADE IN THE FIELD.
2. ALL ADDITIONAL UNDER SLAB PLUMBING & CONDUIT REQUIREMENTS NOT SHOWN SHALL BE VERIFIED IN FIELD WITH GENERAL CONTRACTOR.
3. ANY SPECIFIED DRAIN REQUIREMENTS BASED ON MAKE AND MODEL OF PLUMBING FIXTURES SHALL BE COORDINATED WITH GENERAL CONTRACTOR.
4. SLORE CONCRETE A MINIMUM OF 1/4" PER FT. ● ALL FLOOR DRAIN LOCATIONS.



FOUNDATION PLAN
1/8" = 1'-0" (1/16" = 1/4" = 1'-0" (2x35)

NOTE:
STEEL BUILDING ENGINEER PERMIT PLANS PROVIDED
BY STEEL BUILDING SYSTEMS, INC. ADEL, GA.



STORAGE MEZZANINE FRAMING PLAN
1/8" = 1'-0" (1/4" = 1'-0" (1/2" = 1'-0" (3/4" = 1'-0" (1" = 1'-0")



1346 N. RAILROAD AVE.
CHIPLEY, FL 32628
(904) 348-5887
WWW.MCORBDESIGN.COM

REV. DESCRIPTION

CHIPLEY STATION
FOR:
WOLF PACK ALLIANCE LLC.
664 7th St CHIPLEY, FLORIDA

JOB # 2083110
DRAWN BY: JWM
PLOT DATE: 12/5/2023

SHEET TITLE
MEZZANINE
FRAMING PLAN

SHEET NUMBER

A3.1



1346 N. RAILROAD AVE.
CHIPLEY, FL 32628
850 348-4887
WWW.MCORBDESIGN.COM

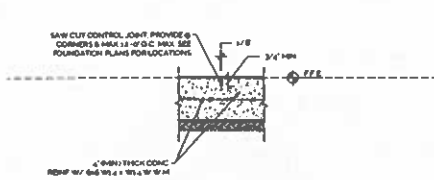
REV	DESCRIPTION

CHIPLEY STATION
FOR
WOLF PACK ALLIANCE LLC.
664 7th St CHIPLEY, FLORIDA

JOB # 2023110
DRAWN BY: JWM
PLOT DATE: 12/8/2023

SHEET TITLE
SECTIONS &
DETAILS
SHEET NUMBER

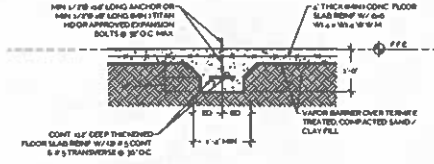
A4.0



CONTROL JOINT DETAIL

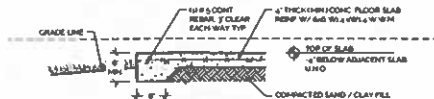
A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)

NOTE: VERIFY ALL REQUIRED GRADE BEAM LOCATIONS WITH SIGNED & SEALED ROOF TRUSS DRAWING PACKAGE IF APPLICABLE



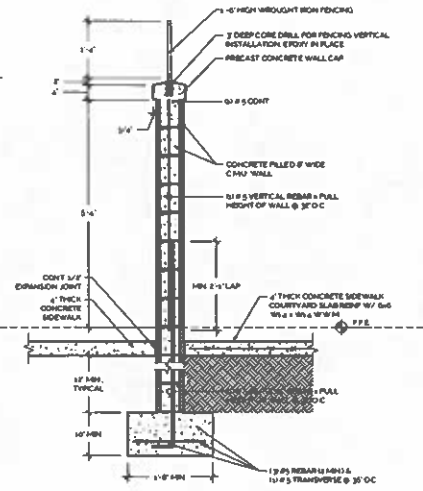
GRADE BEAM SECTION

A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



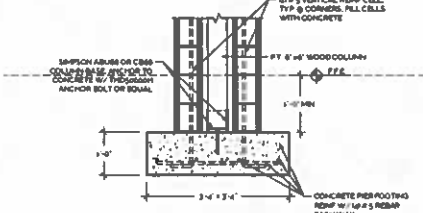
TYPICAL CONC. WALK / PAD / STOOP SECTION

A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



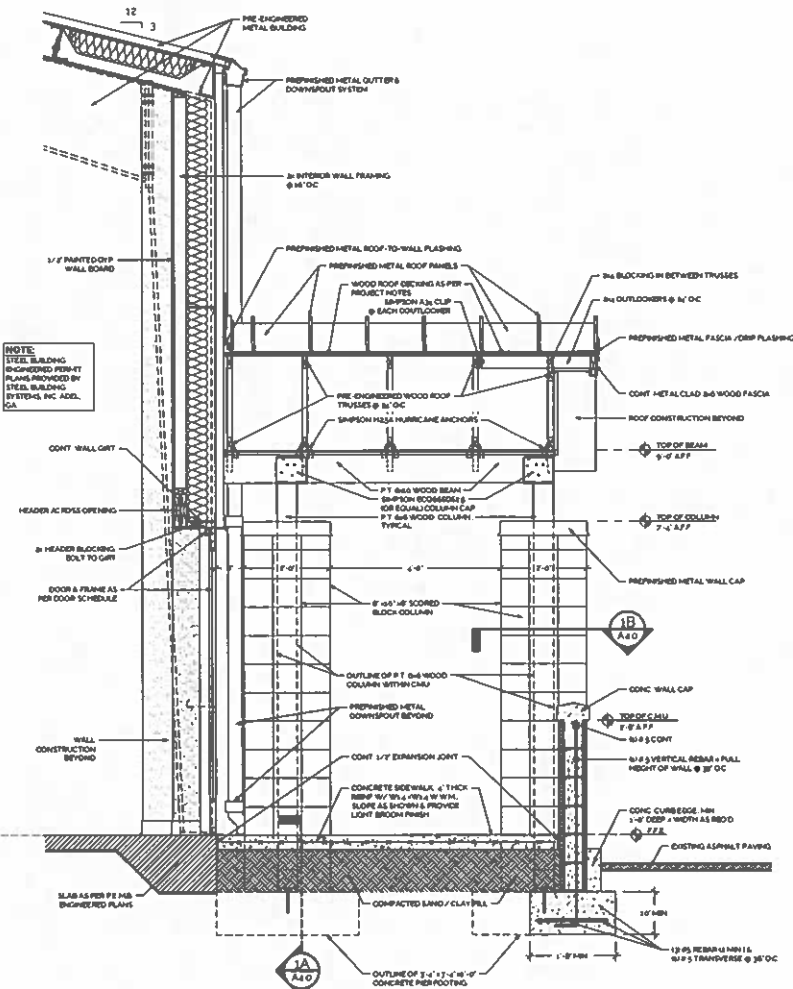
COURTYARD WALL SECTION

A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



COLUMN PAD SECTION

A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)



CONSTRUCTION SECTION

A4.0 3/8" x 1'-0" (12x12) 3/4" x 1'-0" (12x12)

VENTILATION FAN SCHEDULE							
MARK	CFM	S.P. "H2O"	WTS. LB	MAX RPM	FAN TYPE	DRIVE TYPE	EQUAL TO MODEL #
E.P.	140	0.25	84.10	2350	13	1/2VTR	CONCRETE
							SEMI-SEAL 30PM
							MOTION

MECHANICAL NOTES

1. THE PLANS ARE GRAPHIC AND ACTUAL LAYOUT / DESIGN MAY VARY FROM SHOWN COORDINATE DUCTWORK LAYOUT WITH CONTRACTOR / OWNER

2. MECHANICAL SUB-CONTRACTOR SHALL PROVIDE ALL DUCTWORK SIZES & SPECIFICATIONS FOR HVAC UNITS INSTALLED IF REQUIRED BY BUILDING DEPARTMENT FOR PERMITTING.

MECHANICAL PLAN LEGEND

-  NEW HVAC DUCTWORK
-  NEW HVAC DUCTWORK WITH MANUAL DAMPER
-  NEW HVAC FLEXIBLE DUCTWORK
-  SUPPLY AIR FLOW
-  RETURN AIR FLOW
-  SUPPLY AIR DIFFUSER SIZE AS NOTED
-  RETURN AIR DIFFUSER SIZE AS NOTED
-  NEW EXHAUST VENTILATION FAN COORDINATE REQUIREMENTS WITH MECHANICAL SUB-CONTRACTOR



1348 N. RAILROAD AVE.
CHIPLEY, FL 32638
(904) 348-1887
WWW.MCORG.DESIGN

DESCRIPTION

REV

CHIPLEY STATION
FOR
WOLF PACK ALLIANCE LLC.
684 7th St CHIPLEY, FLORIDA

JOB # 2023-110

DRAWN BY: JWM

PLOT DATE: 12/6/2023

SHEET TITLE

MECHANICAL
PLAN

SHEET NUMBER

M1.0

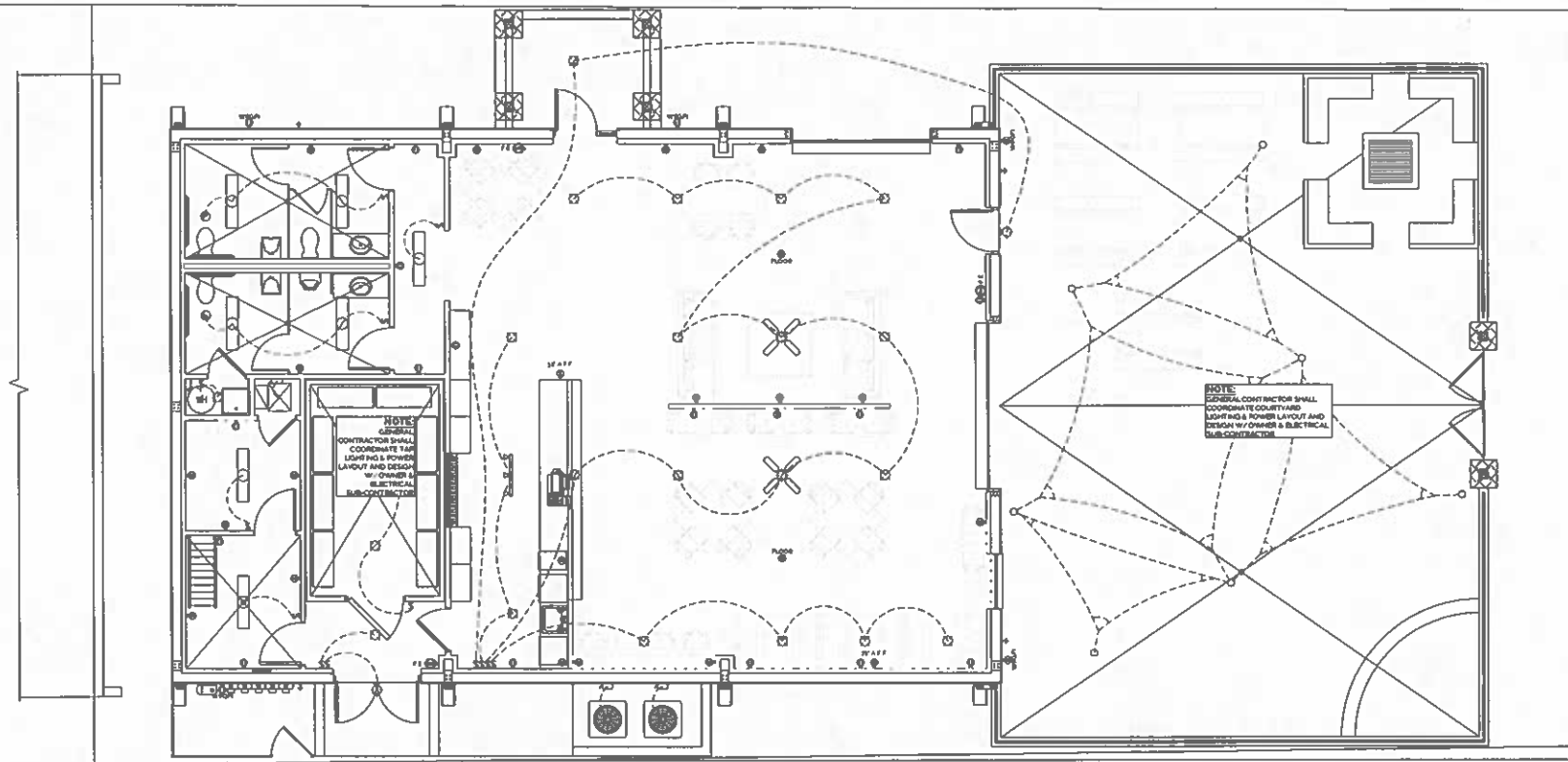
MECHANICAL PLAN
1/8" = 1'-0" (1/4" = 1'-0" 1/2" = 1'-0" 3/4" = 1'-0" 1" = 1'-0")

HVAC CONDENSATE UNIT
COOLER / FREEZER UNIT

ELECTRICAL LEGEND

LIGHTING & FIXTURES			SWITCHES & OUTLETS			MISC	
☐	Ceiling Mounted or Suspended Light Fixture as Selected by GC / Owner	☐	Strip Light Fixture as Selected by GC / Owner	1	Switch & A/F	☐	Ceiling or Wall Mounted Smoke or Carbon Monoxide Detector
☐	Ceiling Mounted Pendant Light as Selected by GC / Owner	☐	Fan Fixture as Selected by Owner, Switch Fan as Required	1	3-Way Switch & A/F	☐	Special Service Connection / Non-Pullable Disconnect Switch
☐	Wall Mounted Elec. Wall Switch Fixture as Selected by GC / Owner	☐	Fan / Light Fixture as Selected by Owner, Switch Fan as Required	1	Duplex Receptacle 120 V 15 A/F	☐	Special Service Connection / Junction Box
☐	Wall Mounted Elec. Light Fixture as Selected by GC / Owner	☐	Fan with Optional Light Fixture as Selected by Owner, Switch Fan as Required	1	Duplex Receptacle 120 V Mounted Above Counter	☐	200 AMP Electrical Service Panel
		☐		1	200 V Receptacle	☐	Wire Run to Switch

TYPICAL FLOOD TRUCK HOOD-UP LOCATION
ELECTRICAL PEDestal W/ 50 AMP & 30 AMP RECEPTACLE & 20 AMP GFCI RECEPTACLE COORDINATE W/ OWNER & ELECTRICAL SUB-CONTRACTOR



ELECTRICAL PLAN
1/8" = 1'-0" (30x17 1/2" = 1'-0" 12x13)

ELECTRICAL NOTES

- THIS PLAN IS DIAGNOSTIC AND ACTUAL LAYOUT / DESIGN MAY VARY FROM SHOWN ELECTRICAL FEATURES AS PER OWNER / CONTRACTOR COORDINATE ANY GAS REQUIRED FEATURES WITH OWNER AND MODIFY ELECTRICAL AS REQUIRED
- ELECTRICAL POWER & LIGHTING LOAD CALCULATIONS, DESIGN & INSTALLATION SHALL BE PROVIDED BY A FLORIDA LICENSED ELECTRICAL CONTRACTOR PER NEC, REQUIREMENTS / LOCAL CODES
- ELECTRICAL CONTRACTOR TO PROVIDE AND SIZE ELECTRICAL SERVICE PANELS, BREAKERS, AND / OR DISCONNECTS AS REQUIRED BY ELECTRICAL SYSTEM AND / OR CODES
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED AS PER NFPA 72 & NEC SECTION 9.4 AND MEETING ANY ADDITIONAL REQUIREMENTS OF ALL GOVERNING CODES
- PER NEC 9.4.1 - CARBON MONOXIDE PROTECTION: EVERY BUILDING FOR WHICH A PERMIT FOR NEW CONSTRUCTION IS ISSUED HAVING ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING
- PER NEC 200.3, SECTION 200 - ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLIED OUTLETS INSTALLED IN DWELLING UNITS 7 AMP, 15 AMP, 20 AMP, 30 AMP, 40 AMP, 50 AMP, 60 AMP, 70 AMP, 80 AMP, 100 AMP, 125 AMP, 150 AMP, 175 AMP, 200 AMP, 250 AMP, 300 AMP, 350 AMP, 400 AMP, 450 AMP, 500 AMP, 550 AMP, 600 AMP, 650 AMP, 700 AMP, 750 AMP, 800 AMP, 850 AMP, 900 AMP, 950 AMP, 1000 AMP, 1100 AMP, 1200 AMP, 1300 AMP, 1400 AMP, 1500 AMP, 1600 AMP, 1700 AMP, 1800 AMP, 1900 AMP, 2000 AMP, 2100 AMP, 2200 AMP, 2300 AMP, 2400 AMP, 2500 AMP, 2600 AMP, 2700 AMP, 2800 AMP, 2900 AMP, 3000 AMP, 3100 AMP, 3200 AMP, 3300 AMP, 3400 AMP, 3500 AMP, 3600 AMP, 3700 AMP, 3800 AMP, 3900 AMP, 4000 AMP, 4100 AMP, 4200 AMP, 4300 AMP, 4400 AMP, 4500 AMP, 4600 AMP, 4700 AMP, 4800 AMP, 4900 AMP, 5000 AMP, 5100 AMP, 5200 AMP, 5300 AMP, 5400 AMP, 5500 AMP, 5600 AMP, 5700 AMP, 5800 AMP, 5900 AMP, 6000 AMP, 6100 AMP, 6200 AMP, 6300 AMP, 6400 AMP, 6500 AMP, 6600 AMP, 6700 AMP, 6800 AMP, 6900 AMP, 7000 AMP, 7100 AMP, 7200 AMP, 7300 AMP, 7400 AMP, 7500 AMP, 7600 AMP, 7700 AMP, 7800 AMP, 7900 AMP, 8000 AMP, 8100 AMP, 8200 AMP, 8300 AMP, 8400 AMP, 8500 AMP, 8600 AMP, 8700 AMP, 8800 AMP, 8900 AMP, 9000 AMP, 9100 AMP, 9200 AMP, 9300 AMP, 9400 AMP, 9500 AMP, 9600 AMP, 9700 AMP, 9800 AMP, 9900 AMP, 10000 AMP
- PER NEC 200.3, SECTION 200 - ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLIED OUTLETS INSTALLED IN DWELLING UNITS 7 AMP, 15 AMP, 20 AMP, 30 AMP, 40 AMP, 50 AMP, 60 AMP, 70 AMP, 80 AMP, 100 AMP, 125 AMP, 150 AMP, 175 AMP, 200 AMP, 250 AMP, 300 AMP, 350 AMP, 400 AMP, 450 AMP, 500 AMP, 550 AMP, 600 AMP, 650 AMP, 700 AMP, 750 AMP, 800 AMP, 850 AMP, 900 AMP, 950 AMP, 1000 AMP, 1100 AMP, 1200 AMP, 1300 AMP, 1400 AMP, 1500 AMP, 1600 AMP, 1700 AMP, 1800 AMP, 1900 AMP, 2000 AMP, 2100 AMP, 2200 AMP, 2300 AMP, 2400 AMP, 2500 AMP, 2600 AMP, 2700 AMP, 2800 AMP, 2900 AMP, 3000 AMP, 3100 AMP, 3200 AMP, 3300 AMP, 3400 AMP, 3500 AMP, 3600 AMP, 3700 AMP, 3800 AMP, 3900 AMP, 4000 AMP, 4100 AMP, 4200 AMP, 4300 AMP, 4400 AMP, 4500 AMP, 4600 AMP, 4700 AMP, 4800 AMP, 4900 AMP, 5000 AMP, 5100 AMP, 5200 AMP, 5300 AMP, 5400 AMP, 5500 AMP, 5600 AMP, 5700 AMP, 5800 AMP, 5900 AMP, 6000 AMP, 6100 AMP, 6200 AMP, 6300 AMP, 6400 AMP, 6500 AMP, 6600 AMP, 6700 AMP, 6800 AMP, 6900 AMP, 7000 AMP, 7100 AMP, 7200 AMP, 7300 AMP, 7400 AMP, 7500 AMP, 7600 AMP, 7700 AMP, 7800 AMP, 7900 AMP, 8000 AMP, 8100 AMP, 8200 AMP, 8300 AMP, 8400 AMP, 8500 AMP, 8600 AMP, 8700 AMP, 8800 AMP, 8900 AMP, 9000 AMP, 9100 AMP, 9200 AMP, 9300 AMP, 9400 AMP, 9500 AMP, 9600 AMP, 9700 AMP, 9800 AMP, 9900 AMP, 10000 AMP
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION WITH OWNER IF APPLICABLE ALL STYLES AND MANUFACTURERS OF ELECTRICAL FIXTURES AND DEVICE REQUIREMENTS PRIOR TO ROUGH IN & INSTALLATION
- ALL OTHER CODES (POWER, HOT, SHOCK, DOOR BELLS, THERMOSTATS, TIRE CHAIRS, DATA-COMM OUTLETS, ETC.) SHALL BE COORDINATED BY THE USER WITH GENERAL CONTRACTOR / SUB-CONTRACTORS & OWNER IF APPLICABLE
- VERIFY ALL ADDITIONAL OUTDOOR VENT AND LIGHTING AND POWER SUPPLY CONDUIT REQUIREMENTS WITH GENERAL CONTRACTOR / SUB-CONTRACTORS & OWNER IF APPLICABLE COORDINATE ANY UNDER SLAB CONDUIT REQUIREMENTS WITH FOUNDATION CONTRACTOR



1348 N. RAILROAD AVE.
CHIPLEY, FL 32618
(904) 348-4387
WWW.MCOCB.DESIGN

REV. DESCRIPTION

CHIPLEY STATION
FOR
WOLF PACK ALLIANCE LLC.
864 7th ST CHIPLEY, FLORIDA

JOB # 2023-110
DRAWN BY: J.W.M.
PLOT DATE: 12/6/2023

SHEET TITLE
ELECTRICAL PLAN

SHEET NUMBER

E1.0

Tamara Donjuan

From: Mike McDonough <mike@wolfpackalliance.com>
Sent: Thursday, December 21, 2023 2:50 PM
To: Tamara Donjuan
Subject: Re: Chipley Station
Attachments: Door and window detail Chipley.docx

Hi Tamara,

I am including a list of materials (IE: window, door, siding etc) as well as the design work and seating plan we are using with the liquor commission. These are the types of doors/windows we will be using (Brands my change), the stone/brick is still in the design phase but these are the styles we are looking at. Light fixtures and accessory stuff has not been decided yet but will be a form of Gaslight styling around each side. Design work will be here tomorrow (Fri) and I will send in a separate email. let me know if there is any more info you will need from me.

Mike

Garage doors Black frames):

https://luxgaragedoors.com/products/contemporary-black-aluminum-clear-tempered-glass-garage-door?variant=36099129573543¤cy=USD&utm_medium=product_sync&utm_source=google&utm_content=sag_organic&utm_campaign=sag_organic&gclid=Cj0KCQiAm4WsBhCiARIsAEJIEzWBc67FfApdEbZQvflGou0S4agwR1Dbdh8LEEaQ7dHNQsBUfhUp04gaAlZjEALw_wcB

Glass man doors (black frames):

<https://storefrontdoorsusa.com/product/commercial-right-hand-rh-storefront-door-with-12-sidelites/>

Canopies for windows/doors (black):

https://canopia.com/product/sophia-xl-5-ft-x-10-ft/?attribute_structure_color=grey&attribute_glazing=white&attribute_product-series-name=sophia-xl

Windows: (black)

<https://crystalwindows.com/product/series-2100-heavy-commercial-architectural-aluminum-thermal-break-picture-fixed-windows/>

Main entrance: (Northside)

Stick built awning/cover with stone/brick pillars. Wood upper portion to be black with stain wood inner ceiling, stone/brick still being designed but will match with walls, etc.

Metal door (black) for back entry (Vendor):

<https://www.trudoor.com/commercial-hollow-metal-doors/double-doors/>

Siding: 26 gauge Galvalume seamed metal siding (white with 3' black lower skirt)

Fencing: Where metal fencing is installed around patio, etc It will be a form of black steel/stone see thru, exact design is still being worked out as we want to make sure the liquor commission guidelines are met:

<https://www.royalfoam.us/product-page/fence-0008>

Lighting:

We have not picked out fixtures, all lighting will be black framed. Colonial gas lamp style.

Fencing around mechanical/garbage area :

[https://www.northerntool.com/products/tube-slats-6ft-vertical-tube-privacy-slats-82-pc-set-black-covers-10-linear-feet-model-st6bl-](https://www.northerntool.com/products/tube-slats-6ft-vertical-tube-privacy-slats-82-pc-set-black-covers-10-linear-feet-model-st6bl-82740?srsId=AfmBOoork4TlahailqKYKxb3trUOYF_rJRcBNg9pn4AY3WNN355Xyj0leBE)

[82740?srsId=AfmBOoork4TlahailqKYKxb3trUOYF_rJRcBNg9pn4AY3WNN355Xyj0leBE](https://www.northerntool.com/products/tube-slats-6ft-vertical-tube-privacy-slats-82-pc-set-black-covers-10-linear-feet-model-st6bl-82740?srsId=AfmBOoork4TlahailqKYKxb3trUOYF_rJRcBNg9pn4AY3WNN355Xyj0leBE)

On Tue, Dec 19, 2023 at 2:10 PM Tamara Donjuan <TDonjuan@cityofchipley.com> wrote:

That sounds great. Thank you.

Tamara Donjuan

Code Enforcement / Planning and Zoning Officer

1442 Jackson Ave.

Chipley, FL 32428

(850)638-6350



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Chibley Station: (Doors/windows)

Doors:

- 1) Roll up glass front garage style door. – 12'w X 12'h (Bid with and without opener) (QTY 1) Black metal frame
- 2) Roll up glass front garage style door. -10'w X 12' h (Bid with and without opener) (Qty 1) Black metal frame
- 3) Glass entry man door -3070 w/sidelight (Qty 1) Black metal frame
- 4) Glass entry man door -3070 (Qty1) Black metal frame
- 5) Full metal man double door -6070 (Qty 1) Black
- 6) Interior man doors (Wood door finished with metal frame finished bronze) -3068 (Qty 5)
- 7) Interior man doors (Metal insulated door finished with metal frame finished bronze) -4068 (1)
- 8) Interior man doors (Wood door finished with metal frame finished bronze) - 2868 (Qty 2)

Windows:

- 9) Fixed double pane glass window -4040 (Qty 1) Black metal frame
- 10) Fixed double pane glass window -4020 (Qty 6) Black metal frame



BLACK (GARAGE DOORS)



BLACK (ENTRY)



BLACK (AWNING)



BLACK (WINDOWS)

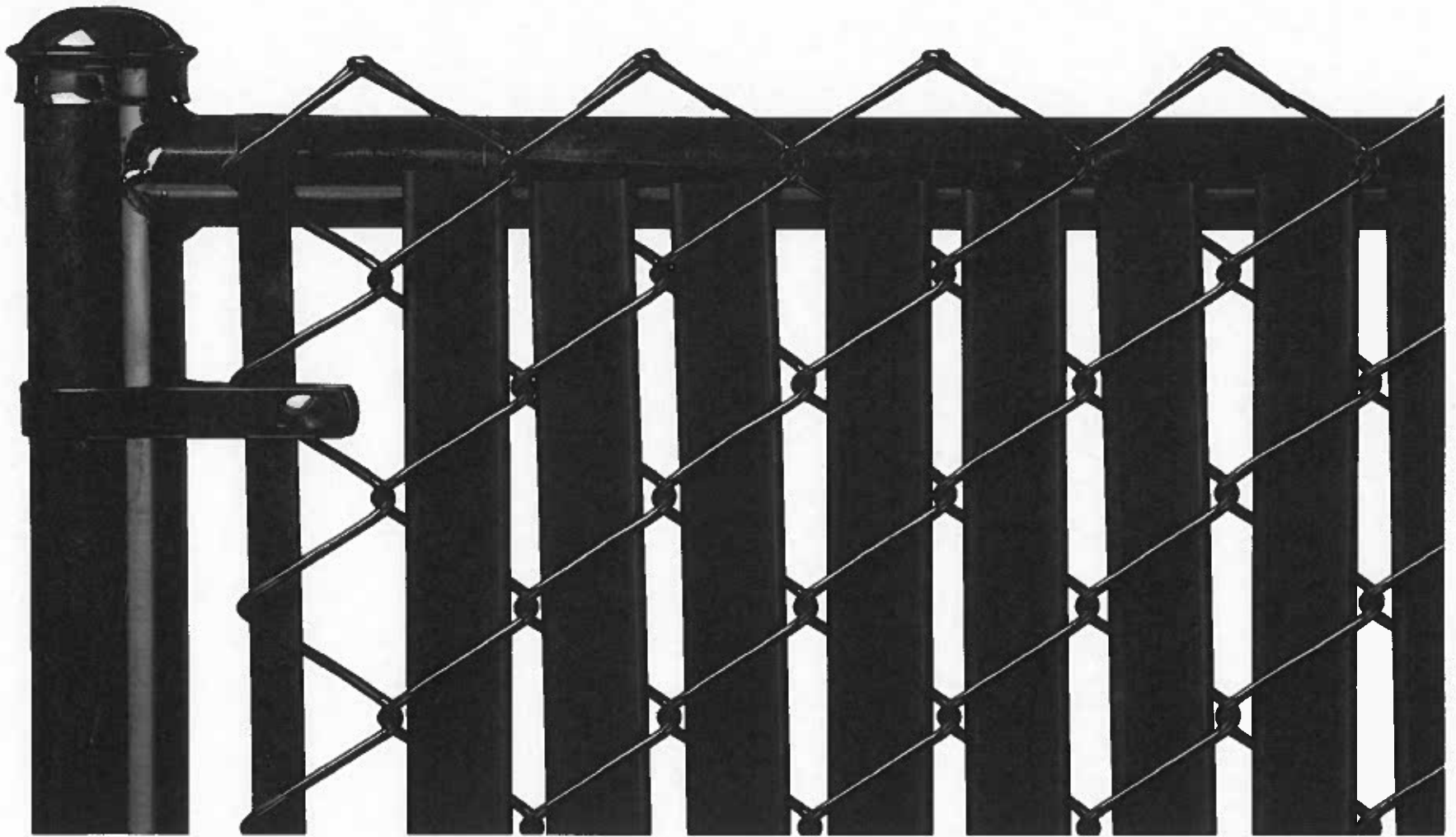


TRUDDOR®

BLACK (VENDOR)



BLACK STEEL FENCING WITH STONE FOR COURTYARD



BLACK FENCING FOR MECHANICAL/GARBAGE AREA















