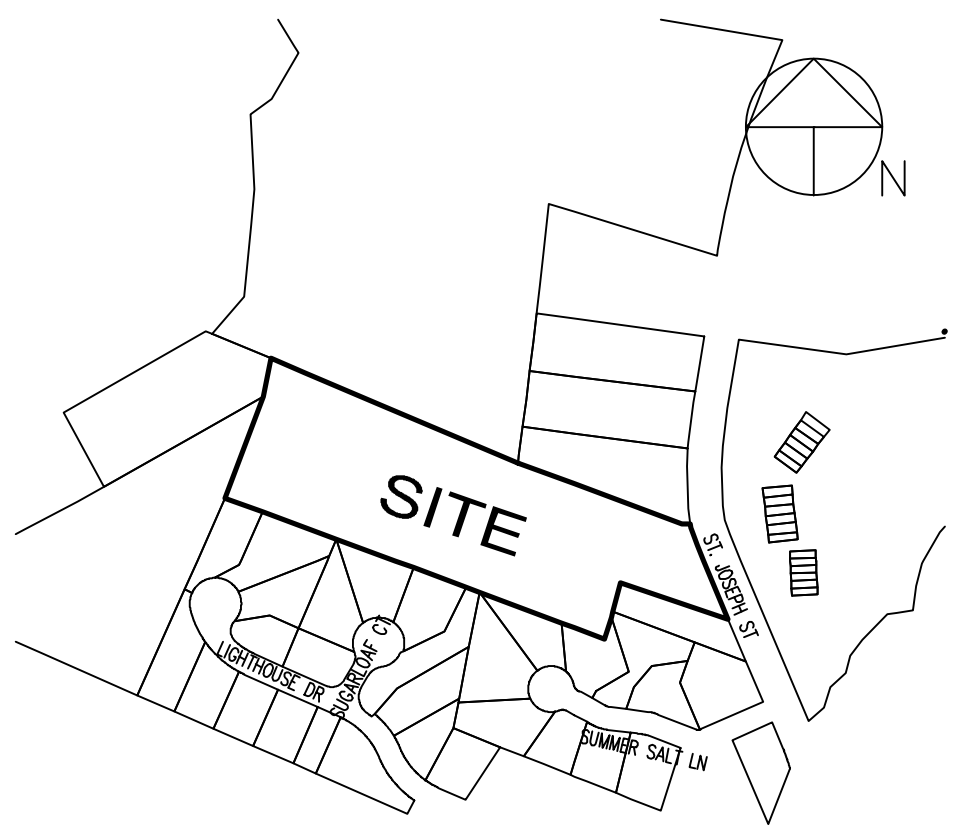


FISHER'S RESERVE SUBDIVISION



TRC APPROVAL PLANS - PHASE 2 LOTS 10-13

1215 ST. JOSEPH STREET, CAROLINA BEACH, NC
2025-08-18



LOCATION MAP
NOT TO SCALE

4 VICINITY MAP SCALE: NOT TO SCALE

NAME:

FISHER'S RESERVE

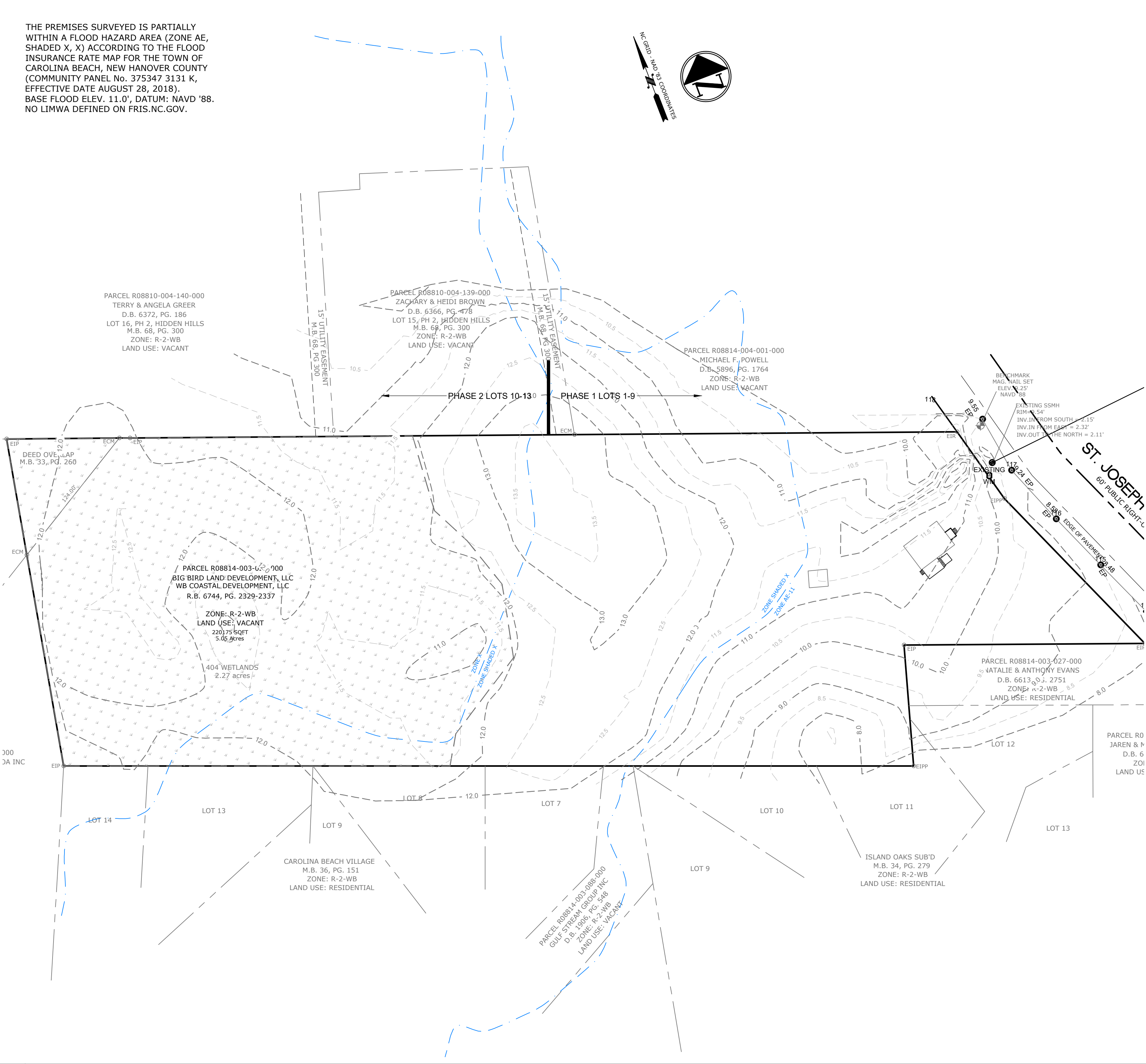
CONTRACTOR: W3 BUILT, LLC
WESCOTT BUTLER, OWNER
707-A ST JOSEPH AVENUE
CAROLINA BEACH, NC
PHONE: (910) 599-5789
EMAIL: BUTLER@W3BUILT.COM

PROJECT CIVIL ENGINEER: RICHARD COLLIER, PE
RCOLLIER@MCKIMCREED.COM

PROJECT SURVEYOR:



3 PROJECT INFORMATION



2 LOCATION MAP

SCALE: 1"=50'

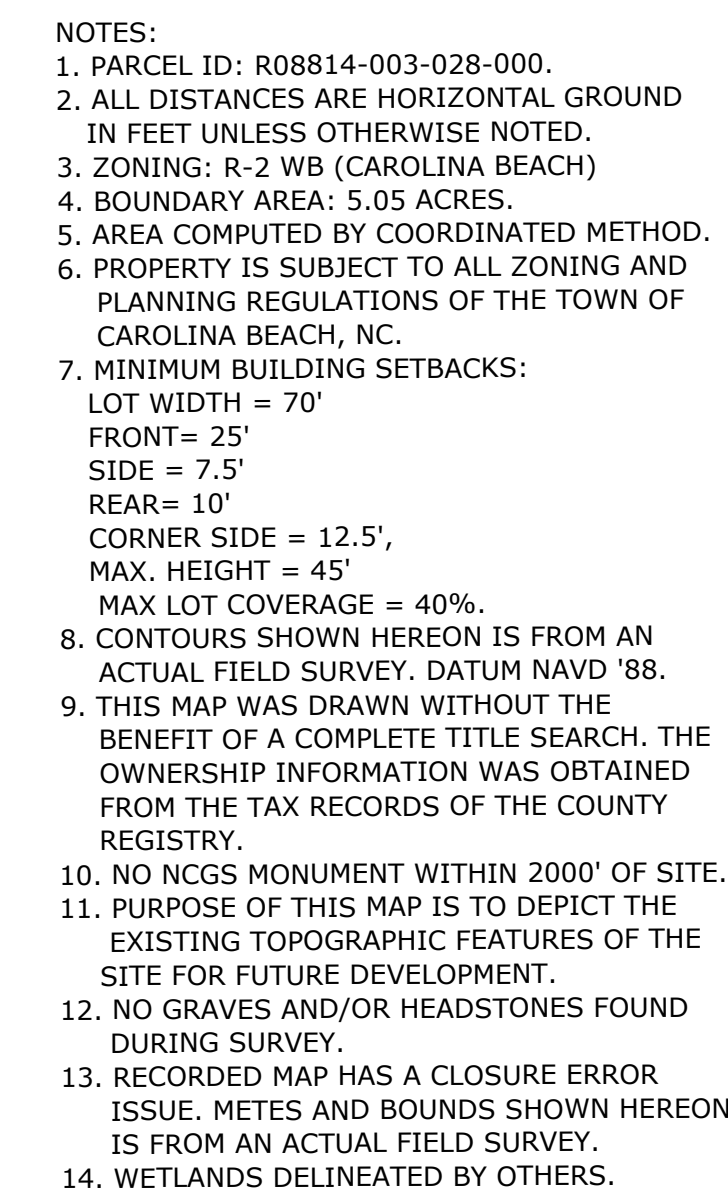
Sheet List Table	
Sheet Number	Sheet Title
--	COVER
C1.0	OVERALL SITE PLAN
C1.1	PRELIMINARY PLAT
C1.2	GRADING AND DRAINAGE PLAN
C1.3	EROSION CONTROL
C2.0	ENLARGED LANDSCAPE PLAN
C2.1	LANDSCAPE DETAILS
C3.0	ENLARGED UTILITY PLAN
C3.1	EROSION CONTROL DETAILS
C3.2	EROSION CONTROL DETAILS
C4.0	SITE DETAILS
C4.1	UTILITY DETAILS
C4.2	STORMWATER DETAILS



1 SHEET INDEX

FISHER'S RESERVE SUBDIVISION

2025-08-18 - TRC APPROVAL PLANS - PHASE 2 LOTS 10-13



1. ALL TREES, STUMPS, ROOT MAT, ETC. SHALL BE ENTIRELY REMOVED REGARDLESS OF DEPTH. BURIAL OF ORGANIC MATERIAL WITHIN THE PROJECT LIMITS IS NOT PERMITTED. OPEN BURNING OF DOWNED TREES AND STUMPS IS PERMITTED. HOWEVER, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. CHIPPED MATERIALS MUST BE REMOVED PRIOR TO THE PLACEMENT OF EMBANKMENT OR TOPSOIL.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE TO OBTAIN OFF-SITE SPOIL AREAS FOR DISPOSAL OF EXCESS AND/OR UNSUITABLE MATERIALS AS NECESSARY. OFF-SITE SPOIL AREAS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BY APPLICABLE REGULATORY AGENCIES AND PRIOR TO UTILIZATION BY THE CONTRACTOR. NO AREAS DESIGNATED AS WETLANDS WILL BE PERMITTED FOR USE AS A DISPOSAL SITE. THE CONTRACTOR SHALL SUBMIT NOTIFICATION TO THE ENGINEER THAT NO WETLANDS WILL BE IMPACTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANS, PERMITS, EROSION AND SEDIMENT CONTROL MEASURES, ETC. REQUIRED BY THE APPROPRIATE REGULATORY AGENCIES FOR UTILIZING OFF-SITE SPOIL AREAS. THE CONTRACTOR SHALL CERTIFY TO THE ENGINEER THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO UTILIZING THE OFF-SITE SPOIL AREAS. ALL COSTS FOR PROCURING AND UTILIZING THE OFF-SITE SPOIL AREAS ARE TO BE INCIDENTAL TO THE BASE BID.
3. APPROVED COVERS TO PREVENT MATERIAL FROM LEAVING THE TRUCKS MUST BE INSTALLED OVER ALL LOADED TRUCKS HAULING BORROW EXCAVATED MATERIAL AND/OR FINE AGGREGATES TO OR FROM THE PROJECT SITES OVER STATE MAINTAINED ROADS. THE TRUCKS SHALL BE FULLY COVERED TO PREVENT MATERIAL FROM LEAVING THE TRUCK DURING HAUL. ANY MATERIAL DROPPED, OVERLOADED, OR REMOVED IN UNCOVERED TRUCKS WILL BE INCORPORATED INTO THE PROJECT OR REMOVED FROM THE SITE WITH NO ADDITIONAL PAYMENT TO THE CONTRACTOR FOR FURNISHING, REMOVING, OR PLACING THE MATERIALS INVOLVED.
4. DRIVEWAYS ARE NOT TO BE LOCATED OVER WATER METERS OR SEWER CLEANOUTS. METERS WILL NOT BE SET IF WATER METER BOXES, SEWER CLEAN-OUTS, VALVE BOXES OR OTHER APPURTENANCES ARE DAMAGED OR IMPROPERLY POSITIONED.

GENERAL INFORMATION	
DATA CLASS	VALUE
PARCEL ADDRESS	1215 ST JOSEPH STREET CAROLINA BEACH
TAX PARCEL IDENTIFICATION NUMBER	R08814-003-028-000
OWNER	BIG BIRD LAND DEVELOPMENT, LLC
DEVELOPER	BIG BIRD LAND DEVELOPMENT, LLC
CURRENT ZONING	R-2 RESIDENTIAL
PROPOSED USE	R-2 RESIDENTIAL
RESIDENTIAL USE (SF)	5.05 AC (220.175 SF)
TOTAL PROJECT AREA	5.05 AC (220.175 SF)
TOTAL LOTS / PROJECT DENSITY	13 LOTS / 3.76 DU/AC

BUILDING INFORMATION			
DATA CLASS		REQUIRED	PROPOSED
LOT SIZE (R-2 ZONING)		7,000 SF	7,000 SF MIN
DENSITY		6.2 DUA MAX	3.76 DUA
BUILDING SETBACKS			
LOT WIDTH		70'	75' AND 80'
FRONT		25'	25'
REAR		10'	10'
SIDE CORNER		7.5'	7.5'
SIDE INTERIOR		7.5'	7.5'
BUILDING HEIGHT		45' MAX	45' MAX

SITE INFORMATION		
DATA CLASS	EXISTING	PROPOSED
TOTAL IMPERVIOUS SURFACE AREA	0 SF	55,931 SF
BUA TOTAL (PER LOT = 5,000 OR 4.50 SF)	0 SF	32,500 SF
ROADWAY PAVEMENT	0 SF	20,046 SF
SIDEWALKS / PLAZA	0 SF	3,385 SF
IMPERVIOUS AREA COVERAGE	0%	45.0 %

ROADWAY ASPHALT

2'-0" CONCRETE VALLEY CURB

SIDEWALK / DRIVEWAY APRON

24" CONCRETE FLUME

OPEN SPACE



HEAVY DUTY CONCRETE

1. UTILITIES WILL BE LOCATED WITHIN THE PUBLIC R/W AND WILL BE PUBLIC FACILITIES DEDICATED TO THE TOWN OF CAROLINA BEACH.
2. STORMWATER MANAGEMENT WILL BE TREATED ON-SITE AND WILL MEET THE STATE AND TOWN RULES AND REGULATIONS.
3. LOTS 1, 2, 7, AND 9 WILL HAVE THEIR FINISHED FLOOR ELEVATION 2-FEET ABOVE THE BASE FLOOD ELEVATION OF 11-FEET. THE DEVELOPER RETAINS THE RIGHT TO RAISE ANY, ALL, OR NONE OF THE REMAINING LOTS ABOVE BFE.
4. SIDEWALK IS PROPOSED ON BOTH SIDES OF THE STREET (4' WIDE SIDEWALKS).

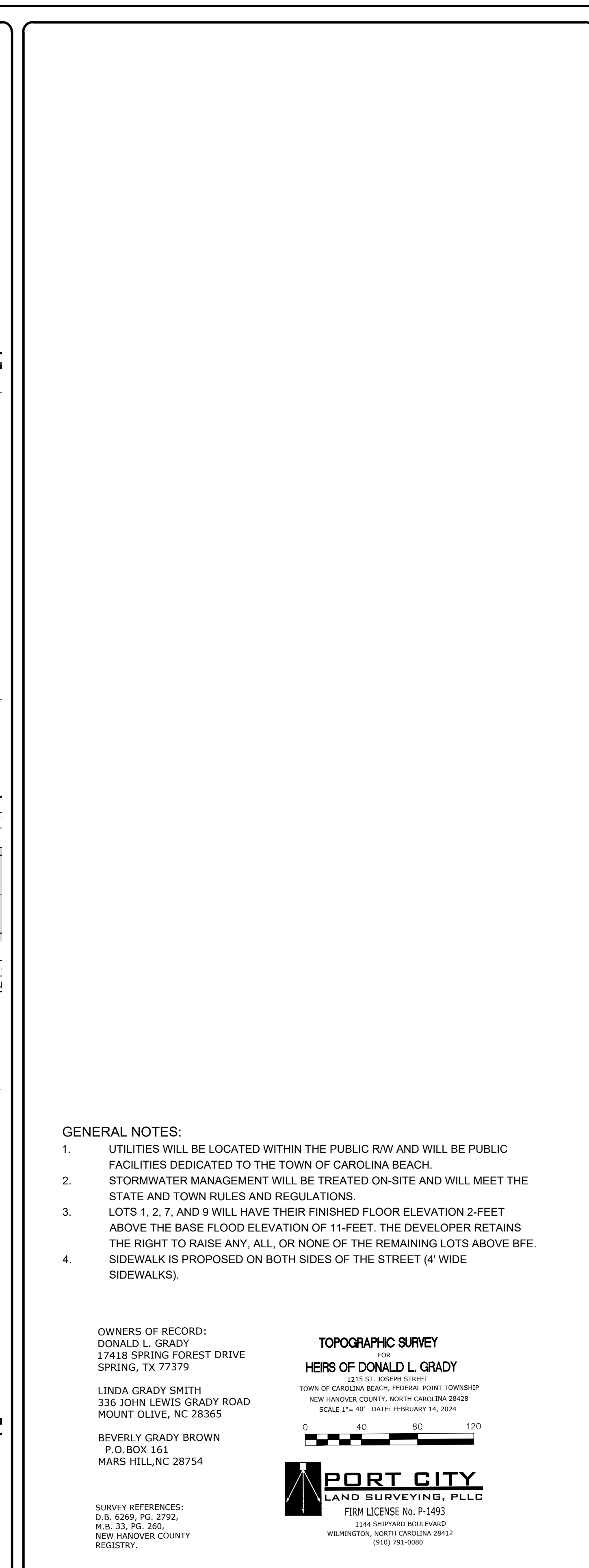
SURVEY REFERENCES:
D.B. 6269, PG. 2792,
M.B. 33, PG. 260,
NEW HANOVER COUNTY
REGISTRY.

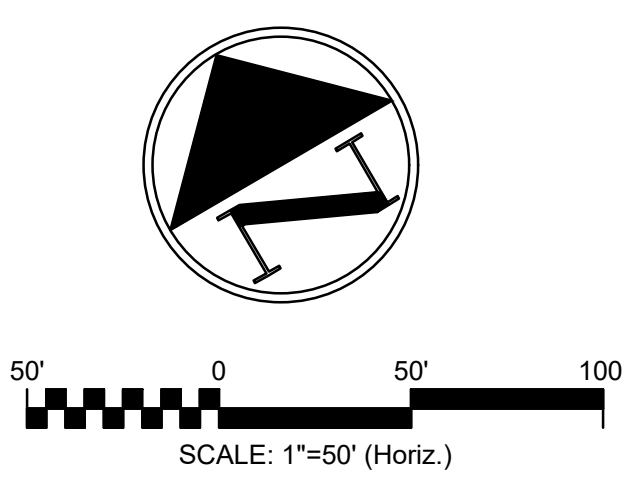
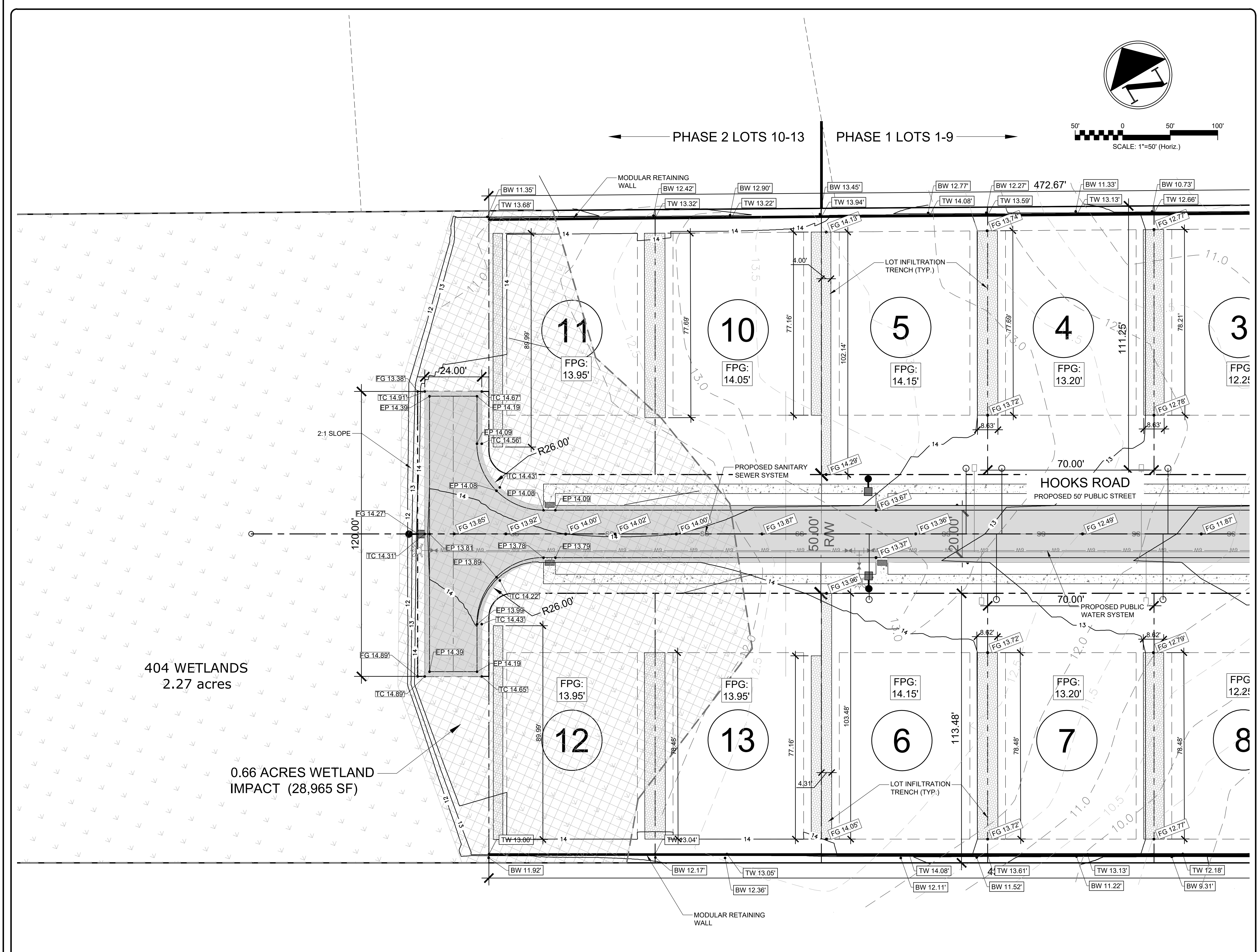
TOPOGRAPHIC SURVEY
FOR
HEIRS OF DONALD L. GRADY
1235 ST. JOSEPH STREET
TOWN OF CAROLINA BEACH, FEDERAL POINT TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA 28428
SCALE 1" = 40' DATE: FEBRUARY 14, 2024

0 80 120
FOOT



PORT CITY
LAND SURVEYING, PLLC
FIRM LICENSE NO. P-1493
1144 SHIPYARD BOULEVARD
WILMINGTON, NORTH CAROLINA 28412
(910) 791-0080

[illegible]



- SURFACE MATERIAL LEGEND**
- ROADWAY ASPHALT
 - 2'-0" CONCRETE VALLEY CURB
 - SIDEWALK / DRIVEWAY APRON
 - 24" CONCRETE FLUME
 - OPEN SPACE
 - HEAVY DUTY CONCRETE

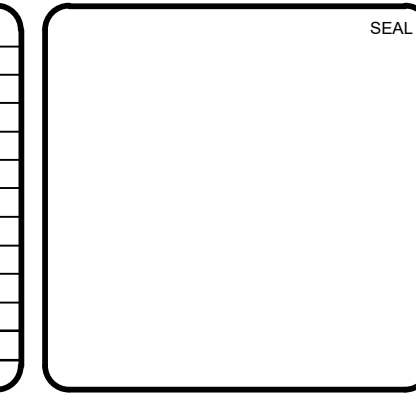
2 ENLARGED GRADING AND DRAINAGE PLAN

SCALE: 1"=20'

1 SITE DATA TABLE

SCALE: NTS

REV. NO.	DESCRIPTIONS	DATE



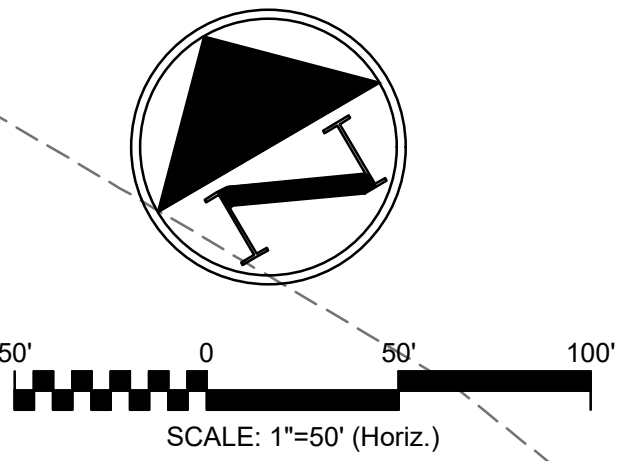
Civil Engineer:
Richard M. Collier, PE
3708 Needle Sound Way
Wilmington, NC
NC-022574

OWNER / DEVELOPER
BIG BIRD LAND DEVELOPMENT, LLC
707A ST JOSEPH ST
CAROLINA BEACH NC

FISHER'S RESERVE
1215 ST JOSEPH STREET, CAROLINA BEACH NC

GRADING AND DRAINAGE PLAN

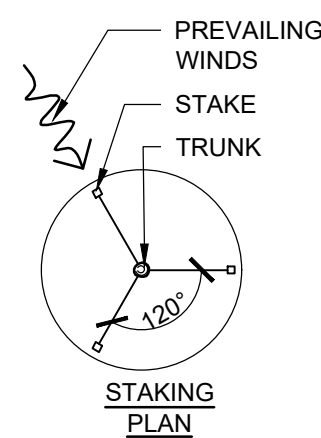
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DESIGNED: RMC	VERTICAL: ---	
CHECKED: RMC		
PROJ. MGR: RMC		
STATUS: RELEASED FOR PERMITTING		



STATUS: RELEASED FOR PERMITTING

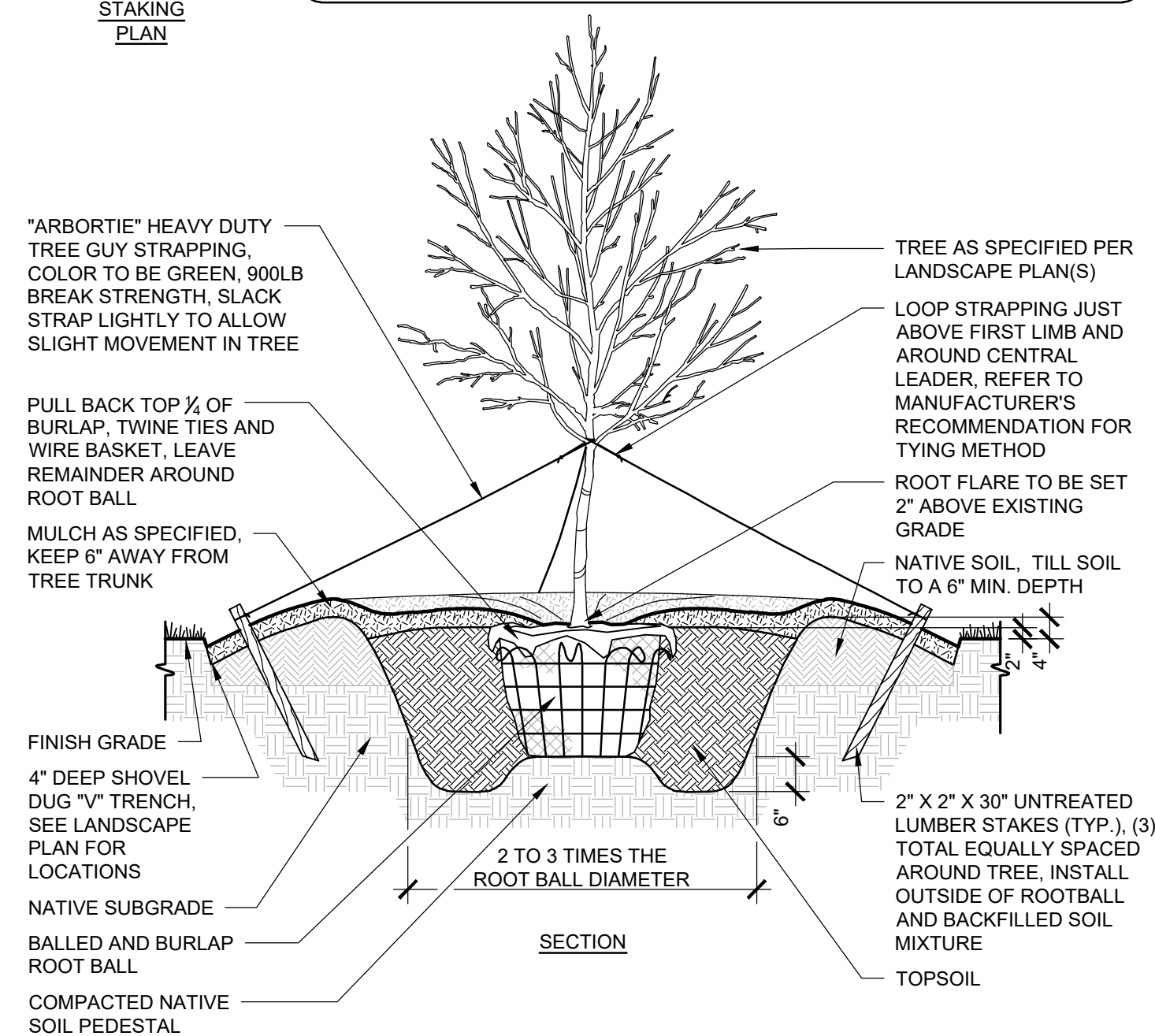
1. ALL EXISTING VEGETATION THAT IS USED TO MEET LANDSCAPING REQUIREMENTS, ALL REQUIRED PLANTING LIVING MATERIAL, AND ALL REQUIRED BERMS SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY ON A CONTINUING BASIS. ANY PLANTED MATERIAL WHICH BECOMES DAMAGED OR DISEASED OR DIES SHALL BE REPLACED BY THE OWNER WITHIN 60 DAYS OF THE OCCURRENCE OF SUCH CONDITION. IF, IN THE OPINION OF THE ZONING ADMINISTRATOR THERE ARE SEASONAL CONDITIONS WHICH WILL NOT PERMIT THE TIMELY REPLACEMENT OF THE VEGETATION (E.G. TOO HOT OR TOO COOL FOR SUCCESSFUL REPLANTING) THIS REQUIREMENT MAY BE ADMINISTRATIVELY WAIVED UNTIL A TIME CERTAIN WHEN THE REPLANTING WOULD BE SUCCESSFUL.
2. VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
3. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS, CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
4. LANDSCAPE MATERIAL PLACED IN PREPARED HOLES SHALL BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
5. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
6. LANDSCAPE ARCHITECT SHALL APPROVE ANY ON-SITE PLANT STORAGE AREA FOR ACCESSIBILITY, SHADE CONDITIONS, HEALING-IN MULCH MATERIAL AND TEMPORARY WATERING METHODS.
7. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACK FILLING.
8. ALL PLANT BEDS OR RAISED SAUCER RINGS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES.
9. ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AND WIDTHS AS ILLUSTRATED IN PLANTING DETAILS.
10. TREE GUYING SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE GUYING STRAPPING AND STAKES AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICH EVER COMES FIRST.
11. CONTRACTOR SHALL VERIFY LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO PLANTING.
12. ANY EXPOSED OR UNCOVERED LINES SHALL BE SHOWN TO GENERAL CONTRACTOR PRIOR TO BACKFILLING.
13. ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
14. ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE CURRENT MUNICIPAL AUTHORITIES STANDARD SPECIFICATIONS AND DETAILS.
15. ALL LANDSCAPE AREAS THAT ARE NOT PLANTED, MULCHED OR PAVED SHALL BE SEEDED OR SODDED.
16. FIRST YEAR PRUNING OF TREE CROWN SHALL BE LIMITED TO REMOVAL OF DEAD & DAMAGED WOOD.
17. TREE PROTECTION FENCE SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO CLEARING, GRADING AND CONSTRUCTION ACTIVITY OR ISSUANCE OF ANY RELATED PERMITS. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
18. MULCH LINE SHALL CONSIST OF SMOOTH CONTINUOUS CURVES.
19. ALL TREES NOT WITHIN A PLANT BED SHALL BE TREATED WITH A 6" DIAMETER MULCH RING TYPICAL, UNLESS OTHERWISE INDICATED ON THE PLANTING PLANS.
20. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
21. SUBSTITUTIONS OF PLANT MATERIALS SPECIFIED CAN ONLY OCCUR WITH PRIOR APPROVAL BY LANDSCAPE ARCHITECT.
22. ESTABLISH PLANT BED CONFIGURATION. LANDSCAPE ARCHITECT TO APPROVE BED LAYOUT IN FIELD.
23. AREAS DAMAGED BY ACTIVITIES OF CONTRACTOR SHALL BE RE-ESTABLISHED TO PRE-DISTURBANCE CONDITION AT NO ADDITIONAL COST TO THE OWNER.
24. USE HERBICIDES, PESTICIDES, AND FERTILIZER IN A MANNER CONSISTENT WITH THE FEDERAL INSECTICIDE, FUNGICIDE, AND RODENTICIDE ACT AND IN ACCORDANCE WITH LABEL RESTRICTIONS.
25. CONTRACTOR SHALL INSURE THAT ALL PLANT MATERIAL IS FREE OF FIRE ANTS PRIOR TO INSTALLATION.
26. LANDSCAPE ARCHITECT OR OWNER SHALL APPROVE PLACEMENT OF TREES PRIOR TO PLANTING.
27. STREET TREES SHALL BE MAINTAINED TO PROVIDE 13'-6" CLEAR HEIGHT FOR THE PORTION OF THE TREE CANOPY THAT EXTENDS OVER THE VEHICULAR NETWORK.
28. STREET TREES SHALL BE LOCATED A MINIMUM OF 15 FEET FROM STREETLIGHTS.
29. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
30. DEEPROOT ROOT BARRIER OR APPROVED EQUAL SHALL BE INSTALLED AT ALL STREET TREE LOCATIONS AND WHERE A TREE IS WITHIN 10' OF A UTILITY OR HARDSCAPE. THE ROOT BARRIER SHALL BE INSTALLED ACCORDING TO MANUFACTURER RECOMMENDATION.

5 | PLANT LEGEND

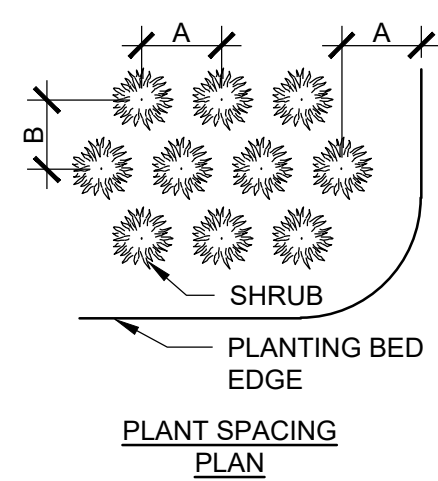


GENERAL NOTES:

- A. TREE TO BE STRAIGHTENED PRIOR TO BACKFILL AND GUYING
- B. SCARIFY BOTTOM AND SIDES OF PLANT PIT
- C. STAKE AND GUY TREES 3" CALIPER OR GREATER, OR TREES IN WINDING LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
- D. DO NOT WRAP TREE TRUNK
- E. MARK NORTH SIDE OF TREE AT NURSERY AND PLANT WITH MARKING FACING NORTH
- F. BACKFILL PLANTING PITS WITH TOPSOIL MIXTURE AS SPECIFIED, PACK SOIL AROUND BASE OF ROOTBALL TO STABILIZE, INSTALL REMAINDER IN 9" LAYERS, LEAVE TAMP TO REMOVE VOIDS AND WATER EACH LAYER

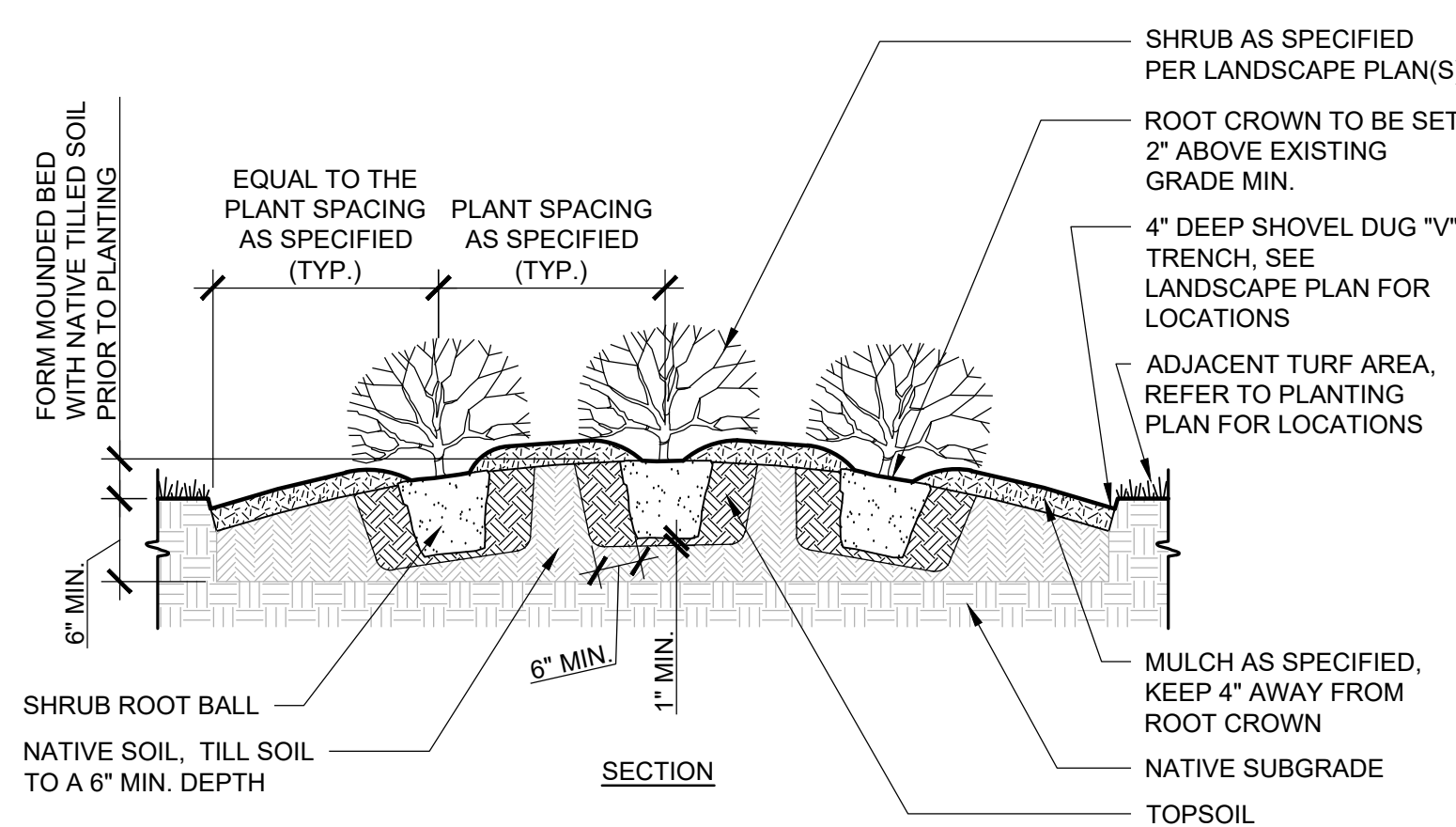


4 GENERAL LANDSCAPE NOTES

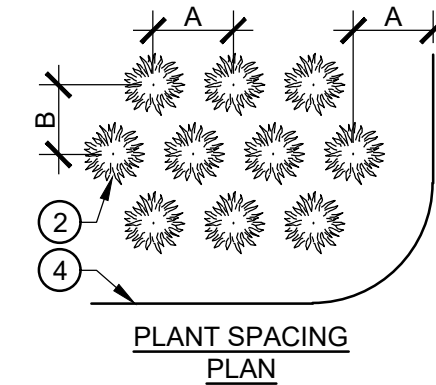


GENERAL NOTES:

- A. SCARIFY BOTTOM AND SIDES OF PLANTING PIT.
- B. THE BOTTOM OF SHRUB ROOT BALLS SHALL NOT PROJECT INTO THE NATIVE SUBGRADE .
- C. LARGER PLANTS WILL REQUIRE ADDITIONAL TOPSOIL DEPTH.
- D. BACKFILL PLANTING PITS WITH TOPSOIL MIXTURE AS SPECIFIED, INSTALL IN 6" LAYERS, HAND TOOLS TO REMOVE VOIDS AND WATER LOGGING.
- E. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACKFILLING WITH PREPARED SOILS. HAND TOOLS SHALL NOT BE USED TO SCARIFY ROOT BALLS.

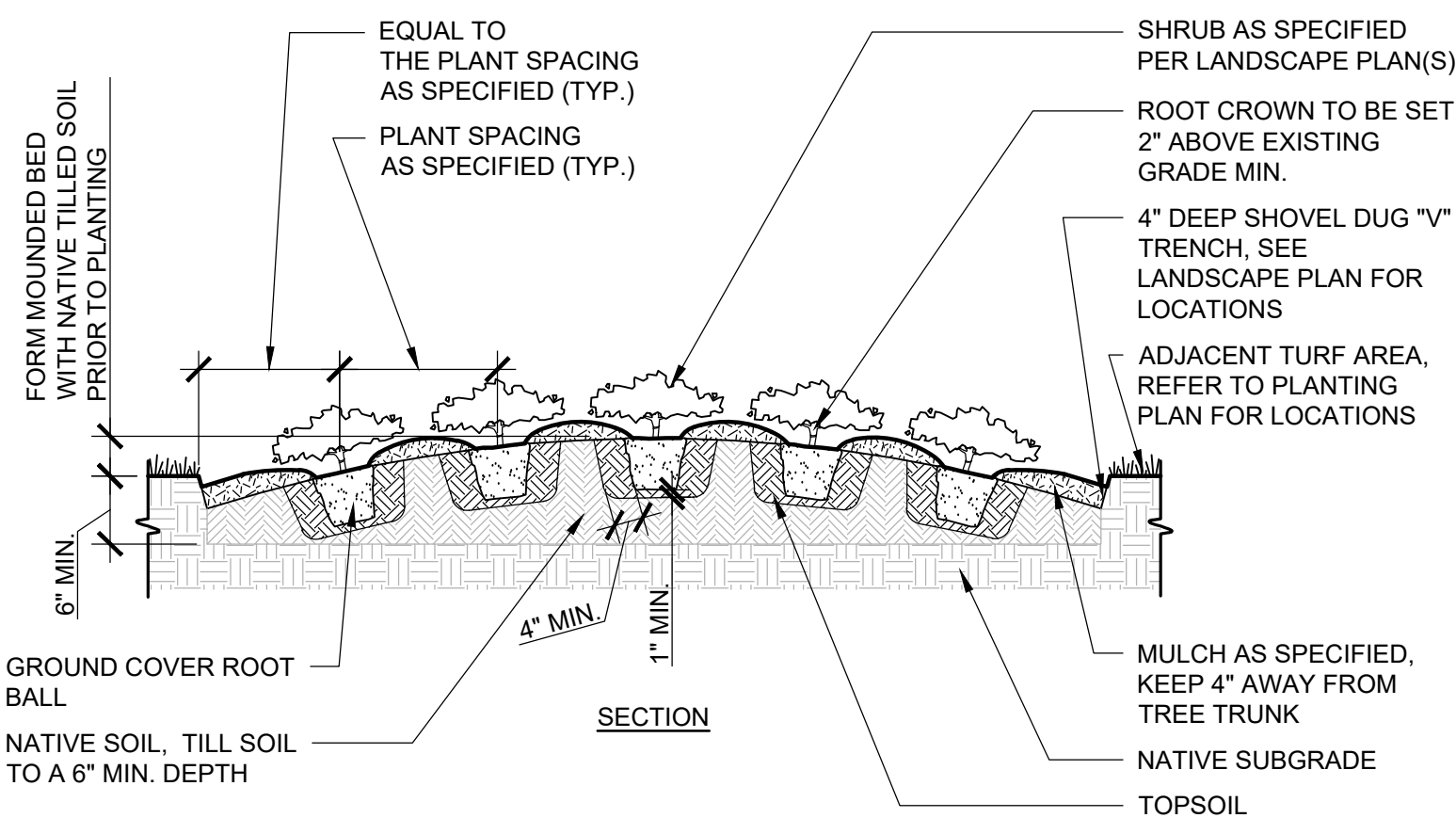


2 | TYPICAL SHRUB PLANTING




GENERAL NOTES:

- A. SCARIFY BOTTOM AND SIDES OF PLANTING PIT.
- B. THE BOTTOM OF GROUND COVER ROOT BALLS SHALL NOT PROJECT INTO THE NATIVE SUBGRADE. LARGER PLANTS WILL REQUIRE ADDITIONAL TOPSOIL DEPTH.
- C. BACKFILL PLANTING PITS WITH TOPSOIL MIXTURE AS SPECIFIED, INSTALL IN 6" LAYERS, HAND TOOLS REMOVE SOILS AND WATER EACH LAYER.
- D. ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACKFILLING WITH PREPARED SOILS. HAND TOOLS SHALL NOT BE USED TO SCARIFY ROOT BALLS.



1 | TYPICAL GROUND COVER PLANTING

[illegible]

 <p>PORT CITY LAND SURVEYING, PLLC FIRM LICENSE NO. P-1463 11446 HOPKINS ROAD, SUITE 100 WELSHONGTON, NORTH CAROLINA 28412 (719) 775-6882</p>	<p><u>Civil Engineer:</u> Richard M. Collier, PE 3708 Needle Sound Way Wilmington, NC NC-022574</p>
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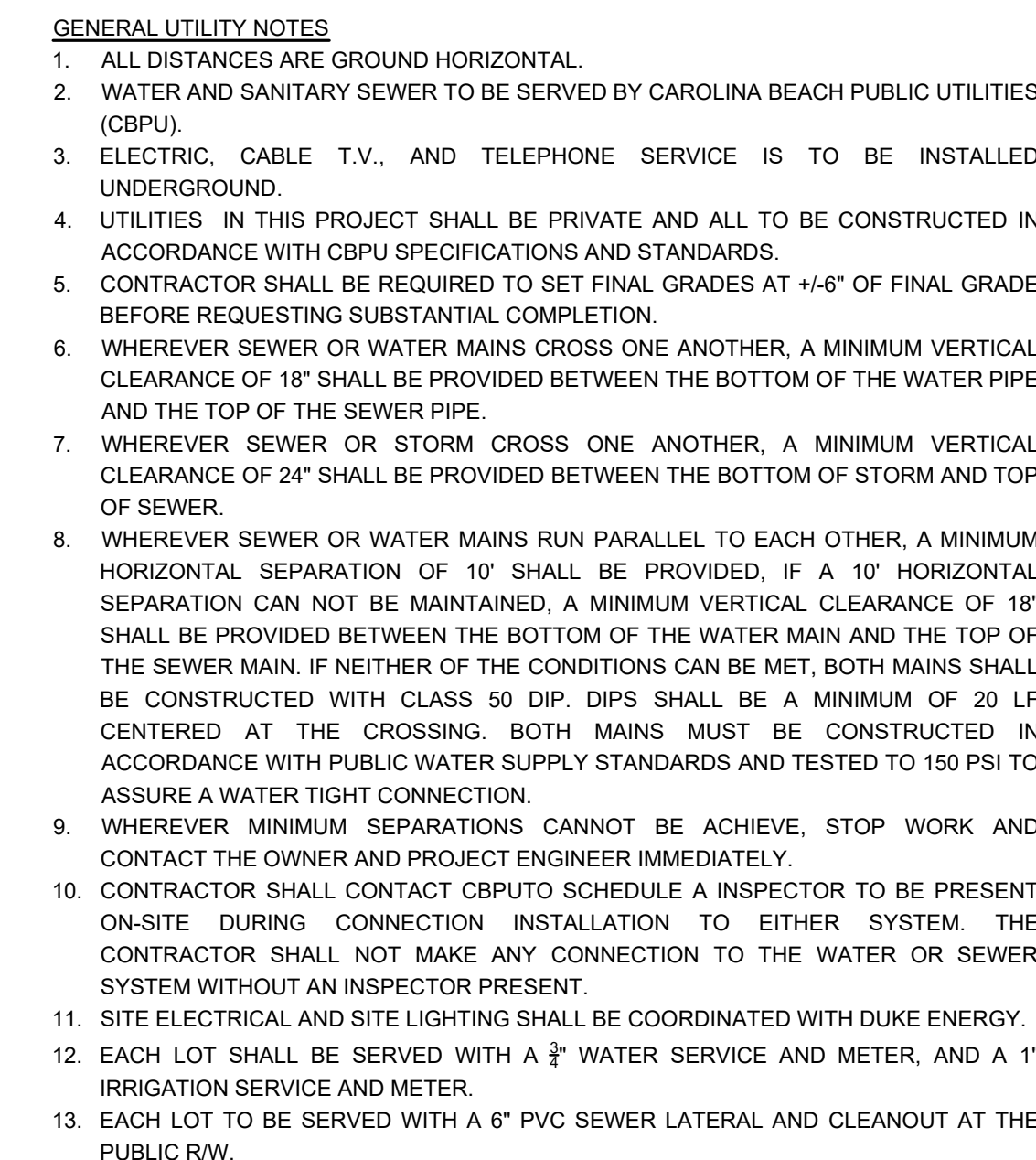
OWNER / DEVELOPER
BIG BIRD LAND DEVELOPMENT, LLC
707A ST JOSEPH ST
CAROLINA BEACH NC

FISHER'S RESERVE

1215 ST. JOSEPH STREET, CAROLINA BEACH NC

LANDSCAPE DETAILS

DATE: 2025-08-18		SCALE	C2.1 DRAWING NUMBER ----
DRAWN	RMC	HORIZONTAL: 1"=20'	
DESIGNED		VERTICAL: N/A	
CHECKED			
PROJ. MGR.			
STATUS:			
RELEASED FOR PERMITTING			



SCALE	
HORIZONTAL: 1"=20'	
VERTICAL: N/A	

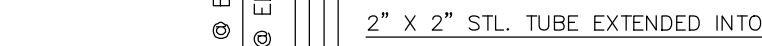
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DRAWING NUMBER

REVISION

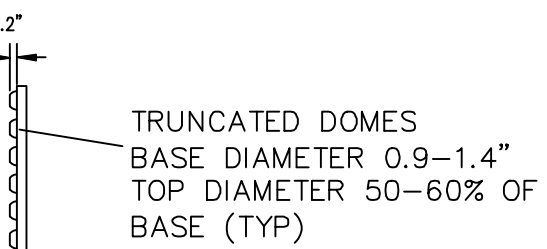


GENERAL NOTES:

- SCALE: NTS



SCALE: NTS



- SCALE: NTS



- ## RIBBON CLUBB DETAIL

SCALE: NTS

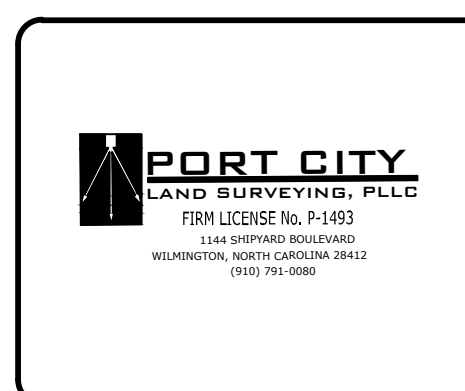


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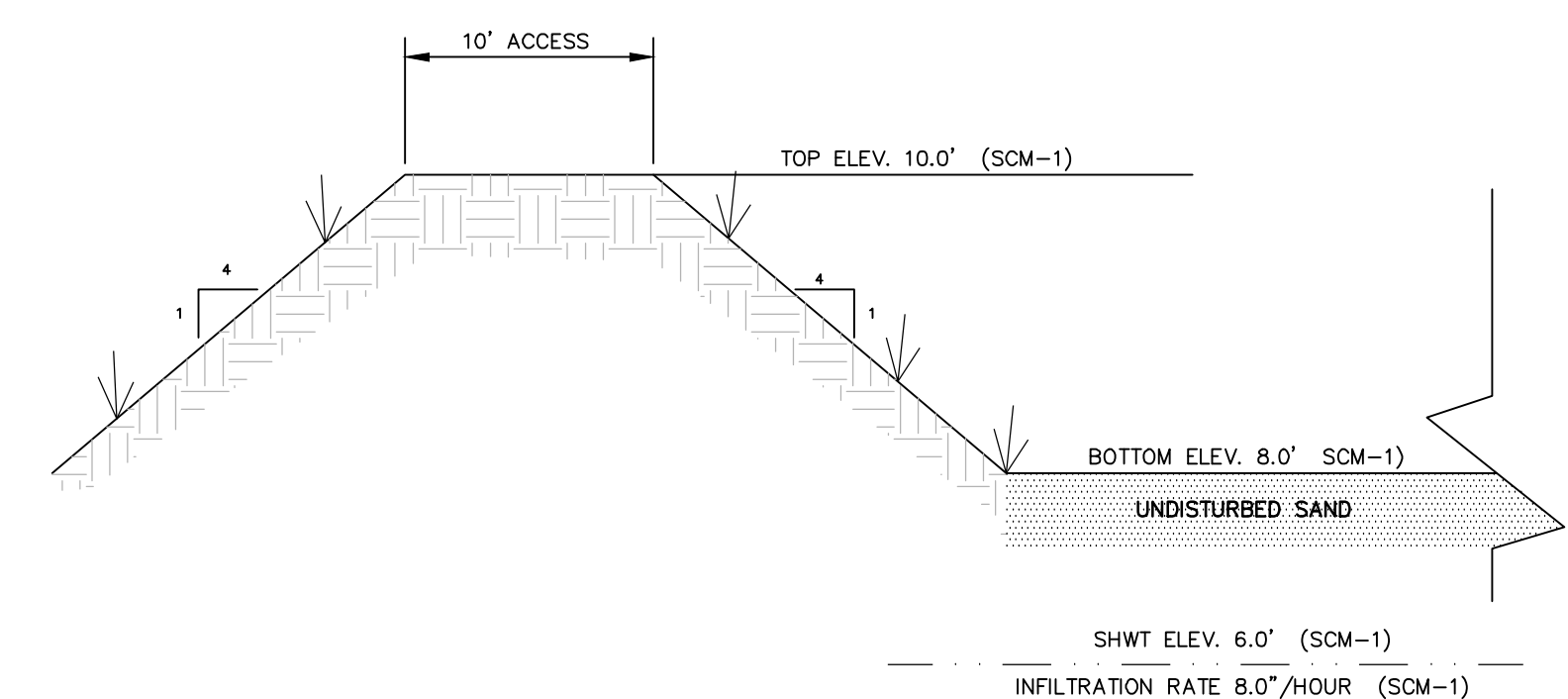
2	TYPICAL LOTLINE INFILTRATION TRENCH
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SEAL



1	INFILTRATION BASIN
---	--------------------

STORMWATER DETAILS



1. THE BOTTOM ELEVATION SHALL NOT BE COMPACTED AND DISTURBED AS MINIMAL AS POSSIBLE DURING CONSTRUCTION. IF THE ENGINEER FINDS THE BOTTOM HAS BEEN DISTURBED TO PREVENT GOOD INFILTRATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OVER-EXCAVATING THE BOTTOM 4-INCHES AND REPLACING WITH CLEAN SAND.
2. IF HARDPAN OR OTHER UNSUITABLE SOILS ARE ENCOUNTERED, CONTACT THE ENGINEER FOR DETERMINATION OF SUITABLE BACKFILL MATERIAL.
3. THE ENTIRE INFILTRATION BASIN SHALL BE SOO WITH ZOYSIA GRASS IMMEDIATELY FOLLOWING FINAL GRADING.

1	INFILTRATION BASIN
---	--------------------

DATE: 2025-08-18		SCALE	C4.2
DRAWN: RMC		HORIZONTAL: N/A	
DESIGNED		VERTICAL: N/A	DRAWING NUMBER
CHECKED			----
PROJ. MGR.			

STATUS: RELEASED FOR PERMITTING