

ZONING CHANGE OR VARIANCE REQUEST

FEE: 750⁰⁰ DD 1/15/24

Any applicant requesting a particular service specified herein shall make formal application to the City and shall pay the appropriate fee. No portion of the appropriate fee shall be refunded whether the request is withdrawn by the applicant or denied or granted by the City of Chipley.

Date 12/11/23 Applicant's Name Deba McGhee Davis
Phone 850 260 9795 Address 1510 Shackelford Road, Chipley, FL 32428
~~1215 Campbellton Ave~~

Deba McGhee Davis Signature of Applicant 12/11/23 Date

ADDRESS OR DESCRIPTION OF PROPERTY TO BE CONSIDERED: _____

1215 Campbellton Ave, Chipley, FL 32428

TYPE OF REQUEST: Zoning Change Variance

REASON FOR REQUEST: Change requested in order to construct
4-unit residential building

SUPPORTING DOCUMENT(S): _____

ZONING BOARD USE ONLY

DECISION OF ZONING BOARD: _____

Signature of Board Chairman Date

PERSON TO BE NOTIFIED OF BOARD DECISION: _____

Address: _____ Phone # _____

Inst: 202367007811 Date: 11/09/2023 Time: 12:41PM
Page 1 of 2 B: 1287 P: 404, Lora C. Bell,
Clerk of Court Washington, County, By: EN
Deputy Clerk

THIS INSTRUMENT PREPARED BY:
Debra McGhee-Davis
1510 Shackelford Road
Chipley, FL 32428

WARRANTY DEED

THIS INDENTURE is made this 9th day of November, 2023, by and between **MARTHA L. WILSON**, the unmarried widow of **Jimmy O. Wilson** (d. November 16, 2021) of 1155 South Boulevard, Chipley FL 32428 (herein referred to as "GRANTOR") and **DEBRA MCGHEE-DAVIS** of 1510 Shackelford Road, FL 32428. (herein referred to as "GRANTEE").

WITNESSETH, that said GRANTOR, for and in consideration of TEN AND NO/100 Dollars (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, conveys to the GRANTEE, her heirs, successors and assigns forever, the following described land situated, lying and being in Washington County, Florida, to wit:

PARCEL ID # 00000000-00-2698-0001

See Exhibit "A"

And the said GRANTOR has good right and lawful authority to sell and convey said land and does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whosoever.

NOTE: This deed is a corrective deed which corrects and supersedes any prior deeds between the same parties, said correction being recording of the attached legal description (Exhibit A) with deed.

ORB 1283 P 219

IN WITNESS WHEREOF, GRANTOR has hereunto set her hand and seal on the day and year first above written, or as set forth below.

Witnesses:

Juanita Stewart-Finney
Witness Signature

Alfred Finney
Printed Name

Martha L. Wilson
MARTHA L. WILSON

**STATE OF FLORIDA
COUNTY OF WASHINGTON**

The foregoing instrument was acknowledged before me by means of physical presence, this 9th day of November, 2023, by Martha L. Wilson, who produced D/L (FL) as identification and who did take an oath regarding her stated marital status.

 **JUANITA STEWART-FINNEY**
Commission # HH 431152
Expires August 31, 2027

[Signature]
Notary Public

Exhibit "A"

CHURCH PARCEL

COMMENCE AT THE SW CORNER OF LOT 10, BLOCK "A" OF
HAGERMAN ADDITION TO THE TOWN OF CHIPLEY, FLORIDA
IN SECTION 33, TOWNSHIP 5 NORTH, RANGE 13 WEST; THENCE RUN
EAST ALONG THE NORTH BOUNDARY LINE OF CAMPBELLTON
AVENUE 529 FEET TO THE POINT OF BEGINNING; THENCE N 01
DEGREES 20' WEST FOR 200 FEET; THENCE NORTH 89 DEGREES 20' EAST
FOR 91.0 FEET MORE OR LESS TO THE EAST BOUNDARY LINE OF LOT
11, BLOCK "A"; THENCE S 01 DEGREES 20' EAST FOR 200 FEET TO THE
SOUTHEAST CORNER OF SAID LOT 11 BLOCK "A"; THENCE S 89 DEGREES
20' WEST ALONG CAMPBELLTON AVENUE FOR 91.0 FEET MORE
OR LESS TO THE POINT OF BEGINNING

Washington County, FL

IMPORTANT NOTICE

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change. This website is **NOT TO BE USED AS AN OFFICIAL RECORD OR FOR FINANCING PURPOSES, INSURANCE PURPOSES, PROPERTY OWNERSHIP (Deeds are the official record of title), ELIGIBILITY FOR ANY PROGRAM, AND/OR ADDRESS VERIFICATION.** If you need address verification, please contact the E-911 Addressing Coordinator at (850) 638-6325.

Maps have been compiled from the most authentic information available and is to be used for assessment purposes only. Washington County Property Appraiser's Office assumes **NO** responsibility for the errors and/or omission contained herein. **THIS MAP IS NOT A SURVEY**

Parcel Summary

Parcel ID	00000000-00-2698-0001
Location Address	1218 CAMPBELLTON AVE CHIPLEY 32428
Brief Tax Description	33 5 13 .41 ORB 1287 P 404 BEG AT SWC OF LOT 10, BLK A H/A, E ALNG N BDY LN OF CAMPBELLTON AVE 529' TO POB, N 200', E 91' TO E BDY LN OF LOT 11, S 200' TO SEC OF LOT 11, W 20' ALNG CAMPBELLTON AVE 91' TO POB AS DESC IN ORB 1284 P 314. <small>(Note: Not to be used on legal documents.)</small>
Property Use Code	CHURCHES (7100)
Sec/Twp/Rng	33-5-13
Tax District	Chipley (2)
Millage Rate	20.6504
Acreage	0.417
Homestead	N

[View Map](#)

*The Property Use code is a Department of Revenue code. For zoning information please contact the Planning and Zoning department at 850-415-5093.

Owner Information

Primary Owner
DAVIS DEBRA MCGHEE
1510 SHACKELFORD RD
CHIPLEY, FL 32428

Valuation

	2023 Final Values
Building Value	\$3,246
Extra Features Value	\$414
Land Value	\$6,825
Land Agricultural Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$10,485
Assessed Value	\$10,485
Exempt Value	\$0
Taxable Value	\$10,485
Save Our Homes or AGL Amount	\$0

*Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Land Information

Land Use	Number of Units	Unit Type	Frontage	Depth
000000 - VAC RES	91	FF	91	200

Building Information

Type	CHURCH	Heat	
Total Area	2,501	Air Conditioning	NONE
Heated Area	2,501	Bathrooms	0
Exterior Walls	SNGL S/BEV	Bedrooms	0
Roof Cover	GALV SHT M	Stories	0
Interior Walls	PLY/PANEL; DRYWALL	Actual Year Built	1951
Frame Type	WD FRAME		
Floor Cover	CONCRETE		

Extra Features

Code	Description	Length x Width	Units
1851	ASPHALT PAVING COMM	46 x 24 x	1,104

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Vacant/Improved	Grantor	Grantee
N	11/9/2023	\$0	WD	1287/404	Improved	WILSON MARTHA L	DAVIS DEBRA MCGHEE
N	9/30/2023	\$100	QC	1284/314	Improved	GRAHAM CHAPEL DELIVERANCE PEACE MINISTRY INC	DAVIS DEBRA MC GHEE
N	9/27/2023	\$100	QC	1284/97	Improved	B C GRAHAM THEOLOGICAL SEMINARY	MC GHEE-DAVIS DEBRA
N	8/29/2023	\$100	QC	1281/420	Improved	BC GRAHAM THEOLOGICAL SEMINARY	DAVIS DEBRA MCGHEE
N	3/28/2022	\$0	QC	1236/680	Improved	GRAHAMS CHAPAL DELIVERANCE & PEACE MINISTRY	B C GRAHAM THEOLOGICAL SEMINARY
N	2/2/2022	\$100	QC	1231/502	Improved	GRAHAMS CHAPEL DELIVERANCE &	R C GRAHAM THEOLOGICAL SEMINARY
N	7/1/2014	\$35,000	AD	1005/504	Improved	WILSON JIMMY O & MARTHA L WILSON	GRAHAM'S CHAPEL DELIVERANCE & PEACE MINISTRY
N	1/1/1900	\$0		0/0	Improved		

Tax Collector Site

[Click here to view the Tax Collector website.](#)

Generate Owner List by Radius

Distance:

100 Feet

Use Address From:

Owner Property

Select export file format:

Address labels (5160)

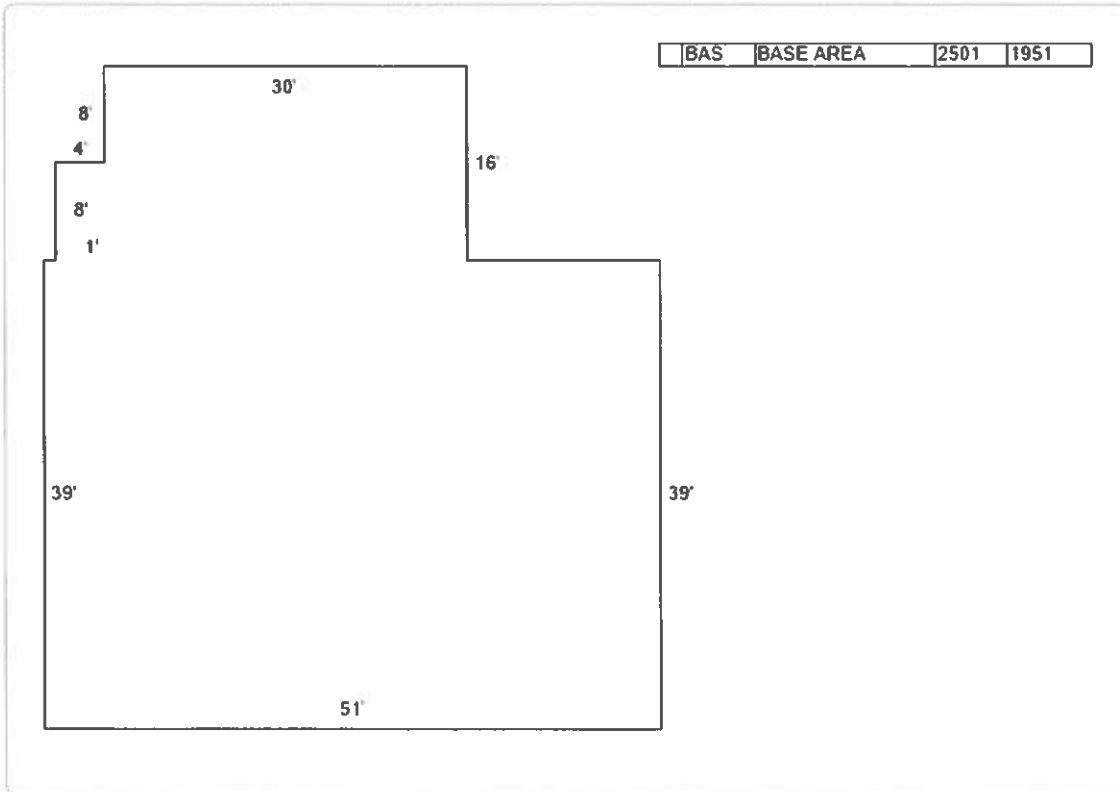
International mailing labels that exceed 5 lines are not supported on the Address labels (5160). For international addresses, please use the xlsx, csv or tab download formats.

[Download](#)

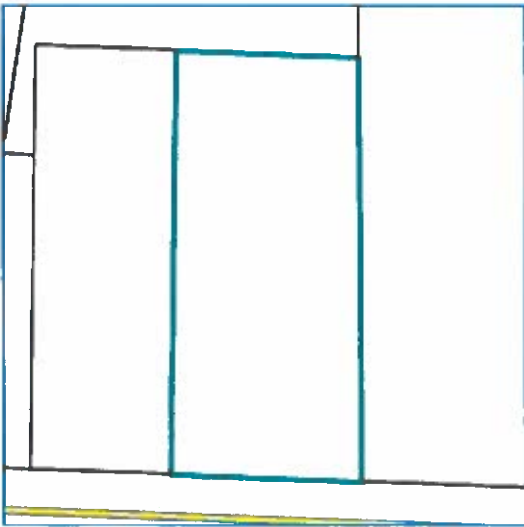
Show All Owners
 Show Parcel ID on Label

Skip Labels

Sketches



Map



Washington County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 1/8/2024 6:36:01 AM

[Contact Us](#)





Money Received

Amount	Type	Payment Info
750.00	PP	VISA: 9442 / AUTH: 148997123

Provider Fees Paid: \$9.00

Distributions

Type	Amount	Apply To	Description	For	Discount Pen Forgive
FMSD	750.00	DIST CD: 2550	PLANNING & ZONING FEES		0.00

Operator Code: BETTY

Receipt Code: CD3007571

Receipt Date: 01/05/24

Voided

Distributions: 750.00

Money: 750.00

Change Due: 0.00

From: MCGHEE, DEBRA

Email Address:

Destination Phone:

**NOTICE OF PUBLIC HEARING REGARDING PROPOSED
FUTURE LAND USE MAP (FLUM) AMENDMENT
NOTICE TO AFFECTED REAL PROPERTY OWNERS**

In accordance with Section 44-328 of the City of Chipley Code, this notice is being sent to all real property owners of property that directly adjoins the property and all property owners within 500 feet of the affected property for which an amendment to the Future Land Use Map (FLUM) amendment is being considered. The proposed change in the FLUM is for a Land Use Change from LOW DENSITY RESIDENTIAL to HIGH DENSITY RESIDENTIAL.

Petitioner: Debra McGhee-Davis

**Property located at 1218 Campbellton Avenue,
Parcel No. 00000000-00-1941-0001, Acreage .417**

The documents with information concerning the substances of the proposed FLUM amendment can be reviewed at the City of Chipley, 1442 Jackson Ave, Chipley, FL, or you may call 850-638-6350 if you have any questions.

UPCOMING PUBLIC MEETINGS:

PLANNING COMMISSION: February 22, 2024 at 3:00 pm at the City Hall, Council Chambers, 1442 Jackson Ave. Chipley, FL 32428

CITY COUNCIL: March 12, 2024 at 6:00 pm at the City Call, Council Chambers, 1442 Jackson Ave. Chipley, FL 324289

01.11.2024 11:01 AM

30.78814, -85.53511

Altitude: 147ft

1218 E Campbellton Ave, Chipley, FL 32428



BOWDEN CATHERINE E
1235 CAMPBELLTON AVE
CHIPLEY, FL 32428

BRIGHAM COMER DEAN ESTATE
% ISAAC BRIGHAM
1699 CONDOR DR
CANTONMENT, FL 32533

BRIGHAM JOHN JR ESTATE
688 DEERMONT CIR
CHIPLEY, FL 32428

BRIGHAM MARTHA L
539 MARTIN LUTHER KING DR
CHIPLEY, FL 32428

CHIPLEY HOUSING AUTHORITY
PO BOX 388
CHIPLEY, FL 32428

DAVIS DEBRA MCGHEE
1510 SHACKELFORD RD
CHIPLEY, FL 32428

DAVIS TAMARA C, DAVIS ANGELO
539 MARTIN LUTHER KING DR
CHIPLEY, FL 32428

DAY PAUL PETE, DAY DEIDRA
726 ALFORD RD
CHIPLEY, FL 32428

FINNEY ALFRED, FINNEY JUANITA STEVENS
PO BOX 673
CHIPLEY, FL 32428

FINNEY ALFRED, FINNEY JUANITA
PO BOX 673
CHIPLEY, FL 32428

FLOWERS EDNA P
717 ORANGE ST
CHIPLEY, FL 32428

GILMORE ANTHONY, GILMORE FLORENCE
% ANTHONY GILMORE III
11120 LAKE VICTORIA LN
BOWIE, MD 20720

GILMORE DENNIE ESTATE
C/O D GILMORE JR
PO BOX 6733
TALLAHASSEE, FL 32314

GILMORE JIMMY L SR
% CASSANDRA GANT
1223 BRAFFORTON CT
TALLAHASSEE, FL 32311

GILMORE MATTIE LOU
% THOMAS GILMORE
8146 ELYSIAN WAY
TALLAHASSEE, FL 32311

GILMORE OSSIE LENE
582 BENNETT DR
CHIPLEY, FL 32428

GILMORE WILLIE ESTATE
% PAULETTE D TAYLOR &
DEBROAH E WILLIAMS
5522 LOCHDALE DR
ORLANDO, FL 32818

HOLMES ANNIE V KENT ESTATE
% BARBARA KENT COCHRAN
569 YATES DR
CHIPLEY, FL 32428

HOLMES JOHN E
572 YATES DR
CHIPLEY, FL 32428

HUNTER JAMES JR
571 MARTIN LUTHER KING DR
CHIPLEY, FL 32428

IPA VILLA CORPORATION
1242 SW PINE ISLAND RD
STE 42-348
CAPE CORAL, FL 33991

JOHNSON MANUEL E
2902 MALONE DR
PANAMA CITY, FL 32405

MC DOUGALD WILLIAM JR ESTATE
4022 MARCHANT DR
HOUSTON, TX 77047

MC GHEE DEBRA
1510 SHACKELFORD RD
CHIPLEY, FL 32428

MC GHEE DEBRA
1510 SHACKELFORD RD
CHIPLEY, FL 32428

MC GHEE-DAVIS DEBRA, DAVIS DEBRA
PO BOX 673
CHIPLEY, FL 32428

MC LEOD BRUCE
717 GLENWOOD AVE
CHIPLEY, FL 32428

MOODY CHERYL
490 WARD RD
CHIPLEY, FL 32428

MORRIS VIVIAN
PO BOX 302
CHIPLEY, FL 32428

NEW STORY MINISTRIES INC
1791 MADISON LN
CHIPLEY, FL 32428

PANNELL MEGAN JANE
1222 E CAMPBELLTON AVE
CHIPLEY, FL 32428

ROUSE LIN, ROUSE EDITH V
1181 4TH AVE
CHIPLEY, FL 32428

SMITH PAMELA M
1226 CAMPBELLTON AVE
CHIPLEY, FL 32428

SPEED ADRIAN, SPEED CARLOTTA
637 BENNETT DR
CHIPLEY, FL 32428

STANLEY BENNIE STEVEN
554 BENNETT DR
CHIPLEY, FL 32428

WILSON MARTHA
1155 SOUTH BLVD
CHIPLEY, FL 32428

YOUNGBLOOD RICKY SLY
1202 OLD BONIFAY RD
CHIPLEY, FL 32428



City of Chipley



1442 Jackson Avenue
Post Office Box 1007
Chipley, Florida 32428
(850) 638-6350 Fax: (850) 638-6353

NOTICE OF PUBLIC HEARING

January 9, 2024

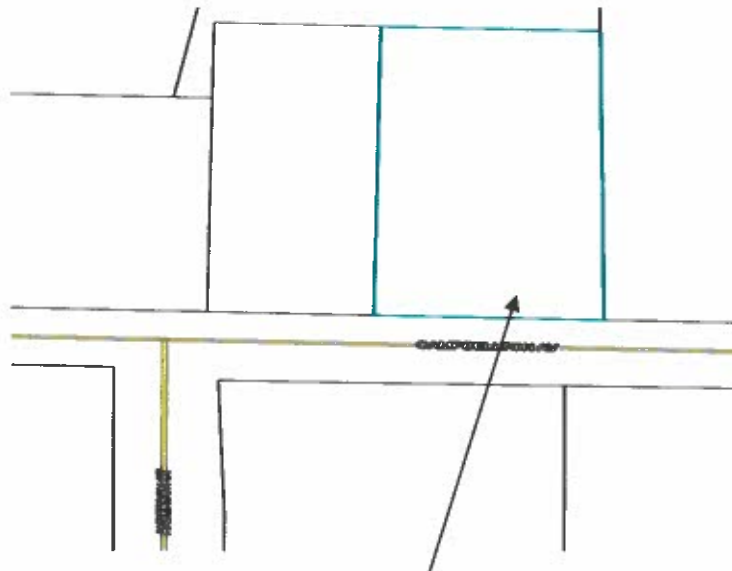
Dear Citizen:

The City of Chipley Planning & Zoning Commission will conduct a public hearing on February 22, 2024, at 3:00 pm, CST at the City Hall Council Chambers, located at 1442 Jackson Ave., Chipley, FL 32428. The purpose of this hearing is to review and consider the following request:

Location: 1218 Campbellton Avenue
Parcel ID #: 00-2698-0001
Acreage: .417
Petitioner: Debra McGhee-Davis

The proposed change in the FLUM is for a Land Use Change from LOW DENSITY RESIDENTIAL to HIGH DENSITY RESIDENTIAL.

Property located at 1218 Campbellton Avenue, Parcel No. 00000000-00-2698-0001, Acreage .417



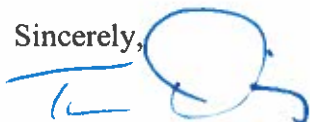
Subject Site

1218 Campbellton Avenue, Parcel #00000000-00-2698-0001

Attached is a FLUM Amendment Consent Form that must be filled out and returned to City Hall, in the enclosed self-addressed envelope no later than Friday, February 9, 2024.

Should you have any questions or need additional information regarding this request, please contact me prior to the public hearing at (850) 638-6350.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Tamara Donjuan', with a large circular flourish at the end.

Tamara Donjuan
Planning and Zoning Officer



City of Chipley



1442 Jackson Avenue
Post Office Box 1007
Chipley, Florida 32428
(850) 638-6350 Fax: (850) 638-6353

REZONING CONSENT FORM

January 9, 2024

Petitioner Debra McGhee-Davis is requesting a change in the FLUM for a Land Use Change from LOW DENSITY RESIDENTIAL to HIGH DENSITY RESIDENTIAL.

Location: 1218 Campbellton Avenue
Parcel ID #: 00-2698-0001
Acreage: .417
Petitioner: Debra McGhee-Davis

Per City Code, the city is required to have a written response from you in regards to this zoning change request.

Please check the appropriate box below to indicate your position on this small-scale amendment request:

Yes – In favor.

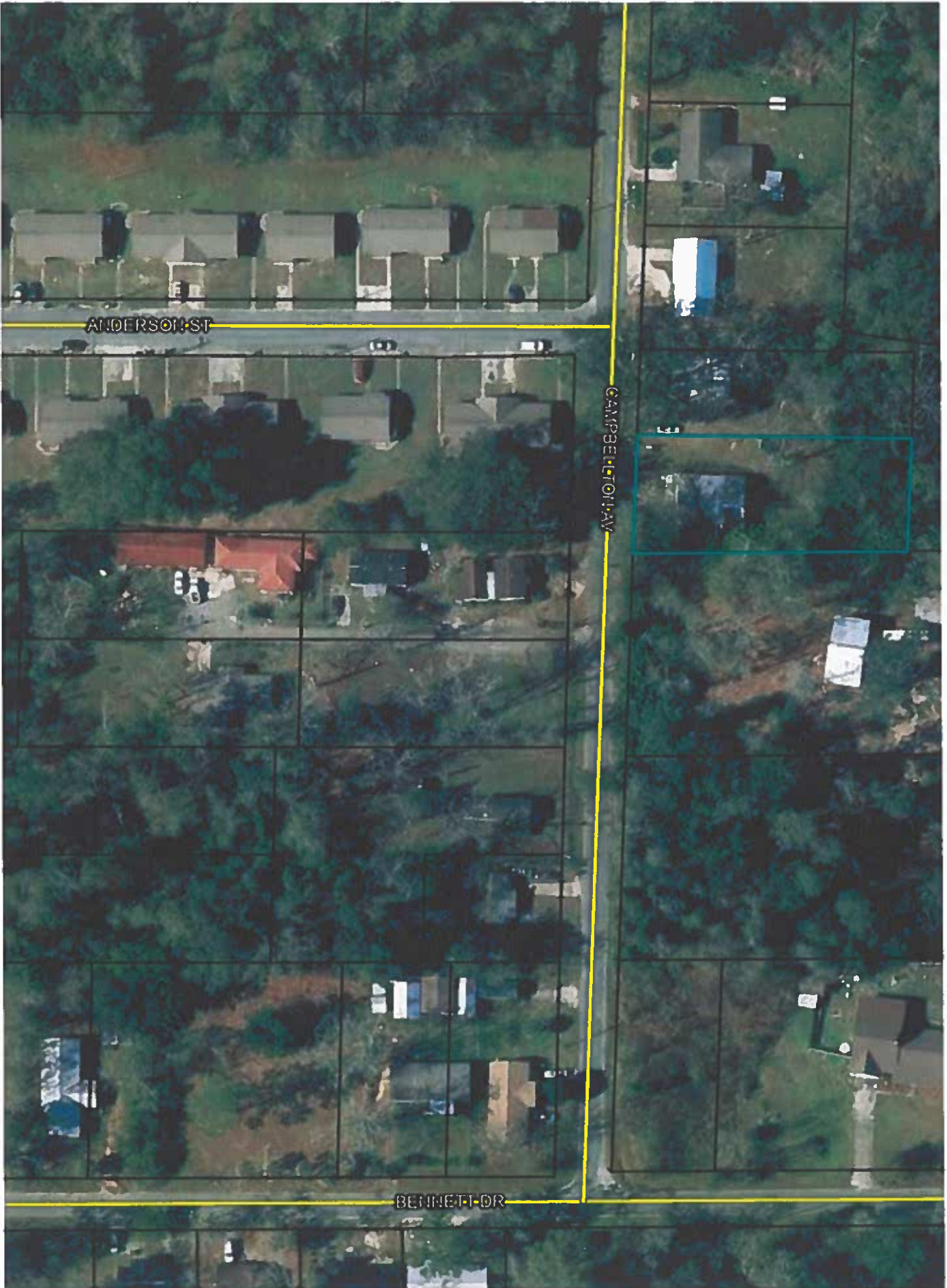
No – Not in favor.

Signature _____

Date _____

Print Name: _____

Address: _____



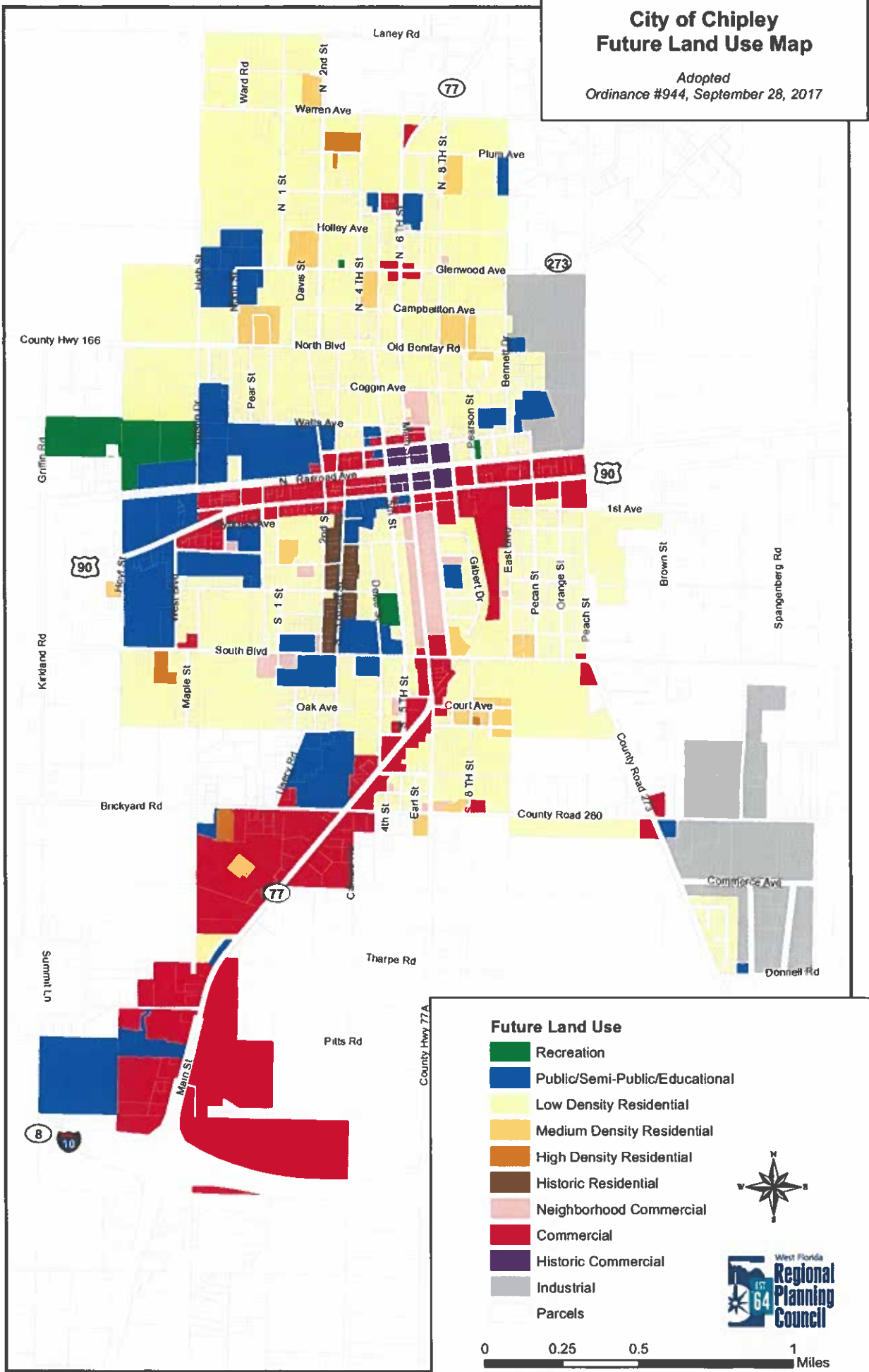
ANDERSON ST

CAMPBELL WAY

BENNETT DR

City of Chipley Future Land Use Map

Adopted
Ordinance #944, September 28, 2017

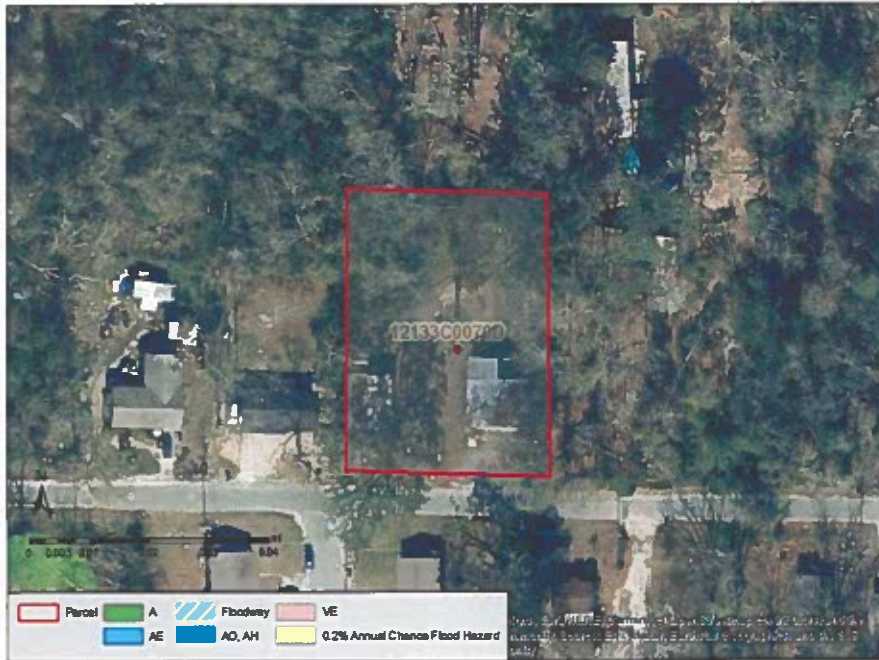


NFWWMD Report

Geographical Information

Latitude/Longitude: 30.78839,-85.53513
 Address: 1218 Campbellton Ave, Chipley, FL, 32428, USA
 Parcel ID: 00000000-00-2698-0000
 Firm Panel (Preliminary): N/A
 Firm Panel (Effective): 12133C0070D

Effective SFHA Flood Map (Effective Issue Date: 7/4/2011)



Flood Information

Flood Zone Information

Preliminary Flood Zone

Location of Interest: N/A
 Parcel: N/A
 Base Flood Information*: N/A

Effective Flood Zone

Location of Interest: X
 Parcel: X:100%;
 Base Flood Information*: N/A

*The computed elevation to which floodwater is anticipated to rise during the base flood (100 Year Flood). Base Flood Elevations (BFEs) are shown on Flood Insurance Rate Maps (FIRMs) and on the flood profiles. The BFE is the regulatory requirement for the elevation or floodproofing of structures. The relationship between the BFE and a structure's elevation determines the flood insurance premium. Datum of measurement is NAVD1988.

Zone VE: A coastal area inundated by 100-year flooding and subject to a velocity hazard (wave action) where BFEs have been determined. **Zone AE:** An area inundated by 100-year flooding, for which BFEs have been determined. **Zone AO/AH:** An area inundated by 100-year flooding. (AO) Sheet flow, ponding, or shallow flooding where Base Flood Depths are provided; (AH) Shallow flooding base floodplain where BFEs have been determined. **Zone A:** An area inundated by 100-year flooding, for which no BFEs have been determined. **Zone 0.2PCT (0.2 PCT ANNUAL CHANCE FLOOD HAZARD/X500):** An area inundated by 500-year flooding an area inundated by 100-year flooding with average depths of less than 1 foot or with drainage areas less than 1 square mile or an area protected by levees from 100-year flooding. **Zone X:** An area of minimal flood hazard.

Disclaimer: Although derived directly from a variety of sources, including the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRMs), the District's digital elevation model, the counties' digital parcel maps and data from other governmental sources, the data provided through this portal is for informational purposes only. The user is advised to be aware that for flood insurance or regulatory determinations, or for supporting an application for a Letter of Map Change (LOMC), only the official and latest FEMA FIRM and Flood Insurance Study (FIS) report should be consulted. Also, all elevation data submitted in support of a LOMC application must be certified by a licensed land surveyor, engineer, or architect. The NFWWMD, FEMA, its agents, and partners shall not be held responsible for the misuse or misinterpretation of the information presented in this portal.

1218 CAMPBELLTON AVE DUPLEX CHIPLEY, FLORIDA

ENGINEER:

BTK ENGINEERING SERVICES, INC.

1101 BRICKYARD ROAD, CHIPLEY, FL 32428
ENGINEERING BUSINESS #0010 / BRADLEY T. KENT P.E. FLORIDA REGISTRATION #00004 / EXP. FEB. 28, 2025



Drawing is not valid without a
signature, date, and raised seal

DECEMBER 12, 2023

CAMPBELLTON STREET (20231212) DWG

1218 CAMPBELLTON AVE DUPLEX
CHIPLEY, FLORIDA

LENGTH 48'-0"
WIDTH 32'-0"
EAVE HEIGHT 8'-0"
ROOF SLOPE 3:12
COLLATERAL GRAVITY 4 PSF
FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF

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ROOF FRAMING PLAN S2.1
BUILDING ELEVATIONS S3.1
WALL SECTIONS S4.1

APPLICABLE CODES

Florida Building Code, Building (FBC-B) 2020
ASCE 7.16

Design Criteria Building Specifications
Design Velocity (Vult 3 sec gust) 78.0 mph
Building Category B
Risk Category II
Wind Exposure C
E-Values per ASCE 7.6.10
Internal Pressure Coefficient +0.18
Drain Protection 31.22 psf

Table with 10 columns: Area, Cdg, Cdg p, psf, Cdg (C) or Cdg (P), psf, Building Section, Zone, Height, psf, Outcrop, psf. Rows include structural backfill, compacted fill, and various soil types.

Other & H.P. CONTROLS OF EACH LOADS
Table with 2 columns: Description, Value. Includes items like wind, snow, and seismic loads.

NOTES

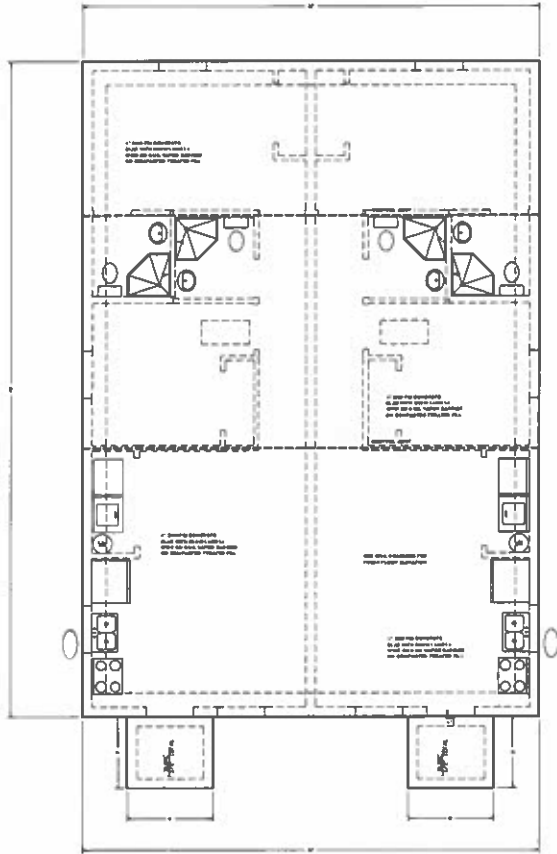
- 1. SCOPE: BTK ENGINEERING SERVICES WAS HIRED BY THE OWNER TO CONVERT A SET OF EXISTING PLANS TO A STRUCTURAL SET OF BUILDING DRAWINGS FOR PERMITTING A SINGLE-FAMILY RESIDENTIAL HOME. THE SITE PLAN WAS PROVIDED BY OTHERS AS WELL AS THE OTHER DEVELOPMENT CODES REQUIREMENTS. THIS SET OF DRAWINGS IS SPECIFICALLY FOR THE BUILDING ITSELF. THIS PERMIT PACKAGE IS NOT CONSIDERED A COMPLETE PACKAGE.
- 2. GENERAL: 2.1. REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO THE STRUCTURAL ENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. 2.2. SHOP DRAWINGS REQUIRED: 2.2.1. PRE-ENGINEERED TRUSS SYSTEM - ENGINEERED 2.2.2. SUBMITTALS REQUIRED: 2.2.1. SOILS COMPACTION REPORTS 2.2.2. CONCRETE MIX DESIGN 2.2.3. CONCRETE TEST REPORTS 2.4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THE CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ALL OSHA STANDARDS 2.5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE JOB SITE CLEAN AND MAINTAINED IN PROFESSIONAL CONDITION AT ALL TIMES 2.6. CONTRACTOR IS ALSO RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION 2.7. SITE EROSION CONTROL AND LAUNCH IS SPECIFICALLY OMITTED FROM SCOPE 2.8. SITE AND CONSTRUCTION SHALL COMPLY WITH OSHA OR EM383 AT ALL TIMES 2.9. SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY, AND SAFE MANNER AT ALL TIMES 2.10. CONTRACTOR SHALL SUBMIT A SOIL BORING REPORT TO BTK ENGINEERING TO A MINIMUM OF 2' PRIOR TO CONSTRUCTION. FOUNDATION MAY CHANGE BASED ON THESE FINDINGS.
- 3. SOILS: 3.1. NOTHING IN THIS PLAN SHALL BE CONSIDERED A SITE PLAN. ALL REFERENCES TO GRADE ARE FOR ILLUSTRATION ONLY. HOWEVER ALL GRADES SHALL SLOPE AWAY FROM THE RESIDENCE FOR A MINIMUM OF 10' IN ALL DIRECTIONS. 3.2. CONTRACTOR SHALL VERIFY SOIL IS FREE OF MUD, CLAY, SILT, ORGANICS, OR OTHER UNSUITABLE MATERIALS. 3.3. CONTRACTOR SHALL REMOVE ALL LAYERS OF SOIL THAT CONTAIN ORGANICS. 3.4. CONTRACTOR SHALL VERIFY FLOOD ZONES AND WATER TABLES AND ASSURE FINISH FLOOR IS AT THE REQUIRED ELEVATION. 3.5. CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL BUILDING SETBACKS AND EASEMENTS. 3.6. SOIL SHALL BE CAPABLE OF SUPPORTING AND ALLOWABLE BEARING PRESSURE OF 2000 PSF. 3.7. CONTRACTOR SHALL VERIFY ALL SOILS ARE COMPACTED TO 98% MAXIMUM DENSITY (MODIFIED PROCTOR). 3.8. ALL SOILS UNDER SLABS SHALL BE TREATED FOR TERMITES. 3.9. STRUCTURAL BACKFILL AND FILL SOILS: 3.9.1. STRUCTURAL BACKFILL OR FILL REQUIRED FOR SITE DEVELOPMENT SHOULD BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS WHEN COMPACTION BY THE USE OF A VIBRATORY DRUM ROLLER. THE LIFT THICKNESS SHOULD BE REDUCED TO 8 INCHES IF THE ROLLER OPERATES IN THE STATIC MODE OR IF TRACK-MOUNTED COMPACTION EQUIPMENT IS USED. IF HAND-HELD COMPACTION EQUIPMENT IS USED, THE LIFT THICKNESS SHOULD BE FURTHER REDUCED TO 6 INCHES. STRUCTURAL FILL IS DEFINED AS A NON-PLASTIC, INORGANIC, GRANULAR SOIL HAVING NO LESS THAN 10 PERCENT MATERIAL PASSING THE NO. 200 MESH SIEVE AND CONTAINING LESS THAN 4 PERCENT ORGANIC MATERIAL. TYPICALLY, THE MATERIAL SHOULD EXHIBIT MOISTURE CONTENTS WITHIN 32 PERCENT OF THE MODIFIED PROCTOR OPTIMUM MOISTURE CONTENT (ASTM D 1587) DURING THE COMPACTION OPERATIONS. COMPACTION SHOULD CONTINUE UNTIL DENSITIES OF AT LEAST 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1587) HAVE BEEN ACHIEVED WITHIN EACH LIFT OF THE COMPACTED STRUCTURAL FILL.
- 4. FOUNDATION: 4.1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE BREAK STRENGTH OF 3000 PSI AFTER 28 DAYS 4.2. CONCRETE MIX DESIGN SHALL BE SUBMITTED TO BTK ENGINEERING FOR APPROVAL PRIOR TO PROCUREMENT. ALLOW ONE WEEK FOR REVIEW 4.3. CONCRETE SHALL HAVE FELD CYLINDERS TAKEN AND TESTED IN ACCORDANCE WITH ACI 308 4.4. CONCRETE SLUMP SHALL BE BETWEEN 3 AND 6 INCHES AT THE TIME OF PLACEMENT 4.5. ALL REINFORCING BARS SHALL BE GRADE 40, ASTM#615 AND LAP 30 BAR DIAMETERS 4.6. WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM#185 AND LAP A MINIMUM OF 6" 4.7. WELDED WIRE REINFORCEMENT SHALL BE PLACED IN THE UPPER ONE-HALF OF THE SLAB ON SUPPORTS (NOT PULLED INTO PLACE) 4.8. PROPORTION NORMAL-WEIGHT CONCRETE MIXTURE AS FOLLOWS: 4.8.1. PORTLAND CEMENT: ASTM C 150, TYPE II, NO FLY ASH PERMITTED 4.8.2. MINIMUM COMPRESSIVE STRENGTH: 3000 PSI AT 28 DAYS 4.8.3. MAXIMUM WATER-CEMENTitious MATERIALS RATIO: 0.51 4.8.4. SLUMP: LIMIT 3" TO 6" 4.8.5. NORMAL-WEIGHT AGGREGATES: ASTM C 33, CLASS 3M COARSE AGGREGATE OR BETTER, GRADED 4.8.6. MAXIMUM COARSE-AGGREGATE SIZE: 3/4" MAXIMUM UNLESS NOTED 4.8.7. FINE AGGREGATE: FREE OF MATERIALS WITH DELETERIOUS REACTIVITY TO ALKALI IN CEMENT 4.8.8. AIR CONTENT: 3 PERCENT, PLUS OR MINUS 1 PERCENT AT POINT OF DELIVERY FOR 3M-INCH (38-MM) NOMINAL MAXIMUM AGGREGATE SIZE.

- 4.8.9. NO CALCIUM CHLORIDE PERMITTED. 4.8.10. HIGH EARLY SET ADJUSTERS ARE ENCOURAGED IF THEY ARE NON-CORROSIVE TO THE REINFORCEMENT. 4.9. FINISH TEXTURE SHALL BE VERIFIED WITH OWNER 4.10. CONCRETE SURFACE SHALL BE UNIFORM AND STRAIGHT AND LEVEL TO WITHIN 1/8" IN A TEN FOOT STRAIGHT EDGE.
- 5. MASONRY: 5.1. ALL CHAU BELOW FINISH FLOOR SHALL BE POURED SOLID WITH 3000 PSI GROUT CONFORMING TO ASTM C476 5.2. CONCRETE MASONRY WORK SHALL CONFORM TO ACI 300, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 300.1 SPECIFICATION FOR MASONRY STRUCTURES 5.3. CONCRETE MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI 5.4. MORTAR SHALL COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY AND SHALL BE: 5.4.1. WALLS BELOW GRADE TYPE M 5.4.2. WALLS ABOVE GRADE TYPE S 5.5. REINFORCED CONCRETE MASONRY UNITS SHALL BE GROUTED WITH 3,000 PSI COURSE OR OUT CONFORMING TO ASTM C476
- 6. WOOD FRAMING: 6.1. ALL FRAMING SHALL BE #2, WITH A MINIMUM EXTREME FIBER BENDING STRESS OF 1,100 PSI 6.2. WOOD FRAMING SHALL COMPLY WITH THE WFCM-2001 (WOOD FRAME CONSTRUCTION MANUAL) 6.3. HEADERS SHALL BE (2) 2X12S WITH 1/4" PLY-WOOD FLITCH PLATES UNLESS NOTED OTHERWISE 6.4. ALL TRUSSES AT EXTERIOR AND INTERIOR LOAD BEARING WALLS SHALL BE ANCHORED WITH SIMPSON H1E 6.5. USE SIMPSON HURRICANE HARDWARE FOR TRUSS SUPPORTS AT ALL INTERIOR AND EXTERIOR (LOAD BEARING) WALLS
- 7. TRUSSES: 7.1. TRUSS SYSTEM SHALL BE DESIGNED BY A REGISTERED ENGINEER TO WITHSTAND 120 MPH WIND LOAD AS WELL AS A 10 PSF DEAD LOAD ON THE TOP CHORD AND A 10 PSF ON THE BOTTOM CHORD 7.2. INSTALL TRUSSES ACCORDING TO THE TRUSS MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH BCSI-L03 QUILD TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES 7.3. INSTALL LATERAL BRACING AT 48" O/C THROUGH THE FIRST FOUR TRUSSES.
- 8. ELECTRICAL: 8.1. ELECTRICAL DESIGN/INSTALLATION SHALL BE PERFORMED BY A LICENSED PROFESSIONAL AS REQUIRED OR ALLOWED BY CHAPTER 471 OF THE FLORIDA STATUTES PER N.E.C. REQUIREMENTS AND THE LOCAL CODES. 8.2. OWNER TO VERIFY LOCATIONS OF ALL FLOOR PLUGS, CEILING PLUGS, LIGHTS, SWITCHES, AND RECEPTACLES.
- 9. HVAC: 9.1. HVAC DESIGN AND INSTALLATION SHALL BE PERFORMED BY A LICENSED PROFESSIONAL AS REQUIRED OR ALLOWED BY CHAPTER 471 OF THE FLORIDA STATUTES AND BE IN ACCORDANCE WITH LOCAL ENERGY CODE REQUIREMENTS 9.2. HVAC CONTRACTOR SHALL PROVIDE FOR VENTILATION REQUIREMENTS OF THE FLORIDA BUILDING CODE 9.3. VERIFY LOCATIONS OF ALL CEILING VENTS 9.4. IT IS ASSUMED FOR THE PURPOSE OF THESE DRAWINGS THAT THE BUILDING WILL CONTAIN MINISPLIT SYSTEMS DESIGN, SIZED AND INSTALLED BY OTHERS
- 10. PLUMBING: 10.1. ALL PLUMBING DESIGN AND INSTALLATION SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR PER FBC 10.2. PROVIDE A CLEANOUT ON THE OPPOSITE SIDE OF THE RESIDENCE FROM THE BATH SYSTEM 10.3. VERIFY LOCATIONS OF EXTERIOR HOSE BIBS.
- 11. PRODUCTS AND PRODUCT APPROVAL: 11.1. CONTRACTOR SHALL MAKE AVAILABLE ALL NECESSARY DOCUMENTS FOR FLORIDA PRODUCT APPROVAL REQUIREMENTS 11.2. NAME BRAND PRODUCTS AS MENTIONED IN THESE DOCUMENTS MAY BE SUBSTITUTED WITH EQUAL OR APPROVED PRODUCTS.

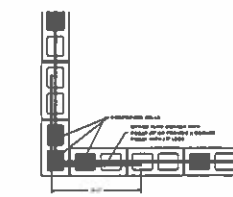


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CHIPLEY, FLORIDA
DATE: DECEMBER 12, 2023
BTK ENGINEERING SERVICES, INC.
1101 BRICKYARD ROAD, CHIPLEY, FL 32426
REGISTRATION 46994 | Exp. FEB. 28, 2025

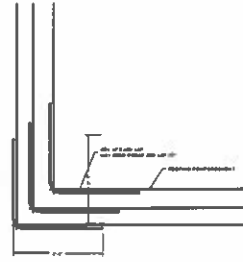
CAMPBELLTON STREET 02021212.DWG



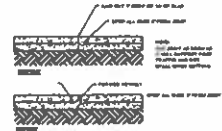
11-1 FOUNDATION PLAN
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12-1 MASONRY WALL REINFORCEMENT DETAIL AT CORNERS
 311 SCALE: 3/4" = 1'-0"



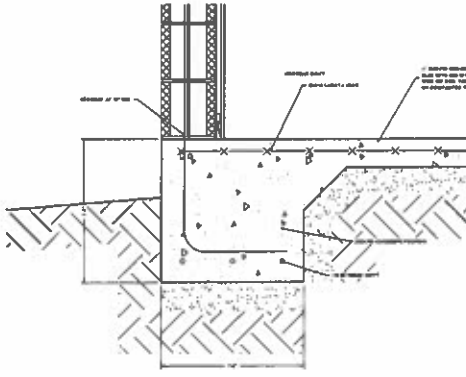
13-1 FOOTING REINFORCEMENT DETAIL AT CORNERS
 311 SCALE: 3/4" = 1'-0"



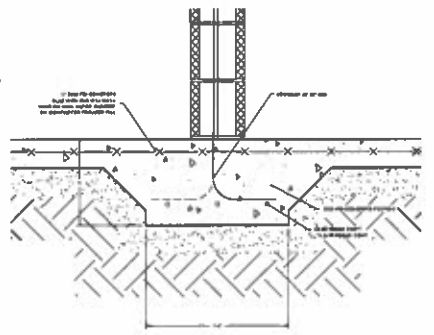
14-1 CONTROL JOINT DETAIL OPTIONS
 311 SCALE: 3/4" = 1'-0"



15-1 PIPE PENETRATION DETAIL
 311 SCALE: 3/4" = 1'-0"



16-1 EXTERIOR FOOTING DETAIL
 311 SCALE: 1 1/2" = 1'-0"

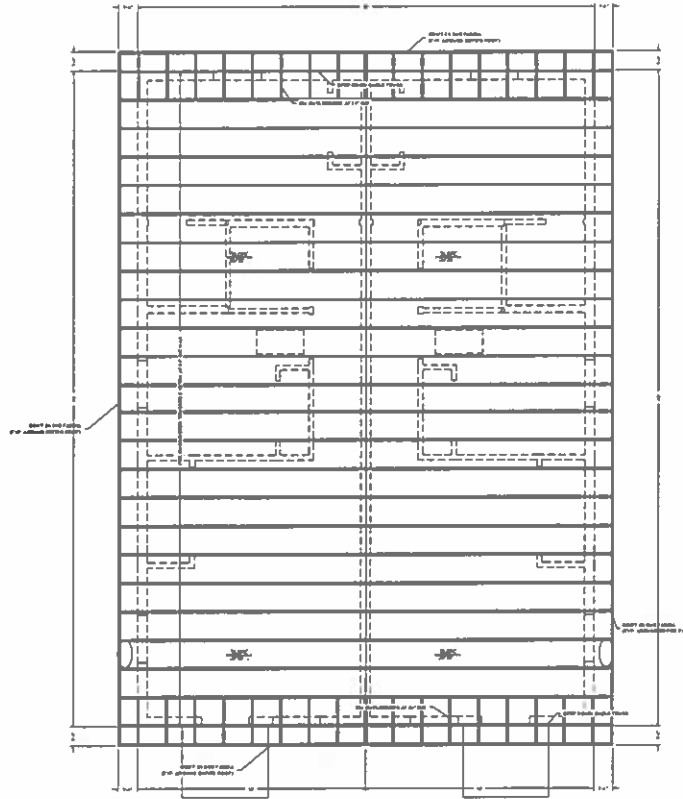
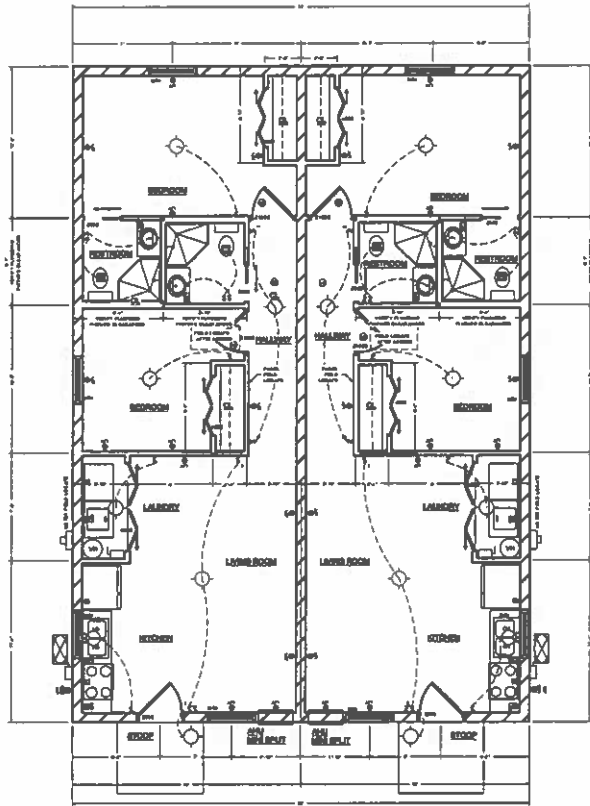


17-1 EXTERIOR FOOTING DETAIL
 311 SCALE: 1 1/2" = 1'-0"



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JBT ENGINEERING SERVICES, INC. 1101 BRICKYARD ROAD, CHIPLEY, FL 32428 EX-0008471 ENGINEER BUREAU #813 (INDUSTY) 1247 P.E. FLORIDA REGISTRATION #88888 / EXP. FEB 28, 2026			

CAMPBELLTON STREET (20231212) DWG



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE START OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

FP-1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

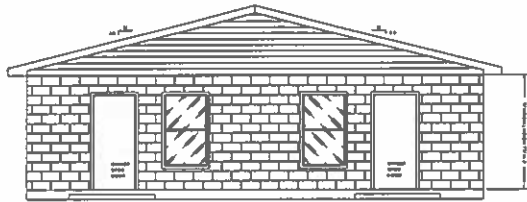
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- WINDOW
- WALL
- CEILING JOIST
- ROOF JOIST
- ROOF RAFTER
- ROOF TRUSS
- ROOF PURLIN
- ROOF DECK
- ROOF INSULATION
- ROOF WATERPROOFING
- ROOF FLASHING
- ROOF VENT
- ROOF CURB
- ROOF EDGE
- ROOF PARAPET
- ROOF DECK EDGE
- ROOF DECK CORNER
- ROOF DECK JOINT
- ROOF DECK SEAM
- ROOF DECK REPAIR
- ROOF DECK REPLACEMENT
- ROOF DECK REMOVAL
- ROOF DECK INSTALLATION
- ROOF DECK FINISHING
- ROOF DECK PAINTING
- ROOF DECK STAINING
- ROOF DECK SEALING
- ROOF DECK WATERPROOFING
- ROOF DECK FLASHING
- ROOF DECK VENTING
- ROOF DECK CURBING
- ROOF DECK EDGING
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- ROOF DECK FLASHING
- ROOF DECK VENTING
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- ROOF DECK EDGING
- ROOF DECK CAPPING

RF-1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

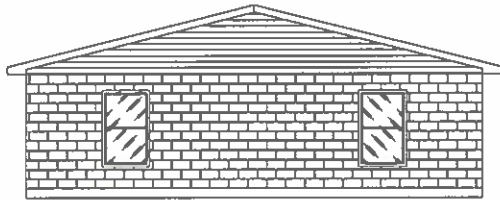


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DATE: DECEMBER 12, 2021			
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1101 BRICKYARD ROAD, CHIPLEY, FL 32428 EX0008.4.11			
REGISTRATION #9898 / EXP. FEB. 28, 2025			

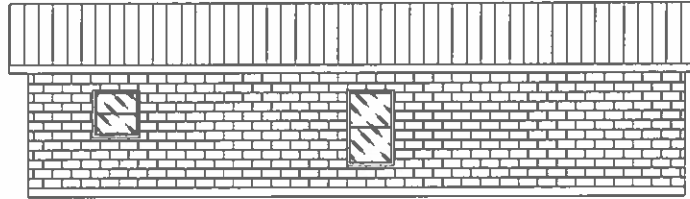
CAMPBELLTON STREET (2021) (1) (DWG)



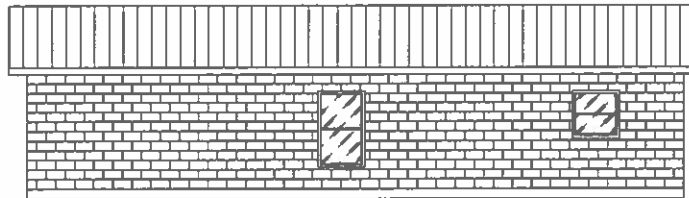
1.1 FRONT ELEVATION
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1.2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1.3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



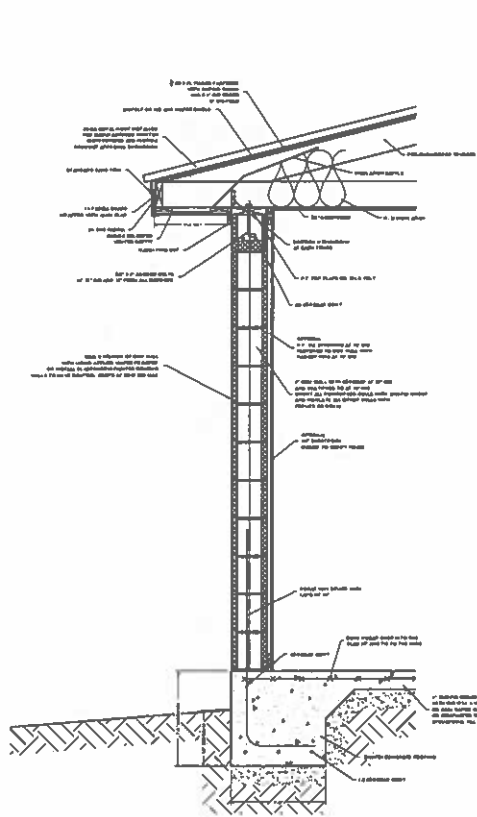
1.4 LEFT ELEVATION
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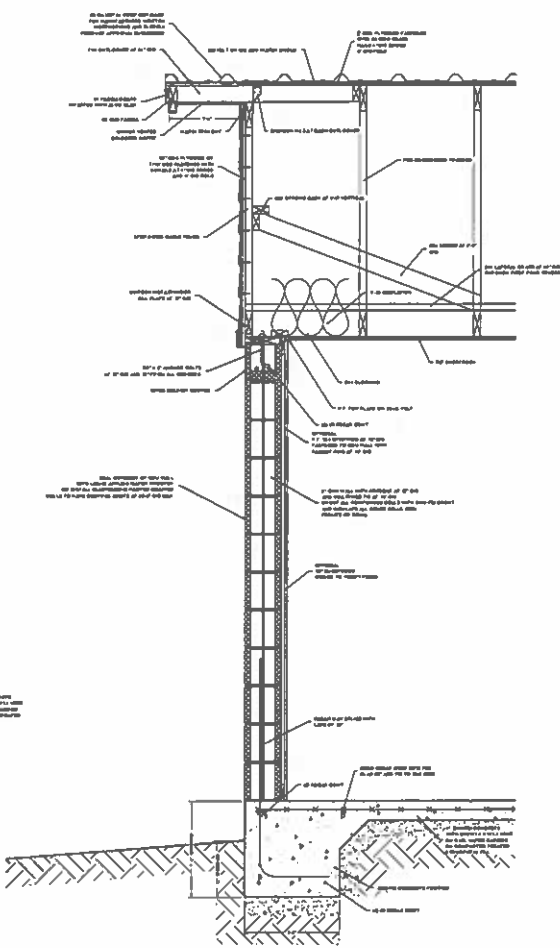
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DATE: DECEMBER 12, 2023			
J.B.K. ENGINEERING SERVICES, INC. 1101 BRICKYARD ROAD, CHIPLEY, FL 32428 ENGINEER REG. BUSINESS P8113 PROFESSIONAL ENGINEER P.E. FLORIDA REGISTRATION 069984 EXP. FEB 28, 2026		EXODUS 4-T1	

CAMPBELLTON STREET 02021213.DWG

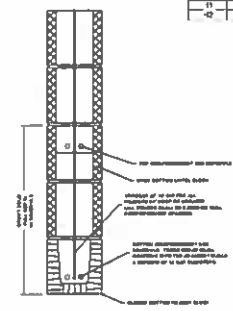
Masonry Header Schedule							
Start	Stop	Depth	Footings	Foundation	Wall	Top Foundation	Finish
11	12	1'	(2) of Retain				1 Case (2) of [F 2417] 4" (1.75)
12	13	1'	(2) of Retain				1 Case (2) of [F 2417] 4" (1.75)



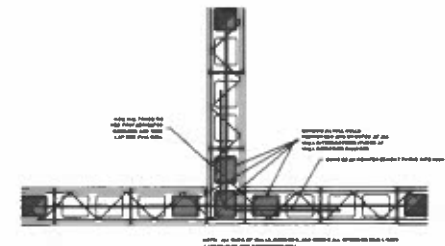
11-1 LEAF DETAIL
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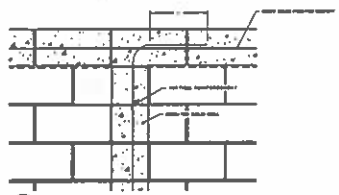
11-2 RAKE DETAIL
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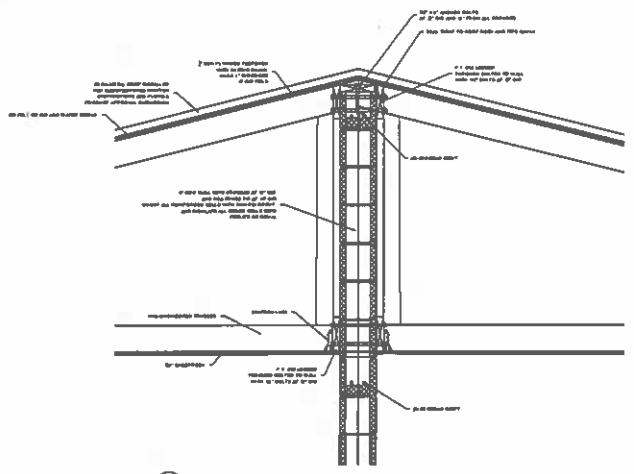
11-1 MASONRY HEADER DETAIL
SCALE: 1 1/2" = 1'-0"



11-1 MASONRY WALL INTERSECTION DETAIL
SCALE: 1" = 1'-0"



11-2 BOND BEAM VERTICAL BAR TERMINATION DETAIL
SCALE: 1" = 1'-0"



11-3 PARTY WALL EXTENSION DETAIL
SCALE: 1" = 1'-0"



SCALE: AS SHOWN		PAGE # 54.1	
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DATE: DECEMBER 12, 2020			
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CAMPBELLTON STREET (20210217).DWG