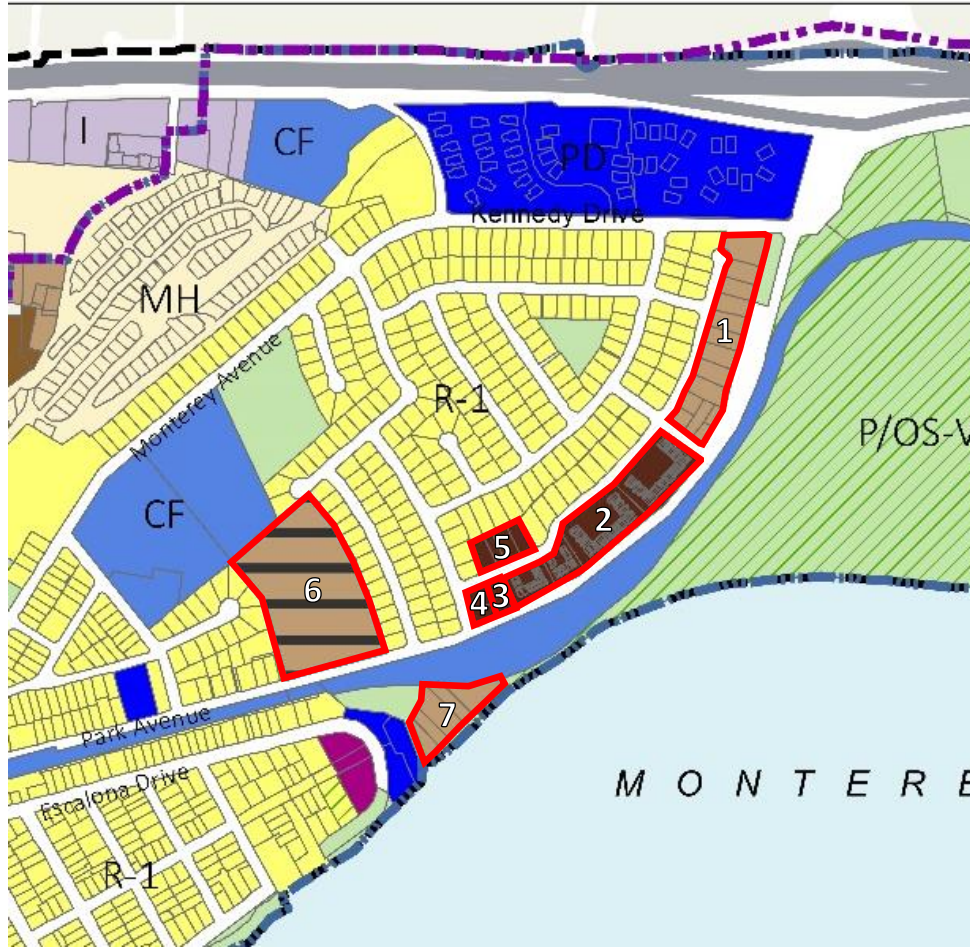


## Residential Multifamily (RM) Subzones

- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

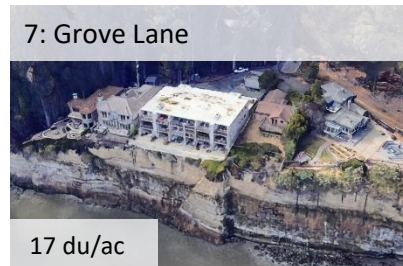
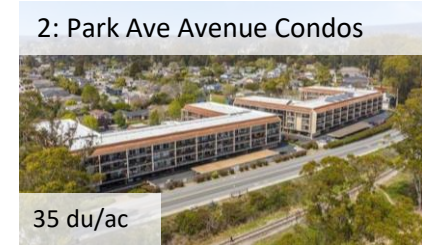
RM Subzone	Maximum Density
RM-L	10 du/ac
RM-M	15 du/ac
RM-H	20 du/ac

# Northeast Area

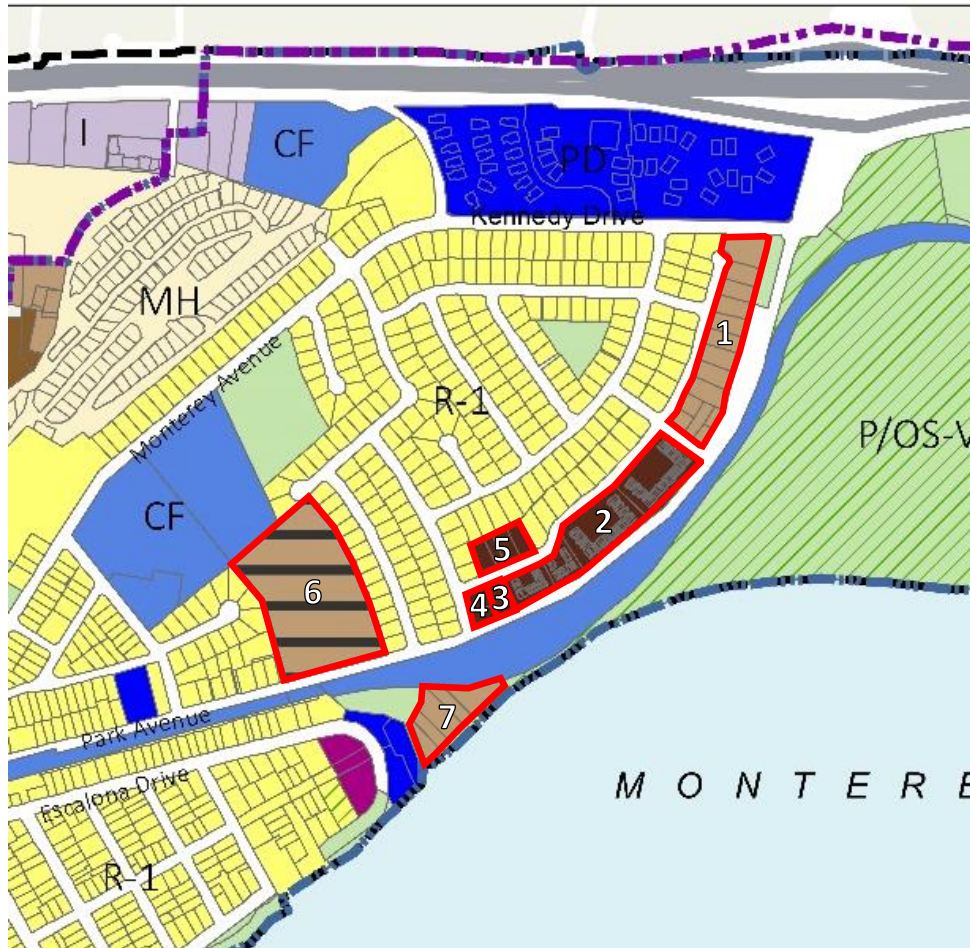


- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

## Built Densities:



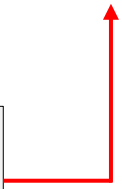
# Northeast Area



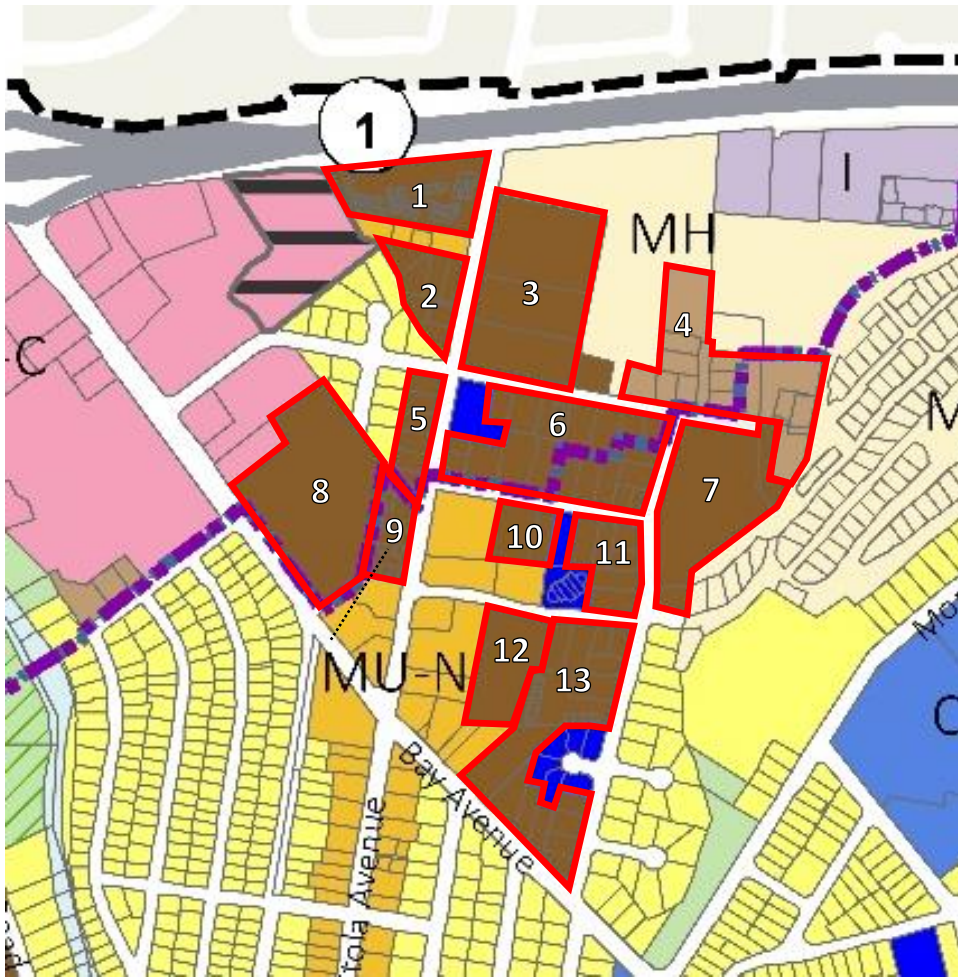
- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

ID	Allowed	Built	Proposed
1	10 du/ac	7 du/ac	20 du/ac
2	20 du/ac	35 du/ac	40 du/ac
3	20 du/ac	25 du/ac	30 du/ac
4	20 du/ac	6 du/ac	20 du/ac
5	20 du/ac	23 du/ac	30 du/ac
6	10 du/ac	15 du/ac	40 du/ac
7	10 du/ac	17 du/ac	10 du/ac

Requested  
Feedback

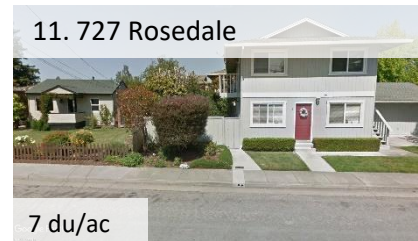
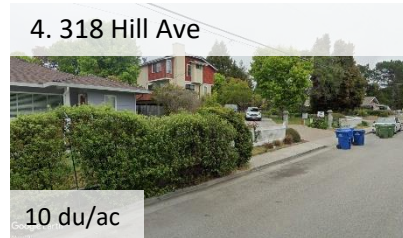


# North Central Area

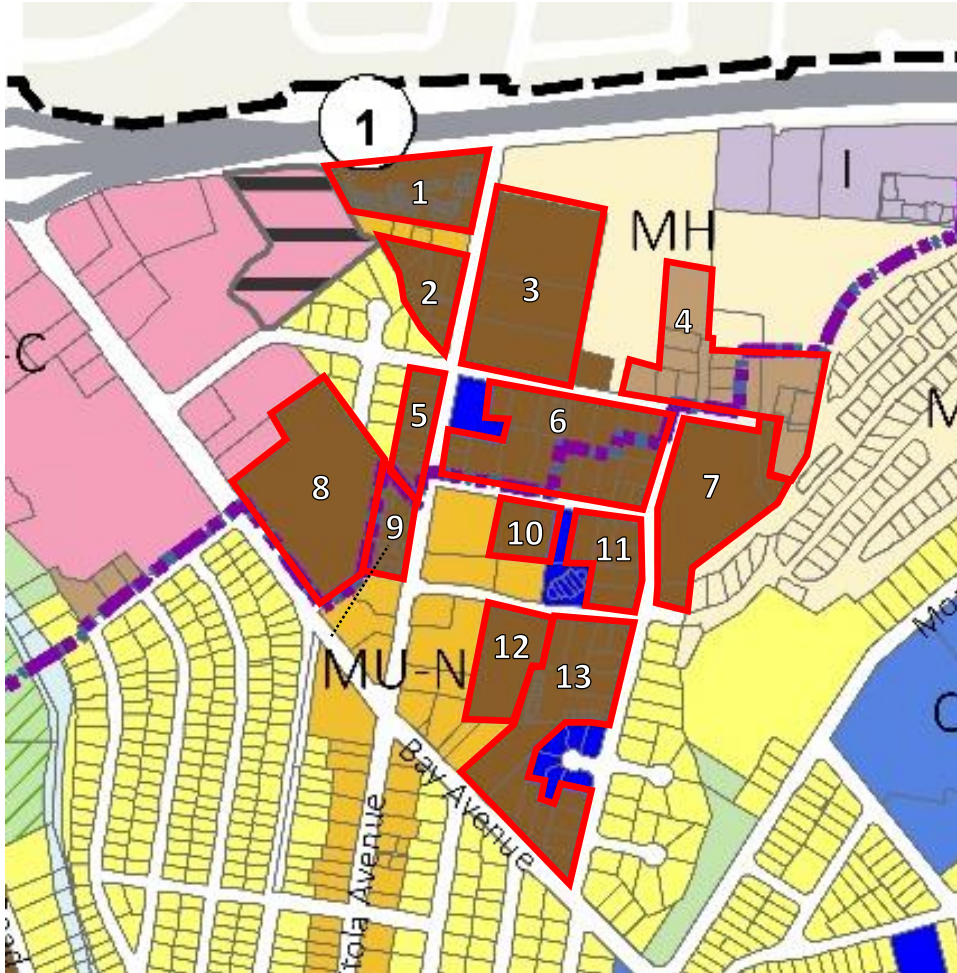


- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

## Built Densities:



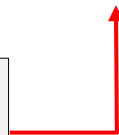
# North Central Area



- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

ID	Allowed	Built	Proposed
1	15 du/ac	34 du/ac	40 du/ac
2	15 du/ac	6 du/ac	15 du/ac
3	15 du/ac	14 du/ac	30 du/ac
4	10 du/ac	10 du/ac	20 du/ac
5	15 du/ac	15 du/ac	20 du/ac
6	15 du/ac	7 du/ac	30 du/ac
7	15 du/ac	21 du/ac	30 du/ac
8	15 du/ac	23 du/ac	40 du/ac
9	15 du/ac	29 du/ac	30 du/ac
10	15 du/ac	13 du/ac	30 du/ac
11	15 du/ac	7 du/ac	30 du/ac
12	15 du/ac	38 du/ac	40 du/ac
13	15 du/ac	12 du/ac	15 du/ac

Requested  
Feedback

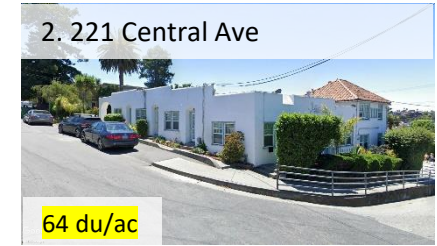
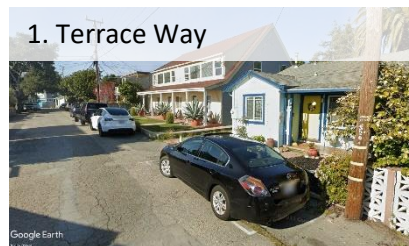
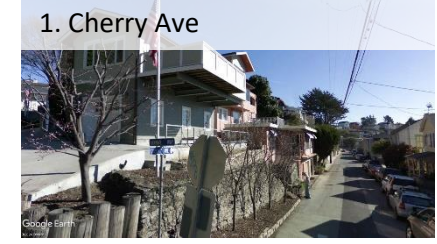
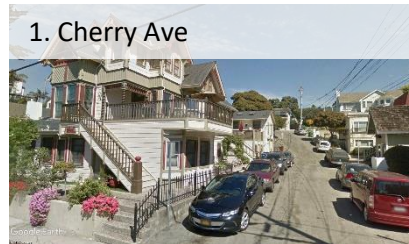
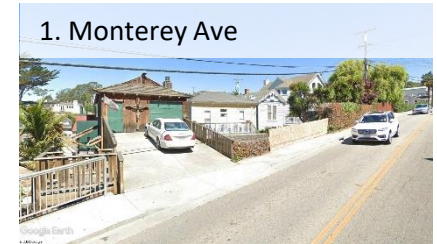


# Capitola Village



## Built Densities:

17 du/ac in Area 1



## Residential Multifamily (RM) Subzones

- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

# Capitola Village



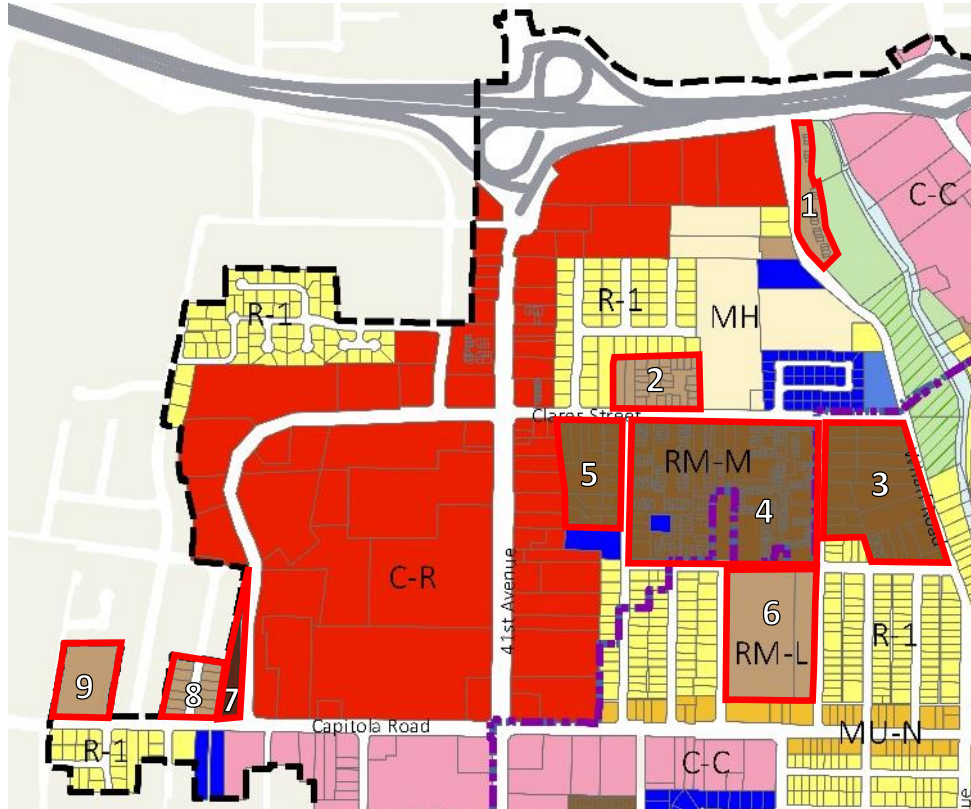
ID	Allowed	Built	Proposed
1	10 du/ac	17 du/ac	10 du/ac
2	10 du/ac	64 du/ac?	10 du/ac

Requested  
Feedback

## Residential Multifamily (RM) Subzones

- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

# Northwest Area



- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

## Built Densities:

1. Wharf Road



2. Cape Bay Colony



3. Capitola Terrace Apartments



4. The Villas of Capitola



6. Capitola Gardens



7. Dakota Apartments



8. Axford Road

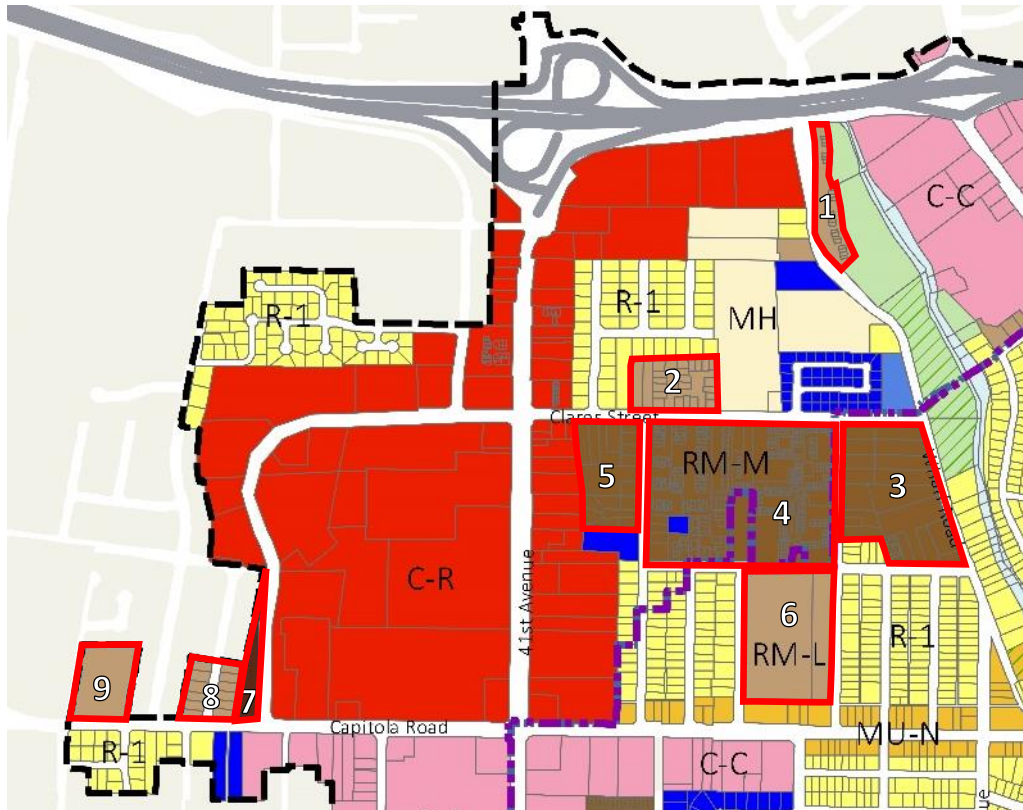


9. Landing at Capitola





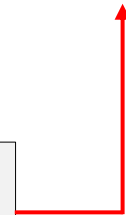
# Northwest Area



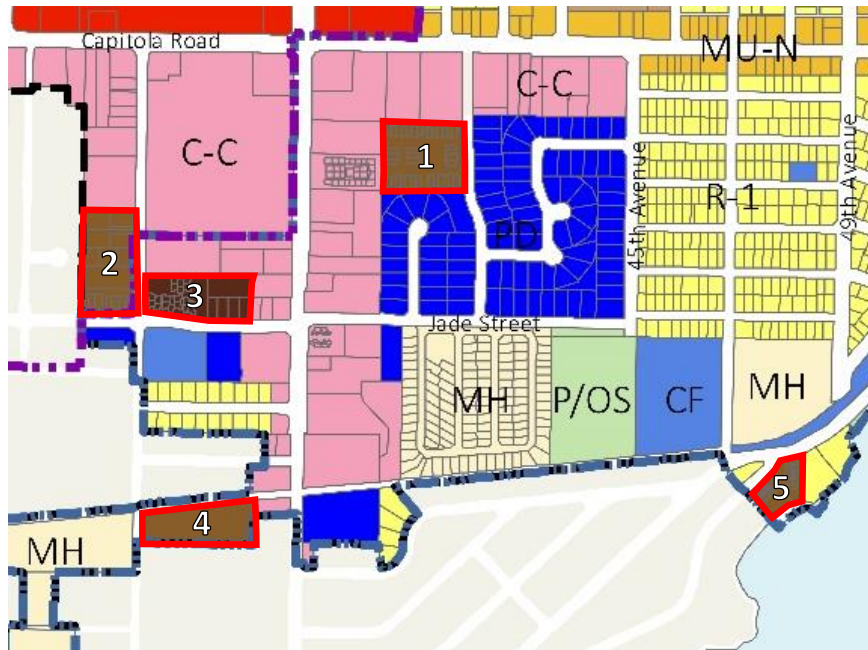
- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

ID	Allowed	Built	Proposed
1	10 du/ac	10 du/ac	10 du/ac
2	10 du/ac	10 du/ac	20 du/ac
3	15 du/ac	18 du/ac	30 du/ac
4	15 du/ac	17 du/ac	30 du/ac
5	15 du/ac	14 du/ac	30 du/ac
6	10 du/ac	12 du/ac	30 du/ac
7	20 du/ac	18 du/ac	20 du/ac
8	10 du/ac	9 du/ac	10 du/ac
9	20 du/ac	18 du/ac	40 du/ac

Requested  
Feedback

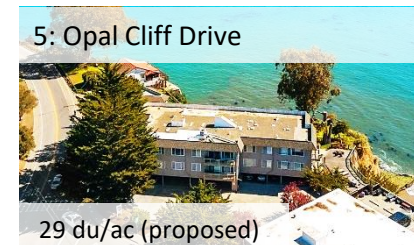
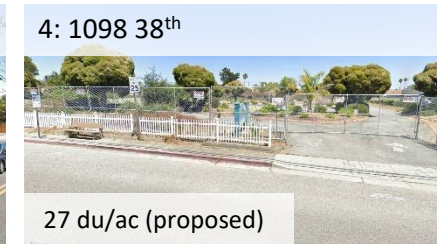
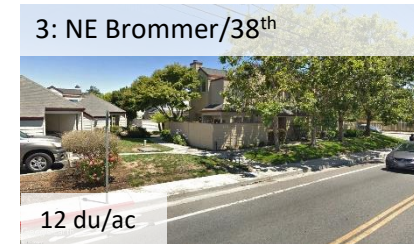
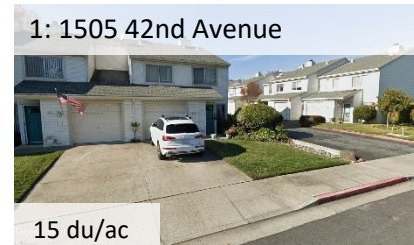


# Southwest Area

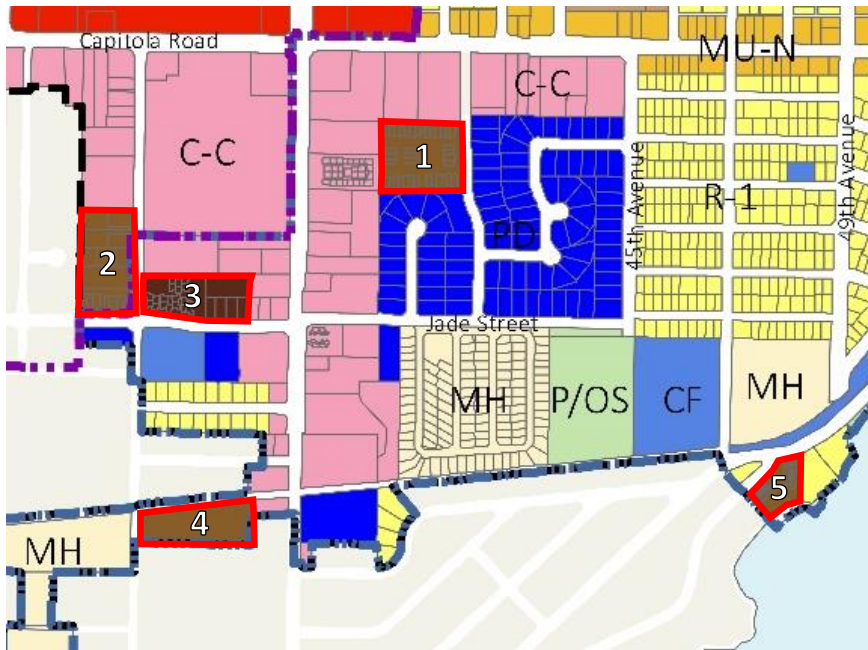


- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

## Built Densities:



# Southwest Area



- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density

ID	Allowed	Built	Proposed
1	15 du/ac	15 du/ac	15 du/ac
2	15 du/ac	13 du/ac	15 du/ac
3	20 du/ac	12 du/ac	20 du/ac
4	15 du/ac	27 du/ac*	30 du/ac
5	15 du/ac	29 du/ac	15 du/ac

\* Proposed project

Requested  
Feedback

