

HARMONY HOTEL AND PAVILION AT CAROLINA BEACH

N. CAROLINA BEACH AVENUE
CAROLINA BEACH, NORTH CAROLINA

CONDITIONAL ZONING APPLICATION PLANS
SEPTEMBER 22, 2025

PROJECT APPLICANT:
HARMONY HOSPITALITY, INC.
1300 DIAMOND SPRINGS RD., STE 204
VIRGINIA BEACH, VA 23455

HARMONY HOTEL AND PAVILION
AT CAROLINA BEACH
CAROLINA BEACH, NORTH CAROLINA

PROJECT # 23329.PE SEPTEMBER 22, 2025

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	COVER SHEET
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A101, A102, A 201 & A901	OCEANFRONT PAVILION PRELIMINARY FLOOR PLANS & EXTERIOR ELEVATIONS

PROJECT CONSULTANTS

CIVIL ENGINEER / LANDS SURVEYOR / LANDSCAPE ARCHITECT:

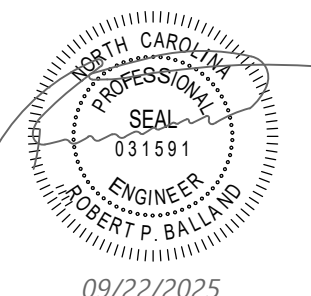
PARAMOUNTE ENGINEERING, INC.
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SURVEYOR: JOSH TAYLOR, PLS
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ARCHITECT:

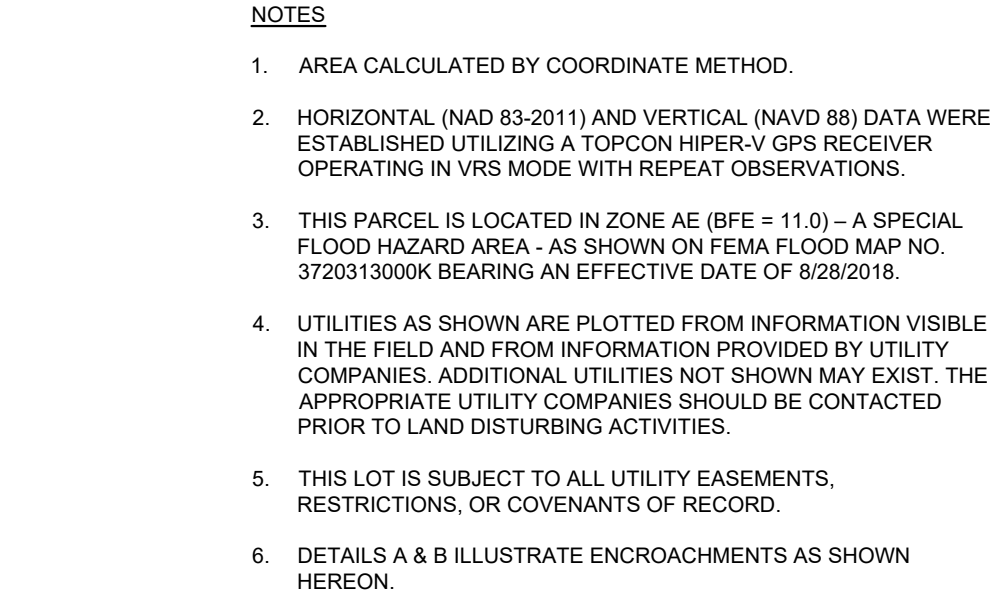
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DAVID BOTSCHHELLER, AIA
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PREPARED BY:

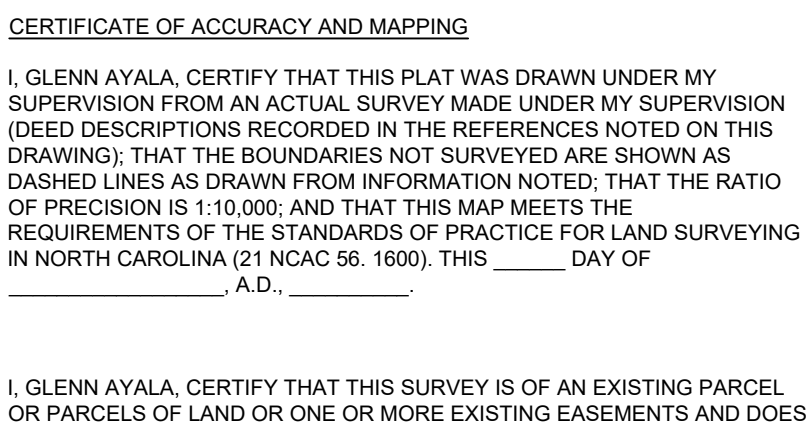
PARAMOUNTE
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NC License #: C-2846



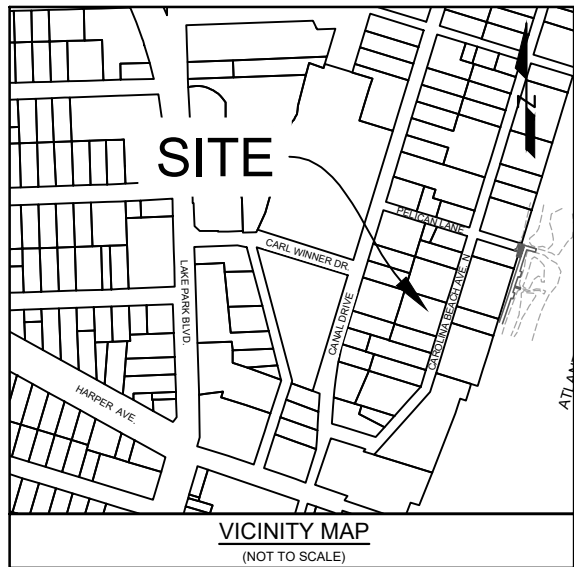
PRELIMINARY - NOT ISSUED FOR CONSTRUCTION



- NOTES**
1. AREA CALCULATED BY COORDINATE METHOD.
 2. HORIZONTAL (NAD 83-2011) AND VERTICAL (NAVD 88) DATA WERE ESTABLISHED UTILIZING A TOPCON HIPER-V GPS RECEIVER OPERATING IN VRS MODE WITH REPEAT OBSERVATIONS.
 3. THIS PARCEL IS LOCATED IN ZONE A (BFE = 11.0') - A SPECIAL FLOOD HAZARD AREA - AS SHOWN ON FEMA FLOOD MAP NO. 372031300K BEARING AN EFFECTIVE DATE OF 8/28/2018.
 4. UTILITIES AS SHOWN ARE PLOTTED FROM INFORMATION VISIBLE IN THE FIELD AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. THE APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED PRIOR TO LAND DISTURBING ACTIVITIES.
 5. THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
 6. DETAILS A & B ILLUSTRATE ENCROACHMENTS AS SHOWN HEREON.



PROJECT STATUS CONCEPTUAL LAYOUT: _____ PRELIMINARY DESIGN: _____ FINAL DESIGN: _____ RELEASED FOR CONST: _____		DRAWING INFORMATION DATE: 11/21/02 BY: 11/21/02 DESIGNED: _____ CHECKED: _____ JWT		CAROLINA BEACH HOSPITALITIES EXISTING CONDITIONS DEED BOOK 5843, PAGE 1839 FEDERAL POINT TOWNSHIP NEW HANOVER COUNTY, NC		PARAMOUNT ENGINEERING, INC. 122 Cinchua Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846		CAROLINA BEACH HOSPITALITIES LLC 2318 CROWN CENTRE DR. CHARLOTTE, NC 28227		CLIENT INFORMATION: <u>REVISIONS:</u> _____ _____ _____ _____ _____	
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NOTES

1. AREA CALCULATED BY COORDINATE METHOD.
2. HORIZONTAL (NAD 83-2011) AND VERTICAL (NAVD 88) DATA WERE ESTABLISHED UTILIZING A TOPCON HIPER-V GPS RECEIVER OPERATING IN VRS MODE WITH REPEAT OBSERVATIONS.
3. PORTIONS OF THIS PARCEL ARE LOCATED IN ZONE AE (BFE = 11.0'), AND ZONE VE (ELEV. 16.0') - A SPECIAL FLOOD HAZARD AREA - AS SHOWN ON FEMA FLOOD MAP NO. 3720313000K BEARING AN EFFECTIVE DATE OF 8/28/2016.
4. UTILITIES AS SHOWN ARE PLOTTED FROM INFORMATION VISIBLE IN THE FIELD AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. THE APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED PRIOR TO LAND DISTURBING ACTIVITIES.
5. THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
6. CONCRETE PATIO AND FENCE ALONG THE EASTERN SIDE OF THE ELBERA LLC PROPERTY PROJECT ACROSS PROPERTY LINE AS SHOWN IN INSET. CONCRETE PARKING PAD AND MULTIPLE FENCES PROJECT ACROSS THE NORTHERN LINE OF THE AVERETTE PROPERTIES LLC PROPERTY AS SHOWN HEREON.
7. MAP BOOK 3, PAGE 67 DOES NOT SHOW ANY EASEMENTS OR SETBACKS. TOWN OF CAROLINA BEACH DOES NOT HAVE SETBACKS FOR SUBJECT PARCELS IN THE CBD ZONING AREA.
8. NO ENVIRONMENTAL SURVEY DATA WAS PROVIDED TO THE SURVEYOR AND NO WETLAND OR OTHER DELINEATION FLAGS OR MARKERS WERE VISIBLE AT THE TIME OF THE SURVEY.

EXHIBIT "A"

SITUATED IN THE TOWN OF CAROLINA BEACH, STATE OF NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

PARCEL NO. 1:

234, 236 AND 302 CAROLINA BEACH AVENUE NORTH (FORMERLY ERRONEOUSLY DESCRIBED AS 234, 236 AND 300 LAKE PARK BOULEVARD SOUTH IN THAT DEED FROM SURFSIDE PROPERTIES, LLC, TO ARCADIOUS DEVELOPMENT, LLC, RECORDED IN MAP 4972, AT PAGE 2530)
PARCEL NOS. 09006-006-001-000; R0881 8-017-001-000 AND R08818-019-001-000

ALL OF LOTS 7, 8, 9 AND IN BLOCK 1 AND ALL OF LOTS 1 AND 2 IN BLOCK 3 OF THE TOWN OF CAROLINA BEACH AS THE SAME ARE SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, RUNNING THENCE WESTWARDLY ALONG SAID DIVIDING LINE AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET; THENCE SOUTHWARDLY AND PARALLEL WITH CAROLINA BEACH AVENUE NORTH, 50 FEET; THENCE EASTWARDLY AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET TO THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH; THENCE NORTHWARDLY ALONG SAID WESTERN LINE OF SAID AVENUE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING ALL OF THE LOT 9 AND THE EASTERN PORTION OF LOT 19 IN BLOCK 2 OF THE TOWN OF CAROLINA BEACH AS SHOWN ON THE ABOVE MENTIONED MAP.

PARCEL NO. 2:

237 CAROLINA BEACH AVENUE NORTH - PARCEL NO. R08818-019-001-000

BEGINNING AT THE POINT WHERE THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH, IS INTERSECTED BY THE DIVIDING LINE BETWEEN LOTS 9 AND 10 IN BLOCK 2 OF SAID TOWN, AS SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, RUNNING THENCE WESTWARDLY ALONG SAID DIVIDING LINE AND PERPENDICULAR TO CAROLINA BEACH AVENUE NORTH, 125 FEET; THENCE SOUTHWARDLY AND PARALLEL WITH CAROLINA BEACH AVENUE NORTH, 125 FEET; THENCE EASTWARDLY AND PARALLEL WITH CAROLINA BEACH AVENUE NORTH, 125 FEET TO THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH; THENCE NORTHWARDLY ALONG SAID WESTERN LINE OF SAID AVENUE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING ALL OF THE LOT 9 AND THE EASTERN PORTION OF LOT 19 IN BLOCK 2 OF THE TOWN OF CAROLINA BEACH AS SHOWN ON THE ABOVE MENTIONED MAP.

PARCEL NO. 3:

239 CAROLINA BEACH AVENUE NORTH - PARCEL NO. R08818-019-002-000

BEGINNING AT THE SOUTHWEST CORNER OF THE INTERSECTION OF CAROLINA BEACH AVENUE NORTH AND FIRST AVENUE, RUNNING THENCE WESTWARDLY IN THE SOUTHERN LINE OF FIRST AVENUE, 90 FEET TO THE FORMER HIGH WATER MARK OF MYRTLE GROVE SOUND, THENCE SOUTHWARDLY ALONG SAID FORMER HIGH WATER MARK ABOUT 50 FEET, THENCE EASTWARDLY AND PARALLEL WITH FIRST AVENUE, 90 FEET TO THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH, THENCE NORTHWARDLY IN THE WESTERN LINE OF CAROLINA BEACH AVENUE NORTH, 50 FEET TO THE POINT OF BEGINNING, BEING ALL OF LOT 10, BLOCK 2, ACCORDING TO THE MAP OF THE NORTHERN SECTION OF CAROLINA BEACH PREPARED BY M. H. LANDER, C.E., DATED 1936, AND RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY.

PARCEL NO. 4:

235 CAROLINA BEACH AVENUE NORTH - PARCEL NO. R09006-005-020-000

TRACT A

BEGINNING AT A POINT IN THE WESTERN LINE OF CAROLINA BEACH AVENUE ONE HUNDRED AND FIFTY (150) FEET SOUTHWARDLY FROM WHERE THE SOUTHERN LINE OF FIRST AVENUE INTERSECTS CAROLINA BEACH AVENUE, AND RUNNING THENCE WESTWARDLY AND PARALLEL WITH FIRST AVENUE SIXTY FIVE (65) FEET; THENCE IN A SOUTHWESTWARDLY DIRECTION TO A POINT IN THE BOUNDARY LINE BETWEEN LOT 7 AND LOT 8 IN BLOCK 2 OF CAROLINA BEACH, WHICH SAID POINT IS LOCATED ONE HUNDRED AND SEVEN (107) FEET WESTWARDLY FROM THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE, RUNNING THENCE EASTWARDLY AND PARALLEL WITH FIRST AVENUE ONE HUNDRED AND SEVEN (107) FEET TO THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE, AND RUNNING THENCE NORTHWARDLY ALONG THE WESTERN LINE OF CAROLINA BEACH AVENUE FIFTY (50) FEET TO THE POINT OF BEGINNING, THE SAME BEING A PORTION OF LOT 7 IN BLOCK 2 ACCORDING TO THE OFFICIAL PLAN OF CAROLINA BEACH.

TRACT B

BEGINNING AT A POINT IN THE WESTERN LINE OF CAROLINA BEACH AVENUE ONE HUNDRED (100) FEET SOUTHWARDLY FROM WHERE THE SOUTHERN LINE OF FIRST AVENUE INTERSECTS CAROLINA BEACH AVENUE AND RUNNING THENCE WESTWARDLY AND PARALLEL WITH FIRST AVENUE, SEVENTY SEVEN (77) FEET; THENCE IN A SOUTHWARDLY DIRECTION TO A POINT IN THE BOUNDARY LINE BETWEEN LOT 7 AND LOT 8 IN BLOCK 2 OF CAROLINA BEACH, WHICH SAID POINT IS LOCATED SIXTY FIVE (65) FEET WESTWARDLY FROM THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE, RUNNING THENCE EASTWARDLY AND PARALLEL WITH FIRST AVENUE SIXTY FIVE (65) FEET TO THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE, AND RUNNING THENCE NORTHWARDLY ALONG THE WESTERN BOUNDARY OF CAROLINA BEACH AVENUE FIFTY (50) FEET TO THE POINT OF BEGINNING, THE SAME BEING A PORTION OF LOT 8 IN BLOCK 2 ACCORDING TO THE OFFICIAL PLAN OF CAROLINA BEACH.

THE TWO ABOVE MENTIONED TRACTS OF LAND ARE SHOWN ON A MAP PREPARED BY J. L. BECTON, C.E. AND RECORDED IN BOOK 72 AT PAGES 32 AND 33 AND LATER, JANUARY, 1939 CHECKED BY M. H. LANDER, C.E., AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS OF NEW HANOVER COUNTY IN MAP BOOK 3, PAGE 67.

TRACT C

BEGINNING AT A POINT IN THE DIVIDING LINE BETWEEN LOTS 18 AND 19 IN BLOCK 2 ACCORDING TO MAP OF PORTION OF CAROLINA BEACH, RECORDED IN MAP BOOK 3, PAGE 67 OF THE NEW HANOVER COUNTY REGISTRY, 125 FEET EASTWARDLY FROM THE INTERSECTION OF SAID DIVIDING LINE WITH THE EASTERN LINE OF CANAL DRIVE, RUNNING THENCE EASTWARDLY ALONG SAID DIVIDING LINE, 48 FEET MORE OR LESS, TO THE WESTERN LINE OF LOT NO. 8 IN SAID BLOCK 2, AS APPEARS ON SAID MAP, THENCE SOUTHWARDLY ALONG SAID WESTERN LINE OF SAID LOT 8 IN SAID BLOCK 2, TO THE DIVIDING LINE BETWEEN LOTS 17 AND 18 IN SAID BLOCK 2, AT A POINT 165 FEET EASTWARDLY FROM THE INTERSECTION OF SAID DIVIDING LINE WITH THE EASTERN LINE OF CANAL DRIVE, THENCE WESTWARDLY 60 FEET TO A POINT IN SAID DIVIDING LINE 125 FEET EASTWARDLY FROM THE EASTERN LINE OF CANAL DRIVE, MEASURED ALONG SAID DIVIDING LINE, THENCE NORTHWARDLY PARALLEL WITH CANAL DRIVE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING THE EASTERN PART OF LOT #18 IN SAID BLOCK 2, OR THAT PART OF SAID LOT 18 WHICH WAS NOT SOLD TO D. E. PAGE AND WIFE BY DEED RECORDED IN BOOK 300, PAGE 264 OF THE NEW HANOVER COUNTY REGISTRY.

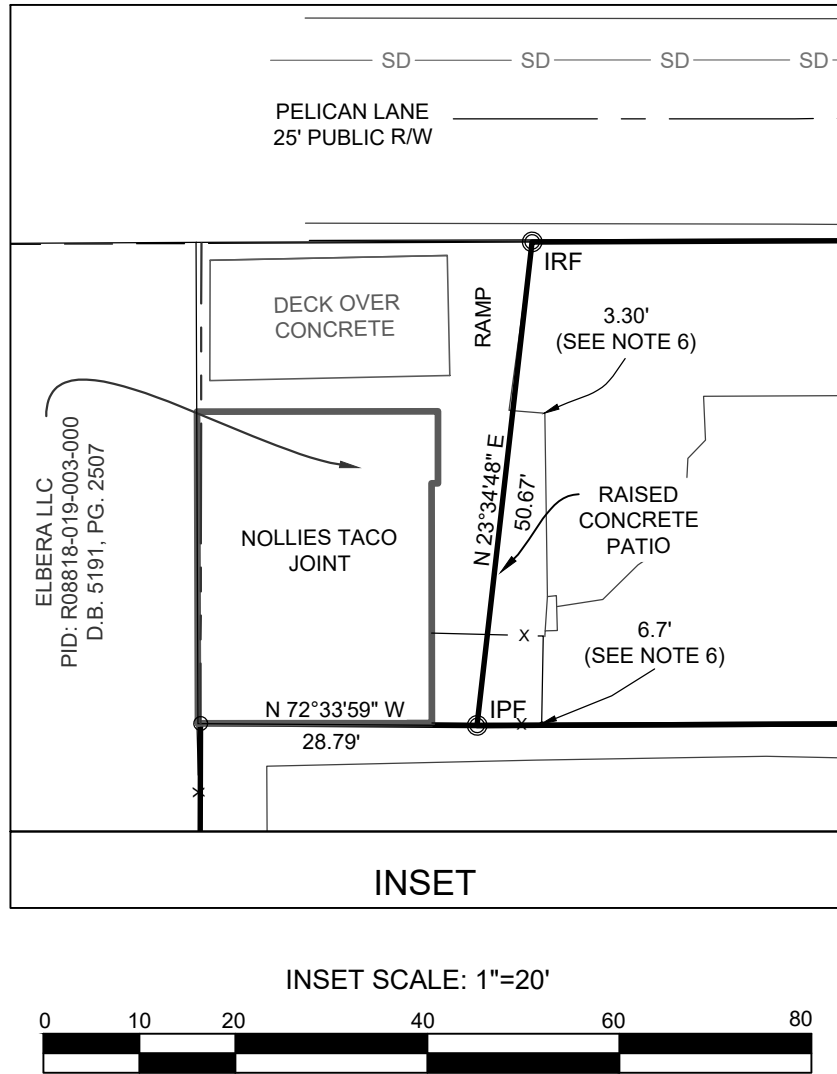
TRACT D

BEGINNING AT A POINT IN THE DIVIDING LINE BETWEEN LOTS 17 AND 18 IN BLOCK 2, ACCORDING TO MAP RECORDED IN MAP BOOK 3, PAGE 67 OF THE NEW HANOVER COUNTY REGISTRY, 125 FEET EASTWARDLY MEASURED ALONG SAID DIVIDING LINE FROM WHERE IT INTERSECTS THE EASTERN LINE OF CANAL DRIVE, RUNNING THENCE EASTWARDLY ALONG SAID DIVIDING LINE, 60 FEET TO THE WESTERN LINE OF LOT 7 IN SAID BLOCK; THENCE SOUTHWARDLY ALONG THE WESTERN LINE OF SAID LOT 7 TO THE DIVIDING LINE BETWEEN LOTS 16 AND 17 IN SAID BLOCK; THENCE WESTWARDLY ALONG SAID DIVIDING LINE IN SAID BLOCK 2, 16 FEET TO A POINT; 125 FEET EASTWARDLY FROM WHERE SAID DIVIDING LINE INTERSECTS THE EASTERN LINE OF CANAL DRIVE, THENCE NORTHWARDLY PARALLEL WITH CANAL DRIVE 50 FEET TO THE POINT OF BEGINNING, THE SAME BEING ALL OF LOT 17, IN SAID BLOCK 2, NOT SOLD TO E. F. RISLEY AND WIFE, BY DEED RECORDED IN BOOK 260, PAGE 484 OF THE NEW HANOVER COUNTY REGISTRY.

TOGETHER WITH ALL AND SINGULAR LANDS, TENEMENTS, EASEMENTS AND APPURTENANCES THERETO BELONGING OR IN ANYWISE APPERTAINING.

SUBJECT TO ANY EASEMENT OF RIGHT OF WAY IN FAVOR OF THE TOWN OF CAROLINA BEACH THE COUNTY OF NEW HANOVER, THE STATE OF NORTH CAROLINA, OR THE UNITED STATES OF AMERICA, FOR BERM AND DUNE PURPOSES, AND FOR BEACH PROTECTION OR BEACH EROSION PURPOSES.

DETAIL: A



BEING ALL OF PARCEL 3 LOT 10, BLOCK 2, LOT 9 & EASTERN PORTION OF LOT 19, PARCEL 2 BLOCK 2, PARCEL 4, TRACT C, EASTERN PART OF LOT 18, PARCEL 4, TRACT B, PORTION OF LOT 8, BLOCK 2, PARCEL 4, TRACT D LOT 17, BLOCK 2, PARCEL 4, TRACT A, PORTION OF LOT 7, BLOCK 2 OF THE TOWN OF CAROLINA BEACH, NORTH CAROLINA, AND BEING SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT AN IRON ROD ON THE SOUTHWESTERN CORNER OF P POTTAMUS PROPERTIES LLC AS RECORDED IN DEED BOOK 5833, PAGE 2249, AND THE SOUTHWESTERN CORNER OF PARCEL 4, TRACT D;

THENCE FROM THE POINT OF BEGINNING, North 17°10'19" East A DISTANCE OF 149.61' TO A POINT;

THENCE ALONG THE LINE OF ELBERA LLC, AS RECORDED IN DEED BOOK 5191, PAGE 2507 South 72°33'59" East A DISTANCE OF 28.79' TO AN IRON PIPE; North 23°34'48" East A DISTANCE OF 50.67' TO AN IRON ROD;

THENCE ALONG THE SOUTHERN MARGIN OF PELICAN LANE HAVING A 25' PUBLIC RIGHT OF WAY, South 73°11'03" East A DISTANCE OF 90.13' TO A POINT;

THENCE TURNING AND RUNNING ALONG THE WESTERN MARGIN OF CAROLINA BEACH AVENUE, HAVING A 30' PUBLIC RIGHT OF WAY, South 17°07'12" West A DISTANCE OF 200.72' TO AN IRON ROD;

THENCE LEAVING SAID RIGHT OF WAY, North 72°40'39" West A DISTANCE OF 124.75' TO THE POINT OF BEGINNING.

HAVING AN AREA OF 23,367 SQ. FT., OR 0.54 ACRES MORE OR LESS.

BEING ALL OF LOTS 1 AND 2 IN BLOCK 3 OF THE TOWN OF CAROLINA BEACH, NORTH CAROLINA, AND BEING SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT A MAG MAIL FOUND AT THE NORTHEASTERN INTERSECTION OF CAROLINA BEACH AVENUE, HAVING A 30' PUBLIC RIGHT OF WAY, AND PELICAN LANE HAVING A 25' PUBLIC RIGHT OF WAY;

THENCE FROM THE POINT OF BEGINNING, NORTH 17°08'13" East A DISTANCE OF 100.46' TO AN IRON PIPE FOUND; THENCE SOUTH 72°55'13" East A DISTANCE OF 125.00' TO A POINT; THENCE SOUTH 17°08'13" West A DISTANCE OF 100.46' TO A POINT; THENCE NORTH 17°25'13" West A DISTANCE OF 125.00' TO THE POINT OF BEGINNING.

HAVING AN AREA OF 12,558 SQ. FT., OR 0.29 ACRES MORE OR LESS.

BEING ALL OF LOTS 7-10 IN BLOCK 1 OF THE TOWN OF CAROLINA BEACH, NORTH CAROLINA, AND BEING SHOWN ON MAP RECORDED IN MAP BOOK 3 AT PAGE 67 IN THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT A POINT ON THE NORTHWESTERN CORNER OF AVERETTE PROPERTIES LLC AS RECORDED IN DEED BOOK 6162, PAGE 1137, AND THE EASTERN MARGIN OF CAROLINA BEACH AVENUE, HAVING A 30' PUBLIC RIGHT OF WAY;

THENCE FROM THE POINT OF BEGINNING, RUNNING ALONG THE SAID MARGIN OF CAROLINA BEACH AVENUE, 17°00'55" East A DISTANCE OF 199.49' TO A POINT; THENCE TURNING AND RUNNING ALONG THE SOUTHERN MARGIN OF PELICAN LANE South 72°55'13" East A DISTANCE OF 125.00' TO A POINT; THENCE South 17°00'55" West A DISTANCE OF 199.49' TO A POINT; THENCE NORTH 17°25'13" West A DISTANCE OF 125.00' TO THE POINT OF BEGINNING.

HAVING AN AREA OF 24,937 SQ. FT., OR 0.57 ACRES MORE OR LESS.

LEGEND:

- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- IRON ROD SET
- SPK SPIKE FOUND
- PKS PK NAIL SET
- TV TV RISER
- TRANSFORMER
- LIGHT POLE
- POWER POLE
- GUY ANCHOR
- TELEPHONE RISER
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAINAGE MANHOLE
- WELL
- CURB INLET
- CATCH BASIN
- EXCEPTION TAG
- BOUNDARY LINE
- ADJOINING BOUNDARY LINE
- RIGHT OF WAY
- 100-YR FLOOD LINE
- FLOOD ZONE
- FENCE LINE
- STORM DRAIN
- SANITARY SEWER
- WATER LINE

COMMITMENT NO. VAN000071 SCHEDULE B, PART II EXCEPTIONS

1. TAXES OR ASSESSMENTS FOR THE YEAR 2023, AND SUBSEQUENT YEARS, NOT YET DUE OR PAYABLE - NOT A SURVEY ISSUE.
2. RESTRICTIONS APPEARING OF RECORD - BUILDING LINE AS SHOWN HEREON.
3. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHERWISE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN MAP BOOK 3, PAGE 67, SEE NOTES 6 & 7 REGARDING EASEMENT, SETBACK, AND ENCROACHMENT.
4. ANY RIGHT, INTEREST, CLAIM, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHERWISE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN MAP 3, PAGE 67 IS NOT A SURVEY ISSUE.
5. SUBJECT TO EASEMENTS AND RIGHTS OF WAY FOR STREETS AND UTILITIES CURRENTLY IN USE - STREET RIGHTS OF WAY AS SHOWN HEREON. NO EASEMENTS OF RECORD WERE FOUND.
6. RIPARIAN RIGHTS INCIDENT TO THE PREMISES, IF ANY - NOT A SURVEY ISSUE.
7. TITLE TO THAT PORTION OF THE PROPERTY LYING BELOW THE MEAN HIGH TIDE TO THE ADJOINING TIDAL WATERS - NOT A SURVEY ISSUE.
8. RIGHTS OF THE STATE OF SOUTH CAROLINA AS TO ACCRETIONS OCCURRING AFTER JULY 1, 1977, AS PROVIDED IN TITLE 48, CHAPTER 31 (COASTAL TIDELANDS AND WETLANDS ACT) OF THE SOUTH CAROLINA CODE OF LAWS, 1976, AS AMENDED - NOT A SURVEY ISSUE.
9. TITLE TO THAT PORTION OF THE PROPERTY LYING BELOW THE HIGH MEAN WATER MARK OF THE ATLANTIC OCEAN - NOT A SURVEY ISSUE.
10. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION AS TENANTS UNDER UNRECORDED LEASES, IF ANY - NOT A SURVEY ISSUE.
11. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, THE COVERAGE AND THE COVERAGE RATIO (20) OF THE FINAL TITLE POLICY IS HEREBY DELETED - AS SHOWN HEREON - SEE NOTE 6.

ALT/NSPS SURVEYORS CERTIFICATION

Commitment Number: VAN000071

TO:

- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- CAROLINA BEACH LAND - EAST, LLC
- CAROLINA BEACH LAND - WEST, LLC
- CAROLINA BEACH HOSPITALITIES, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALT/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 8, 11, 13 OF TABLE THEREOF. THE FIELDWORK WAS COMPLETED ON 11/1/2023.

DATE OF PLAT OR MAP: 03/28/2025

Joshua W. Taylor
JOSHUA W. TAYLOR, PLS, L-5217

CLIENT INFORMATION:

HARMONY HOSPITALITY, INC.
1300 DIAMOND SPRINGS RD. STE. 204
VIRGINIA BEACH, VA 23455

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NC License #: C-2846

ALTA/ NSPS LAND TITLE SURVEY

COMMITMENT NO. VAN000071
HARMONY HOSPITALITY, INC.

TOWN OF CAROLINA BEACH
NEW HANOVER COUNTY, NC

PROJECT STATUS:

CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION

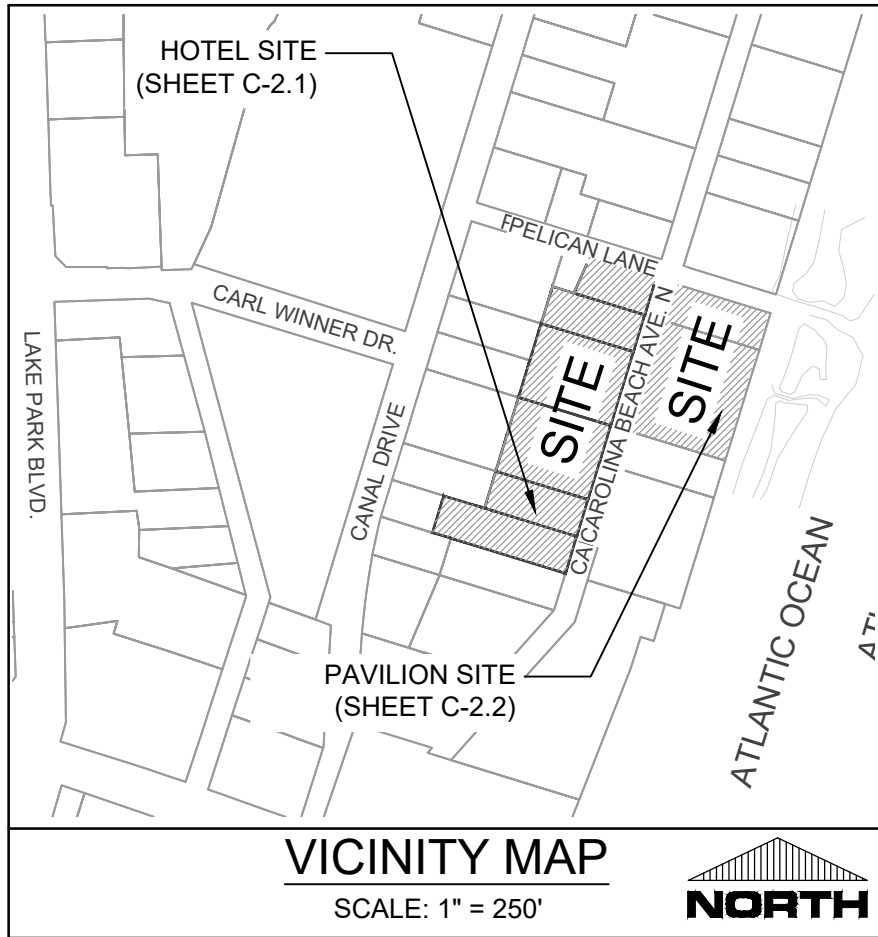
DATE:
DESIGNED:
CHECKED:



SV-2

PEI JOB#: 23329.PE

NOTE: ON CAROLINA BEACH AVE AND PELICAN LANE, THE REQUIRED 5' WIDE PUBLIC SIDEWALK MUST ENCR OACH ONTO PRIVATE PROPERTY DUE TO THE EXISTING NARROW ROW WIDTH ON BOTH STREETS. THE PROVISION OF PUBLIC SIDEWALK ON PRIVATE PROPERTY LIMITS THE ABILITY TO PROVIDE THE REQUIRED STREET TREE PLANTINGS ON BOTH STREETS. SEE LANDSCAPE PLAN FOR ADDITION INFORMATION



SITE DATA

PROJECT NAME: HARMONY HOTEL AND PAVILION AT CAROLINA BEACH

SITE ADDRESS: 223, 225, 227, 235, 237 & 239 NORTH CAROLINA BEACH AVENUE CAROLINA BEACH, NC 28546

APPLICANT: HARMONY HOSPITALITY, INC. 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

OWNER(S): CAROLINA BEACH LAND WEST, LLC 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

JOHNSON PAGE S II, AMY A 1300 DIAMOND SPRINGS RD., STE 204 VIRGINIA BEACH, VA 23455

- LEGEND:**
- 1 ROLLED 24" CURB & GUTTER; REFER TO DETAILS
 - 2 6" VERTICAL CURB & 18" GUTTER; WHERE OCCURS AND AT TRANSITIONS FOR ADA ACCESSIBLE RAMPS (TYP., SEE DETAILS)
 - 3 BUILDING COLUMN; (SEE ARCH'S PLANS)
 - 4 WHEEL STOP; SEE DETAILS
 - 5 ADA ACCESSIBLE PARKING SPACE; (TYPICAL OF 5)
 - 6 ADA PARKING SIGN; (TYP. AT FRONT OF EACH ADA PARKING SPACE, SEE DETAILS)
 - 7 CURB RAMP; ADA COMPLIANT / ACCESSIBLE RAMP (SEE DETAILS)
 - 8 HIGH-VISIBILITY CROSSWALK; ADA COMPLIANT; COLOR PER TOWN OF CAROLINA BEACH
 - 9 TRAFFIC BOLLARD; AT ZERO CURB CONDITIONS WHERE PEDESTRIANS ARE ADJACENT TO VEHICLE USE AREAS (SEE DETAILS)
 - 10 PAINT STRIPING OR LETTERING; PROVIDE PARKING LOT STRIPING, SYMBOLS OR LETTERING AS ILLUSTRATED PER PLAN; COLOR AND SIZE PER DETAILS, ARCHITECT OR OWNER SPECS
 - 12 BIKE RACKS;
 - 13 CONCRETE SIDEWALK;
 - 14 TRUNCATED DOMES; PROVIDE AT ALL ADA RAMPS AND WHERE SHOWN PER PLAN; COLOR PER ARCHITECT OR OWNER

- SYMBOLS LEGEND:**
- LANDSCAPE PLANTER AREA
- CONCRETE PAVING
- # NUMBER OF PARKING SPACES IN ROW

EXISTING STORM DRAIN LINE TO TO REMAIN

PROPOSED 8" WATER MAIN EXTENSION, TIE INTO EXISTING 8" WATER LINE ON CANAL DR.

SCREEN WALL AT TRASH COMPACTOR

EDGE OF FIRST FLOOR (OVERHEAD) HEAVY DASHED LINE, TYP.

PROPERTY LINE

RECYCLING BINS

STAIRS (SEE ARCH'S DWGS.)

8'-6" X 18" COMPACT PARKING (17 SPACES TOTAL AT HOTEL SITE)

CONTRACTOR TO REMOVE EXISTING RETAINING WALL LOCATED ALONG THIS PROPERTY LINE WITH THE TOWN OF CAROLINA BEACH PUBLIC PARKING LOT (NOTE: WALL IS ON TOWN PROPERTY)

EDGE OF FIRST FLOOR (OVERHEAD) HEAVY DASHED LINE, TYP.

PROPOSED 6" SOLID FENCE

SUBTERRANEAN STORM WATER DETENTION (DASHED LINE/SHADED), TYP.

PROPERTY LINE

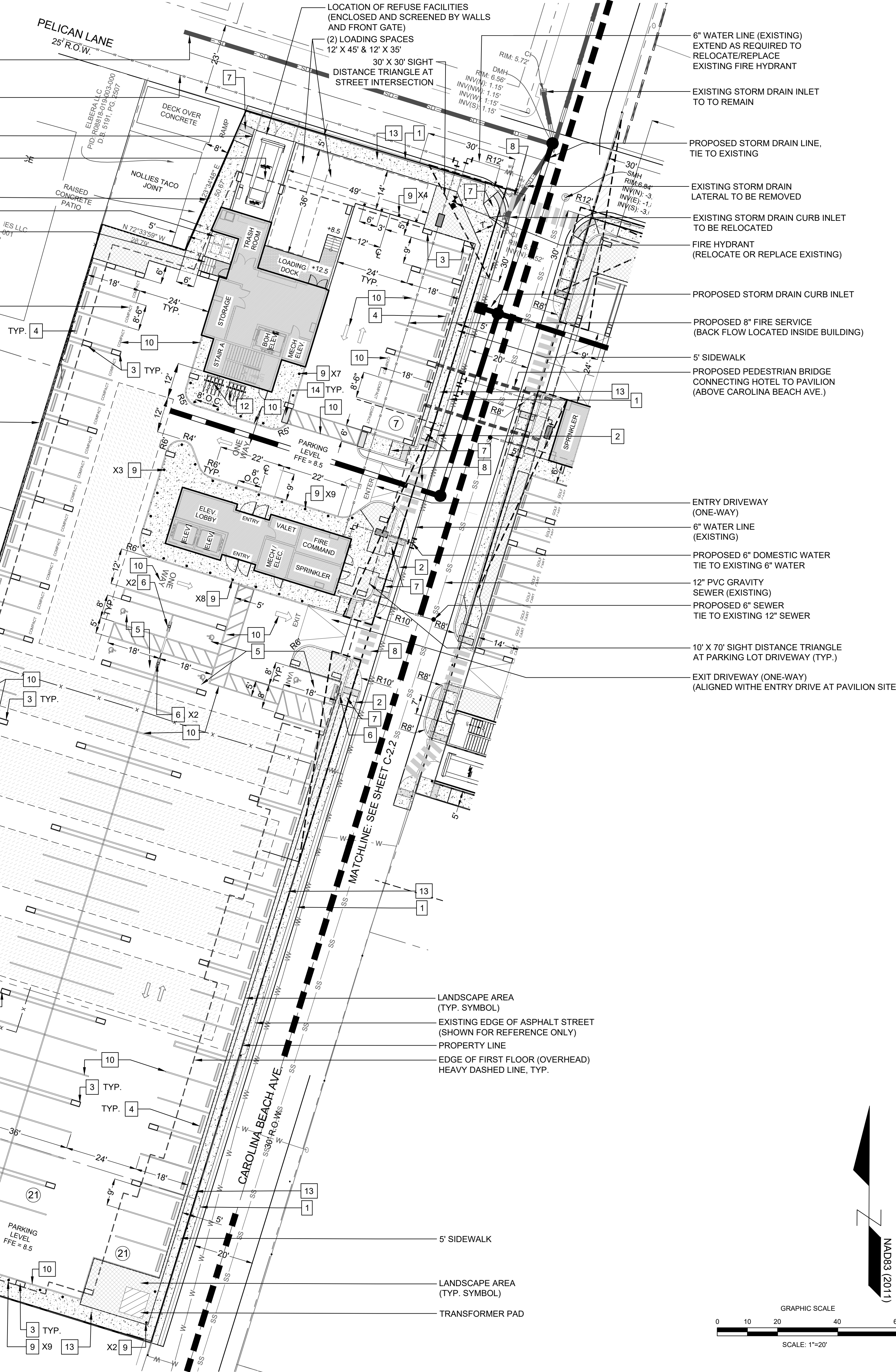
6' X 14' GOLF CART PARKING (11 SPACES TOTAL AT HOTEL SITE)

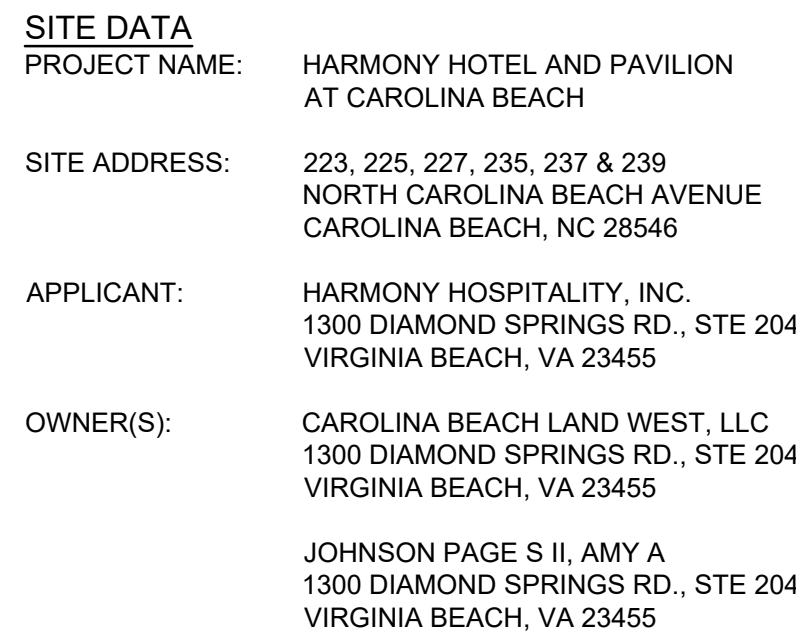
LANDSCAPE AREA (TYP. SYMBOL)

4 UNDERGROUND PROPANE TANKS (PROVIDE TRAFFIC RATED VAULT AND OPERABLE COVER, CONTRACTOR SHALL COORDINATE WITH VENDOR FOR SPECS.

FLUSH PAVING / NO CURB (TYP. CONDITION)

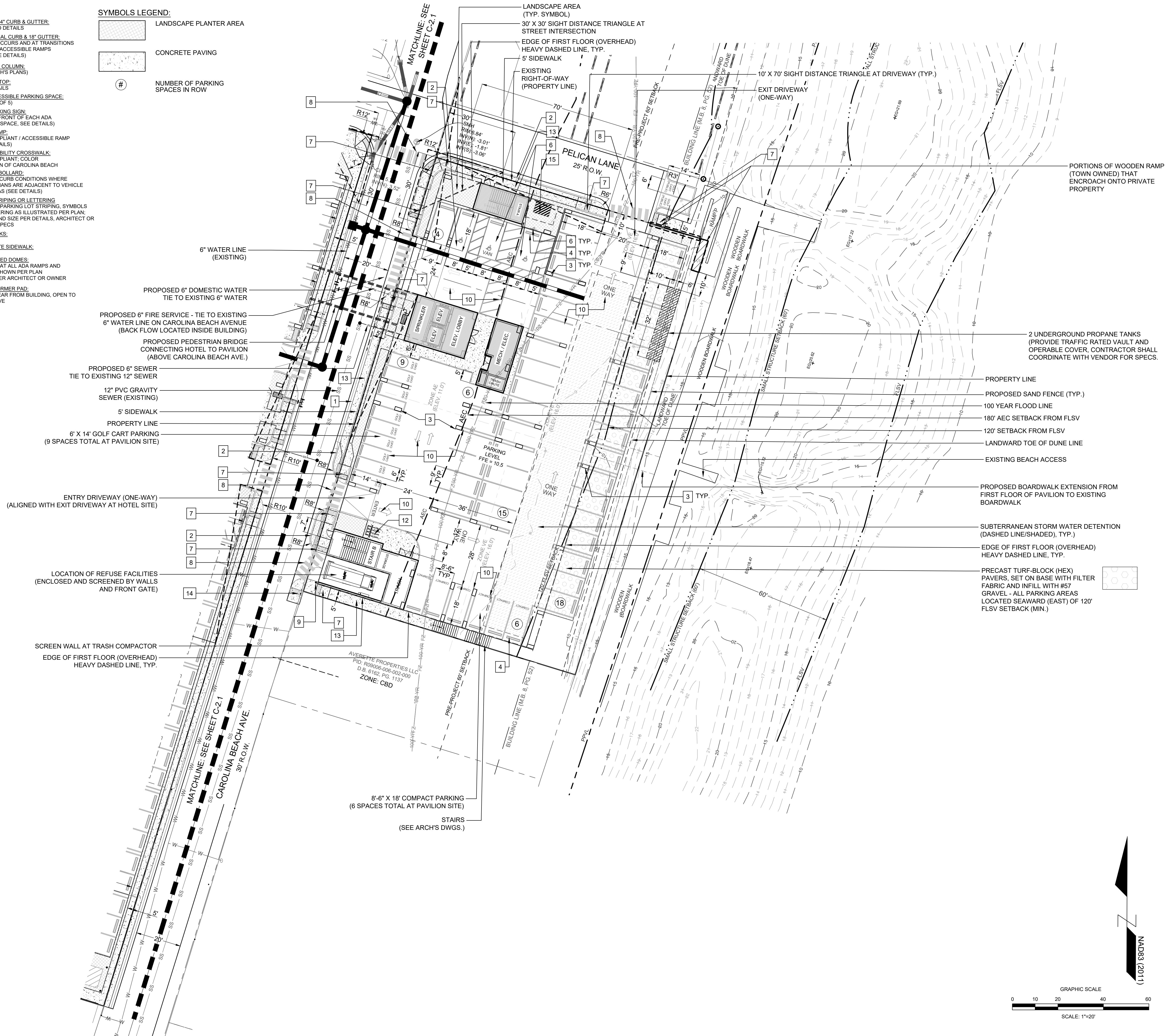
CABANA DE MAR COA INC
PID: R09006-005-014-000
D.B. 1237, PG. 757
ZONE: CBD





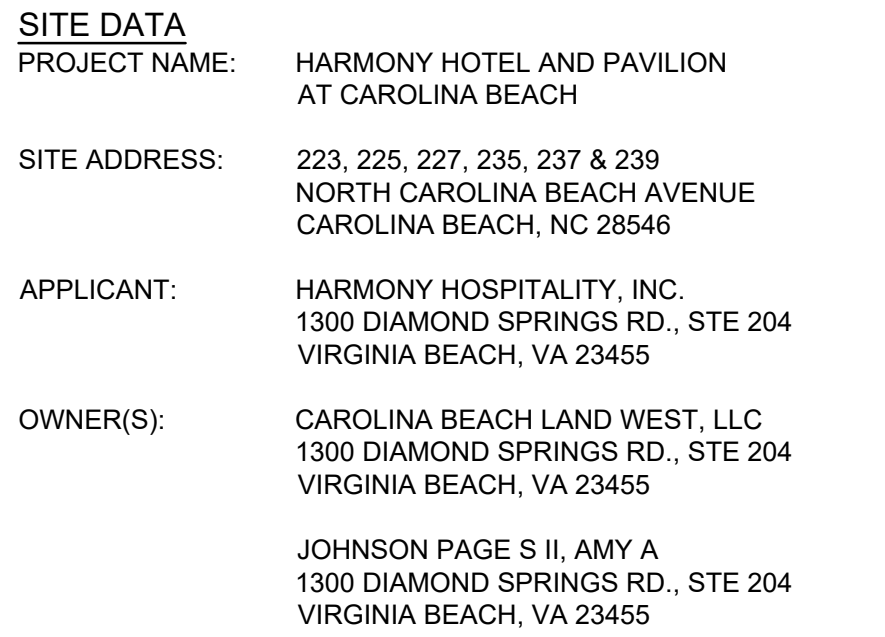
- 1 ROLLED 24" CURB & GUTTER:
REFER TO DETAILS
- 2 6" VERTICAL CURB & 18" GUTTER:
WHERE OCCURS AND AT TRANSITIONS
FOR ADA ACCESSIBLE RAMPS
(TYP. SEE DETAILS)
- 3 BUILDING COLUMN:
(SEE ARCH'S PLANS)
- 4 WHEEL STOP:
(SEE DETAILS)
- 5 ADA ACCESSIBLE PARKING SPACE:
(TYPICAL OF 5)
- 6 ADA PARKING SIGN:
(TYP. AT FRONT OF EACH ADA
PARKING SPACE. SEE DETAILS)
- 7 CURB RAMP:
ADA COMPLIANT / ACCESSIBLE RAMP
(SEE DETAILS)
- 8 HIGH-VISIBILITY CROSSWALK:
ADA COMPLIANT. COLOR
PER TOWN OF CAROLINA BEACH
- 9 TRAFFIC BOLLARD:
AT ALL CURB CONDITIONS WHERE
PEDESTRIANS ARE ADJACENT TO VEHICLE
USE AREAS (SEE DETAILS)
- 10 PAINT STRIPING OR LETTERING
PARKING LOT STRIPING, SYMBOLS
OR LETTERING AS ILLUSTRATED PER PLAN;
COLOR AND SIZE PER DETAILS, ARCHITECT OR
OWNER SPECS
- 12 BIKE RACKS:
- 13 CONCRETE SIDEWALK:
- 14 TRUNCATED DOME:
PROVIDE AT ALL ADA RAMPS AND
WHERE SHOWN PER PLAN
COLOR PER ARCHITECT OR OWNER
- 15 TRANSFORMER PAD:
3' X 3' CLEAR FROM BUILDING, OPEN TO SKY
ABOVE

- SYMBOLS LEGEND:**
- | | |
|--|---------------------------------|
|  | LANDSCAPE PLANTER AREA |
|  | CONCRETE PAVING |
|  | NUMBER OF PARKING SPACES IN ROW |



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

[illegible]



EXISTING ZONING:	CBD (CENTRAL BUSINESS DISTRICT)
PROPOSED ZONING:	CBD-CZ
JURISDICTION:	CAROLINA BEACH
PROPOSED USE:	HOTEL AND ASSOCIATED ON-SITE (SEE SITE PARKING CALCULATION)

BUILDING LOT COVERAGE:	GROUND (PARKING LEVEL): 3,1
IMPERVIOUS LOT COVER:	FIRST FLOOR (OVER PARKING): 1,1
	TOTAL SITE - LANDSCAPE AREA: 1,1

HOTEL SITE (WESTSIDE)	REQUIRED
STREET FRONTAGE (LF*)	TREES
CAROLINA BEACH AVENUE (376 LF)	7.5
PELICAN LANE (19 LF)	0.38
TOTAL TREES:	7.88 (8 TREES)

- * LINEAR FOOT (LF) OF FRONTAGE, MINUS THOSE PORTIONS OF FRONTAGE THAT ARE USED FOR DRIVEWAYS
- ** SEE PROJECT NARRATIVE FOR ADDITIONAL INFORMATION. WILL BE PROVIDED PARTIALLY ON PRIVATE PROPERTY DUE TO WIDTH OF EXISTING RIGHT-OF-WAY. IN EXCHANGE, A REDUCTION IN THE NUMBER OF STREET TREES REQUIRED IS REQUESTED
- *** THE HOTEL STREET FRONTAGE ON CAROLINA BEACH AVE IS THE NUMBER OF STREET TREES REQUIRED - TO HELP OFFSET THE PAVILION STREET FRONTAGE ON CAROLINA BEACH AVE IS THE NUMBER OF STREET TREES REQUIRED.

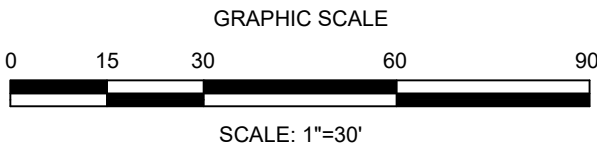
1. IRRIGATION PLANS ARE REQUIRED AND ARE THE RESPONSIBILITY OF THE OWNER. REVIEW AND APPROVAL BY OWNER. ANY IRRIGATION SHALL BE IN ACCORDANCE WITH NORTH CAROLINA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL APPLICABLE RULES AND REGULATIONS FOR IRRIGATION DESIGN.
2. THE IRRIGATION CONTRACTOR SHALL PROVIDE A DESIGN PLAN FOR THE IRRIGATION INSTALLING MATERIALS.
3. THE IRRIGATION DESIGN SHALL DEPICT A TWO WIRE, AUTOMATIC IRRIGATION SYSTEM IN LAWN AREAS, INCLUDING BUT NOT LIMITED TO: STREET YARD AREAS, DRIVEWAYS, AND SEED TITRATION PLANS FOR LOCATION OF IRRIGATION METER AND VALVES.
4. THE CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR THE BUILDING.
5. ALL LANDSCAPED AREAS OF THE PROPERTY SHALL BE IRRIGATED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND ADJUSTED TO PREVENT RUNOFF.
7. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT ANY DAMAGE TO THE ALL PIPING AND WIRES BENEATH PAVING SHALL BE SLEEVED AND PROTECTED.
8. ALL HARD-PIPED SYSTEMS SHALL BE PROVIDED BELOW GRADE.
9. WHERE USED, IRRIGATION HEADS SHALL BE INSTALLED AT MINIMUM 18" BELOW GRADE.
10. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO OWNER FOR RECORD.

SYMBOLS LEGEND:

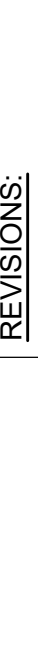
LANDSCAPE BUFFER REQUIREMENTS:

LANDSCAPE BUFFER REQUIREMENTS:

1. ANY SIDE OR REAR YARD THAT ABUTS A RESIDENTIAL USE OR RESIDENTIAL DISTRICT SHALL PROVIDE FOR A SIX (6) FOOT FENCE WITH 80% OPACITY
2. CENTRAL BUSINESS DISTRICT (CBD), NEW CONSTRUCTION ONLY. TYPE D BUFFER AND STREET YARD REQUIRED. PER SECTION 3.27, TABLE 3.9, TYPE D BUFFER IS ZERO FEET (0') WIDE.
3. TYPE D, FOR EVERY 50 LINEAR FEET OF FRONTAGE, OR FRACTION THEREOF, ONE STREET YARD SHALL CONTAIN ONE:
 - (1) UNDERSTORY TREE WITH SIDEWALKS OR PLANTERS BUILT WITHIN THE SIDEWALK. STREET YARDS LOCATED WITHIN THE CBD SHALL INCLUDE SIDEWALKS WITH PLANTING AREAS EITHER ADJACENT TO THE CURB OR PLANTERS LOCATED WITHIN THE SIDEWALK.
4. PARKING IS LOCATED WITHIN A PARKING STRUCTURE, NO LANDSCAPE ISLANDS OR TREES REQUIRED.



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS CONCEPT LAYOUT: PRELIMINARY LAYOUT: FINAL DESIGN: PREPARED FOR CONST:	DRAWING INFORMATION DATE: 08/22/2025 DESIGNED: T-300 CHECKED:	LANDSCAPE PLAN HARMONY HOTEL AND PAVILION AT CAROLINA BEACH CAROLINA BEACH AVE. CAROLINA BEACH, NC		CLIENT INFORMATION: HARMONY HOSPITALITY, INC. 1300 DIAMOND SPRINGS RD., STE. 204 VIRGINIA BEACH, VA 23455	REVISIONS:

PARAMOUNT

LANDSCAPE PLAN
HARMONY HOTEL AND PAVILION
AT CAROLINA BEACH
CAROLINA BEACH AVE.
CAROLINA BEACH, NC

PROJECT STATUS	DRAWING INFORM
CONCEPTUAL LAYOUT:	DATE:
PRELIMINARY LAYOUT:	SCALE:
FINAL DESIGN:	DESIGNED:
RELEASED FOR CONST:	DRAWN:
	CHECKED:

SEAL

L-2.0

PEI JOB#: 00000.PE

GUEST ROOM MATRIX

	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL
KING -	4	11	11	11	37
KING ACC -	-	1	1	-	2
KING 1 BR SUITE -	1	1	1	-	3
QUEEN / QUEEN -	9	23	23	26	81
QUEEN / QUEEN ACC -	-	2	2	-	4
Q / Q SUITE -	1	2	2	2	7
Q / Q 1 BR SUITE -	-	1	1	1	3
2 BR FAMILY SUITE -	-	1	1	1	3
	15	42	42	41	140

SITE PARKING

HOTEL / MOTEL (NOT CONDOMINIUMS)
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER SLEEPING ROOM
NUMBER OF HOTEL ROOMS: 140 = 140 SPACES REQUIRED

MEETING / ASSEMBLY ROOMS
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER 500 SF MEETING / ASSEMBLY ROOM
8,262 SF / 500 = 17 SPACES

EATING AND/OR DRINKING ESTABLISHMENTS
MINIMUM PARKING SPACES REQUIRED:
1 SPACE PER 110 SF OF INDOOR GROSS FLOOR AREA
3,214 SF / 110 = 29 SPACES

SUBTOTAL PARKING SPACES REQUIRED: 186**
** 25% PARKING REDUCTION SHALL BE GIVEN IF 50 OR GREATER SPACES ARE REQUIRED. REDUCTION ONLY APPLIES TO ASSOCIATED ON-SITE USES, LIMITED TO RESTAURANTS, BARS AND MEETING ROOMS

ALLOWABLE PARKING SPACE REDUCTION:
MEETING / ASSEMBLY ROOMS: 17 SPACES
EATING AND/OR DRINKING ESTABLISHMENTS: 29 SPACES
ALLOWABLE DEDUCTION (25% X 46 SPACES): 12 SPACES

TOTAL PARKING SPACES REQUIRED (186 MINUS 12): 174 SPACES

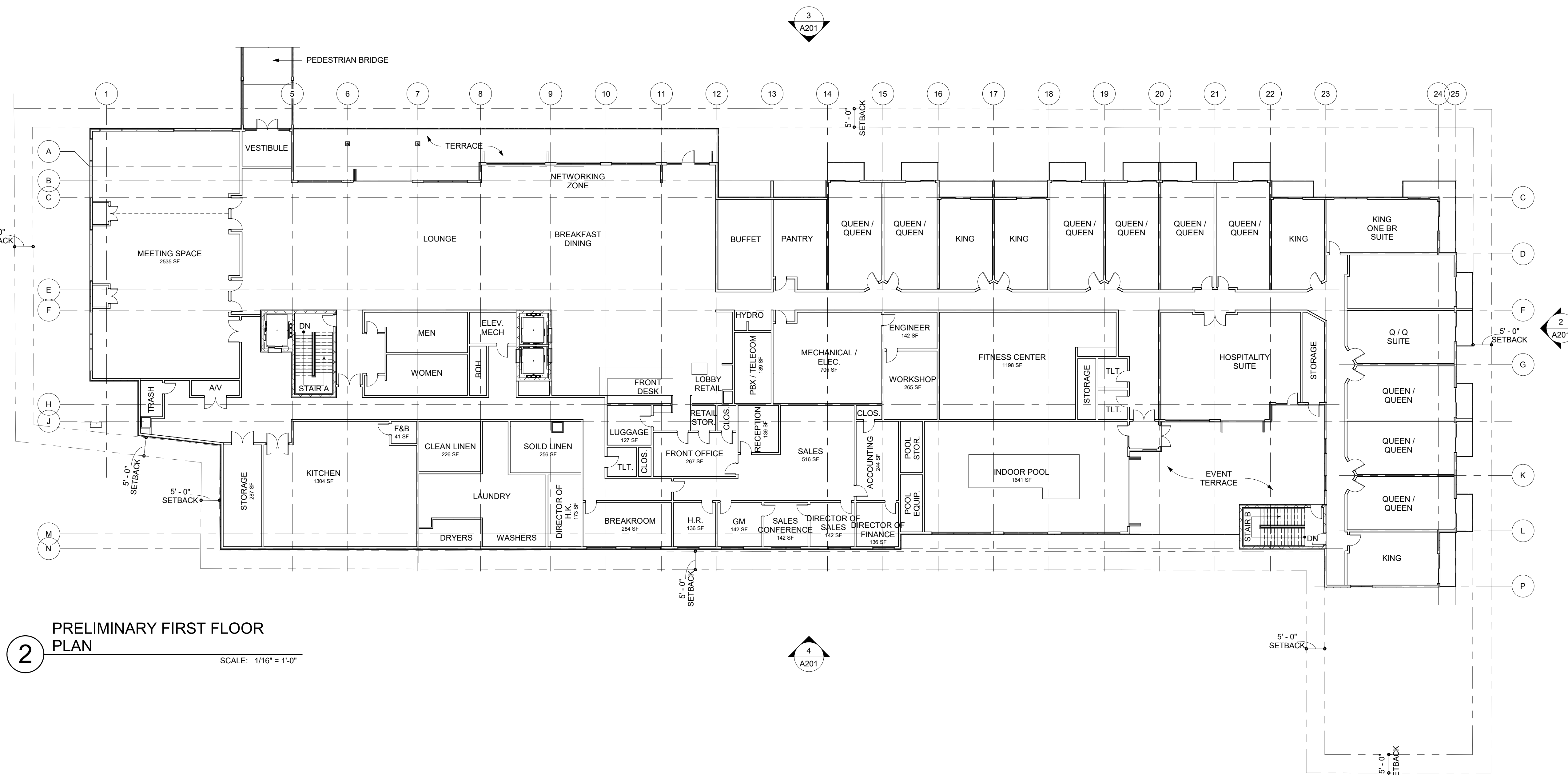
TOTAL PARKING SPACES PROVIDED: 168
117 STANDARD VEHICLE PARKING SPACES (9' x 18')
23 COMPACT VEHICLE PARKING SPACES (8'-6" x 18')
8 ADA ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN SPACE)
20 GOLF CART PARKING SPACES (6' x 14')
168 PARKING SPACES PROVIDED

TOTAL ON-SITE LOADING SPACES PROVIDED: 2 SPACES
(1) LOADING SPACE 12' WIDE X 35' LONG
(1) LOADING SPACE 12' WIDE X 45' LONG

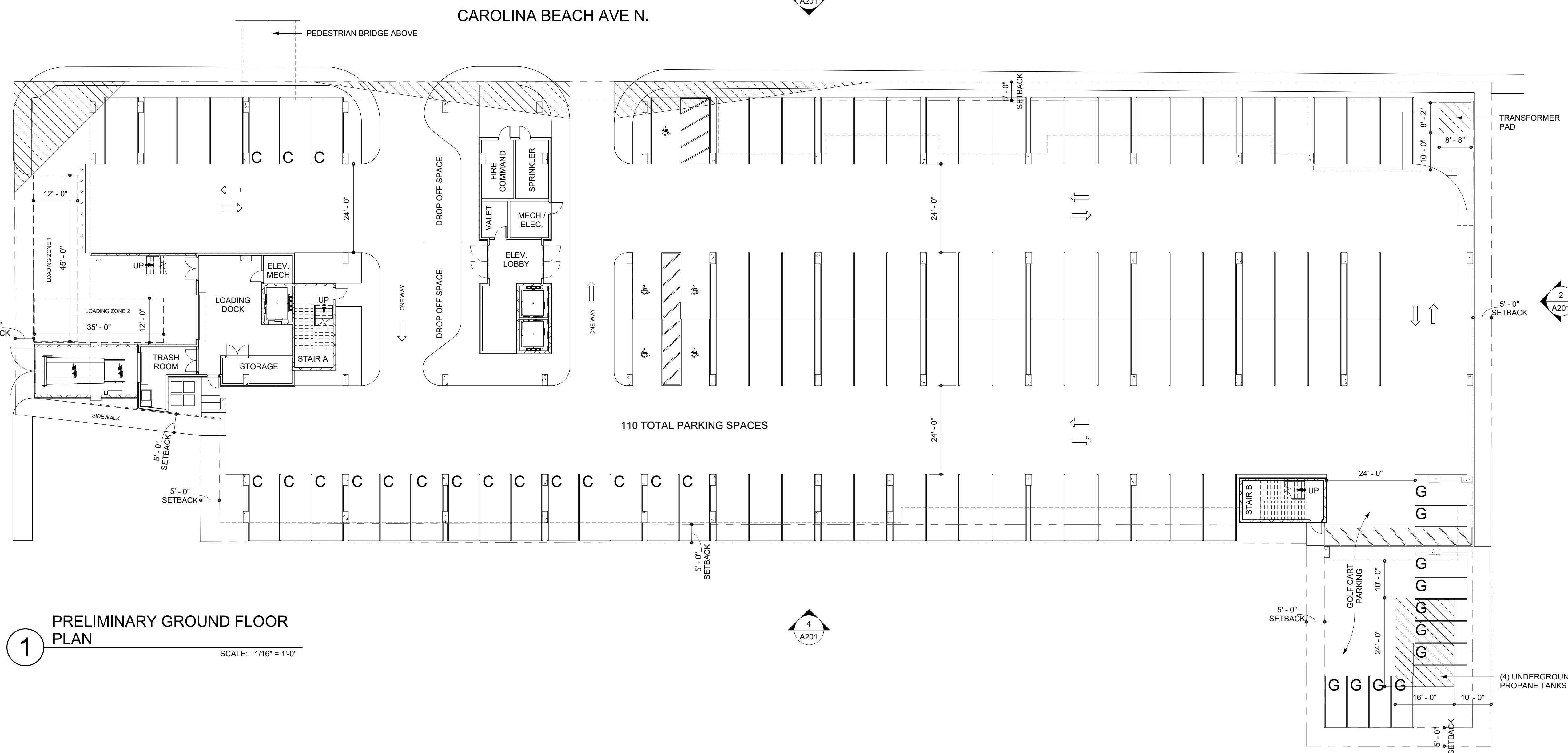
LOBBY / VALET DROP-OFF SPACES: 2*
(*NOT INCLUDED IN TOTAL PARKING SPACES PROVIDED)

GROSS FLOOR AREA CALCULATIONS

HOTEL -	
- GROUND FLOOR =	2,760 GFA
- FIRST FLOOR =	38,960 GFA
- SECOND FLOOR =	27,410 GFA
- THIRD FLOOR =	27,410 GFA
- FOURTH FLOOR =	27,410 GFA
TOTAL GROSS FLOOR AREA =	123,950 GFA



PRELIMINARY FIRST FLOOR
PLAN
SCALE: 1/16" = 1'-0"



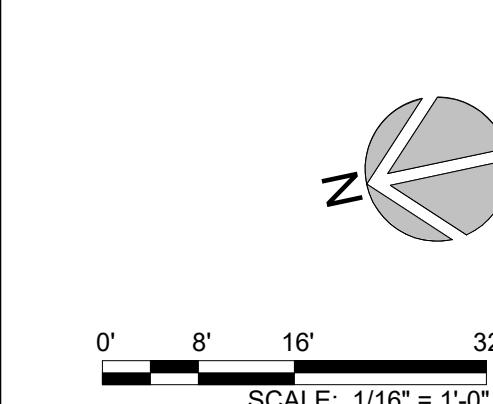
PRELIMINARY GROUND FLOOR
PLAN
SCALE: 1/16" = 1'-0"

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

PRELIMINARY
DESIGN CONCEPT ONLY. SUBJECT
TO FURTHER REVISIONS. NOT FOR
CONSTRUCTION NOT FOR
PERMITS.
ISSUED: 09/22/2025

PRELIMINARY
GROUND & FIRST
FLOOR PLANS



Mark	Date	Description
1	09.22.25	TRC RESUBMISSION
2	09.22.25	
3	09.22.25	
4	09.22.25	
5	09.22.25	
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99	09.22.25	
100	09.22.25	



0' 8' 16' 32'
SCALE: 1/16" = 1'-0"

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2025153.00

DATE: 09.22.25

SCALE: As indicated

DRAWN BY: DJB PROJ MGR: DJB

A102

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GUEST ROOM MATRIX

	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR	TOTAL
KING -	4	11	11	11	37
KING ACC -	-	1	1	-	2
KING 1 BR SUITE -	1	1	1	-	3
QUEEN / QUEEN -	9	23	23	26	81
QUEEN / QUEEN ACC -	-	2	2	-	4
Q / Q SUITE -	1	2	2	2	7
Q / Q 1 BR SUITE -	-	1	1	1	3
2 BR FAMILY SUITE -	-	1	1	1	3
	15	42	42	41	140

GROSS FLOOR AREA CALCULATIONS

HOTEL -	
- GROUND FLOOR =	2,760 GFA
- FIRST FLOOR =	38,960 GFA
- SECOND FLOOR =	27,410 GFA
- THIRD FLOOR =	27,410 GFA
- FOURTH FLOOR =	27,410 GFA
TOTAL GROSS FLOOR AREA =	123,950 GFA

PRELIMINARY THIRD & FOURTH
FLOOR PLAN

SCALE: 1/16" = 1'-0"

PRELIMINARY SECOND FLOOR
PLAN

SCALE: 1/16" = 1'-0"



1 OVERALL NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 OVERALL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



3 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



4 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"

PROJECT TITLE

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

PRELIMINARY
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ISSUED: 09/22/2025

SHEET TITLE

PRELIMINARY
EXTERIOR
ELEVATIONS

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2025153.00
DATE: 09.22.25
SCALE: 1/16" = 1'-0"

DRAWN BY: DJB PROJ MGR: DJB

A201
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1 WEST PERSPECTIVE - CAROLINA
BEACH AVE.
SCALE:



2 SOUTHWEST PERSPECTIVE -
INTERSECTION
SCALE:



3 NORTHWEST PERSPECTIVE -
CAROLINA BEACH AVE.
SCALE:



4 NORTHWEST BIRDSEYE
SCALE:

PROJECT TITLE

CAROLINA
BEACH FULL
SERVICE
HOTEL

CAROLINA BEACH AVE. N.
CAROLINA BEACH, NC 28428

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SHEET TITLE

PRELIMINARY
EXTERIOR
PERSPECTIVES

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2025153.00

DATE: 09.22.25

SCALE:

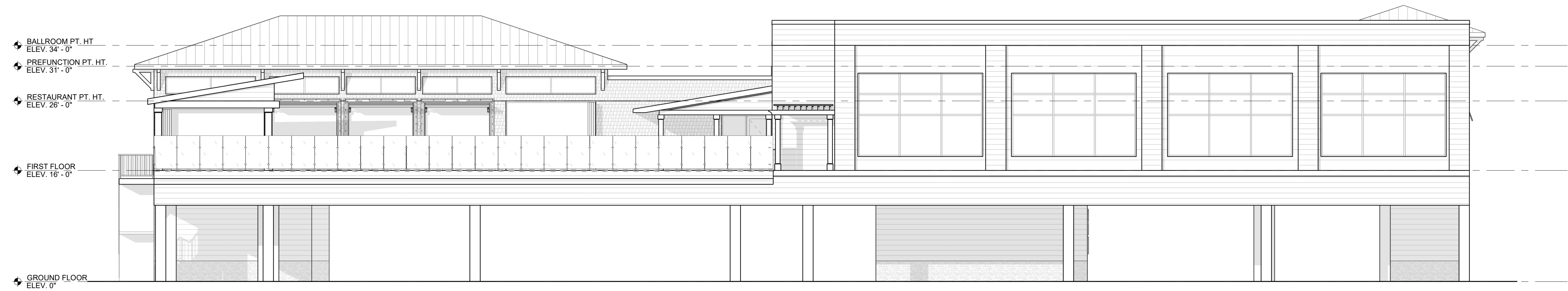
DRAWN BY: DJB PROJ MGR: DJB

A901

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4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



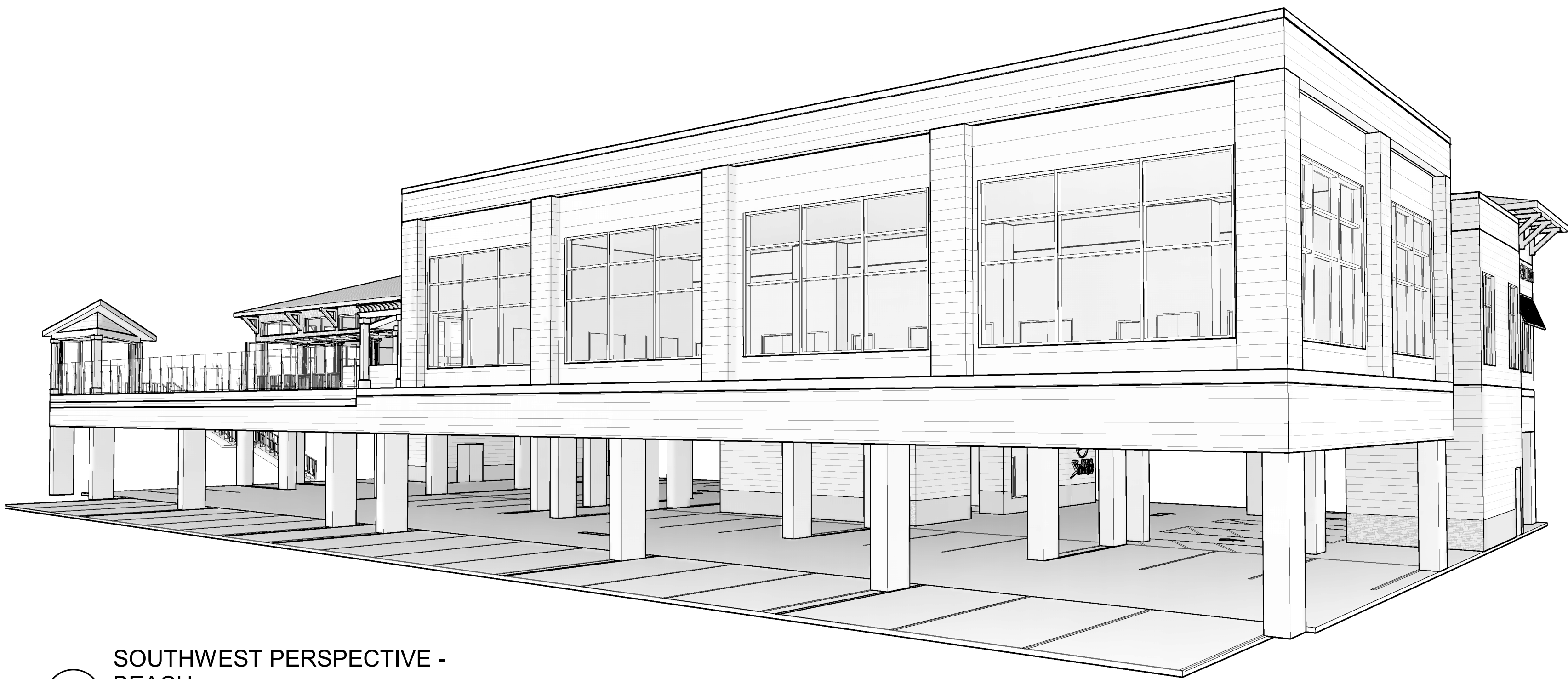
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



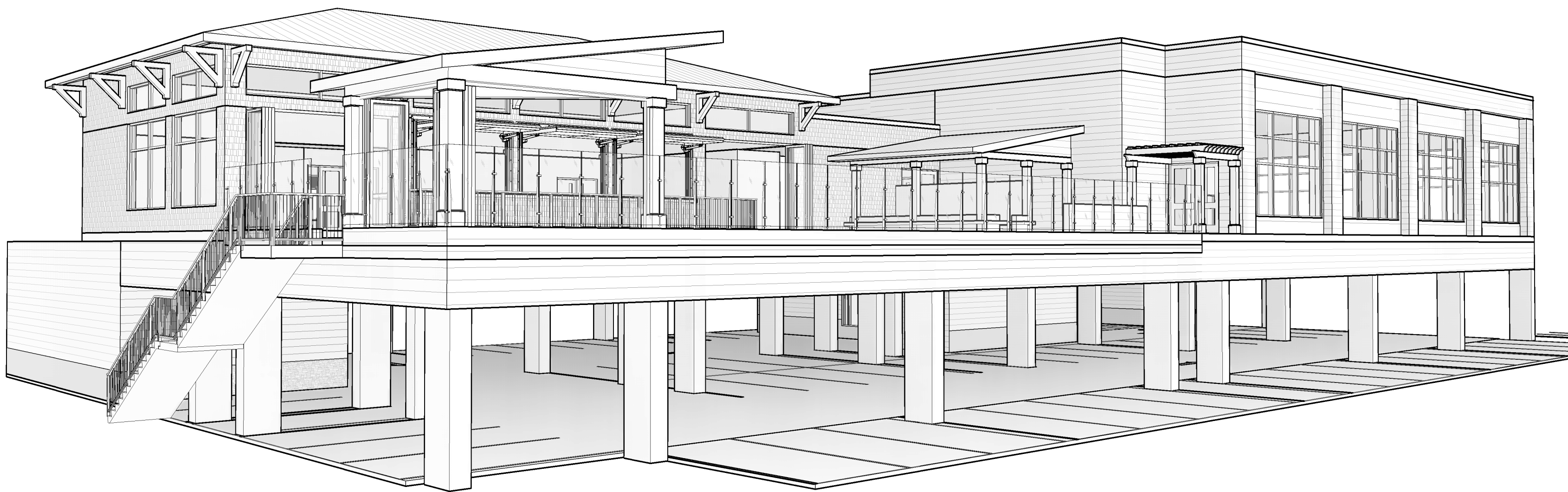
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



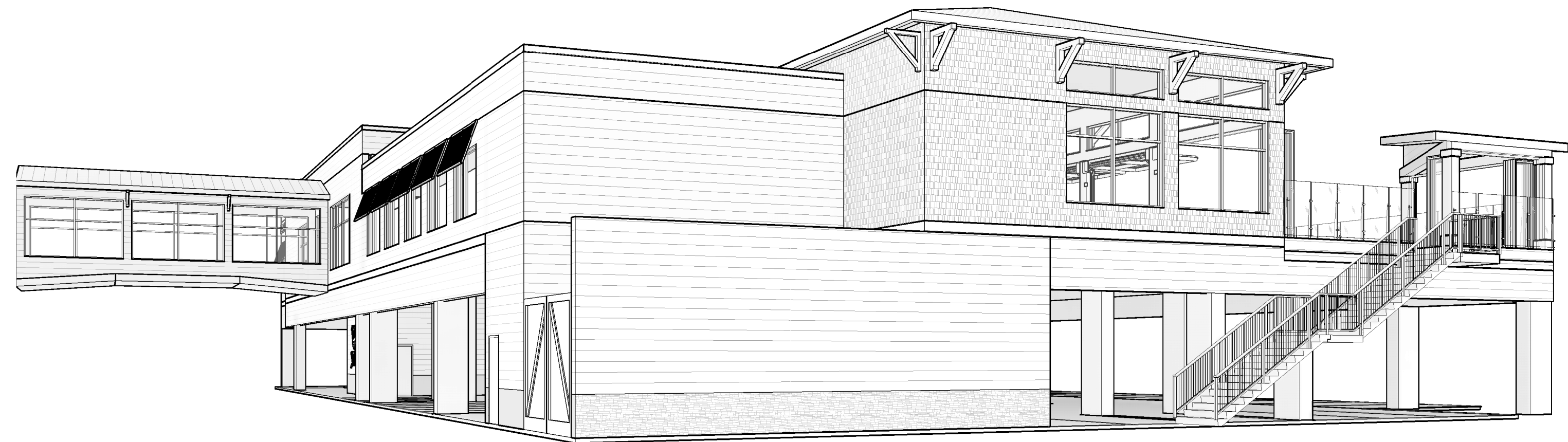
1 SOUTHWEST PERSPECTIVE - BEACH
SCALE:



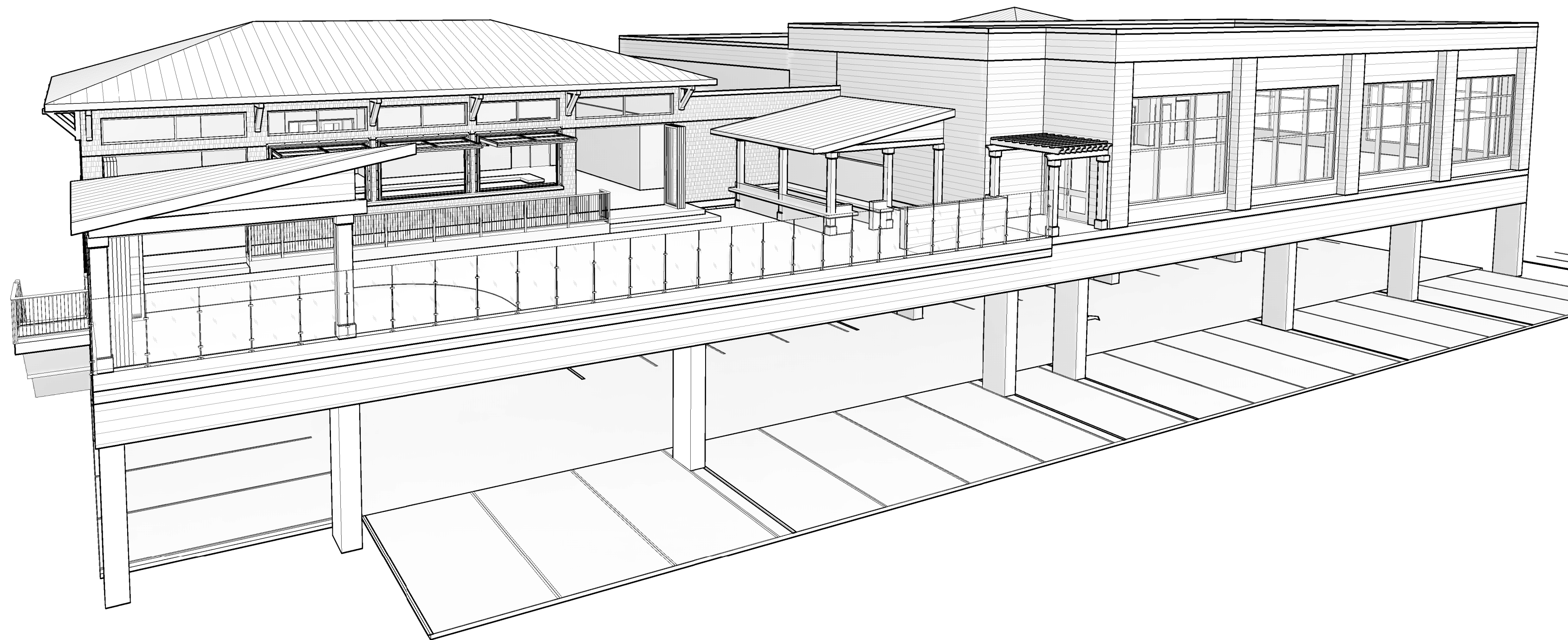
2 SOUTHEAST PERSPECTIVE - INTERSECTION
SCALE:



3 NORTHWEST PERSPECTIVE - BEACH
SCALE:



4 NORTHEAST PERSPECTIVE - CAROLINA BEACH AVE
SCALE:



5 NORTHEAST BIRDSEYE - BEACH
SCALE:

PROJECT TITLE

OCEANFRONT
AMENITY
PAVILION

LOTS 7-10, BLOCK 1
CAROLINA BEACH AVE N
CAROLINA BEACH, NC 28428

PRELIMINARY

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CONSTRUCTION NOT FOR
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ISSUED: 09/22/2025

SHEET TITLE

PERLIMINARY
EXTERIOR
PERSPECTIVES

ISSUE BLOCK

Mark	Date	Description
1	09.22.25	TRC RESUBMISSION

PROJECT NO: 2023042.02
DATE: 09.22.25
SCALE:
DRAWN BY: DJB PROJ MGR: DJB

A901

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