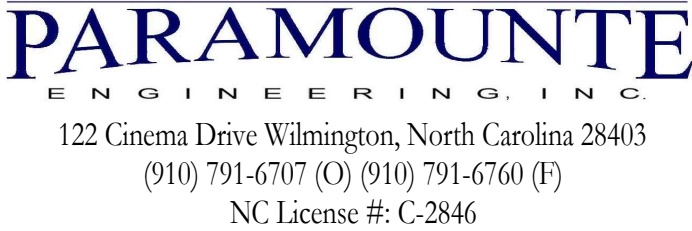
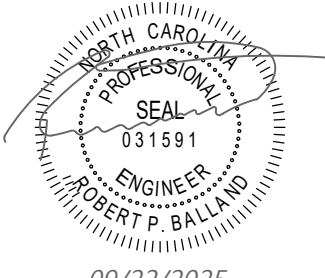


HARMONY HOTEL AND PAVILION AT CAROLINA BEACH

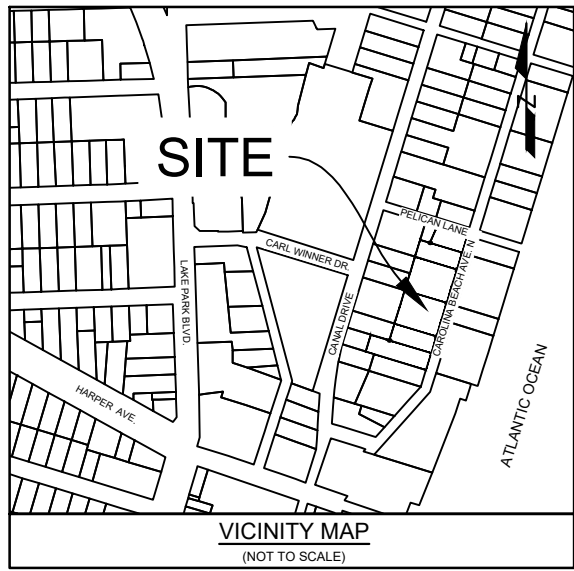
N. CAROLINA BEACH AVENUE
CAROLINA BEACH, NORTH CAROLINA

CONDITIONAL ZONING APPLICATION PLANS
SEPTEMBER 22, 2025

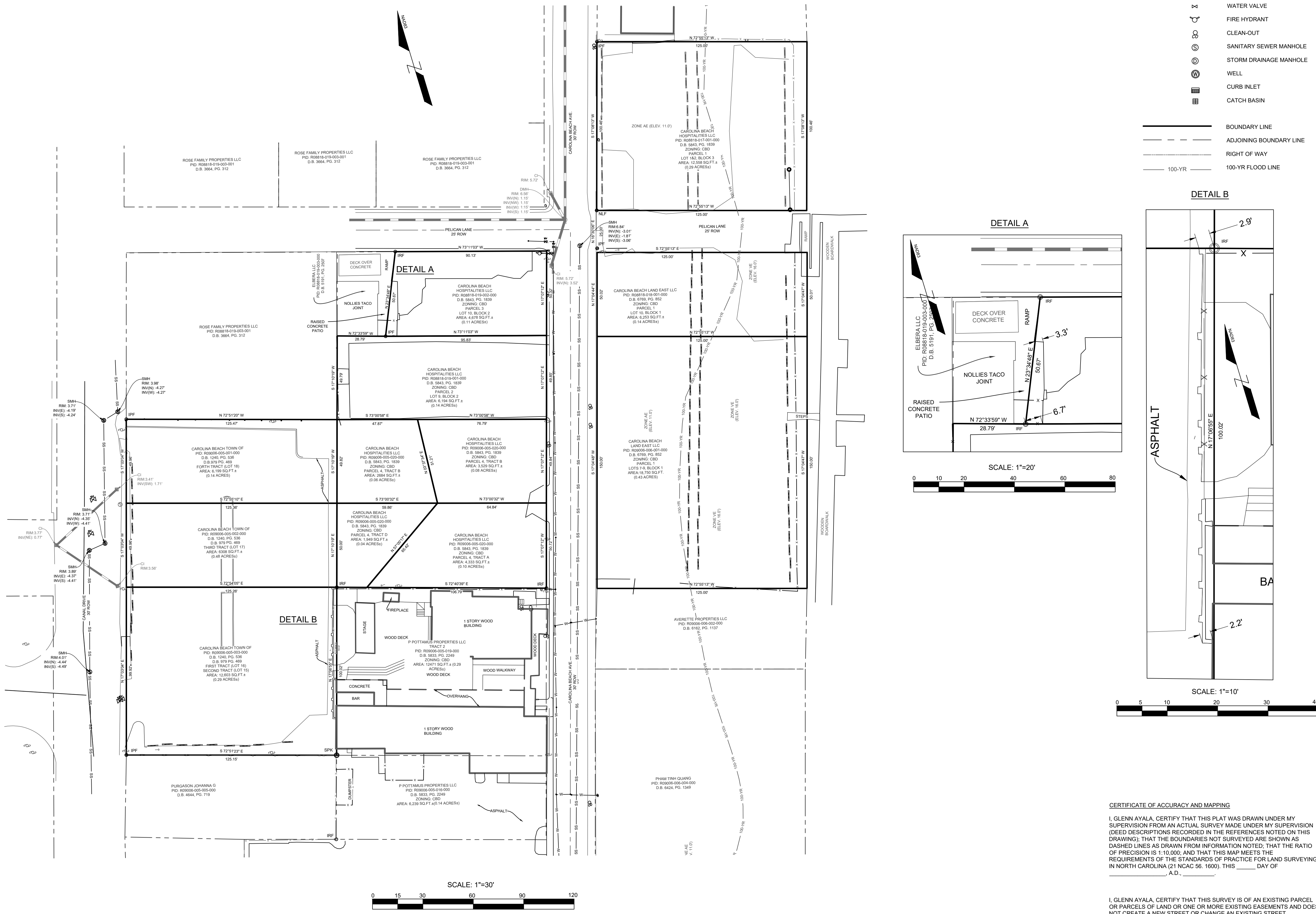
PROJECT APPLICANT:
HARMONY HOSPITALITY, INC.
1300 DIAMOND SPRINGS RD., STE 204
VIRGINIA BEACH, VA 23455

HARMONY HOTEL AND PAVILION AT CAROLINA BEACH CAROLINA BEACH, NORTH CAROLINA																			
PROJECT # 23329.PE	SEPTEMBER 22, 2025																		
<table><tr><th colspan="2">SHEET INDEX</th></tr><tr><th>SHEET NUMBER</th><th>SHEET TITLE</th></tr><tr><td></td><td>COVER SHEET</td></tr><tr><td>SV-1 - SV-2</td><td>EXISTING CONDITIONS</td></tr><tr><td>C-2.0</td><td>OVERALL SITE PLAN</td></tr><tr><td>C-2.1 - C-2.2</td><td>DETAILED SITE PLANS</td></tr><tr><td>L-2.0</td><td>LANDSCAPE PLAN</td></tr><tr><td>A101, A102, A 201 & A901</td><td>FULL-SERVICE HOTEL PRELIMINARY FLOOR PLANS & EXTERIOR ELEVATIONS</td></tr><tr><td>A101, A102, A 201 & A901</td><td>OCEANFRONT PAVILION PRELIMINARY FLOOR PLANS & EXTERIOR ELEVATIONS</td></tr></table>		SHEET INDEX		SHEET NUMBER	SHEET TITLE		COVER SHEET	SV-1 - SV-2	EXISTING CONDITIONS	C-2.0	OVERALL SITE PLAN	C-2.1 - C-2.2	DETAILED SITE PLANS	L-2.0	LANDSCAPE PLAN	A101, A102, A 201 & A901	FULL-SERVICE HOTEL PRELIMINARY FLOOR PLANS & EXTERIOR ELEVATIONS	A101, A102, A 201 & A901	OCEANFRONT PAVILION PRELIMINARY FLOOR PLANS & EXTERIOR ELEVATIONS
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PROJECT CONSULTANTS CIVIL ENGINEER / LANDS SURVEYOR / LANDSCAPE ARCHITECT: PARAMOUNTE ENGINEERING, INC. ENGINEER: ROB BALLAND, PE SURVEYOR: JOSH TAYLOR, PLS LANDSCAPE ARCHITECT: MIKE NICHOLS, RLA 122 CINEMA DRIVE WILMINGTON, NC 28403 PHONE: (910) 791-6707 ARCHITECT: BECKER MORGAN GROUP DAVID BOTSCHHELLER, AIA 333 JAECKLE DRIVE, SUITE 210 WILMINGTON, NC 28403 PHONE: (910) 341-7506																			
PREPARED BY:																			
 PARAMOUNTE ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	 09/22/2025																		

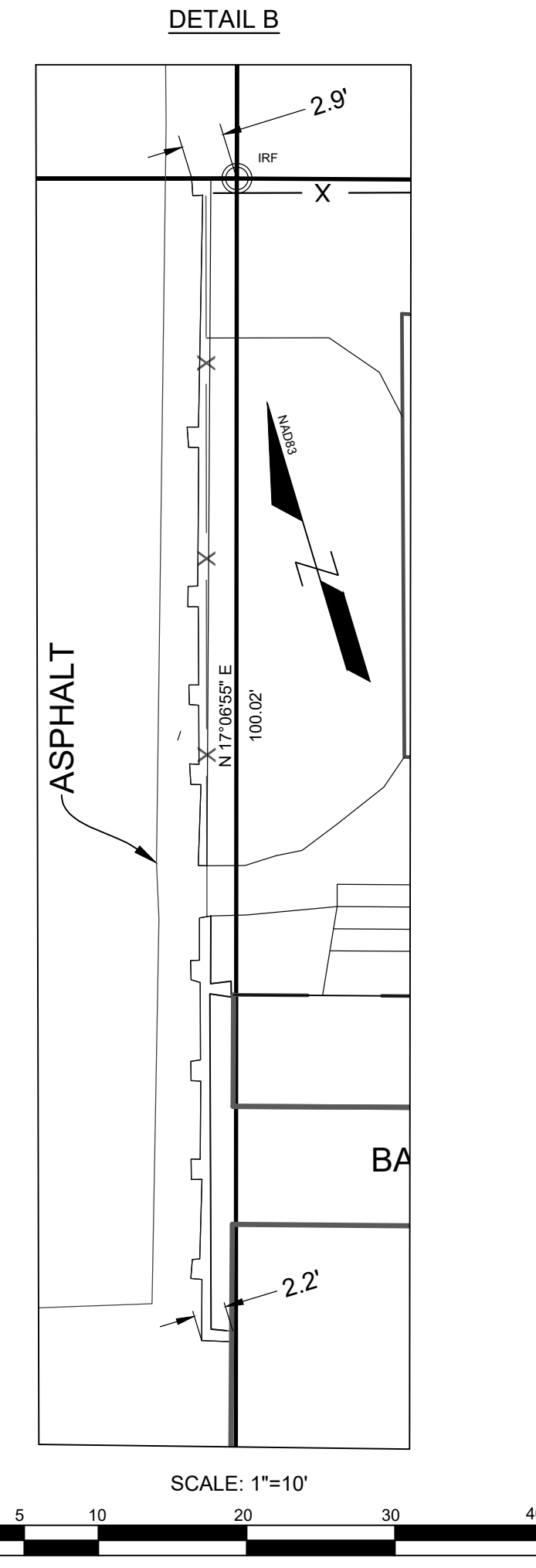
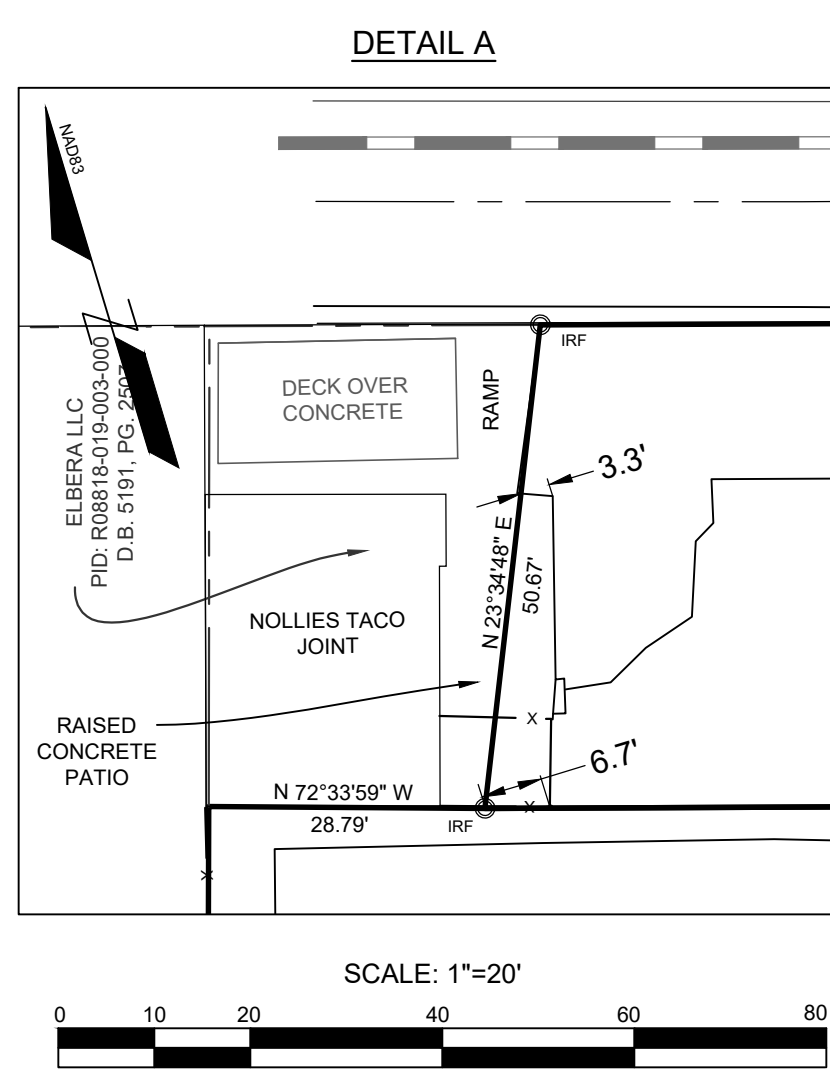
PRELIMINARY - NOT ISSUED FOR CONSTRUCTION



- NOTES
- AREA CALCULATED BY COORDINATE METHOD.
 - HORIZONTAL (NAD 83-2011) AND VERTICAL (NAVD 88) DATA WERE ESTABLISHED UTILIZING A TOPCON HIPER-V GPS RECEIVER OPERATING IN VRS MODE WITH REPEAT OBSERVATIONS.
 - THIS PARCEL IS LOCATED IN ZONE AE (BFE = 11.0) - A SPECIAL FLOOD HAZARD AREA - AS SHOWN ON FEMA FLOOD MAP NO. 3720313000K BEARING AN EFFECTIVE DATE OF 8/28/2016.
 - UTILITIES AS SHOWN ARE PLOTTED FROM INFORMATION VISIBLE IN THE FIELD AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. THE APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED PRIOR TO LAND DISTURBING ACTIVITIES.
 - THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
 - DETAILS A & B ILLUSTRATE ENCROACHMENTS AS SHOWN HEREON.



- LEGEND:
- PF IRON PIPE FOUND
 - RF IRON ROD FOUND
 - SPK SPIKE FOUND
 - PKS PK NAIL SET
 - TVR TV RISER
 - TRF TRANSFORMER
 - LGP LIGHT POLE
 - PPW POWER POLE
 - GUA GUY ANCHOR
 - TRR TELEPHONE RISER
 - WMR WATER METER
 - WVR WATER VALVE
 - FHR FIRE HYDRANT
 - COU CLEAN-OUT
 - SSM SANITARY SEWER MANHOLE
 - SDM STORM DRAINAGE MANHOLE
 - WEL WELL
 - CIB CURB INLET
 - CBS CATCH BASIN
 - BLD BOUNDARY LINE
 - ADJ ADJOINING BOUNDARY LINE
 - ROW RIGHT OF WAY
 - 100-YR 100-YR FLOOD LINE



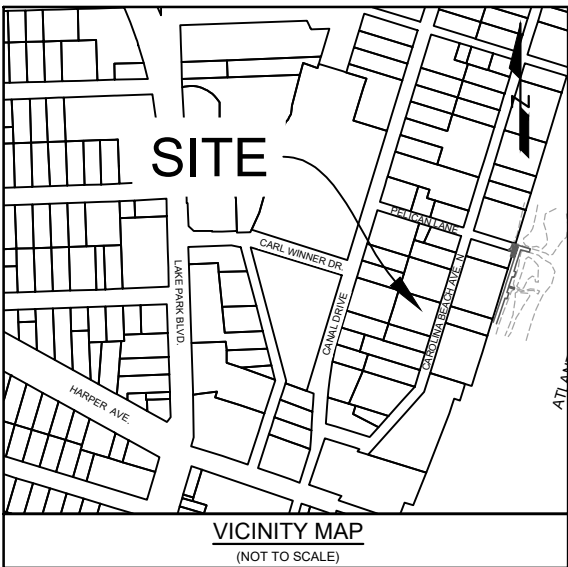
CERTIFICATE OF ACCURACY AND MAPPING

I, GLENN AYALA, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTIONS RECORDED IN THE REFERENCES NOTED ON THIS DRAWING); THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS DASHED LINES AS DRAWN FROM INFORMATION NOTED; THAT THE RATIO OF PRECISION IS 1:110,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS ____ DAY OF _____, A.D., ____.

I, GLENN AYALA, CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

GLENN AYALA, PLS LICENSE NO. L-5264

REVISIONS:	
CLIENT INFORMATION:	
CAROLINA BEACH HOSPITALITIES LLC 2318 CROWN CENTRE DR. CHARLOTTE, NC 28227	
PARAMOUNT ENGINEERING, INC. 122 Cigarette Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	
PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST:	CAROLINA BEACH HOSPITALITIES EXISTING CONDITIONS DEED BOOK 5843, PAGE 1839 FEDERAL POINT TOWNSHIP NEW HANOVER COUNTY, NC
DRAWING INFORMATION DATE: 11/21/23 DESIGNED: JWA CHECKED: JWA	PRELIMINARY DRAWING DO NOT USE FOR CONSTRUCTION, RECORDATION, CONVEYANCES, OR SALES.
SV-1	
PEI JOB#: 0000.PE	



NOTES

1. AREA CALCULATED BY COORDINATE METHOD.
2. HORIZONTAL (NAD 83-2011) AND VERTICAL (NAVD 83) DATA WERE ESTABLISHED UTILIZING A TOPCON HIPER-V GPS RECEIVER OPERATING IN VRS MODE WITH REPEAT OBSERVATIONS.
3. PORTIONS OF THIS PARCEL ARE LOCATED IN ZONE AE (BFE = 11.0'), AND ZONE VE (ELEV. 16.0') - A SPECIAL FLOOD HAZARD AREA - AS SHOWN ON FEMA FLOOD MAP NO. 372031300K BEARING AN EFFECTIVE DATE OF 8/28/2016.
4. UTILITIES AS SHOWN ARE PLOTTED FROM INFORMATION VISIBLE IN THE FIELD AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. THE APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED PRIOR TO LAND DISTURBING ACTIVITIES.
5. THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
6. CONCRETE PATIO AND FENCE ALONG THE EASTERN SIDE OF THE ELBERA LLC PROPERTY PROJECT ACROSS PROPERTY LINE AS SHOWN IN INSET. CONCRETE PARKING PAD AND MULTIPLE FENCES PROJECT ACROSS THE NORTHERN LINE OF THE AVERETTE PROPERTIES LLC PROPERTY AS SHOWN HEREON.
7. MAP BOOK 3, PAGE 67 DOES NOT SHOW ANY EASEMENTS OR SETBACKS. TOWN OF CAROLINA BEACH DOES NOT HAVE SETBACKS FOR SUBJECT PARCELS IN THE CBD ZONING AREA.
8. NO ENVIRONMENTAL SURVEY DATA WAS PROVIDED TO THE SURVEYOR AND NO WETLAND OR OTHER DELINEATION FLAGS OR MARKERS WERE VISIBLE AT THE TIME OF THE SURVEY.

EXHIBIT "A"

SITUATED IN THE TOWN OF CAROLINA BEACH, STATE OF NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

PARCEL NO. 1:

234, 236 AND 302 CAROLINA BEACH AVENUE NORTH (FORMERLY ERRONEOUSLY DESCRIBED AS 234, 236 AND 300 LAKE PARK BOULEVARD SOUTH IN THAT DEED FROM SURFSIDE PROPERTIES, LLC, TO ARCADIOUS DEVELOPMENT, LLC, RECORDED IN MAP 4972, AT PAGE 2530) PARCEL NOS. 09006-006-001-000; R0881 8-017-001-000 AND R08818-019-001-000

ALL OF LOTS 7, 8, 9 AND IN BLOCK 1 AND ALL OF LOTS 1 AND 2 IN BLOCK 3 OF THE TOWN OF CAROLINA BEACH AS THE SAME ARE SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, RUNNING THENCE WESTWARDLY ALONG SAID DIVIDING LINE AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET; THENCE SOUTHWARDLY AND PARALLEL WITH CAROLINA BEACH AVENUE NORTH, 50 FEET; THENCE EASTWARDLY AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET TO THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH; THENCE NORTHWARDLY ALONG SAID WESTERN LINE OF SAID AVENUE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING ALL OF THE LOT 9 AND THE EASTERN PORTION OF LOT 19 IN BLOCK 2 OF THE TOWN OF CAROLINA BEACH AS SHOWN ON THE ABOVE MENTIONED MAP.

PARCEL NO. 2:

237 CAROLINA BEACH AVENUE NORTH - PARCEL NO. R08818-019-001-000

BEGINNING AT THE POINT WHERE THE WESTERN LINE OF CAROLINA BEACH AVENUE, NORTH, IS INTERSECTED BY THE DIVIDING LINE BETWEEN LOTS 9 AND 10 IN BLOCK 2 OF SAID TOWN, AS SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, RUNNING THENCE WESTWARDLY ALONG SAID DIVIDING LINE AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET; THENCE SOUTHWARDLY AND PARALLEL WITH CAROLINA BEACH AVENUE NORTH, 50 FEET; THENCE EASTWARDLY AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET TO THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH; THENCE NORTHWARDLY ALONG SAID WESTERN LINE OF SAID AVENUE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING ALL OF THE LOT 9 AND THE EASTERN PORTION OF LOT 19 IN BLOCK 2 OF THE TOWN OF CAROLINA BEACH AS SHOWN ON THE ABOVE MENTIONED MAP.

PARCEL NO. 3:

239 CAROLINA BEACH AVENUE NORTH - PARCEL NO. R08818-019-002-000

BEGINNING AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CAROLINA BEACH AVENUE NORTH AND FIRST AVENUE, RUNNING THENCE WESTWARDLY IN THE SOUTHERN LINE OF FIRST AVENUE, 90 FEET TO THE FORMER HIGH WATER MARK OF MYRTLE GROVE SOUND, THENCE SOUTHWARDLY ALONG SAID FORMER HIGH WATER MARK ABOUT 50 FEET; THENCE EASTWARDLY AND PARALLEL WITH FIRST AVENUE, 90 FEET TO THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH; THENCE NORTHWARDLY IN THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH, 50 FEET TO THE POINT OF BEGINNING, BEING ALL OF LOT 10, BLOCK 2, ACCORDING TO THE MAP OF THE NORTHERN SECTION OF CAROLINA BEACH PREPARED BY M. H. LANDER, C.E., DATED 1936, AND RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY.

PARCEL NO. 4:

235 CAROLINA BEACH AVENUE NORTH - PARCEL NO. R09006-005-020-000

TRACT A

BEGINNING AT A POINT IN THE WESTERN LINE OF CAROLINA BEACH AVENUE ONE HUNDRED AND FIFTY (150) FEET SOUTHWARDLY FROM WHERE THE SOUTHERN LINE OF FIRST AVENUE INTERSECTS CAROLINA BEACH AVENUE, AND RUNNING THENCE WESTWARDLY AND PARALLEL WITH FIRST AVENUE SIXTY FIVE (65) FEET; THENCE IN A SOUTHWESTWARDLY DIRECTION TO A POINT IN THE BOUNDARY LINE BETWEEN LOT 7 AND LOT 8 IN BLOCK 2 OF CAROLINA BEACH, WHICH SAID POINT IS LOCATED ONE HUNDRED AND SEVEN (107) FEET WESTWARDLY FROM THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE; RUNNING THENCE EASTWARDLY AND PARALLEL WITH FIRST AVENUE ONE HUNDRED AND SEVEN (107) FEET TO THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE, AND RUNNING THENCE NORTHWARDLY ALONG THE WESTERN LINE OF CAROLINA BEACH AVENUE FIFTY (50) FEET TO THE POINT OF BEGINNING, THE SAME BEING A PORTION OF LOT 7 IN BLOCK 2 ACCORDING TO THE OFFICIAL PLAN OF CAROLINA BEACH.

TRACT B

BEGINNING AT A POINT IN THE WESTERN LINE OF CAROLINA BEACH AVENUE ONE HUNDRED (100) FEET SOUTHWARDLY FROM WHERE THE SOUTHERN LINE OF FIRST AVENUE INTERSECTS CAROLINA BEACH AVENUE AND RUNNING THENCE WESTWARDLY AND PARALLEL WITH FIRST AVENUE, SEVENTY SEVEN (77) FEET; THENCE IN A SOUTHWARDLY DIRECTION TO A POINT IN THE BOUNDARY LINE BETWEEN LOT 7 AND LOT 8 IN BLOCK 2 OF CAROLINA BEACH, WHICH SAID POINT IS LOCATED SIXTY FIVE (65) FEET WESTWARDLY FROM THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE; RUNNING THENCE EASTWARDLY AND PARALLEL WITH FIRST AVENUE SIXTY FIVE (65) FEET TO THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE, AND RUNNING THENCE NORTHWARDLY ALONG THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE FIFTY (50) FEET TO THE POINT OF BEGINNING, THE SAME BEING A PORTION OF LOT 8 IN BLOCK 2 ACCORDING TO THE OFFICIAL PLAN OF CAROLINA BEACH.

THE TWO ABOVE MENTIONED TRACTS OF LAND ARE SHOWN ON A MAP PREPARED BY J. L. BECTON, C.E. AND RECORDED IN BOOK 72 AT PAGES 32 AND 33 AND LATER, JANUARY, 1939 CHECKED BY M. H. LANDER, C.E., AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF NEW HANOVER COUNTY IN MAP BOOK 3, PAGE 67.

TRACT C

BEGINNING AT A POINT IN THE DIVIDING LINE BETWEEN LOTS 18 AND 19 IN BLOCK 2 ACCORDING TO MAP OF PORTION OF CAROLINA BEACH, RECORDED IN MAP BOOK 3, PAGE 67 OF THE NEW HANOVER COUNTY REGISTRY, 125 FEET EASTWARDLY FROM THE INTERSECTION OF SAID DIVIDING LINE WITH THE EASTERN LINE OF CANAL DRIVE, RUNNING THENCE EASTWARDLY ALONG SAID DIVIDING LINE, 48 FEET MORE OR LESS; TO THE WESTERN LINE OF LOT NO. 8 IN SAID BLOCK 2, AS APPEARS ON SAID MAP; THENCE SOUTHWARDLY ALONG SAID WESTERN LINE OF SAID LOT 8 IN SAID BLOCK 2, TO THE DIVIDING LINE BETWEEN LOTS 17 AND 18 IN SAID BLOCK 2, AT A POINT 165 FEET EASTWARDLY FROM THE INTERSECTION OF SAID DIVIDING LINE WITH THE EASTERN LINE OF CANAL DRIVE; THENCE WESTWARDLY 60 FEET TO A POINT IN SAID DIVIDING LINE 125 FEET EASTWARDLY FROM THE EASTERN LINE OF CANAL DRIVE, MEASURED ALONG SAID DIVIDING LINE; THENCE NORTHWARDLY PARALLEL WITH CANAL DRIVE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING THE EASTERN PART OF LOT #18 IN SAID BLOCK 2, OR THAT PART OF SAID LOT 18 WHICH WAS NOT SOLD TO D. E. PAGE AND WIFE BY DEED RECORDED IN BOOK 300, PAGE 284 OF THE NEW HANOVER COUNTY REGISTRY.

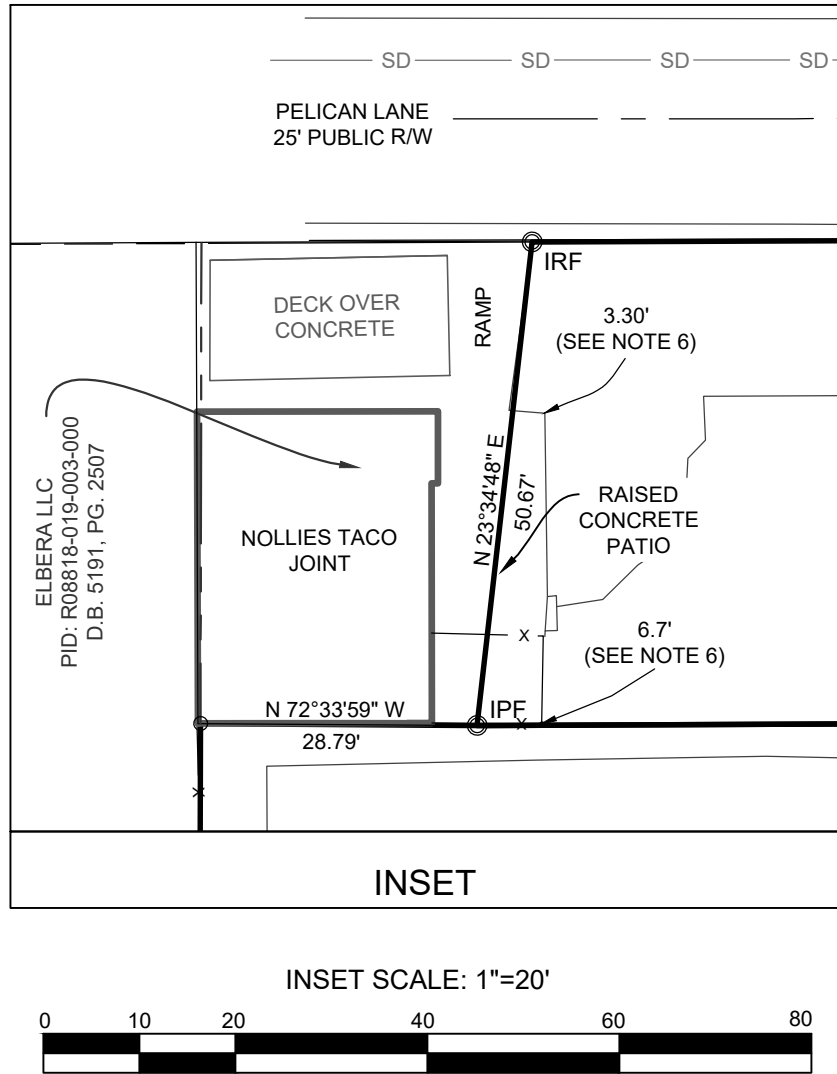
TRACT D

BEGINNING AT A POINT IN THE DIVIDING LINE BETWEEN LOTS 17 AND 18 IN BLOCK 2, ACCORDING TO MAP RECORDED IN MAP BOOK 3, PAGE 67 OF THE NEW HANOVER COUNTY REGISTRY, 125 FEET EASTWARDLY MEASURED ALONG SAID DIVIDING LINE FROM WHERE IT INTERSECTS THE EASTERN LINE OF CANAL DRIVE, RUNNING THENCE EASTWARDLY ALONG SAID DIVIDING LINE, 60 FEET TO THE WESTERN LINE OF LOT 7 IN SAID BLOCK; THENCE SOUTHWARDLY ALONG THE WESTERN LINE OF SAID LOT 7 TO THE DIVIDING LINE BETWEEN LOTS 16 AND 17 IN SAID BLOCK; THENCE WESTWARDLY ALONG SAID DIVIDING LINE IN SAID BLOCK 2, 16 FEET TO A POINT; 125 FEET EASTWARDLY FROM WHERE SAID DIVIDING LINE INTERSECTS THE EASTERN LINE OF CANAL DRIVE; THENCE NORTHWARDLY PARALLEL WITH CANAL DRIVE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING ALL OF LOT 17, IN SAID BLOCK 2, NOT SOLD TO D. E. F. RISLEY AND WIFE, BY DEED RECORDED IN BOOK 260, PAGE 484 OF THE NEW HANOVER COUNTY REGISTRY.

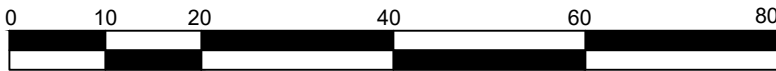
TOGETHER WITH ALL AND SINGULAR LANDS, TENEMENTS, EASEMENTS AND APPURTENANCES THERETO BELONGING OR IN ANYWISE APPERTAINING.

SUBJECT TO ANY EASEMENT OF RIGHT OF WAY IN FAVOR OF THE TOWN OF CAROLINA BEACH THE COUNTY OF NEW HANOVER, THE STATE OF NORTH CAROLINA, OR THE UNITED STATES OF AMERICA, FOR BERM AND DUNE PURPOSES, AND FOR BEACH PROTECTION OR BEACH EROSION PURPOSES.

DETAIL: A



INSET SCALE: 1"=20'



BEING ALL OF PARCEL 3 LOT 10, BLOCK 2, LOT 9 & EASTERN PORTION OF LOT 19, PARCEL 2 BLOCK 2, PARCEL 4, TRACT C, EASTERN PART OF LOT 18, PARCEL 4, TRACT B, PORTION OF LOT 8, BLOCK 2, PARCEL 4, TRACT D LOT 17, BLOCK 2, PARCEL 4, TRACT A, PORTION OF LOT 7, BLOCK 2 OF THE TOWN OF CAROLINA BEACH, NORTH CAROLINA, AND BEING SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT AN IRON ROD ON THE SOUTHWESTERN CORNER OF P POTTAMUS PROPERTIES LLC AS RECORDED IN DEED BOOK 5833, PAGE 2249, AND THE SOUTHWESTERN CORNER OF PARCEL 4, TRACT D;

THENCE FROM THE POINT OF BEGINNING, North 17°10'19\"/>

THENCE ALONG THE LINE OF ELBERA LLC, AS RECORDED IN DEED BOOK 5191, PAGE 2907 South 72°33'59\"/>

THENCE ALONG THE SOUTHERN MARGIN OF PELICAN LANE HAVING A 25' PUBLIC RIGHT OF WAY, South 73°11'03\"/>

THENCE TURNING AND RUNNING ALONG THE WESTERN MARGIN OF CAROLINA BEACH AVENUE, HAVING A 30' PUBLIC RIGHT OF WAY, South 17°07'12\"/>

THENCE LEAVING SAID RIGHT OF WAY, North 72°40'39\"/>

HAVING AN AREA OF 23,367 SQ. FT., OR 0.54 ACRES MORE OR LESS.

BEING ALL OF LOTS 1 AND 2 IN BLOCK 3 OF THE TOWN OF CAROLINA BEACH, NORTH CAROLINA, AND BEING SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT A MAG MAIL FOUND AT THE NORTHEASTERN INTERSECTION OF CAROLINA BEACH AVENUE, HAVING A 30' PUBLIC RIGHT OF WAY, AND PELICAN LANE HAVING A 25' PUBLIC RIGHT OF WAY;

THENCE FROM THE POINT OF BEGINNING, NORTH 17°08'13\"/>

HAVING AN AREA OF 12,558 SQ. FT., OR 0.29 ACRES MORE OR LESS.

BEING ALL OF LOTS 7-10 IN BLOCK 1 OF THE TOWN OF CAROLINA BEACH, NORTH CAROLINA, AND BEING SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT A POINT ON THE NORTHWESTERN CORNER OF AVERETTE PROPERTIES LLC AS RECORDED IN DEED BOOK 6162, PAGE 1137, AND THE EASTERN MARGIN OF CAROLINA BEACH AVENUE, HAVING A 30' PUBLIC RIGHT OF WAY;

THENCE FROM THE POINT OF BEGINNING, RUNNING ALONG THE SAID MARGIN OF CAROLINA BEACH AVENUE, 17°00'55\"/>

HAVING AN AREA OF 24,937 SQ. FT., OR 0.57 ACRES MORE OR LESS.

LEGEND:

- IFF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRON ROD SET
- SPK SPIKE FOUND
- PKS PK NAIL SET
- TV TV RISER
- TRANSFORMER
- LIGHT POLE
- POWER POLE
- GUY ANCHOR
- TELEPHONE RISER
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAINAGE MANHOLE
- WELL
- CURB INLET
- CATCH BASIN
- EXCEPTION TAG
- BOUNDARY LINE
- ADJOINING BOUNDARY LINE
- RIGHT OF WAY
- 100-YR FLOOD LINE
- FLOOD ZONE
- FENCE LINE
- STORM DRAIN
- SANITARY SEWER
- WATER LINE

COMMITMENT NO. VAN000071 SCHEDULE B, PART II EXCEPTIONS

1. TAXES OR ASSESSMENTS FOR THE YEAR 2023, AND SUBSEQUENT YEARS, NOT YET DUE OR PAYABLE - NOT A SURVEY ISSUE.
2. RESTRICTIONS APPEARING OF RECORD - BUILDING LINE AS SHOWN HEREON.
3. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN MAP BOOK 3, PAGE 67, SEE NOTES 6 & 7 REGARDING EASEMENT, SETBACK, AND ENCROACHMENT.
4. ANY RIGHT, INTEREST, CLAIM, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN MAP 3, PAGE 67 IS NOT A SURVEY ISSUE.
5. SUBJECT TO EASEMENTS AND RIGHTS OF WAY FOR STREETS AND UTILITIES CURRENTLY IN USE - STREET RIGHTS OF WAY AS SHOWN HEREON. NO EASEMENTS OF RECORD WERE FOUND.
6. TITLE TO THAT PORTION OF THE PROPERTY LYING BELOW THE MEAN HIGH TIDE TO THE ADJOINING TIDAL WATERS - NOT A SURVEY ISSUE.
7. RIGHTS OF THE STATE OF SOUTH CAROLINA AS TO ACCRETIONS OCCURRING AFTER JULY 1, 1977, AS PROVIDED IN TITLE 48, CHAPTER 31 (COASTAL TIDELANDS AND WETLANDS ACT) OF THE SOUTH CAROLINA CODE OF LAWS, 1976, AS AMENDED - NOT A SURVEY ISSUE.
8. TITLE TO THAT PORTION OF THE PROPERTY LYING BELOW THE HIGH MEAN WATER MARK OF THE ATLANTIC OCEAN - NOT A SURVEY ISSUE.
9. RIGHTS, IF ANY, OF THE PUBLIC TO USE AS A PUBLIC BEACH OR RECREATION AREA ANY PART OF ANY OF THE LANDS LYING BETWEEN THE BODY OF WATER ABUTTING ANY OF THE SUBJECT PROPERTY AND THE NATURAL LINE OF VEGETATION BLUFF, EXTREME HIGH WATER LINE OR OTHER APPARENT BOUNDARY LINES SEPARATING THE PUBLICLY USED ARE FROM THE UPPER LAND PRIVATE AREAS - NOT A SURVEY ISSUE. SEE NOTE 8.
10. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION AS TENANTS UNDER UNRECORDED LEASES, IF ANY - NOT A SURVEY ISSUE.
11. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, THE COVERAGE AND THE COVERAGE RISK(S) OF THE FINAL TITLE POLICY IS HEREBY DELETED - AS SHOWN HEREON - SEE NOTE 6.

ALTA/NSPS SURVEYORS CERTIFICATION

Commitment Number: VAN000071

TO:

- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- CAROLINA BEACH LAND - EAST, LLC
- CAROLINA BEACH LAND - WEST, LLC
- CAROLINA BEACH HOSPITALITIES, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 8, 11, 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 11/1/2023.

DATE OF PLAT OR MAP: 03/28/2025

Joshua W. Taylor
JOSHUA W. TAYLOR, PLS, L-5217

REVISIONS:

CLIENT INFORMATION:

HARMONY HOSPITALITY, INC.
1300 DIAMOND SPRINGS RD. STE. 204
VIRGINIA BEACH, VA 23455

PARAMOUNT ENGINEERING, INC.
122 Cicero Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

ALTA/ NSPS LAND TITLE SURVEY
COMMITMENT NO. VAN000071
HARMONY HOSPITALITY, INC.

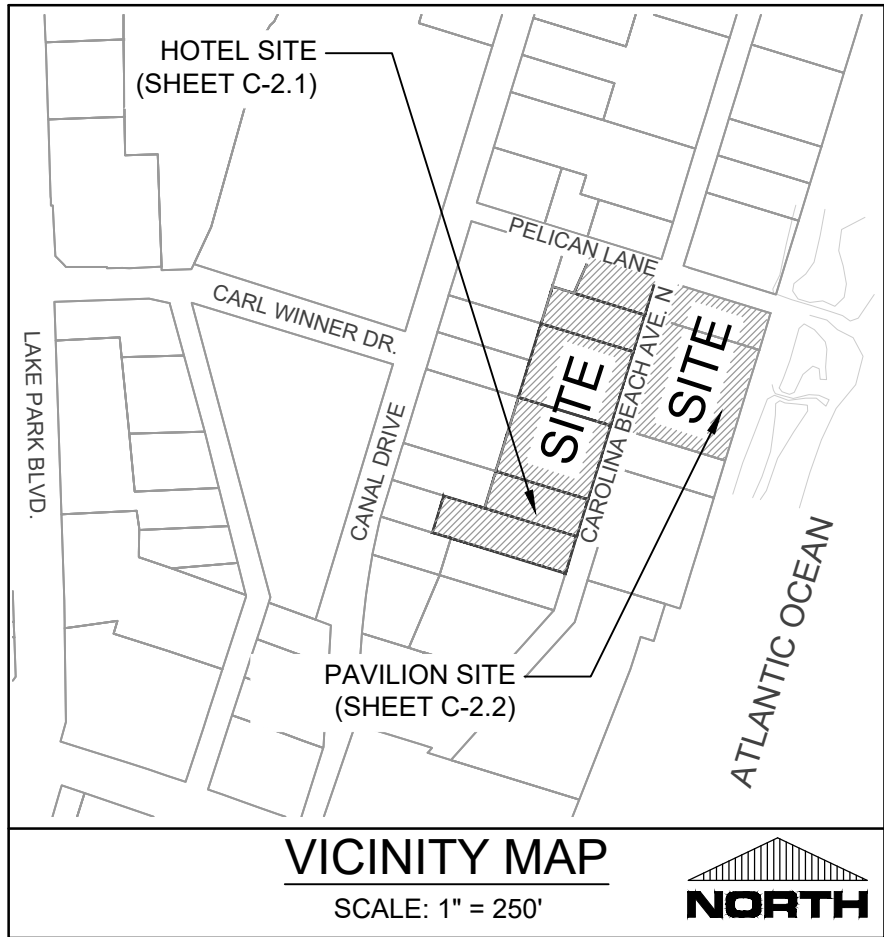
TOWN OF CAROLINA BEACH
NEW HANOVER COUNTY, NC

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION
DATE: 03/28/2025
DESIGNED: J.W.T.
CHECKED: J.W.T.

SV-2

PEI JOB#: 23329.PE



SITE DATA

PROJECT NAME: HARMONY HOTEL AND PAVILION AT CAROLINA BEACH

SITE ADDRESS: 223, 225, 227, 234, 235, 236, 237 & 239 NORTH CAROLINA BEACH AVENUE CAROLINA BEACH, NC 28546

APPLICANT: HARMONY HOSPITALITY, INC. 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

OWNER(S): CAROLINA BEACH LAND WEST, LLC 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

CAROLINA BEACH LAND EAST, LLC 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

JOHNSON PAGE S II, AMY A 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

PARCEL ID	PARCEL ADDRESS	PARCEL SIZE	SITE
R08818-019-002-000	239	0.11 ACRES	HOTEL
R08818-019-027-000	237	0.14 ACRES	HOTEL
R09006-006-001-000	234	0.43 ACRES	PAVILION
R09006-005-020-000	235	0.29 ACRES	HOTEL
R08818-018-001-000	236	0.14 ACRES	PAVILION
R09006-005-019-000	227	0.29 ACRES	HOTEL
R09006-005-016-000	225	0.14 ACRES	HOTEL
R09006-005-015-000	223	0.21 ACRES	HOTEL
TOTAL SITE AREA:		1.75 ACRES	(+/- 76,230 SF)

EXISTING ZONING: CBD (CENTRAL BUSINESS DISTRICT)

PROPOSED ZONING: CBD-02

JURISDICTION: CAROLINA BEACH

PROPOSED USE: HOTEL AND ASSOCIATED ON-SITE USES (SEE SITE PARKING CALCULATIONS FOR DETAIL)

NUMBER OF ROOMS: 140

NUMBER OF STORIES: HOTEL: GROUND LEVEL (PARKING), PLUS 4 STORIES (73' HEIGHT) PAVILION: GROUND LEVEL (PARKING), PLUS 1 STORY (39' HEIGHT)

GROSS FLOOR AREA: HOTEL 123,950 GFA PAVILION 20,320 GFA TOTAL 144,682 GFA

IMPERVIOUS & BUILDING LOT COVERAGE: HOTEL: TOTAL SITE: 51,400 SF / IMPERVIOUS COVERAGE: 48,681 SF (94.71%) GROUND (PARKING LEVEL): 2,815 SF BUILDING FOOTPRINT (5.48%) FIRST FLOOR (OVER PARKING): 38,960 SF (75.80%) PAVILION: TOTAL SITE: 24,830 SF / IMPERVIOUS COVERAGE: 22,085 SF (88.94%) GROUND (PARKING LEVEL): 1,837 SF BUILDING FOOTPRINT (7.39%) FIRST FLOOR (OVER PARKING): 18,500 SF (74.50%)

SITE PARKING

HOTEL / MOTEL (NOT CONDOMINIUMS)

MINIMUM PARKING SPACES REQUIRED: 1 SPACE PER SLEEPING ROOM

NUMBER OF HOTEL ROOMS: 140 = 140 SPACES REQUIRED

MEETING / ASSEMBLY ROOMS

MINIMUM PARKING SPACES REQUIRED: 1 SPACE PER 500 SF MEETING / ASSEMBLY ROOM

8,262 SF / 500 = 17 SPACES REQUIRED

EATING AND/OR DRINKING ESTABLISHMENTS

MINIMUM PARKING SPACES REQUIRED: 1 SPACE PER 110 SF OF INDOOR GROSS FLOOR AREA

3,214 SF / 110 = 29 SPACES REQUIRED

SUBTOTAL PARKING SPACES REQUIRED: 186**

** 25% PARKING REDUCTION SHALL BE GIVEN IF 50 OR GREATER SPACES ARE REQUIRED; REDUCTION ONLY APPLIES TO ASSOCIATED ON-SITE USES, LIMITED TO RESTAURANTS, BARS, AND MEETING ROOMS

ALLOWABLE PARKING SPACE REDUCTION: MEETING/ASSEMBLY ROOMS: 17 SPACES EATING AND/OR DRINKING ESTABLISHMENTS: 29 SPACES SUBTOTAL: 46 SPACES ALLOWABLE DEDUCTION (25% X 46 SPACES): 12 SPACES

TOTAL PARKING SPACES REQUIRED (186 MINUS 12): 174 SPACES

TOTAL PARKING SPACES PROVIDED (164 ON-SITE, PLUS 10 OFF-SITE): 174 SPACES

ON-SITE

121 STANDARD VEHICLE PARKING SPACES (9' X 18')

23 COMPACT VEHICLE PARKING SPACES (8'-6" X 18')

8 ADA ACCESSIBLE PARKING SPACES (INCLUDES 2 VAN SPACES)

12 GOLF CART PARKING SPACES (6' X 14')

164 PARKING SPACES PROVIDED ON SITE

OFF-SITE

10 OFF-SITE PUBLIC PARKING SPACES (CBD ZONING DISTRICT, LOCATED WITHIN 500')

OFF STREET LOADING SPACES PROVIDED: 2 TOTAL

(1) LOADING SPACE 12' WIDE X 35' LONG

(1) LOADING SPACE 12' WIDE X 45' LONG

LOBBY / VALET DROP-OFF SPACES: 2* (NOT INCLUDED IN TOTAL PARKING SPACES PROVIDED)

DIMENSIONAL REQUIREMENTS

	REQUIRED	PROPOSED
MINIMUM LOT SIZE (SF):	NONE	+/- 51,400 SF
MINIMUM LOT WIDTH:	NONE	91.13'
FRONT SETBACK:	NONE	NONE
REAR SETBACK:	NONE	NONE
SIDE SETBACK:	NONE	NONE
MAXIMUM BUILDING HEIGHT:	50'	73'
MAXIMUM LOT COVERAGE:	NONE	95.84%
IN THE CBD DISTRICT, THE MAXIMUM 50-FOOT HEIGHT LIMITATION MAY BE EXCEEDED FOR SPRINKLERED STRUCTURE(S) WHICH SHALL BE SUBJECT TO A CONDITIONAL ZONING APPROVAL		

LANDSCAPE BUFFER REQUIREMENTS:

- SEE LANDSCAPE PLAN FOR CALCULATIONS

SOLID WASTE NOTES

TRASH CONTAINMENT AND RECYCLING AREAS SHALL BE LOCATED AND SERVICED FROM WITHIN THE BUILDING ENVELOPE AND SCREENED FROM VIEW FROM PUBLIC R.O.W.'S

BUILDING CONSTRUCTION TYPE

CONSTRUCTION TYPE: II-B (ALL BUILDINGS)

SPRINKLERS: YES

SYMBOLS LEGEND:

	LANDSCAPE PLANTER AREA
	CONCRETE PAVING

WATER AND SEWER CAPACITY CALCULATIONS:

WATER FLOW USAGE: 20,680 GALLONS/DAY

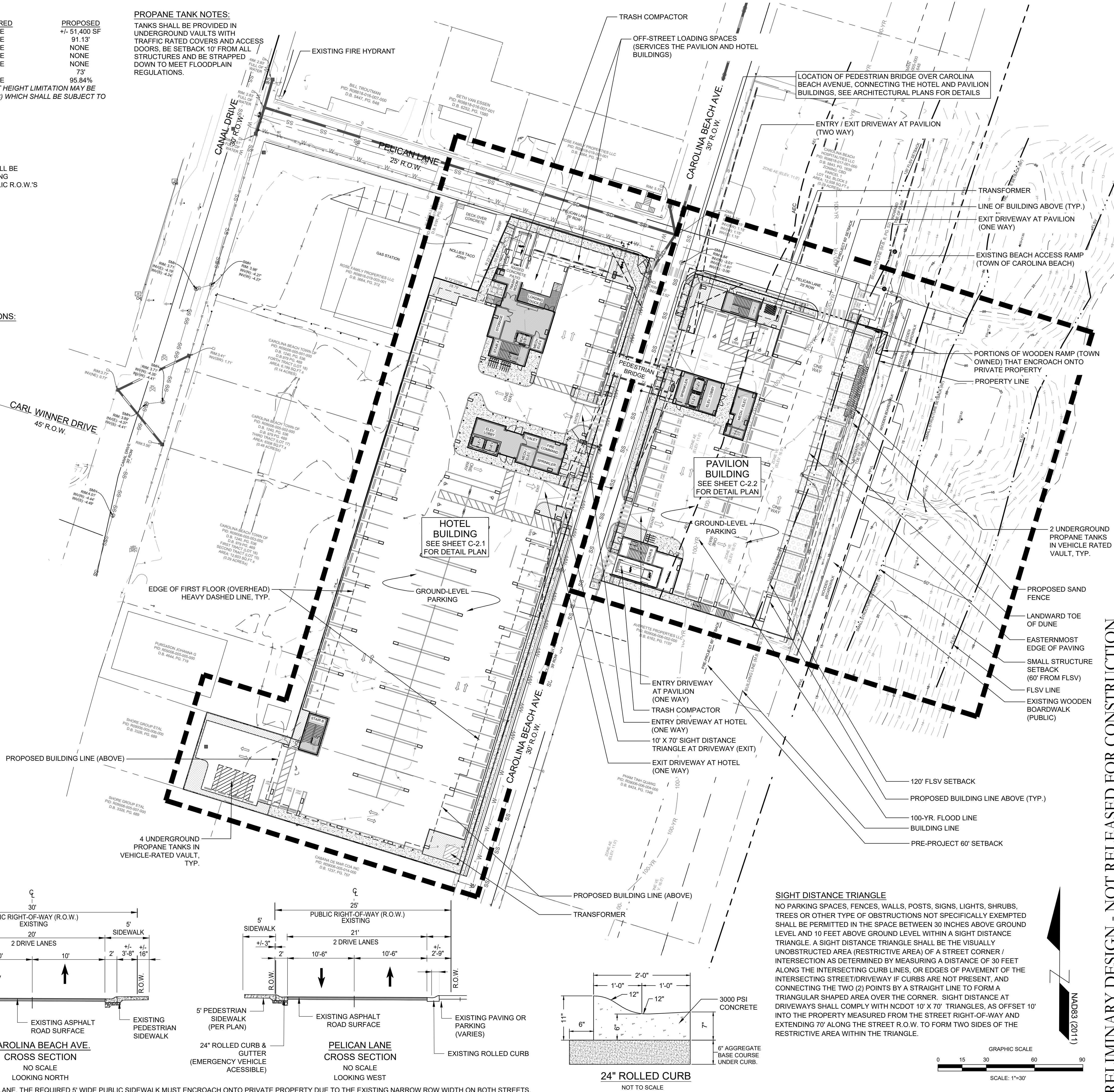
SEWER FLOW USAGE: 18,800 GALLONS/DAY

LIGHTING NOTES:

PROJECT OWNER SHALL PROVIDE ADEQUATE LIGHTING FOR STREETS AND SIDEWALKS ON THE BUILDING STRUCTURE AT THEIR OWN COST TO ELIMINATE THE NEED FOR ADDITIONAL STREET LIGHTING IN THE PUBLIC RIGHT-OF-WA. ALL LIGHTING SHALL COMPLY WITH TOWN'S STANDARDS AND SPECIFICATIONS OUTLINED IN THE TOWN ORDINANCES.

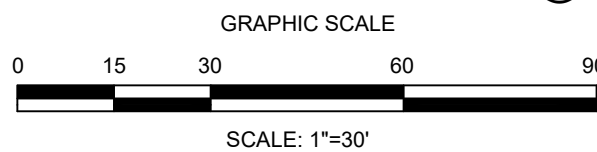
PROPANE TANK NOTES:

TANKS SHALL BE PROVIDED IN UNDERGROUND VAULTS WITH TRAFFIC RATED COVERS AND ACCESS DOORS, BE SETBACK 10' FROM ALL STRUCTURES AND BE STRAPPED DOWN TO MEET FLOODPLAIN REGULATIONS.



SIGHT DISTANCE TRIANGLE

NO PARKING SPACES, FENCES, WALLS, POSTS, SIGNS, LIGHTS, SHRUBS, TREES OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN 30 INCHES ABOVE GROUND LEVEL AND 10 FEET ABOVE GROUND LEVEL WITHIN A SIGHT DISTANCE TRIANGLE. A SIGHT DISTANCE TRIANGLE SHALL BE THE VISUALLY UNOBSTRUCTED AREA (RESTRICTIVE AREA) OF A STREET CORNER / INTERSECTION AS DETERMINED BY MEASURING A DISTANCE OF 30 FEET ALONG THE INTERSECTING CURB LINES, OR EDGES OF PAVEMENT OF THE INTERSECTING STREET/DRIVEWAY IF CURBS ARE NOT PRESENT, AND CONNECTING THE TWO (2) POINTS BY A STRAIGHT LINE TO FORM A TRIANGULAR SHAPED AREA OVER THE CORNER. SIGHT DISTANCE AT DRIVEWAYS SHALL COMPLY WITH NCDOT 10' X 70' TRIANGLES, AS OFFSET 10' INTO THE PROPERTY MEASURED FROM THE STREET RIGHT-OF-WAY AND EXTENDING 70' ALONG THE STREET R.O.W. TO FORM TWO SIDES OF THE RESTRICTIVE AREA WITHIN THE TRIANGLE.



NOTE:

ON CAROLINA BEACH AVE AND PELICAN LANE, THE REQUIRED 5' WIDE PUBLIC SIDEWALK MUST ENCR OACH ONTO PRIVATE PROPERTY DUE TO THE EXISTING NARROW ROW WIDTH ON BOTH STREETS. THE PROVISION OF PUBLIC SIDEWALK ON PRIVATE PROPERTY LIMITS THE ABILITY TO PROVIDE THE REQUIRED STREET TREE PLANTINGS ON BOTH STREETS. SEE LANDSCAPE PLAN FOR ADDITION INFORMATION.

REVISIONS:

CLIENT INFORMATION:

PARAMOUNT ENGINEERING, INC.

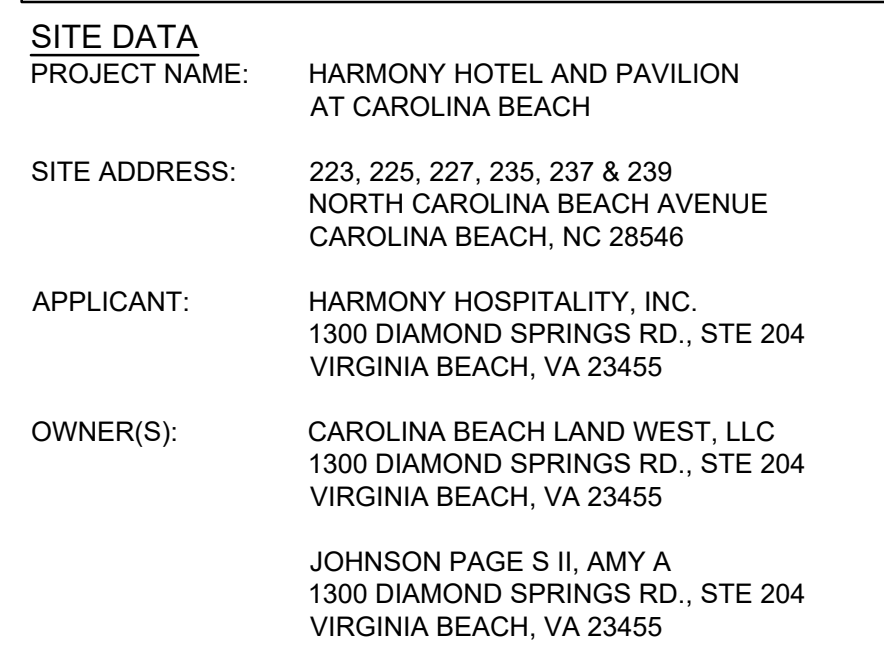
OVERALL SITE PLAN
HARMONY HOTEL AND PAVILION
AT CAROLINA BEACH
CAROLINA BEACH AVE.
CAROLINA BEACH, NC

PROJECT STATUS

SEAL

C-2.0

PEI JOB#: 00000.PE



- LEGEND:**
- | | |
|-----------|---|
| 1 | ROLLED 24" CURB & GUTTER:
REFER TO DETAILS |
| 2 | 6" VERTICAL CURB & 18" GUTTER:
WHERE OCCURS AND AT TRANSITIONS
FROM ADA ACCESSIBLE RAMPS
(TYP. SEE DETAILS) |
| 3 | BUILDING COLUMN:
(SEE ARCH'S PLANS) |
| 4 | WHEEL STOP:
SEE DETAILS |
| 5 | ADA ACCESSIBLE PARKING SPACE:
(TYPICAL OF 5) |
| 6 | ADA PARKING SIGN:
(TYP. AT FRONT OF EACH ADA
PARKING SPACE, SEE DETAILS) |
| 7 | CURB RAMP:
ADA COMPLIANT / ACCESSIBLE RAMP
(SEE DETAILS) |
| 8 | HIGH-VISIBILITY SIDEWALK:
ADA COMPLIANT /
PER TOWN OF CAROLINA BEACH |
| 9 | TRAFFIC BOLLARD:
AT ZERO CURB CONDITIONS WHERE
PEDESTRIANS ARE ADJACENT TO VEHICLE
USE AS (SEE DETAILS) |
| 10 | PAINT STRIPING OR LETTERING
PROVIDE PARKING LOT STRIPING, SYMBOLS
OR LETTERING AS ILLUSTRATED PER PLAN;
COLOR AND SIZE PER DETAILS, ARCHITECT OR
OWNER SPECS |
| 11 | BIKE RACKS: |
| 12 | CONCRETE SIDEWALK: |
| 14 | TRUNCATED DOMES:
PROVIDE AT ALL ADA RAMPS
WHERE SHOWN PER PLAN
COLOR PER ARCHITECT OR OWNER |

- SYMBOLS LEGEND:**
- | | |
|--|---------------------------------|
|  | LANDSCAPE PLANTER AREA |
|  | CONCRETE PAVING |
|  | NUMBER OF PARKING SPACES IN ROW |

EXISTING STORM DRAIN LINE
TO TO REMAIN

PROPOSED 8" WATER MAIN EXTENSION, TIE
INTO EXISTING 8" WATER LINE ON CANAL DR.

SCREEN WALL AT TRASH COMPACTOR

EDGE OF FIRST FLOOR (OVERHEAD)
HEAVY DASHED LINE, TYP.

PROPERTY LINE
RECYCLING BINS
STAIRS
(SEE ARCH'S DWGS.)

8'-6" X 18' COMPACT PARKING
(17 SPACES TOTAL AT HOTEL SITE)

CONTRACTOR TO REMOVE EXISTING RETAINING
WALL LOCATED ALONG THIS PROPERTY LINE WITH
THE TOWN OF CAROLINA BEACH PUBLIC PARKING
LOT (NOTE: WALL IS ON TOWN PROPERTY;

EDGE OF FIRST FLOOR (OVERHEAD) —
HEAVY DASHED LINE, TYP.

PROPOSED 6' —
SOLID FENCE

FRANKEAN STORM WATER DETENTION —
(DASHED LINE/SHADED), TYP.)

VEHICLE BACK-UP SPACE
PROPERTY LINE
LANDSCAPE AREA
(TYP. SYMBOL)
4 UNDERGROUND PROPANE TANKS
(PROVIDE VEHICLE- RATED VAULT AND
OPERABLE COVER, CONTRACTOR SHALL
COORDINATE WITH VENDOR FOR SPECS
(OFFSET 10' MIN. FROM EDGE OF BUILDING)

6' X 14' GOLF CART PARKING —
(3 SPACES TOTAL AT HOTEL SITE)

FLUSH PAVING / NO CURB
(TYP. CONDITION)

CABANA DE MAR COA INC
PID: R09006-005-014-000
D.B. 1237, PG. 757
ZONE: CBD

LOCATION OF REFUSE FACILITIES
(ENCLOSED AND SCREENED BY WALLS
AND FRONT GATE)

(2) LOADING SPACES
12' X 45' & 12' X 35'

30' X 30' SIGHT
DISTANCE TRIANGLE AT
STREET INTERSECTION

6" WATER LINE (EXISTING)
EXTEND AS REQUIRED TO
RELOCATE/REPLACE
EXISTING FIRE HYDRANT

— PROPOSED STORM DRAIN LINE,
TIE TO EXISTING

— EXISTING STORM DRAIN
LATERAL TO BE REMOVED

— EXISTING STORM DRAIN CURB INLET
TO BE RELOCATED

— FIRE HYDRANT
(RELOCATE OR REPLACE EXISTING)

— PROPOSED STORM DRAIN CURB INLET

— PROPOSED 8" FIRE SERVICE
(BACK FLOW LOCATED INSIDE BUILDING)

— 5' SIDEWALK
— PROPOSED PEDESTRIAN BRIDGE
CONNECTING HOTEL TO PAVILION
(ABOVE CAROLINA BEACH AVE.)

— ENTRY DRIVEWAY
(ONE-WAY)

— 6" WATER LINE
(EXISTING)

— PROPOSED 6" DOMESTIC WATER
TIE TO EXISTING 6" WATER

— 12" PVC GRAVITY
SEWER (EXISTING)

— PROPOSED 6" SEWER
TIE TO EXISTING 12" SEWER

10' X 70' SIGHT DISTANCE TRIANGLE
AT PARKING LOT DRIVEWAY (TYP.)

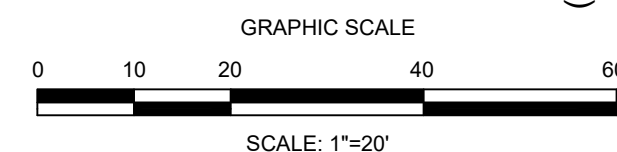
— EXIT DRIVEWAY (ONE-WAY)
(ALIGNED WITH THE ENTRY DRIVE AT PAVILION SITE)

- LANDSCAPE AREA
(TYP. SYMBOL)
- EXISTING EDGE OF ASPHALT STREET
(SHOWN FOR REFERENCE ONLY)
- PROPERTY LINE
- EDGE OF FIRST FLOOR (OVERHEAD)
HEAVY DASHED LINE, TYP.

— 5' SIDEWALK

— LANDSCAPE AREA
(TYP. SYMBOL)

— TRANSFORMER PA

REVISIONS:

CLIENT INFORMATION:

PARAMOUNT

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

DETAIL PLAN - HOTEL
HARMONY HOTEL AND PAVILION
AT CAROLINA BEACH
CAROLINA BEACH AVE.
CAROLINA BEACH, NC

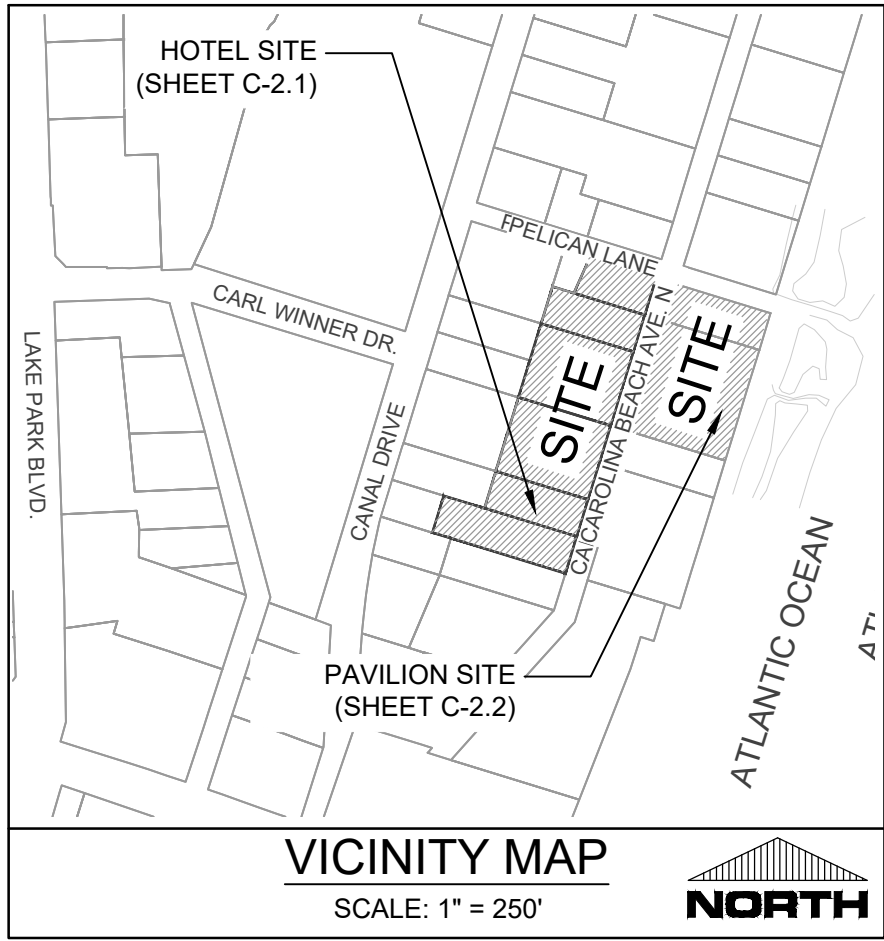
PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:

SEAL

C-2.1

PEI JOB#: 00000.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE DATA

PROJECT NAME: HARMONY HOTEL AND PAVILION AT CAROLINA BEACH

SITE ADDRESS: 223, 225, 227, 235, 237 & 239 NORTH CAROLINA BEACH AVENUE CAROLINA BEACH, NC 28546

APPLICANT: HARMONY HOSPITALITY, INC. 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

OWNER(S): CAROLINA BEACH LAND WEST, LLC 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

JOHNSON PAGE S II, AMY A 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

- LEGEND:**
- 1 ROLLED 24" CURB & GUTTER; REFER TO DETAILS
 - 2 6" VERTICAL CURB & 18" GUTTER; WHERE OCCURS AND AT TRANSITIONS FOR ADA ACCESSIBLE RAMPS (TYP., SEE DETAILS)
 - 3 BUILDING COLUMN; (SEE ARCH'S PLANS)
 - 4 WHEEL STOP; SEE DETAILS
 - 5 ADA ACCESSIBLE PARKING SPACE; (TYPICAL OF 5)
 - 6 ADA PARKING SIGN; (TYP. AT FRONT OF EACH ADA PARKING SPACE, SEE DETAILS)
 - 7 CURB RAMP; ADA COMPLIANT / ACCESSIBLE RAMP (SEE DETAILS)
 - 8 HIGH-VISIBILITY CROSSWALK; ADA COMPLIANT; COLOR PER TOWN OF CAROLINA BEACH
 - 9 TRAFFIC BOLLARD; AT ZERO CURB CONDITIONS WHERE PEDESTRIANS ARE ADJACENT TO VEHICLE USE AREAS (SEE DETAILS)
 - 10 PAINT STRIPING OR LETTERING; PROVIDE PARKING LOT STRIPING, SYMBOLS OR LETTERING AS ILLUSTRATED PER PLAN; COLOR AND SIZE PER DETAILS, ARCHITECT OR OWNER SPECS
 - 12 BIKE RACKS;
 - 13 CONCRETE SIDEWALK;
 - 14 TRUNCATED DOMES; PROVIDE AT ALL ADA RAMPS AND WHERE SHOWN PER PLAN; COLOR PER ARCHITECT OR OWNER
 - 15 TRANSFORMER PAD; 3' X 3' CLEAR FROM BUILDING, OPEN TO SKY ABOVE

- SYMBOLS LEGEND:**
- LANDSCAPE PLANTER AREA
- CONCRETE PAVING
- # NUMBER OF PARKING SPACES IN ROW

10' X 70' SIGHT DISTANCE TRIANGLE AT DRIVEWAY (TYP.) - NOTE: PARKING SPACE LOCATED OUTSIDE TRIANGLE

6" WATER LINE (EXISTING)

PROPOSED 6" DOMESTIC WATER TIE TO EXISTING 6" WATER

PROPOSED 6" FIRE SERVICE - TIE TO EXISTING 6" WATER LINE ON CAROLINA BEACH AVENUE (BACK FLOW LOCATED INSIDE BUILDING)

PROPOSED PEDESTRIAN BRIDGE CONNECTING HOTEL TO PAVILION (ABOVE CAROLINA BEACH AVE.)

PROPOSED 6" SEWER TIE TO EXISTING 12" SEWER

12" PVC GRAVITY SEWER (EXISTING)

5' SIDEWALK

PROPERTY LINE

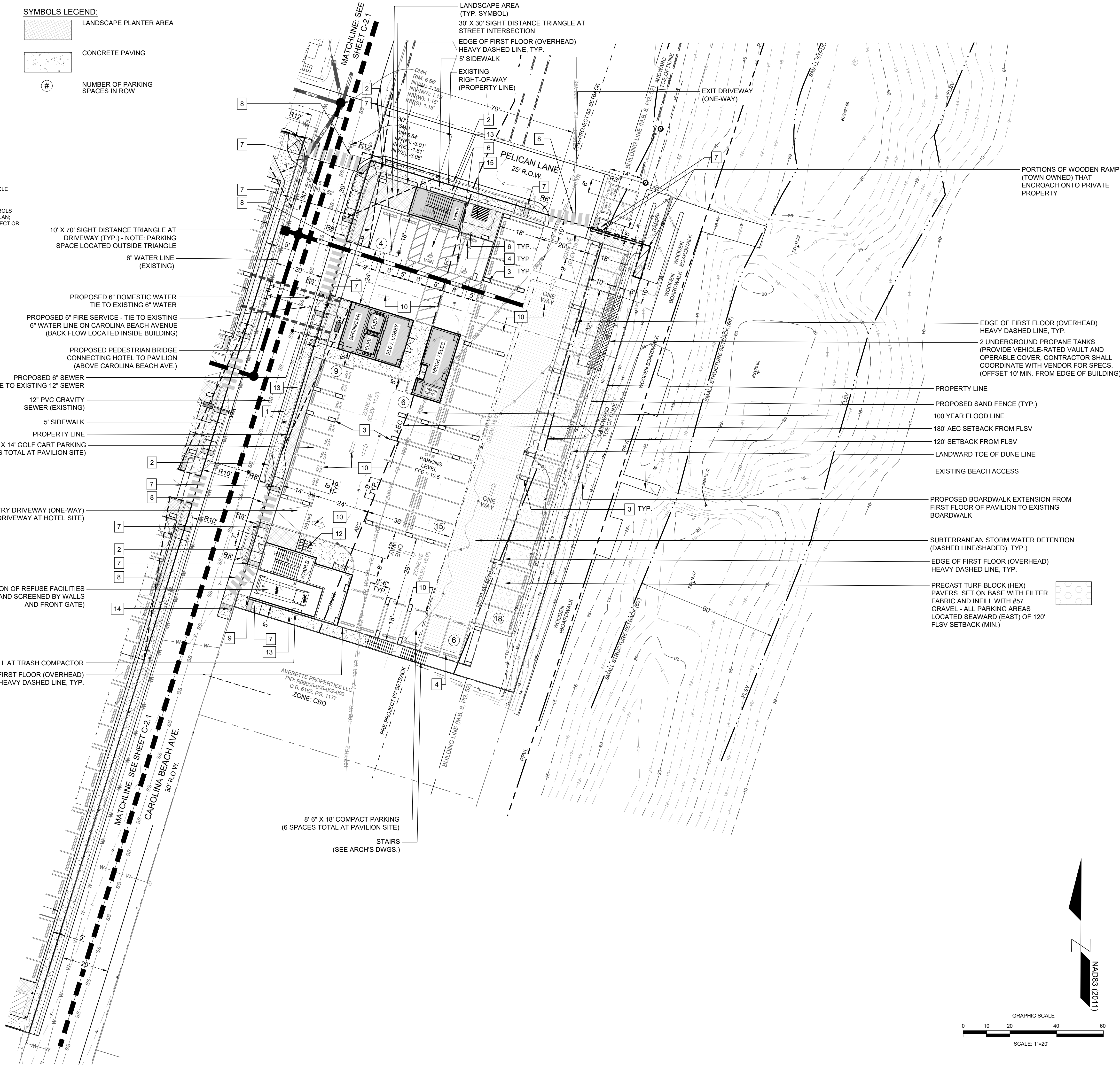
6' X 14' GOLF CART PARKING (9 SPACES TOTAL AT PAVILION SITE)

ENTRY DRIVEWAY (ONE-WAY) (ALIGNED WITH EXIT DRIVEWAY AT HOTEL SITE)

LOCATION OF REFUSE FACILITIES (ENCLOSED AND SCREENED BY WALLS AND FRONT GATE)

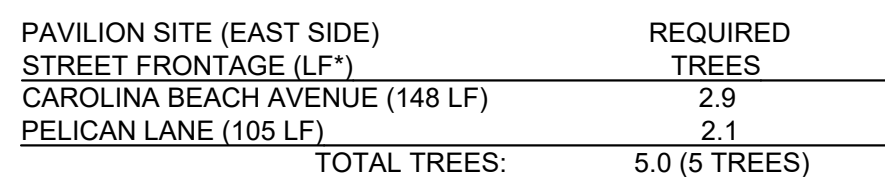
SCREEN WALL AT TRASH COMPACTOR

EDGE OF FIRST FLOOR (OVERHEAD) HEAVY DASHED LINE, TYP.



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:		CLIENT INFORMATION:	
		HARMONY HOSPITALITY, INC. 1300 DIAMOND SPRINGS RD., STE. 204 VIRGINIA BEACH, VA 23455	
		PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	
PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST:		DETAIL PLAN - PAVILION HARMONY HOTEL AND PAVILION AT CAROLINA BEACH AT CAROLINA BEACH CAROLINA BEACH AVE. CAROLINA BEACH, NC	
DRAWING INFORMATION DATE: 09/22/2025 1"=20'		SEAL	
DESIGNED: DRAWN: CHECKED: CREATED:		C-2.2	
PEI JOB#:		00000.PE	



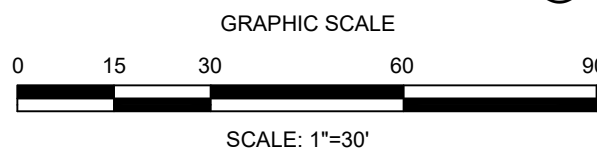
1. IRRIGATION PLANS ARE REQUIRED AND ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE IN ADVANCE OF CONSTRUCTION ACTIVITIES FOR REVIEW AND APPROVAL BY OWNER. ANY IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND FOR ABIDING BY ALL APPLICABLE RULES AND REGULATIONS FOR IRRIGATION DESIGN AND INSTALLATION.
2. THE IRRIGATION CONTRACTOR SHALL PROVIDE A DESIGN PLAN AND OBTAIN APPROVAL BY OWNER/OWNER'S REPRESENTATIVE PRIOR TO ORDERING OR INSTALLING MATERIALS.
3. THE IRRIGATION DESIGN SHALL DEPICT A TWO WIRE, AUTOMATED IRRIGATION SYSTEM SUITABLE TO WATER ALL PROPOSED PLANTING OR SEEDED / LAWN AREAS, INCLUDING BUT NOT LIMITED TO: STREET YARD, PERIMETER BUFFERS, FOUNDATION PLANTINGS AND PARKING LOT AREA PLANTING.
4. SEE UTILITY PLANS FOR LOCATION OF IRRIGATION METER AND POINT-OF-CONNECTION.
5. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF IRRIGATION CONTROLLER & ELECTRICAL SUPPLY FROM BUILDING.
6. ALL LANDSCAPED AREAS OF THE PROPERTY SHALL BE IRRIGATED AND CONTROLLED BY A PROGRAMMABLE IRRIGATION CONTROL DEVICE.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND ADJUSTED TO PROVIDE UNIFORM COVERAGE THROUGHOUT ALL PLANTED AREAS AND SHALL PREVENT RUNOFF.
8. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVER SPRAY ONTO WALKS, WALLS, FENCES, PATIOS, STREETS OR ADJACENT PROPERTIES.
9. ALL PIPING AND WIRES BENEATH PAVING SHALL BE SLEEVED.
10. ALL HARD-PIPED SYSTEMS SHALL BE PROVIDED BELOW GRADE AS REQUIRED BY CODE. 'ON-GRADE' SYSTEMS ARE NOT ALLOWED.
11. WHERE USED, IRRIGATION HEADS SHALL BE INSTALLED A MINIMUM OF 3' FROM EDGE OF CURBS.
12. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO OWNER UPON COMPLETION OF INSTALLATION.

LANDSCAPE BUFFER REQUIREMENTS:

1. ANY SIDE OR REAR YARD THAT ABUTS A RESIDENTIAL USE OR RESIDENTIAL DISTRICT SHALL PROVIDE FOR A SIX (6) FOOT FENCE WITH 80% OPACITY
2. CENTRAL BUSINESS DISTRICT (CBD), NEW CONSTRUCTION ONLY, TYPE 2 BUFFER AND STREET YARD REQUIRED. PER SIGN TYPE D.27, TABLE 3.9, TYPE D BUFFER IS ZERO FEET (0') WIDE.
3. TYPE D, FOR EVERY 50 LINEAR FEET OF FRONTAGE, OR FRACTION THEREOF, THE STREET YARD SHALL CONTAIN ONE (1) UNDERSTORY TREE WITH SIDEWALKS OR PLANTERS BUILT WITHIN THE SIDEWALK. STREET YARDS LOCATED WITHIN THE CBD SHALL INCLUDE SIDEWALKS WITH PLANTING AREAS AND PLANTERS. UNDERSTORY TREES, CURB OR PLANTERS LOCATED WITHIN THE SIDEWALK.
4. PARKING IS LOCATED WITHIN A PARKING STRUCTURE, NO LANDSCAPE ISLANDS OR TREES REQUIRED.

PAVILION SITE (EAST SIDE)	REQUIRED
STREET FRONTAGE (LF*)	TREES
CAROLINA BEACH AVENUE (148 LF)	2.9
PELICAN LANE (105 LF)	2.1
TOTAL TREES:	5.0 (5 TREES)

1. IRRIGATION PLANS ARE REQUIRED AND ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE IN ADVANCE OF CONSTRUCTION ACTIVITIES FOR REVIEW AND APPROVAL BY OWNER. ANY IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND FOR ABIDING BY ALL APPLICABLE RULES AND REGULATIONS FOR IRRIGATION DESIGN AND INSTALLATION.
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4. SEE UTILITY PLANS FOR LOCATION OF IRRIGATION METER AND POINT-OF-CONNECTION.
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8. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT OVER SPRAY ONTO WALKS, WALLS, FENCES, PATIOS, STREETS OR ADJACENT PROPERTIES.
9. ALL PIPING AND WIRES BENEATH PAVING SHALL BE SLEEVED.
10. ALL HARD-PIPED SYSTEMS SHALL BE PROVIDED BELOW GRADE AS REQUIRED BY CODE. 'ON-GRADE' SYSTEMS ARE NOT ALLOWED.
11. WHERE USED, IRRIGATION HEADS SHALL BE INSTALLED A MINIMUM OF 3' FROM EDGE OF CURBS.
12. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO OWNER UPON COMPLETION OF INSTALLATION.



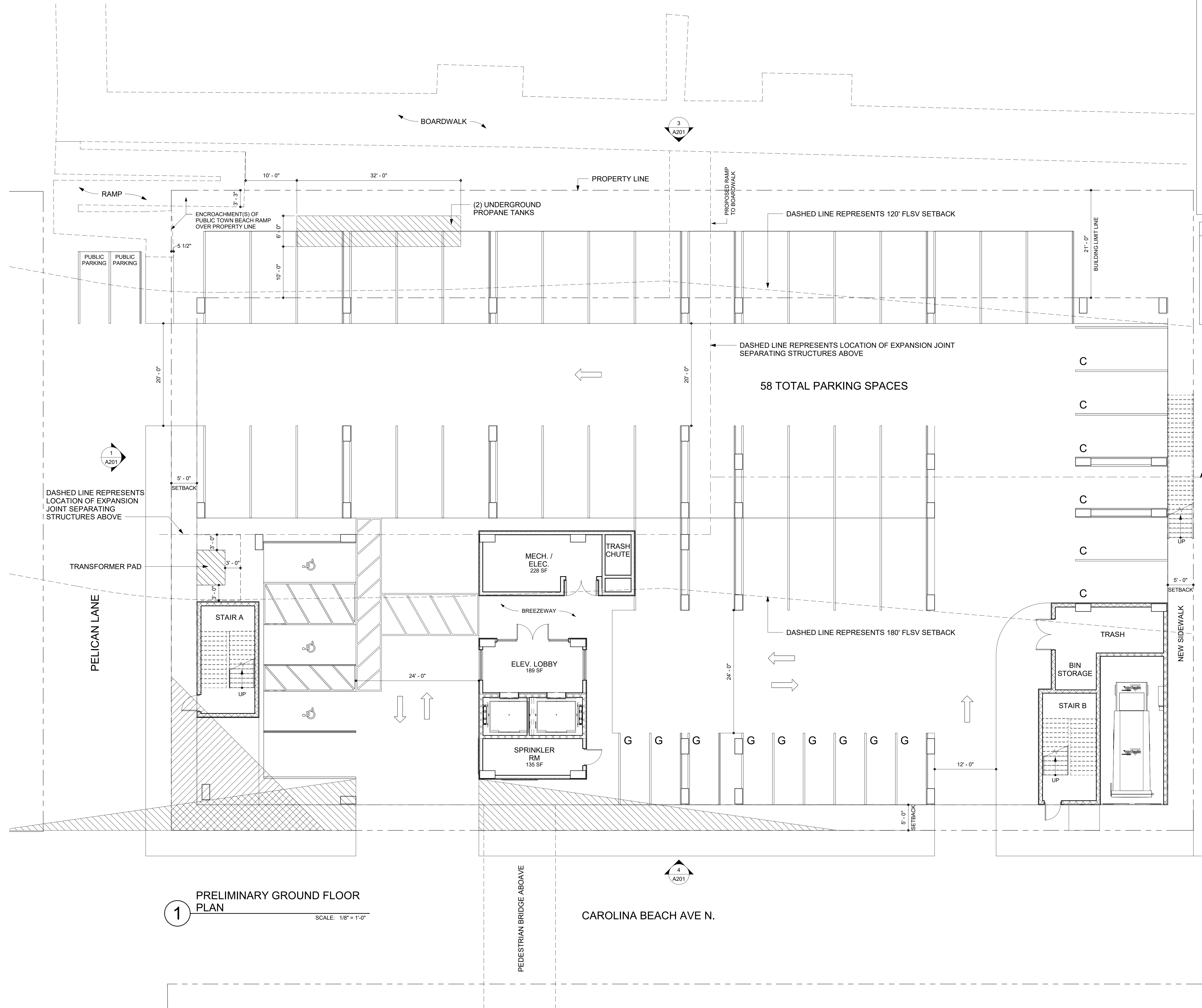
PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

SEAL

L-2.0

PEI JOB#: 00000.PE

L-2.0



1 PRELIMINARY GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

SITE PARKING

HOTEL / MOTEL (NOT CONDOMINIUMS)	
MINIMUM PARKING SPACES REQUIRED:	
1 SPACE PER SLEEPING ROOM	
NUMBER OF HOTEL ROOMS: 140 = 140 SPACES REQUIRED	
MEETING / ASSEMBLY ROOMS	
MINIMUM PARKING SPACES REQUIRED:	
1 SPACE PER 500 SF MEETING / ASSEMBLY ROOM	
8,262 SF / 500 = 17 SPACES	
EATING AND/OR DRINKING ESTABLISHMENTS	
MINIMUM PARKING SPACES REQUIRED:	
1 SPACE PER 110 SF OF INDOOR GROSS FLOOR AREA	
3,214 SF / 110 = 29 SPACES	
SUBTOTAL PARKING SPACES REQUIRED: 186**	
** 25% PARKING REDUCTION SHALL BE GIVEN IF 50 OR GREATER SPACES ARE REQUIRED; REDUCTION ONLY APPLIES TO ASSOCIATED ON-SITE USES, LIMITED TO RESTAURANTS, BARS AND MEETING ROOMS	
ALLOWABLE PARKING SPACE REDUCTION:	
MEETING / ASSEMBLY ROOMS:	17 SPACES
EATING AND/OR DRINKING ESTABLISHMENTS:	29 SPACES
ALLOWABLE DEDUCTION (25% X 46 SPACES):	12 SPACES
TOTAL PARKING SPACES REQUIRED (186 MINUS 12): 174 SPACES	
TOTAL PARKING SPACES PROVIDED: 164 ON-SITE, PLUS 10 OFF-SITE; 174 SPACES	
ON-SITE:	
121 STANDARD VEHICLE PARKING SPACES (9' x 18')	
23 COMPACT VEHICLE PARKING SPACES (8'-6" x 18')	
8 ADA ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN SPACE)	
12 GOLF CART PARKING SPACES (6' x 14')	
164 PARKING SPACES PROVIDED ON-SITE	
OFF-SITE:	
10 OFF-SITE PUBLIC PARKING SPACES	
TOTAL ON-SITE LOADING SPACES PROVIDED: 2 SPACES	
(1) LOADING SPACE 12' WIDE X 35' LONG	
(1) LOADING SPACE 12' WIDE X 45' LONG	
LOBBY / VALET DROP-OFF SPACES: 2'	
(NOT INCLUDED IN TOTAL PARKING SPACES PROVIDED)	

GROSS SQUARE FOOTAGE CALCULATIONS

- SEAWARD OF 180' AEC		
GROUND FLOOR CONDITIONED SPACE =	7,970 GSF	N/A
FIRST FLOOR CONDITIONED SPACE =	7,970 GSF	
TOTAL GSF SEAWARD OF 180' AEC =		7,970 GSF
- LANDWARD OF 180' AEC		
GROUND FLOOR CONDITIONED SPACE =	225 GSF	
FIRST FLOOR CONDITIONED SPACE =	7,100 GSF	
TOTAL GSF LANDWARD OF 180' AEC =		7,325 GSF
TOTAL AMENITY PAVILION CONDITIONED SPACE =		15,295 GSF



ARCHITECTURE
ENGINEERING

Delaware

309 S Governors Ave
Dover, DE 19904
302.734.7950
The Tower at STAR Campus
100 Discovery Boulevard, Suite 102
Newark, DE 19713
302.369.3700

Maryland

312 West Main St, Suite 300
Salisbury, MD 21801
410.546.9100

North Carolina

3333 Jackie Drive, Suite 120
Wilmington, NC 28403
910.341.7600
www.beckermorgan.com

PROJECT TITLE

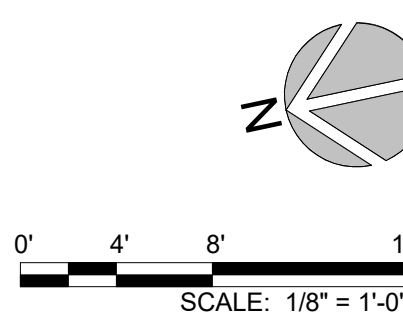
OCEANFRONT
AMENITY
PAVILION

LOTS 7-10, BLOCK 1
CAROLINA BEACH AVE N
CAROLINA BEACH, NC 28428

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ISSUED: 10/06/2025

SHEET TITLE

PRELIMINARY
GROUND FLOOR
PLAN



ISSUE BLOCK

Mark	Date	Description
2	10.06.25	TRC RESUBMISSION

PROJECT NO: 2023042.02

DATE: 10.06.25

SCALE: As indicated

DRAWN BY: DJB PROJ MGR: DJB

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PROJECT TITLE

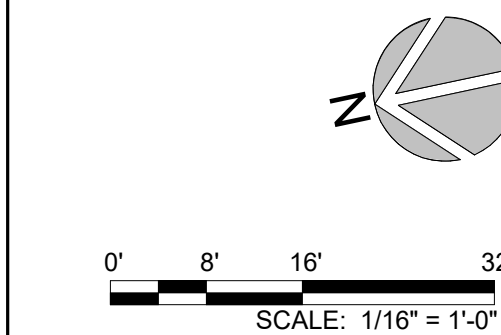
CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

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ISSUED: 10/06/2025

SHEET TITLE

PRELIMINARY
GROUND & FIRST
FLOOR PLANS



ISSUE BLOCK

Mark	Date	Description
2	10.06.25	TRC RESUBMISSION

PROJECT NO: 2025153.00
DATE: 10.06.25
SCALE: As indicated
DRAWN BY: DJB | PROJ MGR: DJB

A101

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GUEST ROOM MATRIX

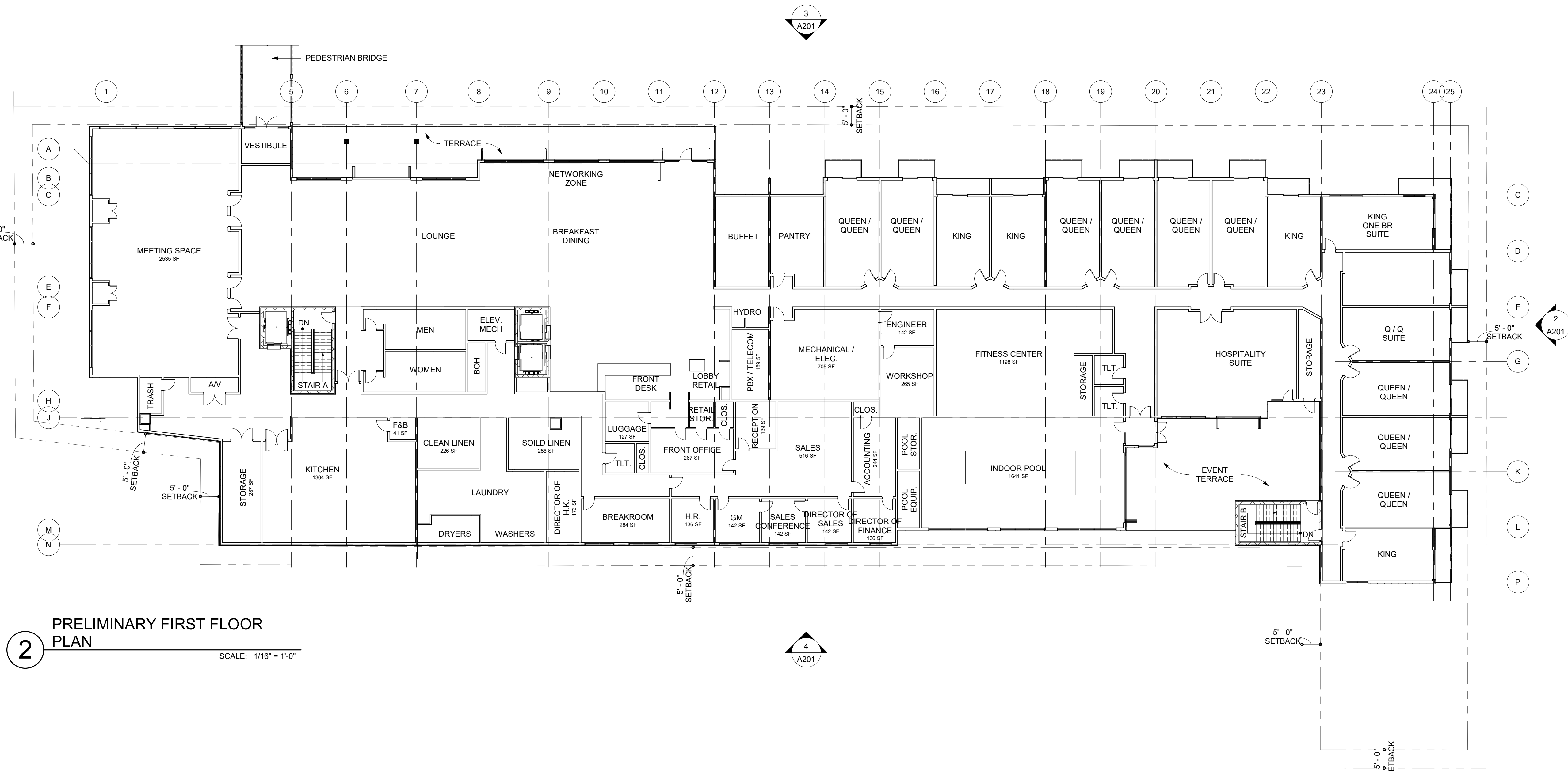
	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL
KING -	4	11	11	11	37
KING ACC -	-	1	1	-	2
KING 1 BR SUITE -	1	1	1	-	3
QUEEN / QUEEN -	9	23	23	26	81
QUEEN / QUEEN ACC -	-	2	2	-	4
Q / Q SUITE -	1	2	2	2	7
Q / Q 1 BR SUITE -	-	1	1	1	3
2 BR FAMILY SUITE -	-	1	1	1	3
	15	42	42	41	140

SITE PARKING

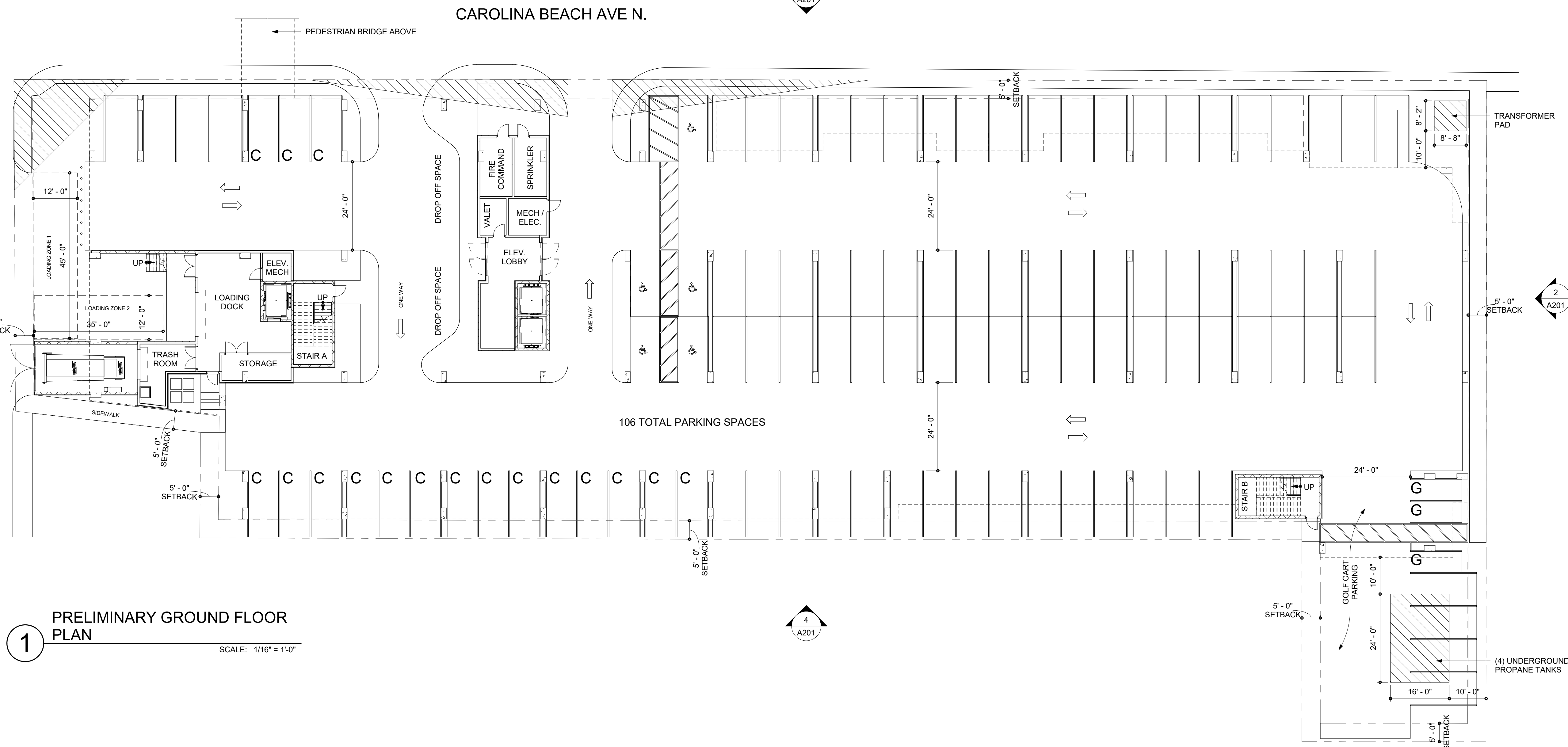
HOTEL (MOTEL NOT CONDOMINIUMS)
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER SLEEPING ROOM
NUMBER OF HOTEL ROOMS: 140 = 140 SPACES REQUIRED
MEETING / ASSEMBLY ROOMS
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER 500 SF MEETING / ASSEMBLY ROOM
8,262 SF / 500 = 17 SPACES
EATING AND/OR DRINKING ESTABLISHMENTS
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER 110 SF OF INDOOR GROSS FLOOR AREA
3,214 SF / 110 = 29 SPACES
SUBTOTAL PARKING SPACES REQUIRED: 168**
** 25% PARKING REDUCTION SHALL BE GIVEN IF 50 OR GREATER SPACES ARE REQUIRED; REDUCTION ONLY APPLIES TO ASSOCIATED ON-SITE USES, LIMITED TO RESTAURANTS, BARS AND MEETING ROOMS
ALLOWABLE PARKING SPACE REDUCTION:
MEETING / ASSEMBLY ROOMS: 17 SPACES
EATING AND/OR DRINKING ESTABLISHMENTS: 29 SPACES
ALLOWABLE DEDUCTION (25% X 46 SPACES): 12 SPACES
TOTAL PARKING SPACES REQUIRED (168 MINUS 12): 174 SPACES
TOTAL PARKING SPACES PROVIDED: 164 ON-SITE, PLUS 10 OFF-SITE: 174 SPACES
ON-SITE
121 STANDARD VEHICLE PARKING SPACES (9' x 18')
23 COMPACT VEHICLE PARKING SPACES (8'6" x 18')
8 ADA ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN SPACE)
12 GOLF CART PARKING SPACES (8' x 14')
164 PARKING SPACES PROVIDED ON-SITE
OFF-SITE
10 OFF-SITE PUBLIC PARKING SPACES
TOTAL ON-SITE LOADING SPACES PROVIDED: 2 SPACES
(1) LOADING SPACE 12' WIDE X 35' LONG
(1) LOADING SPACE 12' WIDE X 45' LONG
LOBBY / VALET DROP-OFF SPACES: 2*
(*NOT INCLUDED IN TOTAL PARKING SPACES PROVIDED)

GROSS FLOOR AREA CALCULATIONS

HOTEL -	
- GROUND FLOOR =	2,760 GFA
- FIRST FLOOR =	38,960 GFA
- SECOND FLOOR =	27,410 GFA
- THIRD FLOOR =	27,410 GFA
- FOURTH FLOOR =	27,410 GFA
TOTAL GROSS FLOOR AREA =	123,950 GFA



PRELIMINARY FIRST FLOOR
PLAN
SCALE: 1/16" = 1'-0"



PRELIMINARY GROUND FLOOR
PLAN
SCALE: 1/16" = 1'-0"

GUEST ROOM MATRIX

	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL
KING -	4	11	11	11	37
KING ACC -	-	1	1	-	2
KING 1 BR SUITE -	1	1	1	-	3
QUEEN / QUEEN -	9	23	23	26	81
QUEEN / QUEEN ACC -	-	2	2	-	4
Q / Q SUITE -	1	2	2	2	7
Q / Q 1 BR SUITE -	-	1	1	1	3
2 BR FAMILY SUITE -	-	1	1	1	3
	15	42	42	41	140

SITE PARKING

HOTEL / MOTEL (NOT CONDOMINIUMS)
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER SLEEPING ROOM
NUMBER OF HOTEL ROOMS: 140 = 140 SPACES REQUIRED

MEETING / ASSEMBLY ROOMS
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER 500 SF MEETING / ASSEMBLY ROOM
8,262 SF / 500 = 17 SPACES

EATING AND/OR DRINKING ESTABLISHMENTS
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER 110 SF OF INDOOR GROSS FLOOR AREA
3,214 SF / 110 = 29 SPACES

SUBTOTAL PARKING SPACES REQUIRED: 186**
** 25% PARKING REDUCTION SHALL BE GIVEN IF 50 OR GREATER SPACES ARE REQUIRED. REDUCTION ONLY APPLIES TO ASSOCIATED ON-SITE USES, LIMITED TO RESTAURANTS, BARS AND MEETING ROOMS

ALLOWABLE PARKING SPACE REDUCTION:
MEETING / ASSEMBLY ROOMS: 17 SPACES
EATING AND/OR DRINKING ESTABLISHMENTS: 29 SPACES
ALLOWABLE DEDUCTION (25% X 46 SPACES): 12 SPACES

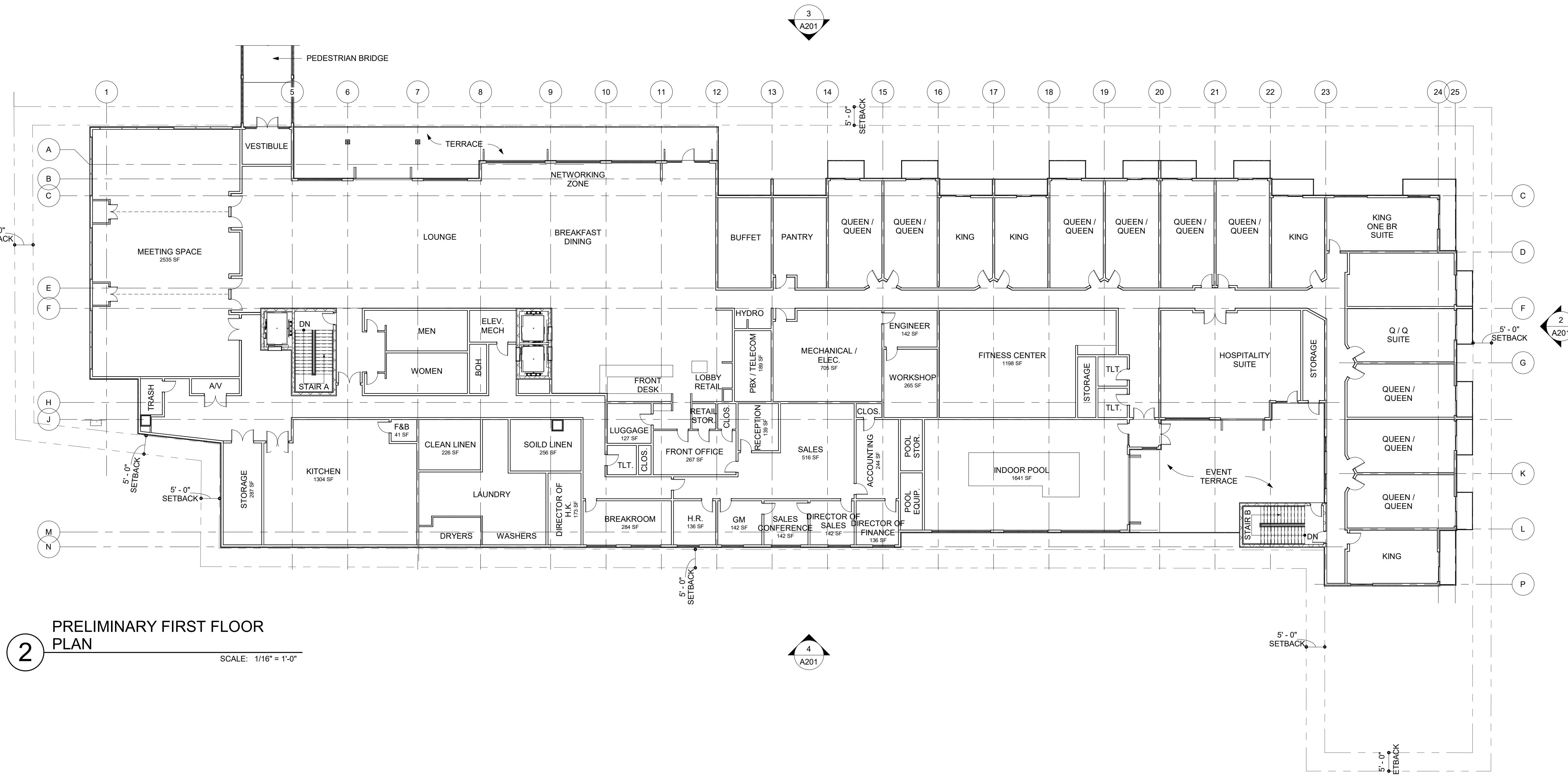
TOTAL PARKING SPACES REQUIRED (186 MINUS 12): 174 SPACES
TOTAL PARKING SPACES PROVIDED: 168
117 STANDARD VEHICLE PARKING SPACES (9' x 18')
23 COMPACT VEHICLE PARKING SPACES (8'-6" x 18')
8 ADA ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN SPACE)
20 GOLF CART PARKING SPACES (6' x 14')
168 PARKING SPACES PROVIDED

TOTAL ON-SITE LOADING SPACES PROVIDED: 2 SPACES
(1) LOADING SPACE 12' WIDE X 35' LONG
(1) LOADING SPACE 12' WIDE X 45' LONG

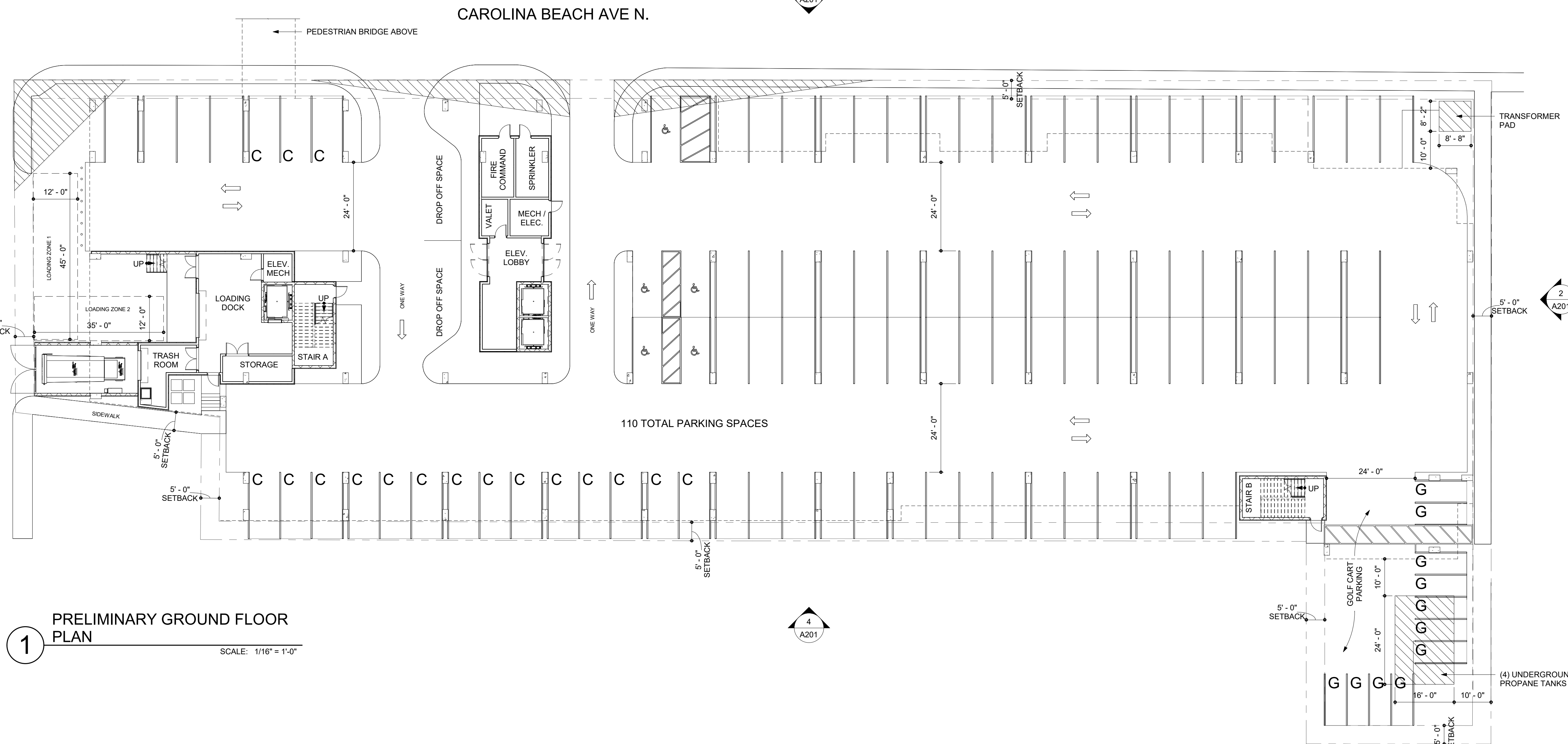
LOBBY / VALET DROP-OFF SPACES: 2*
(*NOT INCLUDED IN TOTAL PARKING SPACES PROVIDED)

GROSS FLOOR AREA CALCULATIONS

HOTEL -	
- GROUND FLOOR =	2,760 GFA
- FIRST FLOOR =	38,960 GFA
- SECOND FLOOR =	27,410 GFA
- THIRD FLOOR =	27,410 GFA
- FOURTH FLOOR =	27,410 GFA
TOTAL GROSS FLOOR AREA =	123,950 GFA



PRELIMINARY FIRST FLOOR
PLAN
SCALE: 1/16" = 1'-0"



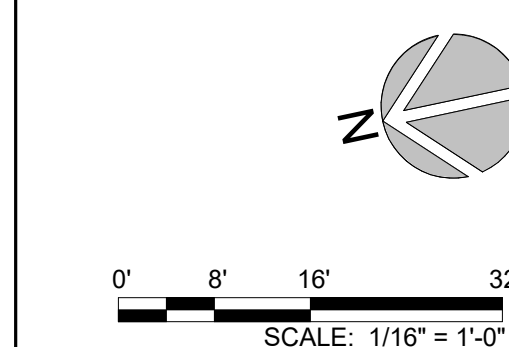
PRELIMINARY GROUND FLOOR
PLAN
SCALE: 1/16" = 1'-0"

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

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CONSTRUCTION NOT FOR
PERMITS.
ISSUED: 09/22/2025

PRELIMINARY
GROUND & FIRST
FLOOR PLANS



Mark	Date	Description
1	09.22.25	TRC RESUBMISSION
2	09.22.25	DATE: 09.22.25
3	09.22.25	SCALE: As indicated
4	09.22.25	DRAWN BY: DJB PROJ MGR: DJB
5	09.22.25	PROJECT NO: 2025153.00
6	09.22.25	DATE: 09.22.25
7	09.22.25	SCALE: As indicated
8	09.22.25	DRAWN BY: DJB PROJ MGR: DJB
9	09.22.25	PROJECT NO: 2025153.00
10	09.22.25	DATE: 09.22.25
11	09.22.25	SCALE: As indicated
12	09.22.25	DRAWN BY: DJB PROJ MGR: DJB

PROJECT TITLE

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

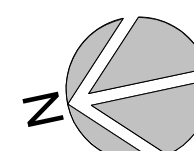
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ISSUED: 09/22/2025

SHEET TITLE

PRELIMINARY UPPER
FLOOR PLANS



0' 8' 16' 32'
SCALE: 1/16" = 1'-0"

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2025153.00

DATE: 09.22.25

SCALE: As indicated

DRAWN BY: DJB PROJ MGR: DJB

A102

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GUEST ROOM MATRIX

	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL
KING -	4	11	11	11	37
KING ACC -	-	1	1	-	2
KING 1 BR SUITE -	1	1	1	-	3
QUEEN / QUEEN -	9	23	23	26	81
QUEEN / QUEEN ACC -	-	2	2	-	4
Q / Q SUITE -	1	2	2	2	7
Q / Q 1 BR SUITE -	-	1	1	1	3
2 BR FAMILY SUITE -	-	1	1	1	3
	15	42	42	41	140

GROSS FLOOR AREA CALCULATIONS

HOTEL -	
- GROUND FLOOR =	2,760 GFA
- FIRST FLOOR =	38,960 GFA
- SECOND FLOOR =	27,410 GFA
- THIRD FLOOR =	27,410 GFA
- FOURTH FLOOR =	27,410 GFA
TOTAL GROSS FLOOR AREA =	123,950 GFA

PRELIMINARY THIRD & FOURTH
FLOOR PLAN

SCALE: 1/16" = 1'-0"

PRELIMINARY SECOND FLOOR
PLAN

SCALE: 1/16" = 1'-0"



1 OVERALL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 OVERALL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



3 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



4 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"

PROJECT TITLE

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

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ISSUED: 09/22/2025

SHEET TITLE

PRELIMINARY
EXTERIOR
ELEVATIONS

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2025153.00
DATE: 09.22.25
SCALE: 1/16" = 1'-0"

DRAWN BY: DJB PROJ MGR: DJB

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1 WEST PERSPECTIVE - CAROLINA
BEACH AVE.
SCALE:



2 SOUTHWEST PERSPECTIVE -
INTERSECTION
SCALE:



3 NORTHWEST PERSPECTIVE -
CAROLINA BEACH AVE.
SCALE:



4 NORTHWEST BIRDSEYE
SCALE:

PROJECT TITLE

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

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SHEET TITLE

PRELIMINARY
EXTERIOR
PERSPECTIVES

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2025153.00
DATE: 09.22.25
SCALE:

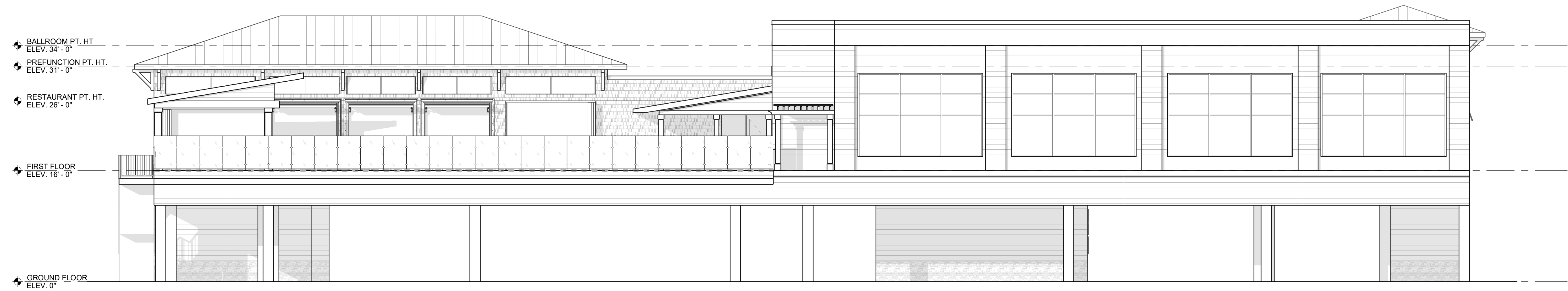
DRAWN BY: DJB PROJ MGR: DJB

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4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

