

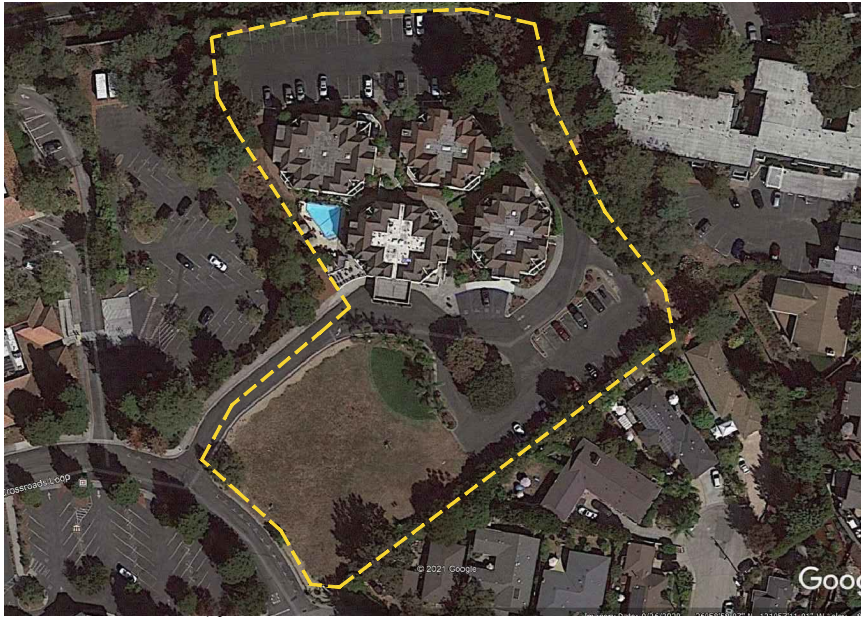


BOUTIQUE HOTEL CAPITOLA, CA
HOTEL DEVELOPMENT
July 8, 2022

TEAM | GJ Architecture
17823 E Cindercone Rd
Rio Verde, AZ 85263
480.686.2203

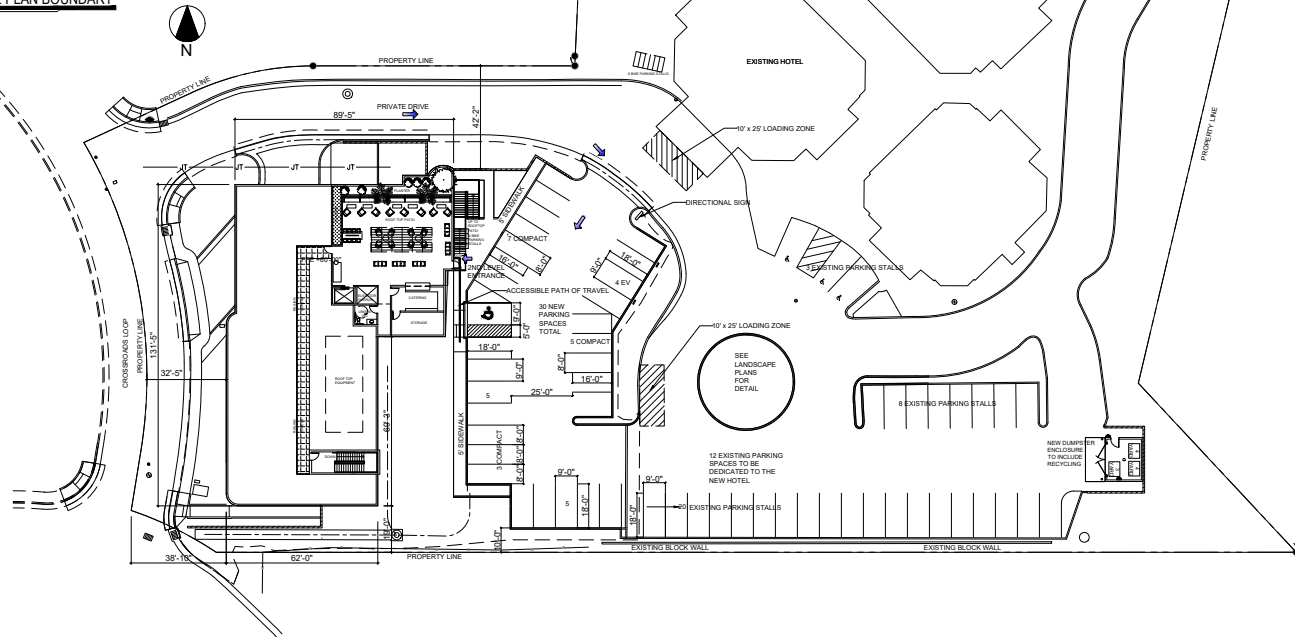
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Consulting Civil Engineers
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Soquel, CA 95073-2094
831.426.3560

Michael Arnone + Associates
Landscape Architect
mike@arnonelandscape.com
831.462.4988



OVERALL SITE PLAN BOUNDARY

SCALE: NTS



OVERALL SITE PLAN
SCALE: NTS



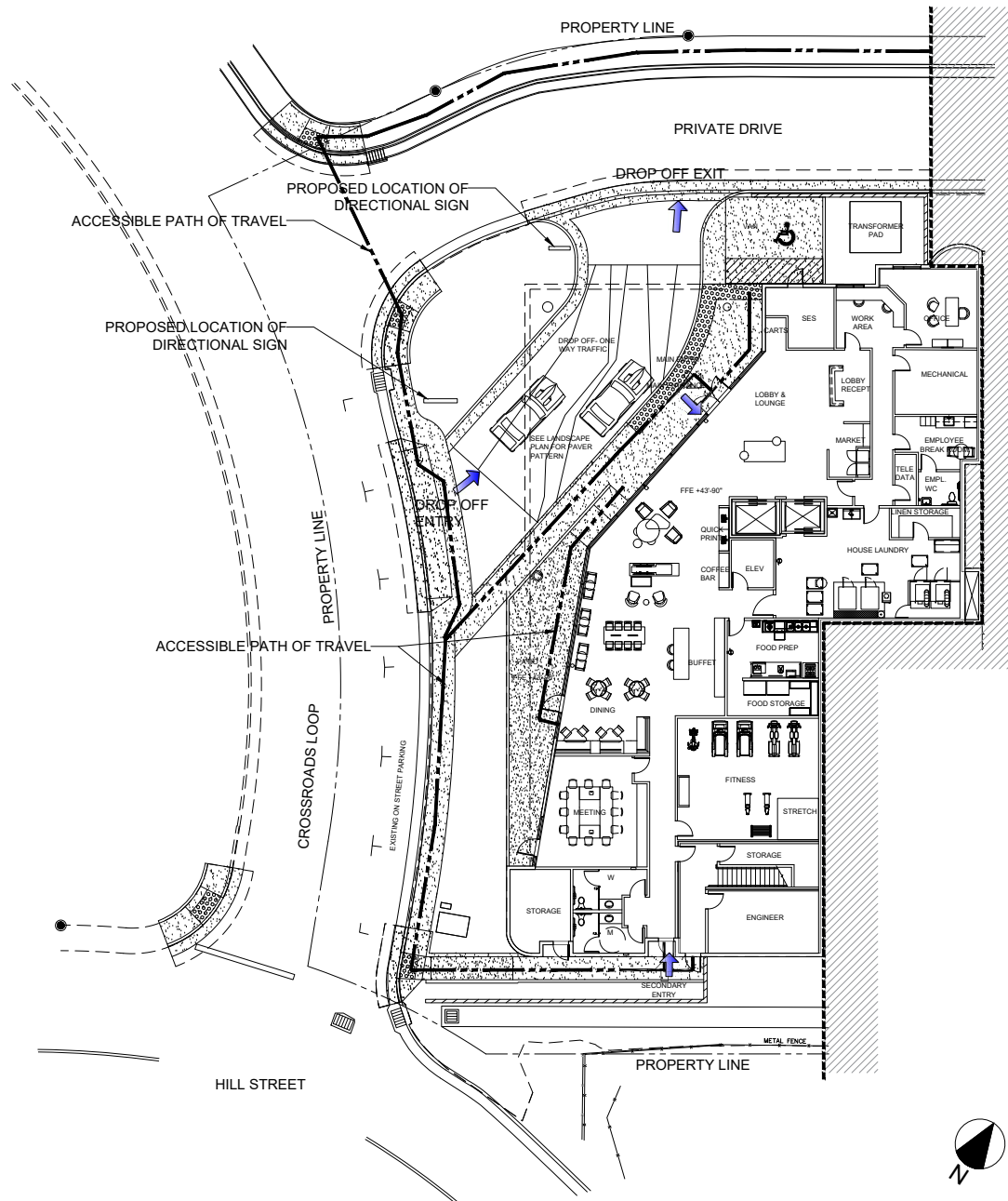
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green@g-jarch.com

BOUTIQUE HOTEL

720 Hill Street Capitola, CA

ISSUE DATE: 7/8/2021
REVISION DATE:
GENERATION:
RECORD:
OVERALL SITE PLAN

A100
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LOCATION MAP
APN #: 036-011-28

SITE PLAN DATA	
New 3-Story Hotel, 42 Guestrooms	
Site	134,426 sfl / 3.086 Acres
New Parking Prov	30 Parking Spaces (2 H.C. Spaces, 5 Compact)
Existing Parking	73 Parking Spaces (3 H.C. Spaces)
Total Parking Prov	103 Parking Spaces
Existing Guestroom Count	55
Total Guestrooms	97
Zoning	C-C
Total Lot Coverage	16.6%
Total FAR	39
Building GBA EX.	34,492 sf
Building GBA New	18,261 sf
1st Floor	7,650 sf
2nd Floor	9,895 sf
3rd Floor	9,895 sf
Roof	821 sf

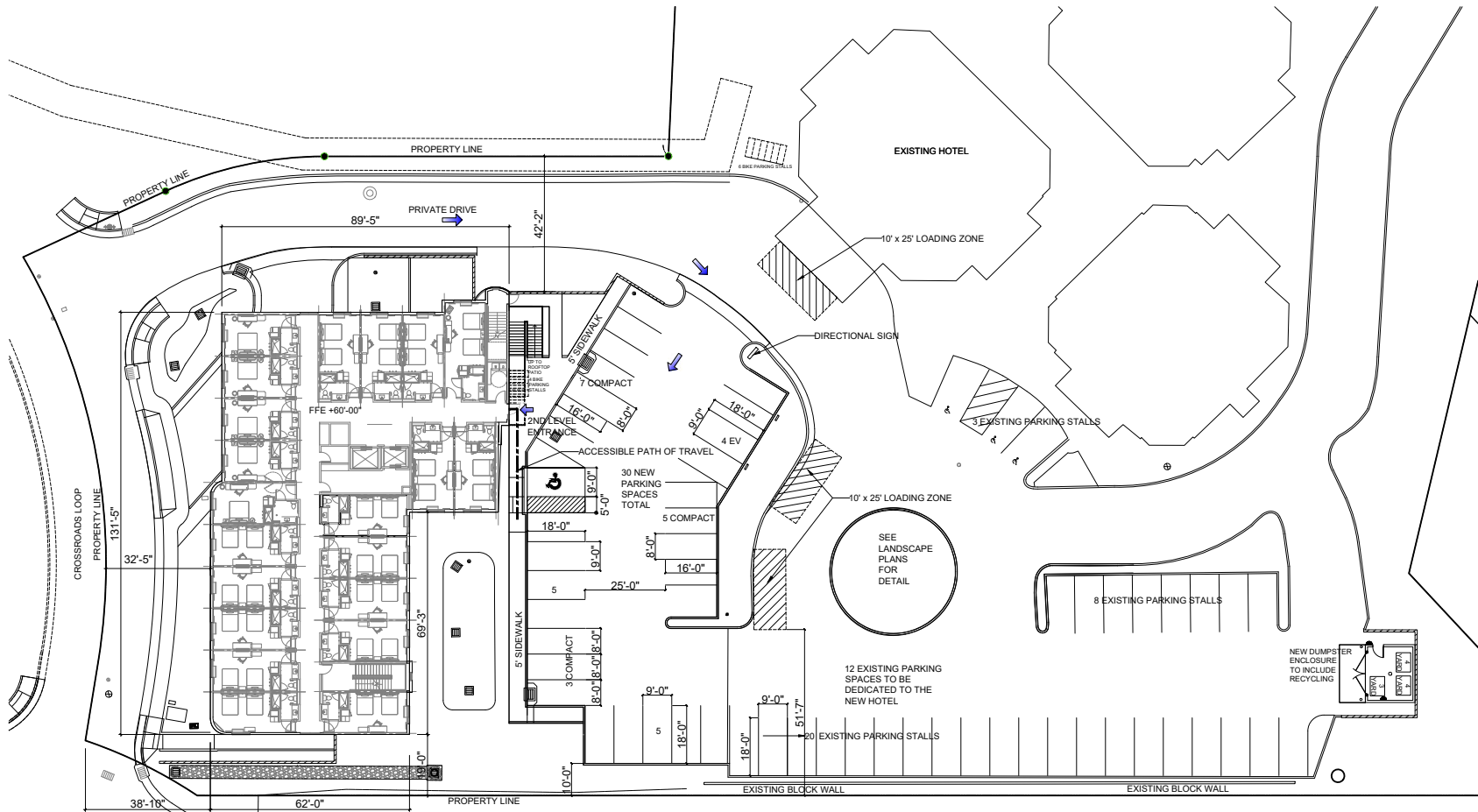


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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE: 6/17/2022
REVISION DATE:
GENERATION:
RECORD:
LEVEL 1 SITE PLAN

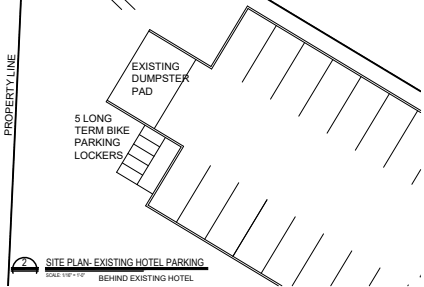
A102
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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

SITE PLAN - LEVEL 2
SCALE 1/8" = 1'-0"

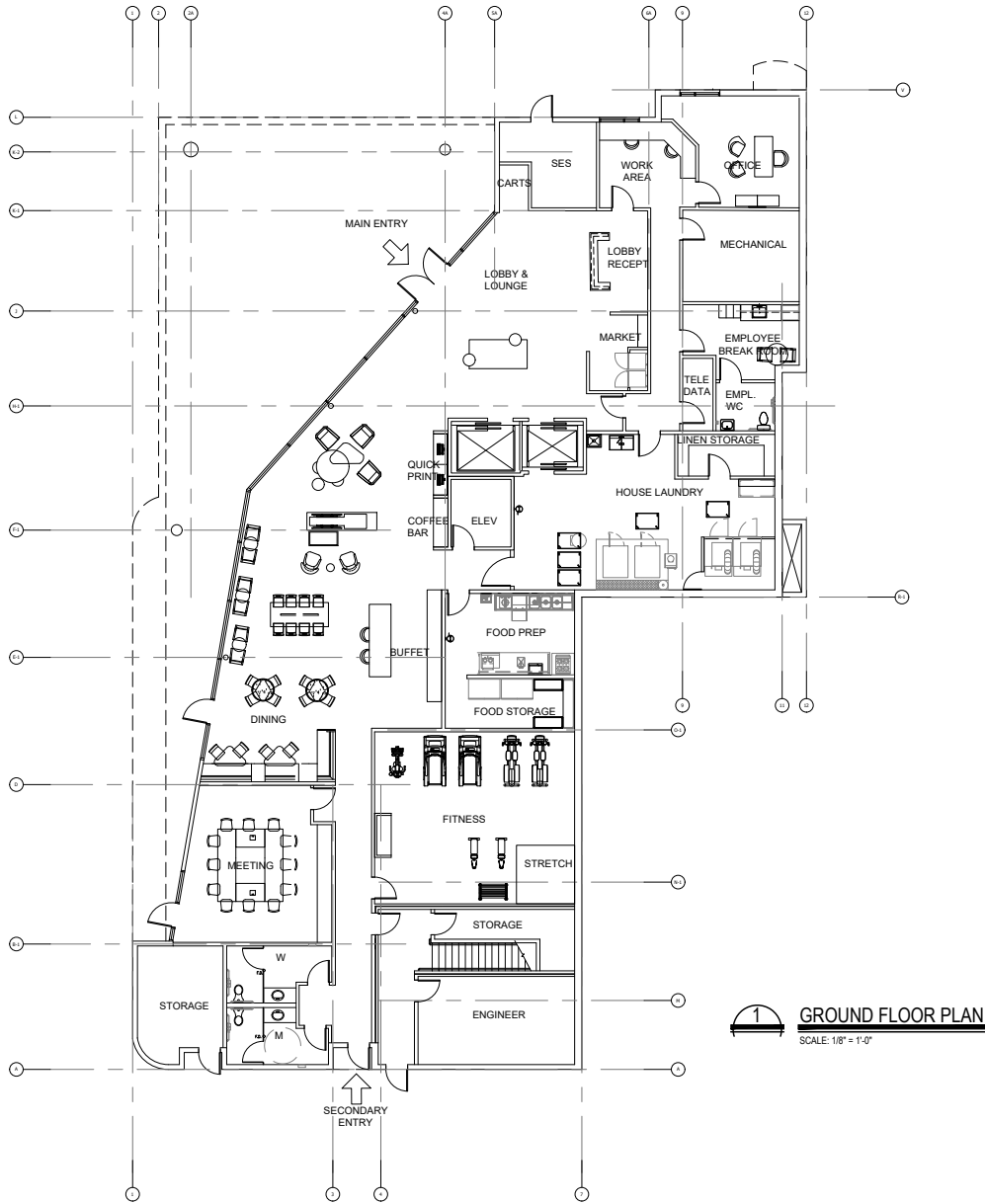
SITE PLAN DATA	
New 3-Story Hotel, 42 Guestrooms	
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New Parking Prov	30 Parking Spaces (2 H.C. Spaces, 5 Compact)
Existing Parking	73 Parking Spaces (2 H.C. Spaces)
Total Parking Prov	103 Parking Spaces
Total Short Term Bike Parking Prov	10 Parking Spaces
Total Long Term Bike Parking Prov	5 Parking Spaces
Existing Guestroom Count	55
Total Guestrooms	97
Zoning	C-2
Total Lot Coverage	16.6%
Total FAR	39
Building GBA EX.	34,492 sf
Building GBA New	18,261 sf
1st Floor	7,650 sf
2nd Floor	9,895 sf
3rd Floor	9,895 sf
Roof	821 sf



ISSUE DATE: 7/8/2022
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LEVEL 2 SITE PLAN

A103
NOT FOR CONSTRUCTION



1 **GROUND FLOOR PLAN**
SCALE: 1/8" = 1'-0"

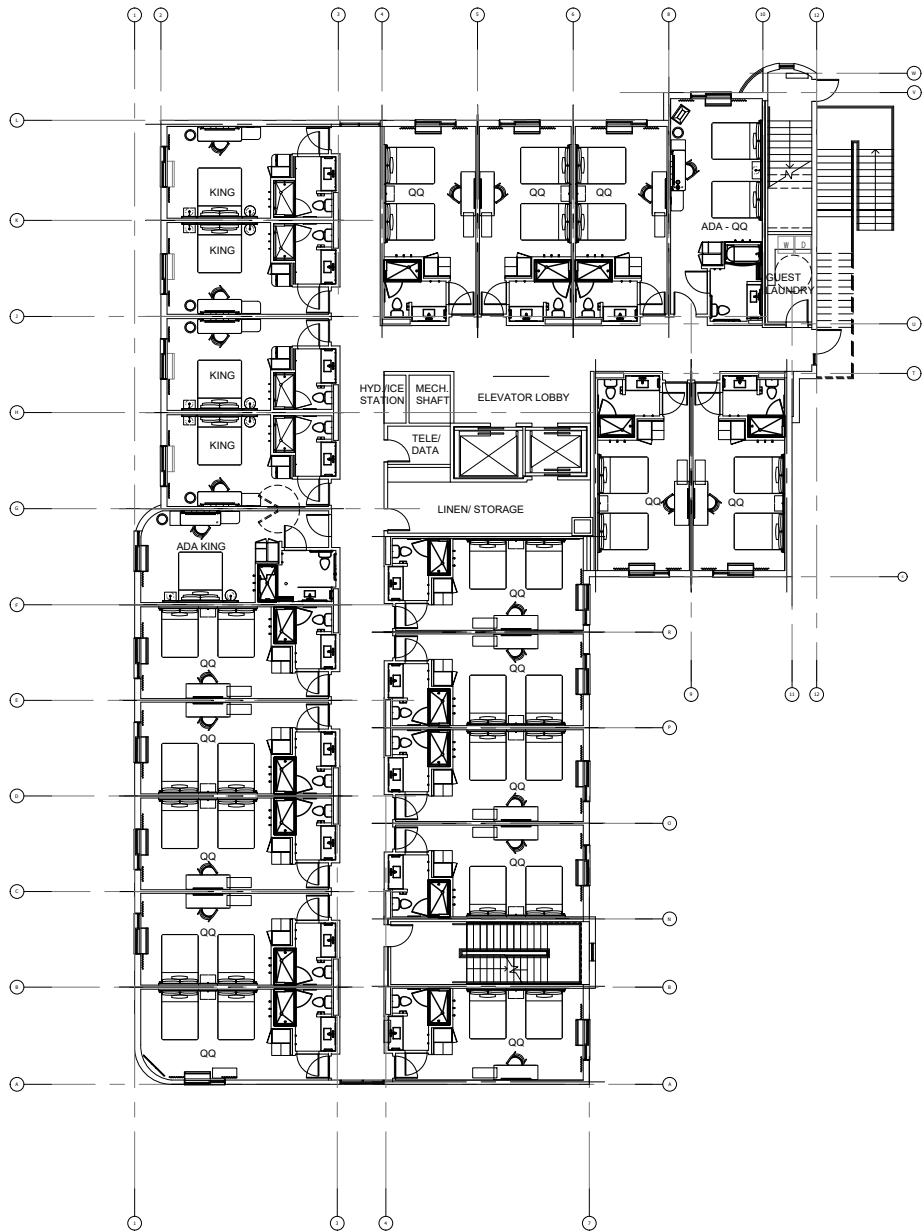


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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

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RECORD:
GROUND FLOOR PLAN

A201
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1 LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

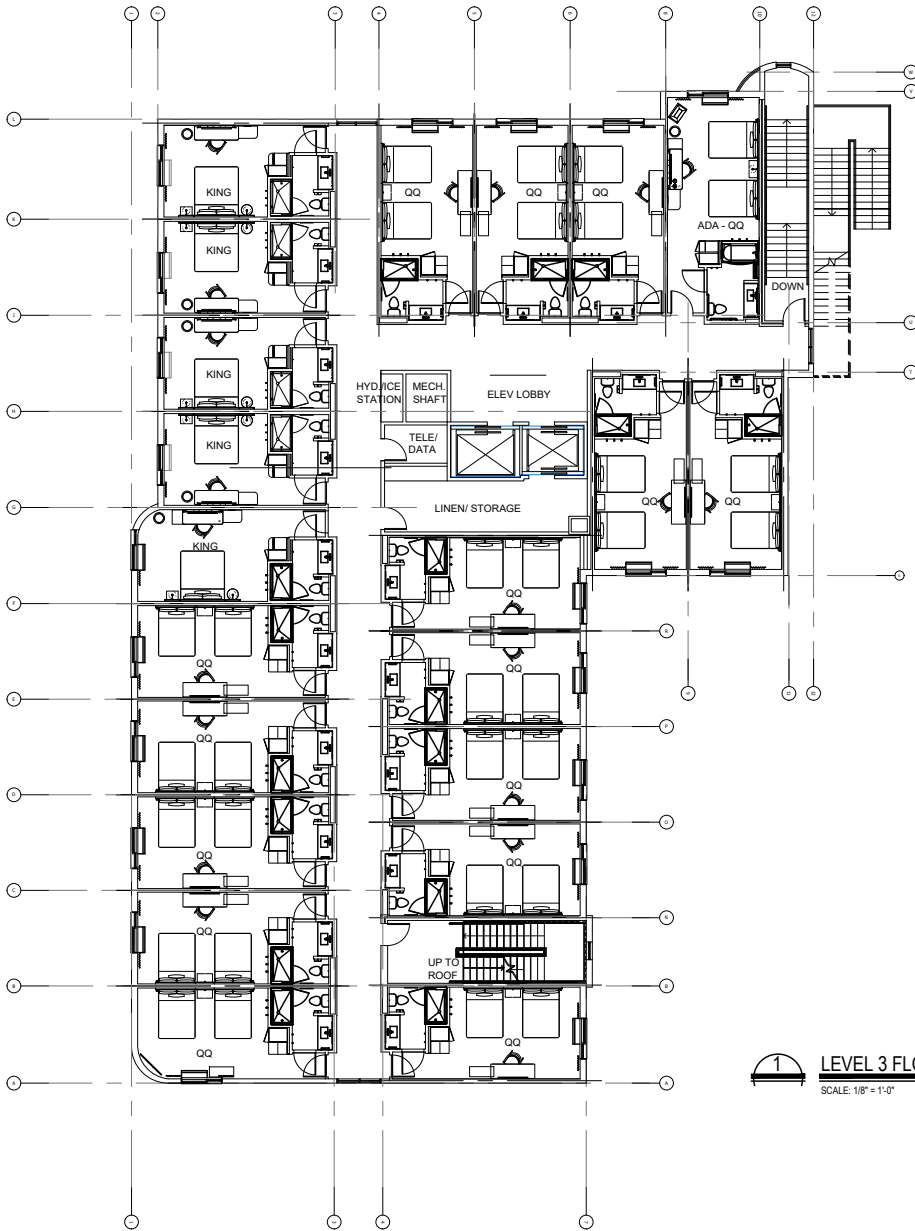



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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE: 7/8/2022
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GENERATION:
RECORD:
LEVEL 2 FLOOR PLAN

A202
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LEVEL 3 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

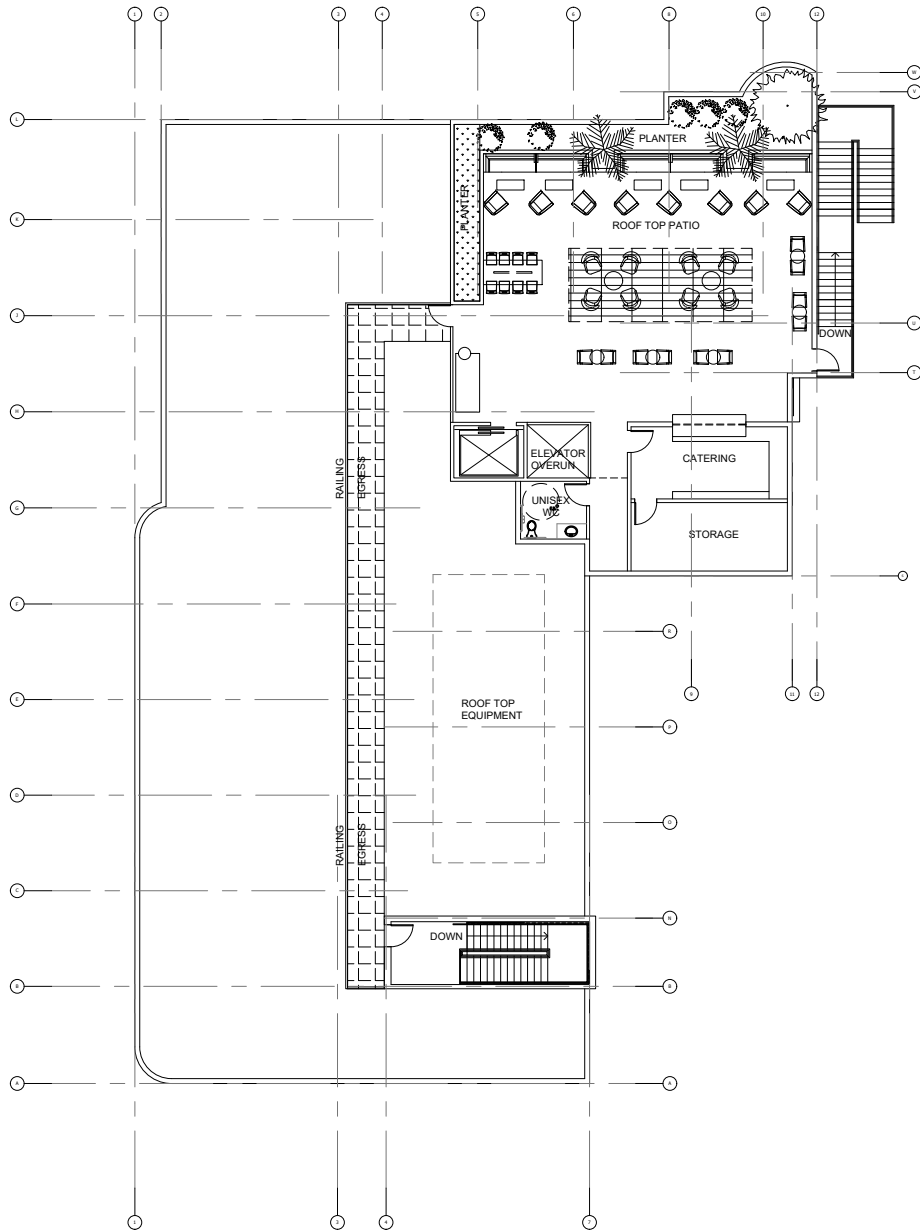


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BOUTIQUE HOTEL
 720 Hill Street Capitola, CA

ISSUE DATE: 7/8/2021
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 GENERATION:
 RECOR:
LEVEL 3 FLOOR PLAN

A203
 NOT FOR CONSTRUCTION



1 ROOF TOP PATIO
SCALE: 1/8" = 1'-0"

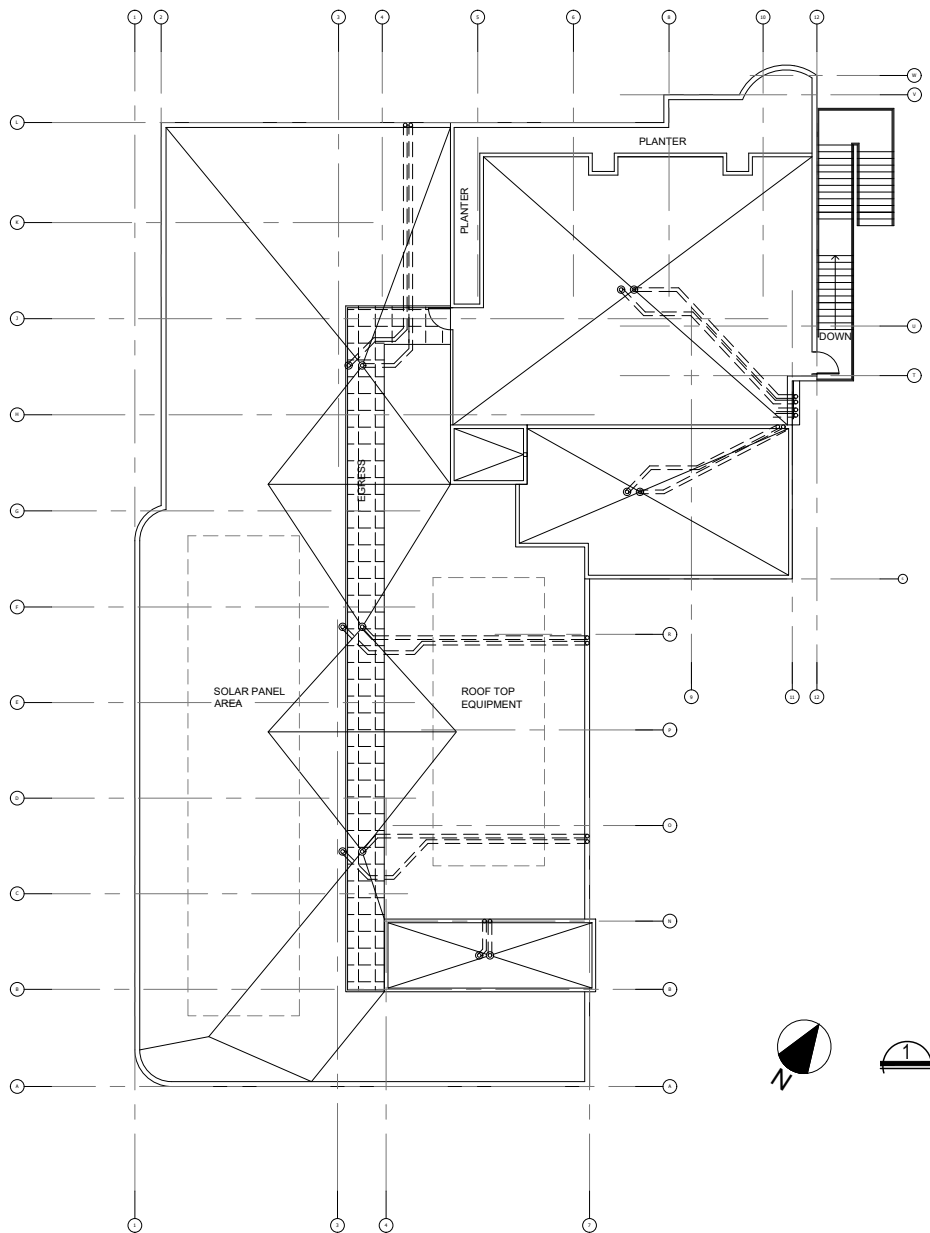


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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE: 7/8/2021
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GENERATION:
RECORD:
ROOF TOP PATIO PLAN

A204
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ROOF PLAN
SCALE: 1/8" = 1'-0"

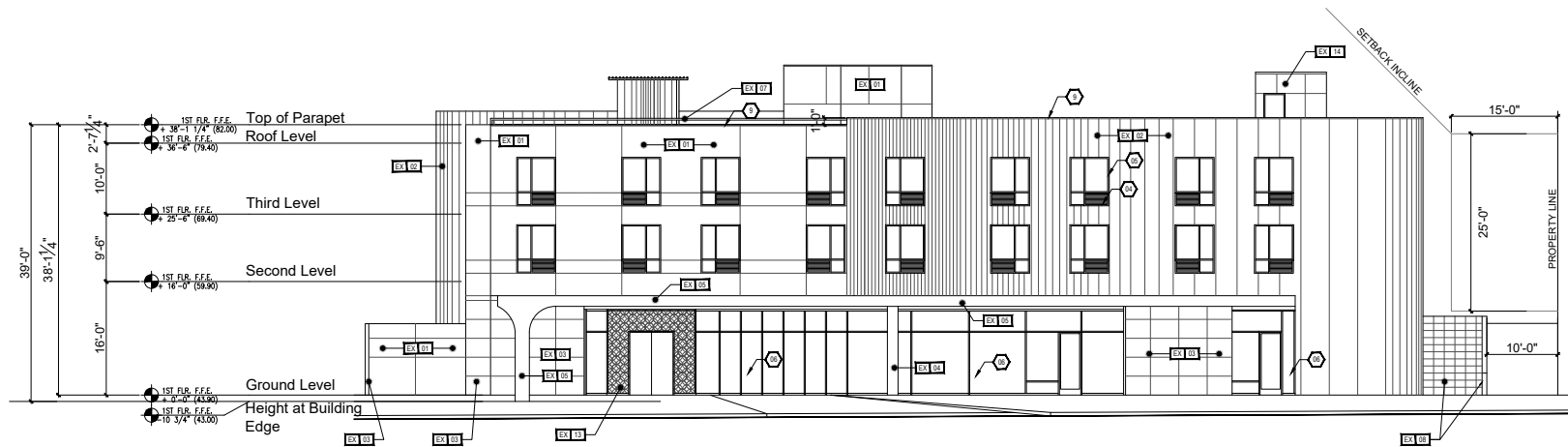


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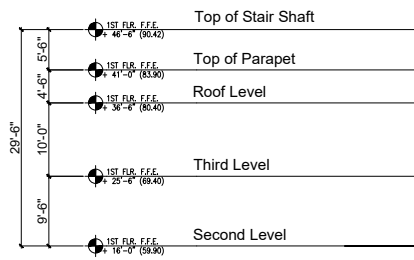
BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE:	7/8/2022
REVISION DATE:	
GENERATION:	
RECORD:	
ROOF PLAN	

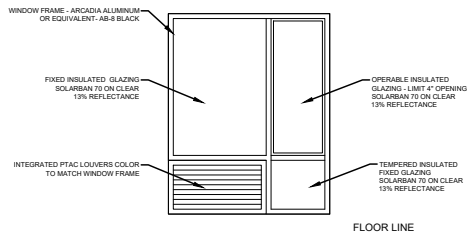
A205
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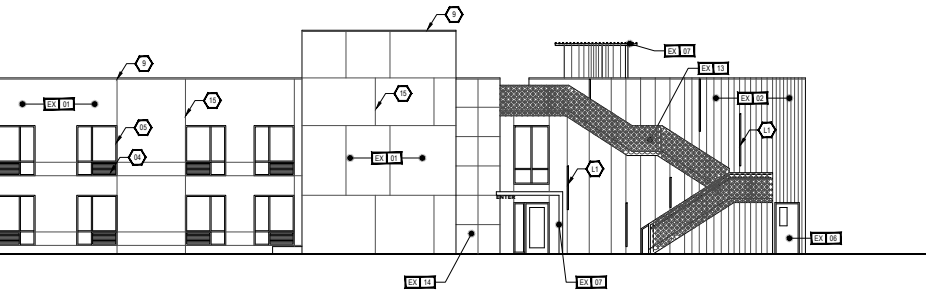
1 WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



4 ENLARGED WINDOW DETAIL
SCALE: 1/2" = 1'-0"



3 DUMPSTER ELEVATIONS
SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- 1 APPROXIMATE LINE OF GRADE
 - 2 ABOVE GRADE EXPOSED FOUNDATION WALL
 - 3 CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL Frost Depths
 - 4 ALUMINUM FRIED WINDOW IN THERMAL BRIDGE FRAME, INSULATED GLAZING WITH THERMAL ALUMINUM LOUVER AT FLOOR UNITS
 - 5 ALUMINUM FRIED WINDOW PANEL AND CASERMENT PANEL LIMITED TO 4" OPENING IN THERMAL BRIDGE FRAME, INSULATED GLAZING
 - 6 ALUMINUM STOREFRONT SYSTEM IN THERMAL BRIDGE FRAME AND INSULATED GLAZING
 - 7 ALUMINUM PTAC LOUVER - COLOR TO MATCH ADJACENT MATERIAL
 - 8 ALUMINUM AUTOMATIC SLIDING ENTRY DOOR IN INSULATED GLAZING
 - 9 ALUMINUM METAL PARAPET CAP - COLOR TO MATCH ADJACENT MATERIAL
 - 10 FINISH - NAME OF HOTEL TO BE DETERMINED
 - 11 FINISH FRESH ALUMINUM COPING GRAVEL STOP SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
 - 12 REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS - VERIFY ALL EQUIPMENT IS REQUESTED TO BE COVERED
 - 13 EXPANSION JOINT @ FLOOR LINE IN BACKER ROD AND SEALANT
 - 14 NOT USED
 - 15 ACCENT "V" JOINTS - CONTROL JOINT
 - 16 DOWNLIGHT & 8-GROUND UPLIGHT TO ACCENT WALL-COLORED BUILDING FESSES
 - 17 ELECTRICAL CONDUIT FOR THE BUILDING SHOULD BE ROUTED FROM THE ROOF PARAPET OR CONTAINED WITHIN THE EXTERIOR WALL ASSEMBLY IF EXPOSED CONDUIT OR ELECTRICAL DEVICES WILL NOT BE PERMITTED IN THE ADJACENT STAIRWELL OR SUBTERRANEAN PROVIDE TWO (2) ELECTRICAL STAIR UNITS
 - 18 ALUMINUM LOUVER - COLOR TO MATCH ADJACENT WALL MATERIAL
 - 19 POSSIBLE LOCATION OF ART WORK

- ARCHITECTURAL LIGHTING LEGEND:**
- L-1 LINEAR LED IN CODE
 - L-2 WALL SCONCE AT DOOR

- BUILDING SIGNAGE:**
- ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - LOCATION AND ETC. TO BE DETERMINED
 - MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATION - AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF PANEL OR BRACK AVAILABLE FOR SIGN
 - ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS TO BE OBTAINED FROM SIGN COMPANY - TYPICAL 120V REQUIREMENT
 - NO RACERAYS/WIREWAYS
 - PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL
 - QUESTIONS OR PUBLIC SPACES WITH SIGNS ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLADDING OF THE WALL - PENETRATION LOCATION MUST BE OBTAINED FROM SIGN COMPANY

- FINISH LEGEND:**
- EPF GLAZING SYSTEM (EPF) - BASE OF DESIGN - "SUSTAINABILITY PLUS" AND EPF (EPF) SYSTEMS, INC. PROVIDE EPF HIGH IMPACT MESH ASSEMBLY FOR LOWER 8'-0" OF WALL AREAS AT GRADE. BASE OF DESIGN - EPF (EPF) "STANDARD" MESH OVER "FINDER 30" - HIGH IMPACT MESH"
 - COORDINATE FOR MINIMUM EXTERIOR CONTINUOUS INSULATION THICKNESS - IN VALUE REQUIREMENTS AS ACCORDANCE WITH ADOPTED ENERGY CODE REQUIREMENTS FOR ALL GLAZING AREAS
 - EX 01 DRIVET SYSTEMS DRIVET #1000 CHINA WHITE - FINE SAND
 - EX 02 FRESH FINISH FIBERGLASS SYSTEM (FIBERGLASS) MATCH OR EQUIVALENT WOOD GRAIN (WOOD GRAIN) MATCH - VARYING WIDTHS - RANDOM JOINTS
 - EX 03 ADHERED STONE SOLITE STONE - ANDALUSIAN - FINE COMBED - 18"x24"
 - EX 04 EXPOSED CONCRETE COLUMNS
 - EX 05 ALUMINUM COMPOSITE PANEL - REYNOLDS ALCOA - CHAMPAGNE
 - EX 06 PAINT TO MATCH SURROUNDING MATERIAL
 - EX 07 MISCELLANEOUS METAL SW 9999 BLACK OF NIGHT
 - EX 08 DECORATIVE CMU - TRONDSTONE - TREMBLY BY EDELIN MESSON WHITE - WEST
 - EX 09 WINDOW FRAMES: ARCADIA AS 8 BLACK
 - EX 10 PERFORATED METAL - MONOCHROME SLOTTED - IN METAL FRAME PAINTED SW 9999
 - EX 11 METAL SCREEN - METAL LOUVERS
 - EX 12 GREEN SCREEN - STAINLESS STEEL VINE TRELLIS SYSTEM
 - EX 13 LASER CUT DECORATIVE METAL - POWDER COATED FINISH
 - EX 14 DRIVET SYSTEMS TERRAZES - COLOR: EVEREST 209

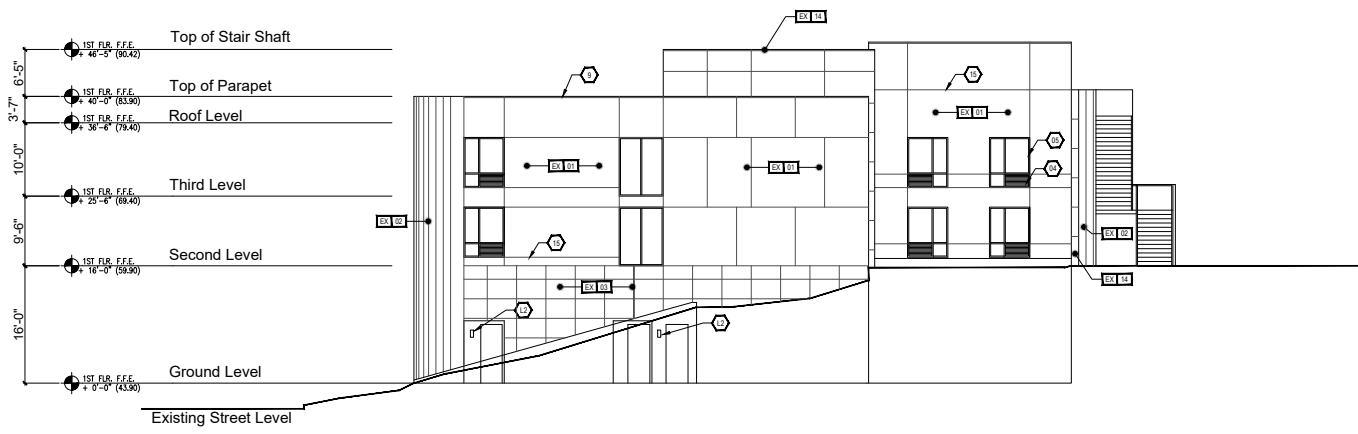


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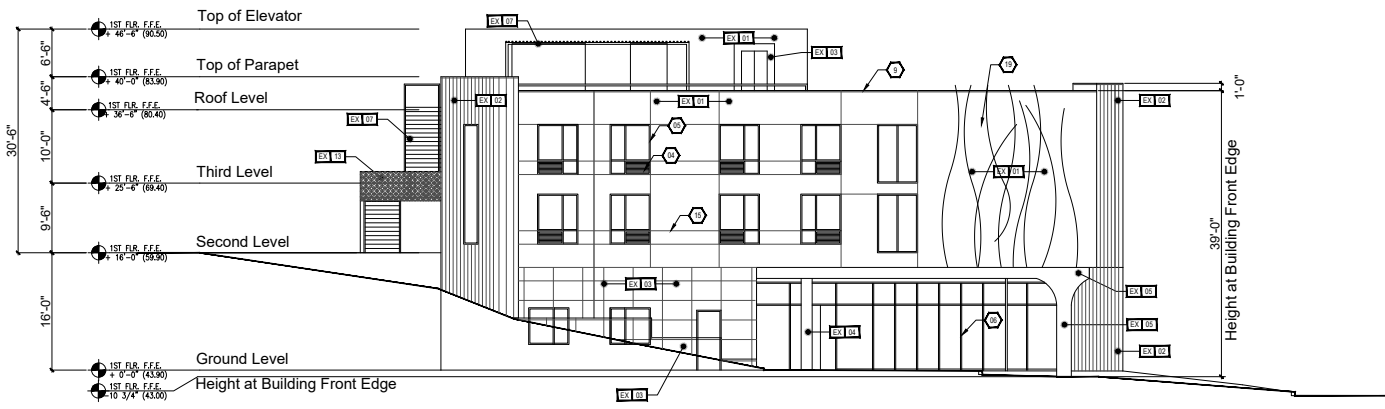
BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE: 7/8/2022
REVISION DATE:
GENERATION:
INCHOR:
ELEVATIONS

A301
NOT FOR CONSTRUCTION



1 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- 1 APPROXIMATE LINE BY OWNER
 - 2 ABOVE GRADE EXPOSED FOUNDATION WALL
 - 3 CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL PROST DEPT'S
 - 4 ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING W/ INTERNAL ALUMINUM COVER AT PGC UNITS
 - 5 ALUMINUM FIXED WINDOW PANEL AND CASEMENT PANEL LIMITED TO 4' OPENING W/ THERMAL BROKEN FRAME, INSULATED GLAZING
 - 6 ALUMINUM EXTERIOR SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
 - 7 ALUMINUM PFC LOUVER - COLOR TO MATCH ADJACENT MATERIAL
 - 8 ALUMINUM AUTOMATIC GLAZING ENTRY DOOR W/ INSULATED GLAZING
 - 9 ALUMINUM METAL PARAPET CAP - COLOR TO MATCH ADJACENT MATERIAL
 - 10 SIGNAGE - NAME OF HOTEL TO BE DETERMINED
 - 11 NYLAR FINISH ALUMINUM COPING, GRAVEL STOP SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
 - 12 REVIEW ALL VENTS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS - VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
 - 13 NOT USED
 - 14 ACCENT "X" JOINT- CONTROL JOINT
 - 15 DOWNLIGHT & IN-GROUND UPLIGHT TO ACCENT MULTI-COLORED BUILDING RECESSES
 - 16 ELECTRICAL CONSULT FOR THE BUILDING BRIDGE MUST BE ROUTED FROM THE ROOF PARAPET OR CONTAINED WITHIN THE EXTERIOR WALL RECESSES - EXPANDED CONCRETE OVER THE ELECTRICAL DEVICES WILL NOT BE PERMITTED IN THE ADJACENT STAIRWELL OR GUESTROOM PROVIDE TWO ELECTRICAL SERVICE CO'S
 - 17 ALUMINUM LOUVER - COLOR TO MATCH ADJACENT WALL MATERIAL
 - 18 POSSIBLE LOCATION OF ART WORK

- ARCHITECTURAL LIGHTING LEGEND:**
- L1 LINEAR LED IN COVE
 - L2 WALL SCONCE AT DOOR

- BUILDING SIGNAGE:**
- ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - LOCATION SEE ETC. TO BE DETERMINED
 - MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS - AREA DASHED COVER ENTIRE LENGTH AND HEIGHT OF PANEL OR SPACE AVAILABLE FOR USE
 - ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY - TYPICAL LOW REQUIREMENT
 - NO RACEWAYS/ WIREWAYS
 - PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNAGE WILL BE LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FINISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL
 - ELECTRICAL OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/ OR INSTALLED PRIOR TO CLOSING UP THE WALL - PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY

- FINISH LEGEND:**
- EFFS GLAZING SYSTEM (E.G. - BASIS OF DESIGN - INSTALLATION PLUS 50 EPS) BY DRIVAT SYSTEMS, INC. PROVIDE EPS HIGH IMPACT MESH ASSEMBLY FOR LOWER 8'-0" OF WALL AREAS AT GRADE, BASIS OF DESIGN - DRIVAT "STANDARD" MESH OVER "PROTECT" STUCCO HIGH IMPACT MESH
 - COORDINATE FOR MINIMUM EXTERIOR CONTINUOUS INSULATION THICKNESS - R VALUE REQUIREMENTS IN ACCORDANCE WITH ADAPTED ENERGY CODE REQUIREMENTS FOR ALL GLAZING AREAS.
 - EX 01 DRIVAT SYSTEMS DRIVAT #3002 CHINA WHITE - FINE SAND
 - EX 02 REAR PANEL W/ WOODGRAIN SYSTEM TREPPA METEOR OR FORMALDEHYDE FREE WOOD GRAIN MESH PAINTED WHITE - VARYING WIDTHS - RANDOM LENGTHS
 - EX 03 ANTI-ROD STONE: SOLITICE STONE - ANDESALBA- FINE COMBED- 1/2" X 3"
 - EX 04 EXPOSED CONCRETE COLUMNS
 - EX 05 ALUMINUM COMPOSITE PANEL - REINFORCED ALCOA - CHAMPAGNE
 - EX 06 PAINT TO MATCH SURROUNDING MATERIAL
 - EX 07 MISCELLANEOUS METAL - SW 6800 BLACK OF NIGHT
 - EX 08 DECORATIVE ONYX TRENDSSTONE - STRENGTH BY ECKHORN, MESSON WHITE - WEST
 - EX 09 WINDOW FRAMES: ARCADE AB-8 BLACK
 - EX 10 PERFORATED METAL - MONCHOLS BLOTTED - IN METAL FRAME PAINTED BLACK
 - EX 11 METAL SCREEN - METAL LOUVERS
 - EX 12 GREEN SCREEN - STAINLESS STEEL W/INE TRILLIS SYSTEM
 - EX 13 LASER CUT DECORATIVE METAL - POWDER COATED FINISH
 - EX 14 DRIVAT SYSTEMS TERRAZZO - COLOR: EVEREST 200



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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE: 7/8/2022
REVISION DATE:
GENERATION:
DCOR:
ELEVATIONS

A302
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1 WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE: 12/03/2021
REVISION DATE:
GENERATION:
DECOR:
RENDERED ELEVATIONS

A301R
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1 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

VIEW LOOKING SOUTH EAST

ISSUE DATE:
REVISION DATE:
GENERATION:
DECOR:
RENDERED ELEVATIONS

A303

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VIEW LOOKING NORTH EAST



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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

ISSUE DATE:
REVISION DATE:
GENERATION:
DECOR:
RENDERED ELEVATIONS

A304

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PORTE COCHERE



ARCHITECTURE
PLANNING & DESIGN
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BOUTIQUE HOTEL
720 Hill Street Capitola, CA

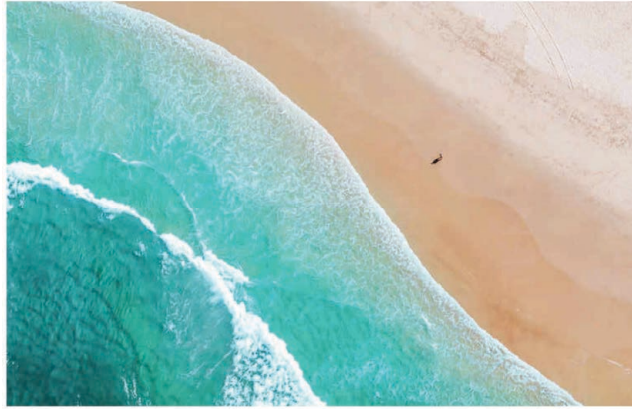
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GENERATION:
DECOR:
RENDERED ELEVATIONS

A305

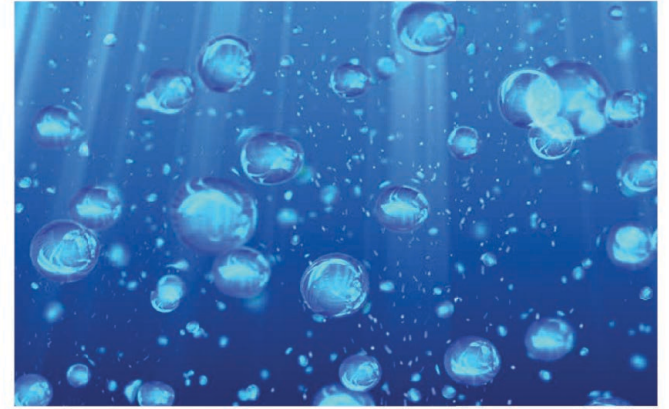
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WOOD MATERIAL / FORM



DRIVE AND PORTE COCHERE



LASER CUT METAL



ART



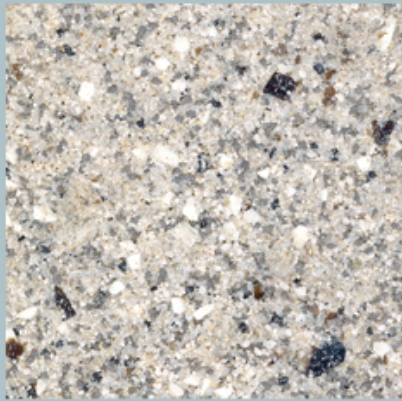
STONE MATERIAL



MASSING



STONE: SOLTICE STONE-
ANDALUSIAN- FINE COMBED
EX-03



DRYVIT SYSTEMS
TERRANEO: EVEREST 209
EX-14



EXPOSED CONCRETE
EX-04



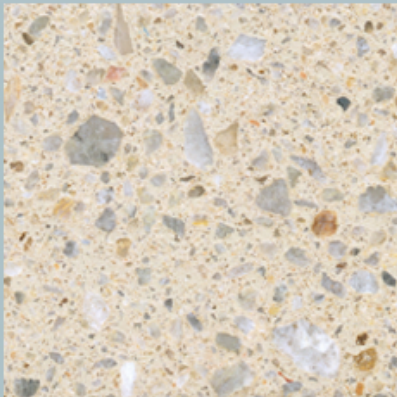
ALUMINUM COMPOSITE
PANEL: ALGOA-
CHAMPAGNE
EX-05



SW 6993
BLACK OF NIGHT
EX-07



STOREFRONT AND WINDOW
ARCADIA AB-8 BLACK
EX-09



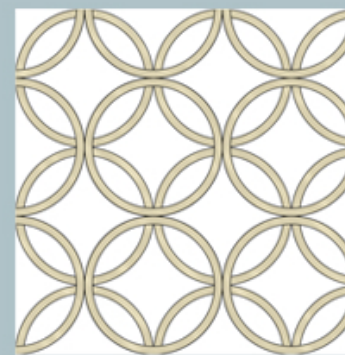
DECORATIVE CMU: TRENDSTONE-
MISSION WHITE WEST
EX-08



RESIN PANEL: TRESPA METEON-
NW28 HALMSTAD MATT
EX-02

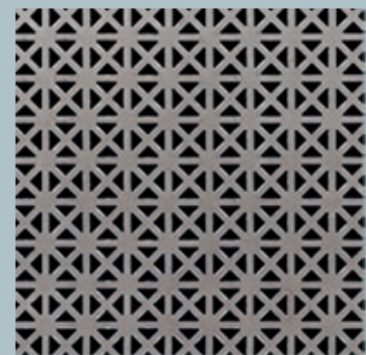


DRYVIT 628ST WHITE HAZE
EX-01



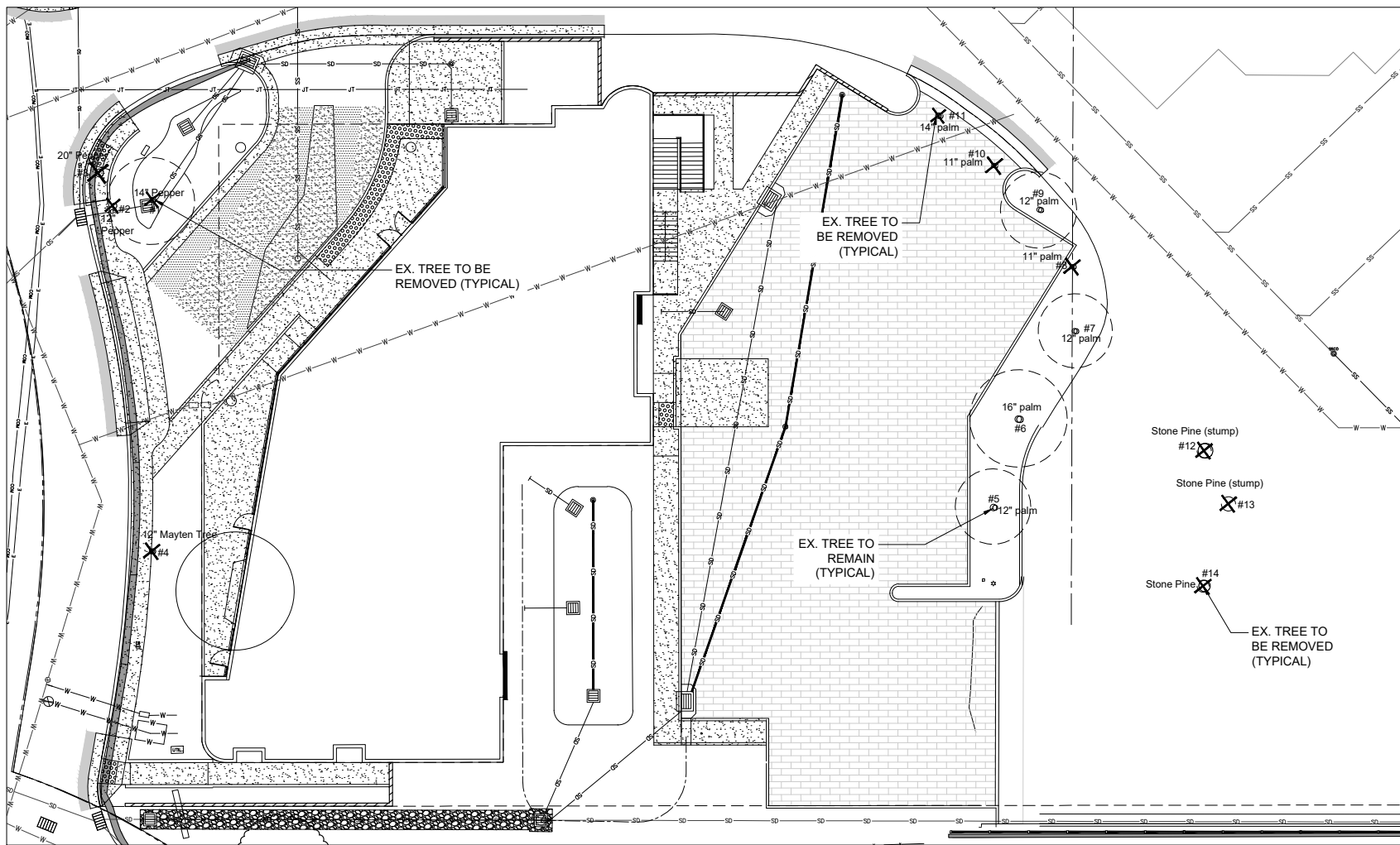
LASER CUT METAL
CUSTOM DESIGN
POWDER COAT FINISH

EX-13



DECORATIVE METAL SCREEN
MCNICHOLS

EX-10

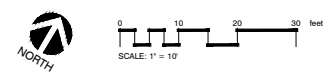


BOULIQUE HOTEL
720 HILL STREET
CAPITOLA, CA 95010


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EXISTING TREE LEGEND

ID#	GENUS / SPECIES	TRUNK SIZE	STATUS
1	Schinus molle / California Pepper	14"	TO BE REMOVED
2	Schinus molle / California	12"	TO BE REMOVED
3	Schinus molle / California Pepper	20"	TO BE REMOVED
4	Maytenus boaria / Mayten Tree	12"	TO BE REMOVED
5	Syagrus romanzoffiana / Queen Palm	12"	TO REMAIN
6	Syagrus romanzoffiana / Queen Palm	16"	TO REMAIN
7	Syagrus romanzoffiana / Queen Palm	12"	TO REMAIN
8	Syagrus romanzoffiana / Queen Palm	11"	TO BE REMOVED
9	Syagrus romanzoffiana / Queen Palm	12"	TO REMAIN
10	Syagrus romanzoffiana / Queen Palm	11"	TO BE REMOVED
11	Syagrus romanzoffiana / Queen Palm	14"	TO BE REMOVED
12	Pinus pinea / Italian Stone Pine	20"	STUMP TO BE REMOVED
13	Pinus pinea / Italian Stone Pine	22"	STUMP TO BE REMOVED
14	Pinus pinea / Italian Stone Pine	26"	TO BE REMOVED



REVISIONS



EXISTING TREES

JOB NO. 202103
SCALE 1" = 10' - 0"
DRAWN MA
CHECK
DATE 7.1.2022
SHEET L-1.0

BOUTIQUE HOTEL
720 HILL STREET
CAPITOLA, CA 95010

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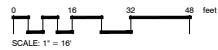
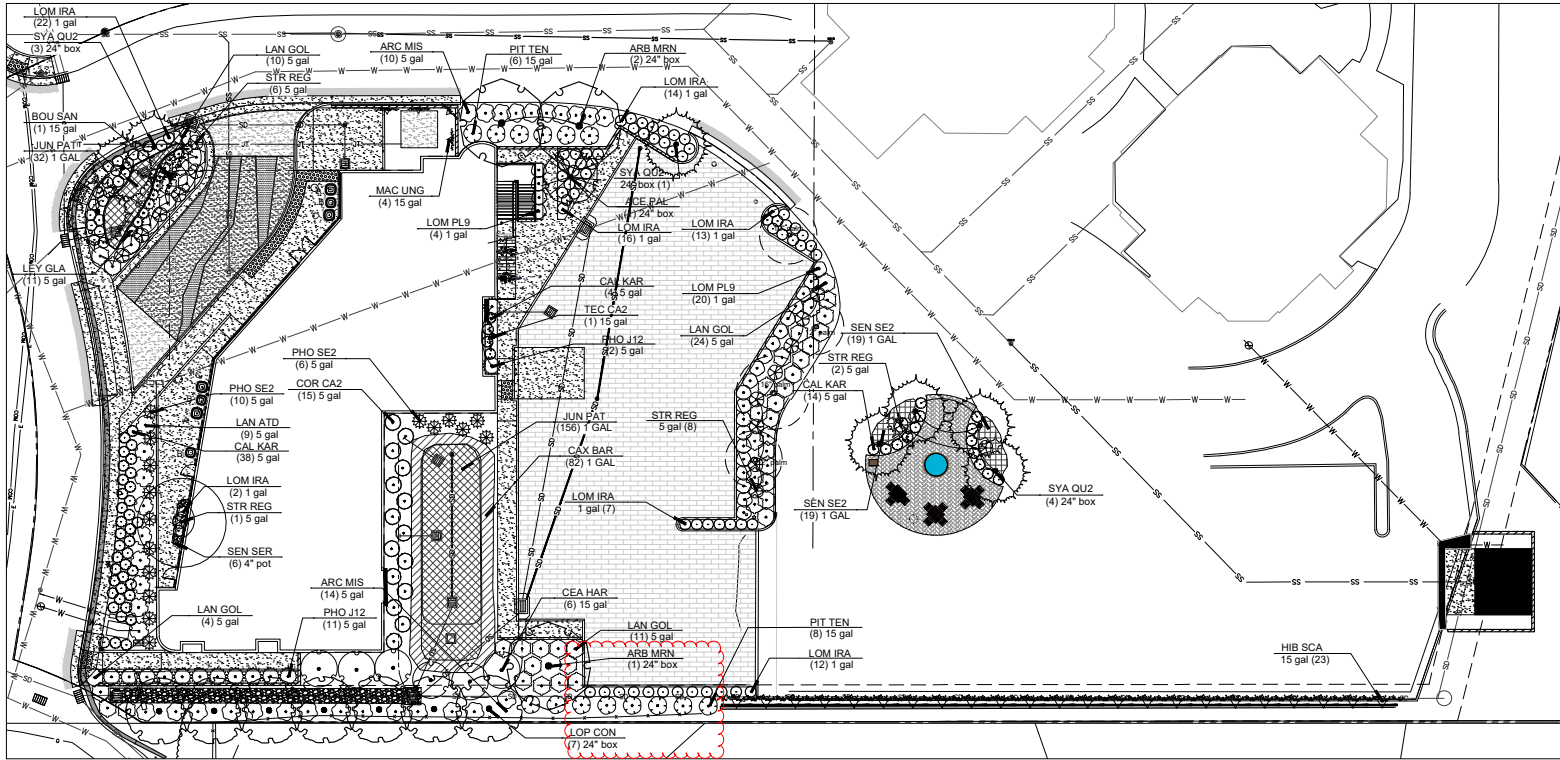
REVISIONS



**PLANTING
GROUND LEVEL**

JOB NO. 202103
SCALE 1/16" = 1' - 0"
DRAWN MA
CHECK
DATE 7.1.2022

SHEET L-1.1



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	
ACE PAL	Acer palmatum / Japanese Maple	24" box	1	
ARB MRN	Arbutus x Marina / Marina Strawberry Tree Standard	24" box	3	
LOP CON	Ligustrum confertum / Brisbane Box	24" box	7	
SYA QU2	Syagrus romanzoffiana / Queen Palm	24" box	9	
BURSES	BOTANICAL / COMMON NAME	CONT	QTY	
AGB BLF	Agave x Blue Flame / Blue Flame Agave	5 gal	1	
ARC MIS	Arctostaphylos x Pacific Mist / Pacific Mist Manzanita	5 gal	24	
CEA HAR	Ceanothus x Ray Hatman / Ray Hatman Wild Lilac	15 gal	6	
COR VLX	Cordyline x Festival Raspberry / Festival Raspberry Cordyline	5 gal	8	
COR CA2	Cornus pulchella / Carmine Belle / Carmine Belle Australian Fuchsia	5 gal	15	
CYC REV	Cycas revoluta / Sago Palm	15 gal	3	
LAN ATD	Lantana montevidensis / Spreading White / White Trailing Lantana	5 gal	9	
LAN GOL	Lantana x Goldrush / Goldrush Lantana	5 gal	57	
LAV PRO	Lavandula x Intermedia Provence / Provence Lavender	5 gal	5	
PIT TEN	Pittosporum tenuifolium / Tawhai	15 gal	14	
SEN SER	Senecio serpens / Blue Chalksticks	4" pot	10	
STR REG	Streptocarpus reginae / Bird Of Paradise	5 gal	18	
VER BAB	Verberna x hybrida / Babylon White / Babylon White Verberna	4" pot	4	
WES WYN	Westringia frutescens / Wynabbie Gem / Wynabbie Gem Coast Rosemary	5 gal	4	
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY	
CEA HAR	Cymbopogon x scordus / West Coast / Kai Foorster Feather Reed Grass	5 gal	58	
FES OVI	Festuca ovina glauca / Elijah Blue / Elijah Blue Fescue	4" pot	4	
LEY GLA	Leymus arvensis / Clastic / Blue Wild Rye	5 gal	11	
LOM IRA	Lomandra longifolia / Brezza / TM / Brezza Mat Rush	1 gal	86	
LOM PL9	Lomandra longifolia Platinum Beauty / Variegated Mat Rush	1 gal	24	
PHO J12	Phormium tenax / Jubilee / New Zealand Flax	5 gal	13	
PHO SE2	Phormium x Sea Jade / New Zealand Flax	5 gal	16	
VINES	BOTANICAL / COMMON NAME	CONT	QTY	
BOU SAN	Bougainvillea x San Diego Red / San Diego Red Bougainvillea	15 gal	1	
HIB SCA	Hibbertia scandens / Guinea Gold Vine	15 gal	23	
MAC UNG	MacDouglia unguis-cati / Cat's Claw Creeper	15 gal	4	
TEC CA2	Tecoma capensis / Cape Honeylocust	15 gal	1	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
CAX BAR	Carex barbinervis / Santa Barbara Sedge	1 GAL	30" o.c.	83
JUN PAT	Juncus patens / California Gray Rush	1 GAL	30" o.c.	158
SEN SE2	Senecio serpens / Blue Chalksticks	1 GAL	24" o.c.	38

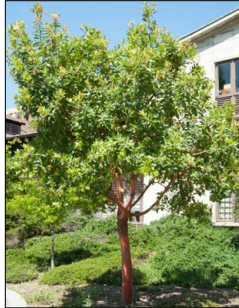
PLANT CONTAINER LEGEND (quantities not included in Plant Schedule at left of sheet)

KEY	Botanical Name	Common Name	Container Size	Plant Count	Containers
A	Agave x 'Blue Flame'	Blue Flame Agave	1-gallon	1 each	} 2 A
	Senecio serpens	Blue Chalksticks	4" pot	4 each	
B	Cordyline x 'Festival Raspberry'	Festival Raspberry Cordyline	1-gallon	1 each	} 3 B
	Verberna x hybrida 'Babylon White'	White Verberna	4" pot	4 each	
C	Streptocarpus reginae	Bird of Paradise	1-gallon	1 each	} 2 C
	Festuca ovina glauca 'Elijah Blue'	Elijah Blue Fescue	4" pot	4 each	

TREES



Acer palmatum
Japanese Maple



Arbutus x 'Marina'
Marina Strawberry Tree Standard



Lophostemon confertus
Brisbane Box



Syagrus romanzoffiana
Queen Palm

SHRUBS



Arctostaphylos x 'Pacific Mist'
Pacific Mist Manzanita



Ceanothus x 'Frosty Blue'
Frosty Blue Wild Lilac

SHRUBS



Correa pulchella 'Carmine Bells'
Carmine Bells Australian Fuchsia



Lantana montevidensis 'Spreading White'
White Trailing Lantana



Strelitzia reginae
Bird Of Paradise



Lantana x 'Goldrush'
Goldrush Lantana



Pittosporum tenuifolium
Tawhihi

ORNAMENTAL GRASSES



Calamagrostis x acutiflora 'Karl Foerster'
Karl Foerster Feather Reed Grass



Leymus arenarius 'Glaucus'
Blue Wild Rye



Lomandra longifolia Platinum Beauty
Variegated Mat Rush



Lomandra longifolia 'Breeze' TM
Breeze Mat Rush



Phormium tenax 'Jubilee'
New Zealand Flax



Phormium x 'Sea Jade'
New Zealand Flax

GROUND COVERS



Carex barberae
Santa Barbara Sedge



Juncus patens
California Gray Rush



Senecio serpens
Blue Chalksticks

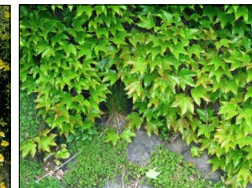
VINES



Hibbertia scandens
Guinea Gold Vine



Macfadyena unguis-cati
Cat's Claw Creeper



Parthenocissus tricuspidata
Boston Ivy



Trachelospermum jasminoides
Star Jasmine Vine

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REVISIONS



PLANT IMAGES

JOB NO. 202103
SCALE no scale
DRAWN MA
CHECK
DATE 7.1.2022

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	
ACE PAL	Acer palmatum / Japanese Maple	24" box	1	
ARB MRN	Arbutus x 'Marina' / Marina Strawberry Tree Standard	24" box	3	
LOP CON	Lophostemon comertus / Brisbane Box	24" box	7	
SYA QU2	Syagya romanzoffiana / Queen Palm	24" box	9	
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	
AGA BLF	Agave x 'Blue Flame' / Blue Flame Agave	5 gal	1	
ARC MIS	Arctostaphylos x 'Pacific Mist' / Pacific Mist Manzanita	5 gal	24	
CEA HAR	Ceanothus x 'Ray Hartman' / Ray Hartman Wild Lilac	15 gal	6	
COR VLX	Cordylina x 'Festival Raspberry' / Festival Raspberry Cordylina	5 gal	8	
COR CA2	Correa pulchella 'Carmine Bells' / Carmine Bells Australian Fuchsia	5 gal	15	
CYC REV	Cycas revoluta / Sago Palm	15 gal	3	
LAN ATD	Lantana montevidensis 'Spreading White' / White Trailing Lantana	5 gal	9	
LAN GOL	Lantana x 'Goldrush' / Goldrush Lantana	5 gal	57	
LAV PRO	Lavandula x intermedia 'Provence' / Provence Lavender	5 gal	5	
PIT TEN	Pittosporum tenuifolium / Tawhiwhi	15 gal	14	
SEN SER	Senecio serpens / Blue Chalksticks	4" pot	10	
STR REG	Streitzia reginae / Bird Of Paradise	5 gal	18	
VER BAB	Verbena x hybrida 'Babylon White' / Babylon White Verbena	4" pot	4	
WES WYN	Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary	5 gal	4	
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY	
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal	58	
FES OVI	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	4" pot	4	
LEY GLA	Leymus arenarius 'Glaucus' / Blue Wild Rye	5 gal	11	
LOM IRA	Lomandra longifolia 'Breeze' TM / Breeze Mat Rush	1 gal	86	
LOM PL9	Lomandra longifolia Platinum Beauty / Variegated Mat Rush	1 gal	24	
PHO J12	Phormium tenax 'Jubilee' / New Zealand Flax	5 gal	13	
PHO SE2	Phormium x 'Sea Jade' / New Zealand Flax	5 gal	16	
VINES	BOTANICAL / COMMON NAME	CONT	QTY	
BOU SAN	Bougainvillea x 'San Diego Red' / San Diego Red Bougainvillea	15 gal	1	
HIB SCA	Hibbertia scandens / Guinea Gold Vine	15 gal	23	
MAC UNG	Maccladyna unguis-cati / Cat's Claw Creeper	15 gal	4	
TEC CA2	Tecoma capensis / Cape Honeysuckle	15 gal	1	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
CAX BAR	Carex barbaeae / Santa Barbara Sedge	1 GAL	30" o.c.	82
JUN PAT	Juncus patens / California Gray Rush	1 GAL	30" o.c.	188
SEN SE2	Senecio serpens / Blue Chalksticks	1 GAL	24" o.c.	38

PALMS



Cycas revoluta
Sago Palm

SHRUBS



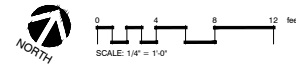
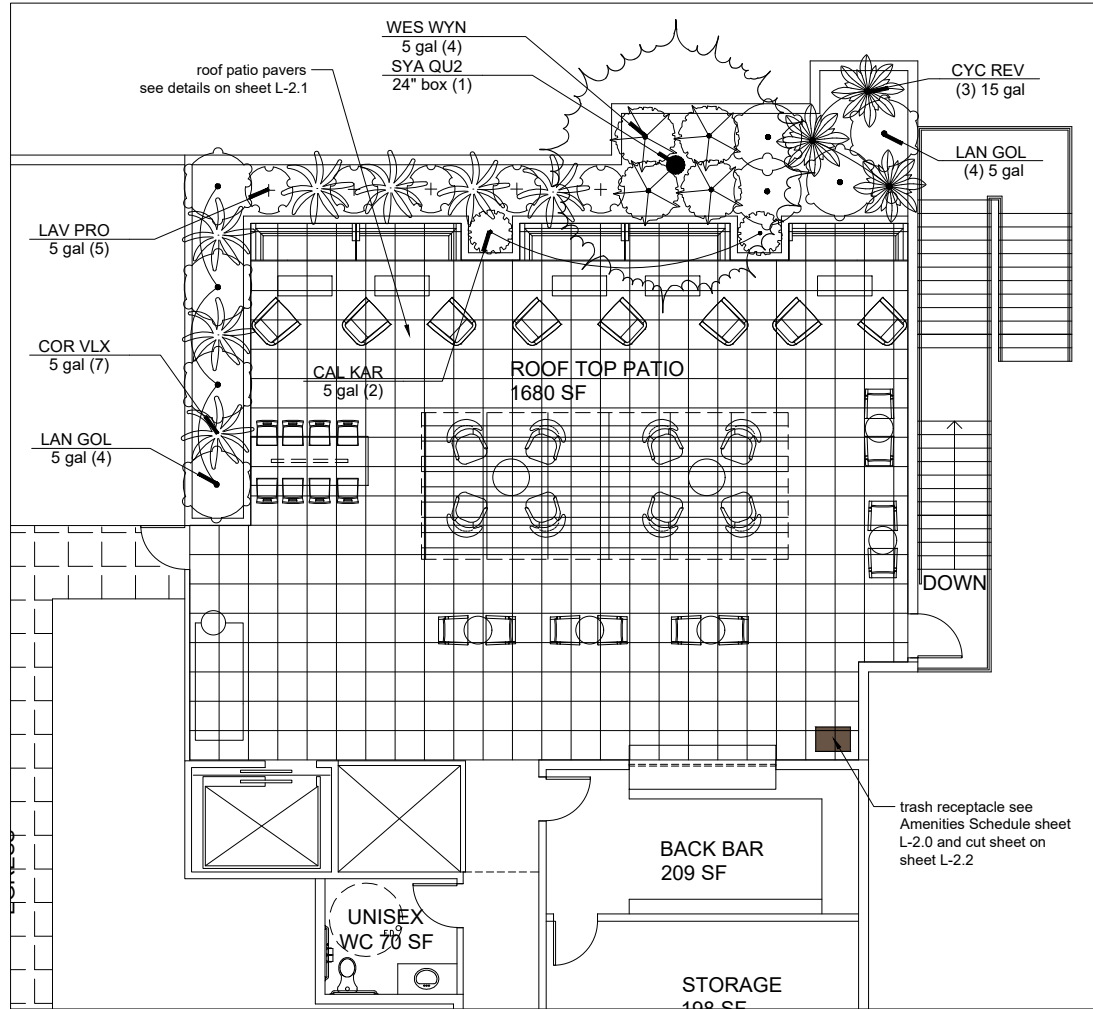
Cordylina x 'Festival Raspberry'
Festival Raspberry Cordylina



Lavandula x intermedia 'Provence'
Provence Lavender



Westringia fruticosa 'Wynabbie Gem'
Wynabbie Gem Coast Rosemary



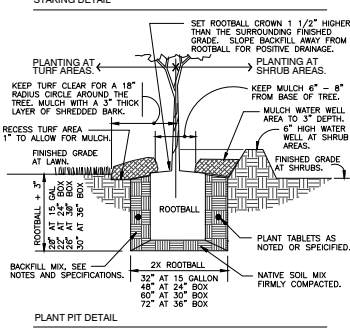
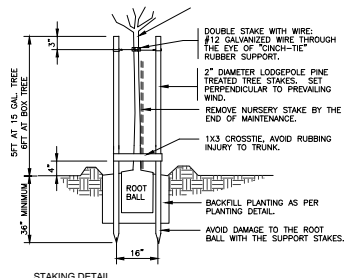
BOUTIQUE HOTEL
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CAPITOLA, CA 95010

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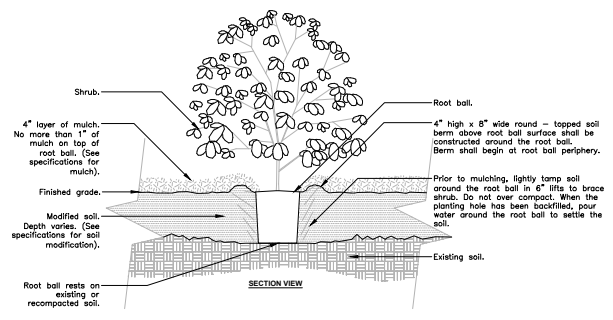
REVISIONS

PLANTING ROOF GARDEN

JOB NO. 202103
SCALE 1/4" = 1'-0"
DRAWN MA
CHECK
DATE 7.1.2022
SHEET **L-1.3**

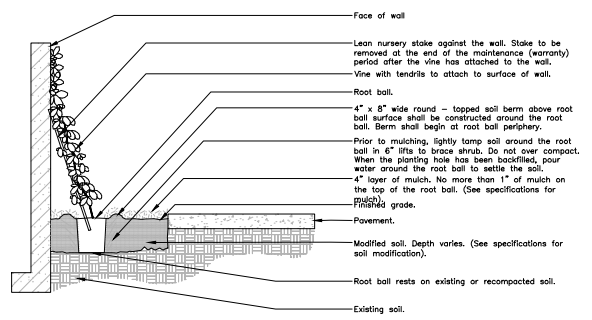


1 TREE PLANTING DOUBLE STAKE
1" = 1'-0" FX-PL-FX-TREE-10



Notes:
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
2- See specifications for further requirements related to this detail.

2 SHRUB - MODIFIED SOIL
3/4" = 1'-0" URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SHRB-03



3 VINE - MODIFIED SOIL
1/2" = 1'-0" FX-PL-FX-SHRB-06

PLANTING NOTES

1. All existing trees, shrubs and ground covers to remain shall be protected. Any damage caused by Contractor's work shall be repaired or replaced at the Contractor's expense and be approved by the Landscape Architect.
2. Pre-planting should consist of adding the following fertilizer materials per 1000 sq ft of planting bed area:
Feather meal (12-0-0) 20 lbs.
Tiger 90 Soil Sulfur (90% S) 25 lbs.
- The above amendments should be thoroughly incorporated into the upper 6-8" of the soil profile.
3. After amending soil, grade all areas smooth with no localized depressions exceeding .5 inch. All areas shall surface drain with 1.5 percent minimum slope away from all buildings, paving or other structures.
4. Quantities are for aiding in bidding only. Contractor shall verify all quantities.
5. Contractor shall lay out plant material as per plan and receive approval from Landscape Architect prior to installation.
6. No plants shall be planted with root balls or new pits in a dry condition.
7. Plant all plants as per planting details in square pits with sides and bottoms thoroughly scarified. Do not amend backfill mix beyond initial topsoil amending unless noted.
8. All newly planted material shall be watered by deep soaking within 3 hours of planting.
9. All planting areas shall receive 3 inches of mini grind bark chip top dressing (mulch).
10. Contractor shall be responsible for irrigating all new plant material until the entire project as been approved and accepted by Owner.
11. Thirty days after planting Contractor shall re-stake and straighten all trees as necessary to be approved by Landscape Architect.
12. Fill planters with Garden Blend soil to top 2" of planter cap. Soil should be lightly compacted using tamping bar and topped off to correct level in planter.

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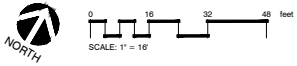
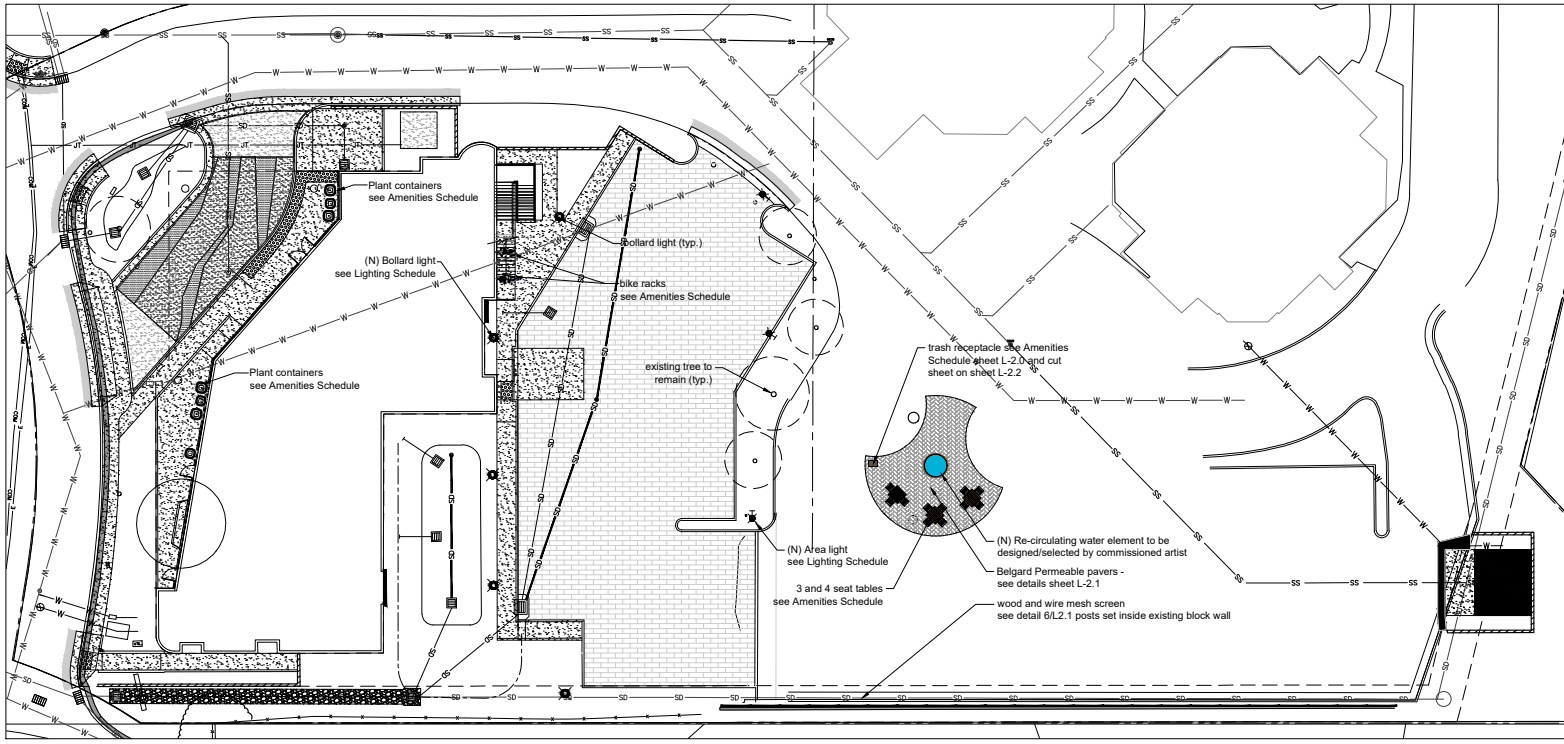
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PLANTING DETAILS & NOTES

JOB NO. 202103
SCALE not to scale
DRAWN MA
CHECK
DATE 7.1.2022
SHEET **L-1.4**

BOUTIQUE HOTEL
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CONSTRUCTION NOTES:

- Contractor shall notify Underground Service Alert (USA) at 811 to verify the location and depth of all existing utilities prior to any demolition, trenching or excavation.
- Contractor shall take care not to damage in any way, any existing elements to remain. Such damage is the responsibility of the contractor and shall be replaced or repaired to match the original at no additional cost to the owner.
- All dimensions and elevations shall be verified in the field and chalked, flagged or string lined prior to any construction. If any discrepancies occur, notify Landscape Architect immediately before proceeding.
- CONTRACTOR SHALL CLEARLY LAYOUT ENTIRE HARDSCAPE DESIGN USING CHALK, FLAGS, OR PANT TO DEFINE ALL NEW LANDSCAPE ELEMENTS. CONTRACTOR SHALL RECEIVE APPROVAL FROM OWNER PRIOR TO START OF INSTALLATION OF LANDSCAPE ELEMENTS SHOWN ON PLANS.
- Contractor shall place 3" diameter sleeves (chases) under all paving crossings as shown on plan to be used for drip irrigation lines, irrigation laterals or low voltage lighting cable.
- Pavers for circular seating area shall be provided by Belgard Aqualine Permeable pavers in Toscana Stockton color and set in Herringbone pattern. Install as per manufacturer's specifications using metal edge for interior border. (www.belgard.com) 877.235.4273.
- Roof garden pavers shall be provided by Bison Innovated Products (www.bisonip.com). Pavers to be Bison 2CM using Bison Paver Tray Model PT-TRAY-2424-4 on Bison Pedestals. Paver model number and color to be PT-24-BISON AXI Brown Chestnut. 800.33.4234.
- Concrete for the Porte Cochere shall be finished with as per plan alternating between a smooth trowel finish and a sand finish. See sheet L-2.3. Concrete for this area shall be colored with Davis Integral Concrete Colors. The colors shown on sheet L2.3 are suggested colors, the final choices will be selected prior to construction. Once final selection has been made the concrete contractor shall pour a 2' x 2' sample of each finish and each color for owner's approval three weeks prior to start of installation. All other concrete shall be natural gray with a medium broom finish.
- Wood trellis shall be fabricated on site using Construction Heart Redwood as per detail on sheet L-2.1. Wire mesh 5' x 6' panels shall be 4" x 4" square, galvanized steel, hot dipped available from McNichols. for more information go to www.mcnichols.com or phone 877.912.3819.

REVISIONS



HARDSCAPE & LIGHTING PLAN

JOB NO. 202103
SCALE 1/16" = 1' - 0"
DRAWN MA
CHECK
DATE 7.1.2022
SHEET L-2.0

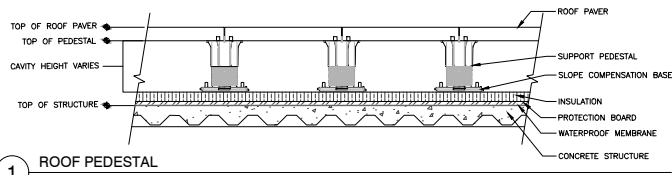
LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	LBLHO-603 HELIO BOLLARD SERIES 600 STAINLESS STEEL, STAINLESS STEEL, SURFACE MOUNT J BOLT Lamp: CUSTOM LED, 40W, 3000K, Beamspread: 360	5
	RAD 1 LED P3 Radean Arm Mount LED Area Luminaire TEXTURED BLACK, ROUND POLE MOUNT Lamp: LED P3, 47.5W, 35K, Beamspread: SINGLE UNIT	3



AMENITIES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	Anova BH1841T 42" square table with thermory planks and four flat seats.	2	1/L-2.2
	Anova BH1831T 42" square ADA table with thermory planks and three flat seats.	1	2/L-2.2
	Anova LEX33P Exposition 33-gallon plastic receptacle/ recycler, side door	1	3/L-2.2
	Landscape forms LOOP-BR 35 Series Loop Bike Rack. Aluminum casting with powder coat finish.	2	4/L-2.2
	Landscape Forms KNGY-LKSPR-24 Korngay Designs' Larkspur Series Planter. Cast concrete construction. 36" LxW x 24" H	4	5/L-2.2
	Landscape Forms KNGY-LKSPR-48 Korngay Designs' Larkspur Series Planter. Cast concrete construction. 32" LxW x 48" H	3	5/L-2.2

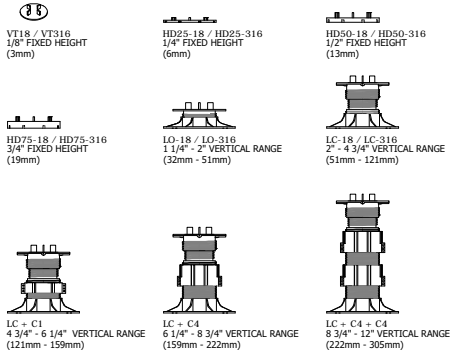


PT-24-BISON AXI BROWN CHESTNUT PAVER



1 ROOF PEDESTAL
1" = 1'-0"

BISON LEVEL IT ADJUSTABLE PEDESTALS



PRODUCT CHARACTERISTICS
 - MAXIMUM DESIGN CAPACITY OF 750 LBS PER PEDESTAL. FACTOR OF SAFETY 3.
 - SCREW ADJUSTABILITY WHILE PEDESTALS ARE LOADED FOR FINAL ADJUSTMENT.
 - IMPERVIOUS TO FREEZE-THAW, WATER, MOLD AND SOLVENT FREE CHEMICALS.
 - SCORED BASE ALLOWS SUPPORTS TO BE TRIMMED FOR TIGHT AREAS.
 - WEIGHT BEARING SYSTEM DOES NOT PENETRATE ROOFING MEMBRANE OR SUBSTRATE.
 - LARGE FOOTPRINT SPREADS WEIGHT OVER ROOFING MEMBRANE AND SUBSTRATE.
 - MAXIMUM CAVITY HEIGHT 12".

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
 1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH BISON INNOVATIVE PRODUCTS SPECIFICATIONS.
 2. DRAWINGS NOT TO SCALE.
 3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.BisonIP.com

2 PEDESTAL ELEVATIONS
ELEVATIONS FROM 1/8" TO 12"

BISON PAVER TRAY (PT-TRAY-2424-4)

PT-TRAY	MODEL NAME	DIMENSIONS	FITS 2CM PAVER SIZES	WEIGHT w/ ADHESIVE*
	PT-TRAY-2424-4	23.43" x 23.43" x 0.35" (595 x 595 x 9mm)	595 - 603mm x 595 - 603mm	6.02 lbs (2.73 kg)
	PT-TRAY-1818-4	17.52" x 17.52" x 0.35" (445 x 445 x 9mm)	445 - 453mm x 445 - 453mm	3.38 lbs (1.53 kg)
	PT-TRAY-2020-4	19.49" x 19.49" x 0.35" (495 x 495 x 9mm)	495 - 503mm x 495 - 503mm	4.18 lbs (1.90 kg)
	PT-TRAY-2412-4	23.43" x 11.61" x 0.35" (595 x 295 x 9mm)	595 - 603mm x 295 - 303mm	3.01 lbs (1.36 kg)
	PT-TRAY-2416-4	23.43" x 15.55" x 0.35" (595 x 395 x 9mm)	595 - 603mm x 395 - 403mm	4.00 lbs (1.81 kg)
	PT-TRAY-2418-4	23.43" x 17.52" x 0.35" (595 x 445 x 9mm)	595 - 603mm x 445 - 453mm	4.51 lbs (2.05 kg)

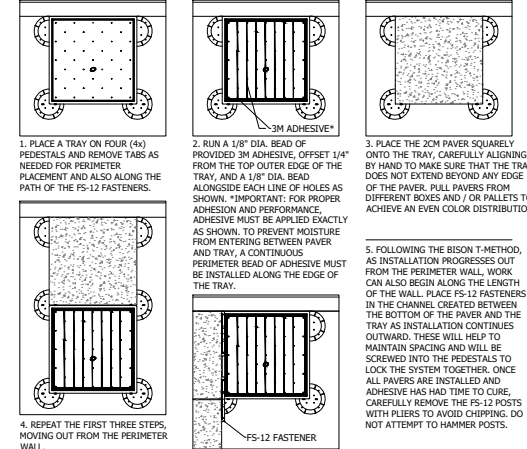
* THESE FIGURES REPRESENT A MAXIMUM WEIGHT, BASED ON THE RECOMMENDED 1/8" DIA. BEAD OF ADHESIVE.

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
 1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH BISON INNOVATIVE PRODUCTS SPECIFICATIONS.
 2. DRAWINGS NOT TO SCALE.
 3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.BisonIP.com

3 PT-TRAY STANDARD SIZES
STANDARD PT-TRAY SIZE INFORMATION

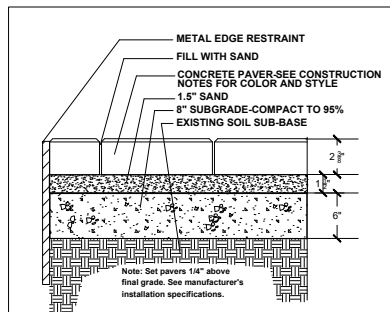
BISON PAVER INSTALLATION WITH BISON FS-12 FASTENING KIT

- DURING INSTALLATION ASSEMBLY, LIMIT EXPOSURE TO STANDING MOISTURE, DIRECT SUNLIGHT, AND TEMPERATURES OUTSIDE OF 40°F TO 100°F (5°C TO 37°C). CAUTION: USE GLOVES WHEN HANDLING TRAYS.
- THE STANDARD BISON PT-2424-4 PAVER TRAY WILL FIT 2CM PAVER SIZES FROM 595mm - 603mm.



GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS
 1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH BISON INNOVATIVE PRODUCTS SPECIFICATIONS.
 2. DRAWINGS NOT TO SCALE.
 3. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.BisonIP.com

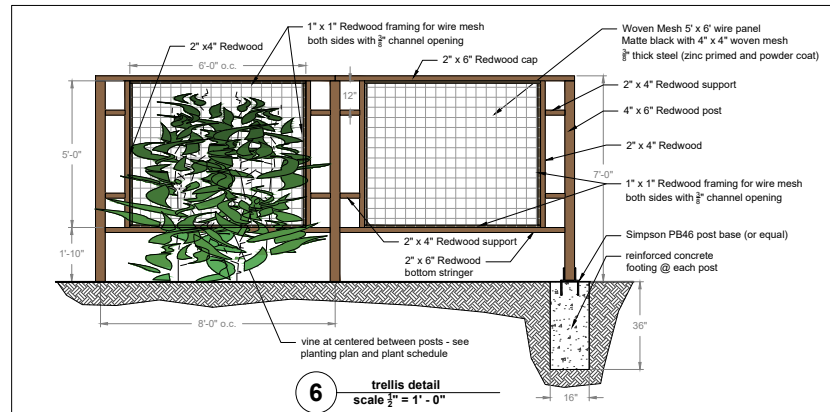
4 PT-TRAY INSTALLATION ASSEMBLY
ADHERING A 2CM PAVER TO THE PT-TRAY DURING INSTALLATION



5 permeable paver detail
scale 1/2" = 1' - 0"



Belgard Aqualine 4.5" x 9" x 80mm permeable paver in Toscana Stockton color herringbone pattern



6 trellis detail
scale 1/2" = 1' - 0"

REVISIONS

ELEVATIONS, DETAILS & CUT SHEETS

JOB NO. 202103
 SCALE as noted
 DRAWN MA
 CHECK
 DATE 7.1.2022

SHEET L-2.1

ANOVA

211 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1327 tel | 314.754.0835 fax
spec@anovafurniture.com
anovafurniture.com

BH1841T—Beacon Hill Thermory® Table with 4 Flat Seats

42" square table with Thermory planks and four flat seats, portable/surface mount.

Material
The table has a 42" square tabletop and features four flat seats. The tabletop frame is 1/2" galv steel and the tabletop and flat seats are composed of 7" x 3.5" (7'4" nominal dimensions) and 7" x 2" Thermory planks. The tabletop features a 1.64" diameter umbrella hole in the center and is designed to support 100 lbs. per square foot.

The seats are composed of aluminum and steel plates and are designed to support 200 lbs. per linear foot.

The table frame and legs are made of 2.38" O.D. steel tubing and feature a built-in umbrella holder. The table is designed to be portable for flexibility in placement or surface mounted and/or pre-drilled. 42" diameter holes in the flat seats are provided for easy removal. Mounting hardware is not included.

Low maintenance: Thermory is made from thermally-modified North American white pine—a sustainably harvested and renewable temperate hardwood. It is an environmentally friendly hardwood and a great alternative to commonly used tropical hardwoods because of its dimensional stability and Class 1 durability (25+ years). Thermory has a lower carbon footprint than tropical hardwoods.

Finish
Rust-proof aluminum and heat-resistant primer steel components feature a fade-resistant powder coating. Treated components exceed the industry standard by 34% in testing by independent sources.

Thermory is a bio-trace chocolate brown color when new and will naturally age to uniform silver/grey over time. The color-changing process begins immediately and varies with the amount of UV-exposure.

Color
See website or sales representative for color choices.

Assembly
The table requires some assembly. The tabletop and seats ship pre-assembled. Stainless steel assembly hardware is included.

Maintenance
Clean with mild soap and water. Let dry thoroughly. To maintain original color, regularly apply standard deck oil, such as Cabot's Extreme Wood Protector Oil.

Warranty
10 year limited structural warranty on Thermory. 3 year finish warranty on powder coated steel and aluminum components against fading, peeling, chipping, cracking, mold and mildew and delamination and/or workmanship from the date of purchase. See full details on multi-year warranties for components at www.anovafurniture.com/warranty.html.

Accessories
9" Standard Fabric Color Umbrella
9" Premium Fabric Color Umbrella
Umbrella Base

ULPU-CSC
ULPU-CPC
UBRACE

1.94" x 4.22" x 3.57" x 4.61" x 1.94" x 2X Ø 4.1" x 4X FOOT MOUNT

1 42" Sq. table w/ 4 chairs
not to scale

ANOVA

211 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1327 tel | 314.754.0835 fax
spec@anovafurniture.com
anovafurniture.com

BH1831T—Beacon Hill Thermory® ADA Table with 3 Flat Seats

42" square ADA table with Thermory planks and three flat seats, surface mount.

Material
The ADA table has a 41.52" square tabletop, features three flat seats and meets federal ADA requirements. The tabletop frame is 3/4" galv steel and the tabletop and flat seats are composed of 7" x 3.5" (7'4" nominal dimensions) and 7" x 2" Thermory planks. The tabletop features a 1.64" diameter umbrella hole in the center and is designed to support 100 lbs. per square foot.

The seats are composed of aluminum and steel plates and are designed to support 200 lbs. per linear foot.

The table frame and legs are made of 2.38" O.D. steel tubing and feature a built-in umbrella holder. The table legs have feet with pre-drilled. 42" diameter holes for surface mounting to prevent movement. Table must be surface mounted for stability and to comply with warranty and local regulations; mounting hardware is not included.

Low maintenance: Thermory is made from thermally-modified North American white pine—a sustainably harvested and renewable temperate hardwood. It is an environmentally friendly hardwood and a great alternative to commonly used tropical hardwoods because of its dimensional stability and Class 1 durability (25+ years). Thermory has a lower carbon footprint than tropical hardwoods.

Finish
Rust-proof aluminum and heat-resistant primer steel components feature a fade-resistant powder coating. Treated components exceed the industry standard by 34% in testing by independent sources.

Thermory is a bio-trace chocolate brown color when new and will naturally age to uniform silver/grey over time. The color-changing process begins immediately and varies with the amount of UV-exposure.

Color
See website or sales representative for color choices.

Assembly
The table requires some assembly. The tabletop and seats ship pre-assembled. Stainless steel assembly hardware is included.

Maintenance
Clean with mild soap and water. Let dry thoroughly. To maintain original color, regularly apply standard deck oil, such as Cabot's Extreme Wood Protector Oil.

Warranty
10 year limited structural warranty on Thermory. 3 year finish warranty on powder coated steel and aluminum components against fading, peeling, chipping, cracking, mold and mildew and delamination and/or workmanship from the date of purchase. See full details on multi-year warranties for components at www.anovafurniture.com/warranty.html.

Accessories
9" Standard Fabric Color Umbrella
9" Premium Fabric Color Umbrella
Umbrella Base

ULPU-CSC
ULPU-CPC
UBRACE

1.58" x 4.22" x 3.57" x 4.61" x 1.58" x 2X Ø 4.1" x FOOT MOUNT

2 42" Sq. table w/ 3 chairs
not to scale

ANOVA

211 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1327 tel | 314.754.0835 fax
spec@anovafurniture.com
anovafurniture.com

L1378BT—Rendezvous 32 Gallon Trash Receptacle with Bonnet Top

32-gallon steel slat trash receptacle with bonnet top, plastic liner and rubber feet.

Material
The 32-gallon receptacle is 30" x 36" and is composed of 12-gauge slotted steel with a .75" gap vertical slotted pattern. The bonnet top is made of 16-gauge spun steel. The top includes a 4" security strap and lifts for easy trash removal.

The receptacle is designed to be portable for flexibility in placement or surface mounted using pre-drilled 3/8" diameter holes in the base to prevent movement; optional cork-screw anchor also available. The rubber feet are adjustable to avoid leveling the receptacle. The reusable plastic liner is made of high-density polyethylene.

Finish
Steel coils are protected by the patented Fusion Advantage™ finish. The plastisol coating has an average thickness of 125" and is encapsulated with a richly tinted, high performance powder coating that won't rust, fade, peel, chip, crack, mold or mildew. The trash has been tested to the requirements of ASTM E1554 and determined to be in compliance with California Uniform Fire Code T03.2.1.2.

Fade resistant, powder coated steel for features a table of the art primer green to prevent staining. Treated components exceed the industry standard by 34% in testing by independent sources.

Color
See website or sales representative for color choices.

Assembly
The receptacle ships fully assembled and ready for use. Using an optional cork-screw anchor may require some assembly.

Maintenance
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with acetone or petroleum-based products.

Warranty
20 year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovafurniture.com/warranty.html.

Replacement Parts
Black Plastic Liner
Bonnet Top

F107
F302I

Accessories
Cork-screw Anchor

AKX20

3 32 gallon trash receptacle
not to scale

LOOP Bike Rack

Product Drawing

www.landscapiforms.com Ph: 800.521.2546

Date: 2/2/2018

(6) 3/16, 1R UNC, 2A RILLY THREADED BODS,
4" LENGTH INCLUDED

TO SPECIFY
Select the 13 product number along with the options below:

Drainage

- Standard diameter hole approximately 2.38"
- Custom size to function with irrigation & drainage
- Size of planting holes to be used

Concrete Color

- Natural grey concrete
- Standard color options available
- Additional color option available

Finishing

- Blow-dry water suggested for interior applications
- Sandblast finish

Notes

- Concrete to be CCR specification
- Contact us for CAD Drawings
- Prices vary based on color, sandblasting, water and extra drain hole

Drawing: AE100-02
Dimensions are in inches (mm)
U.S. Patent No. D754,032

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4 bike rack
not to scale

KORNECAY DESIGN™

Free project concept assistance

A landscapiforms® company

Larkspur Series LANDSCAPE PLANTERS

Big square landscape planter means soft, round form.

TO SPECIFY
Select the 13 product number along with the options below:

Drainage

- Standard diameter hole approximately 2.38"
- Custom size to function with irrigation & drainage
- Size of planting holes to be used

Concrete Color

- Natural grey concrete
- Standard color options available
- Additional color option available

Finishing

- Blow-dry water suggested for interior applications
- Sandblast finish

Notes

- Concrete to be CCR specification
- Contact us for CAD Drawings
- Prices vary based on color, sandblasting, water and extra drain hole

3-20 1/2" x 36" x 1-1/2"
4-20 20" x 36" x 1-1/2"
5-20 24" x 36" x 1-1/2"
6-20 30" x 36" x 1-1/2"
7-20 36" x 36" x 1-1/2"
8-20 42" x 36" x 1-1/2"
9-20 48" x 36" x 1-1/2"
10-20 54" x 36" x 1-1/2"
11-20 60" x 36" x 1-1/2"
12-20 66" x 36" x 1-1/2"
13-20 72" x 36" x 1-1/2"
14-20 78" x 36" x 1-1/2"
15-24 84" x 36" x 1-1/2"
16-30 90" x 36" x 1-1/2"
17-36 96" x 36" x 1-1/2"
18-48 108" x 36" x 1-1/2"
19-60 120" x 36" x 1-1/2"

All weights are approximate

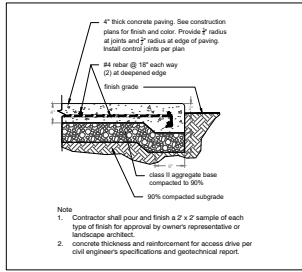
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KornecayDesign.com | info@kornecaydesign.com | toll free 877.252.4333 | local 662.252.6323

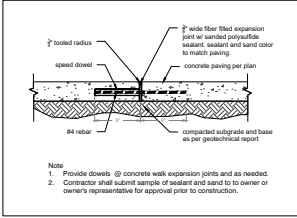
5 concrete planter
not to scale



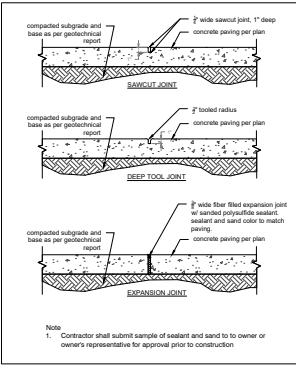
BOUTIQUE HOTEL
720 HILL STREET
CAPITOLA, CA 95010



1 concrete paving
scale 1" = 1' - 0"



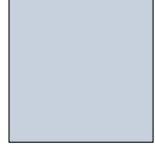
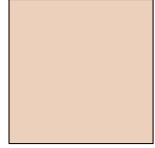
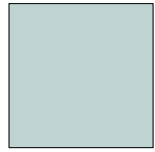
2 doweled expansion joint
scale 1" = 1' - 0"



3 concrete joints
scale 1" = 1' - 0"

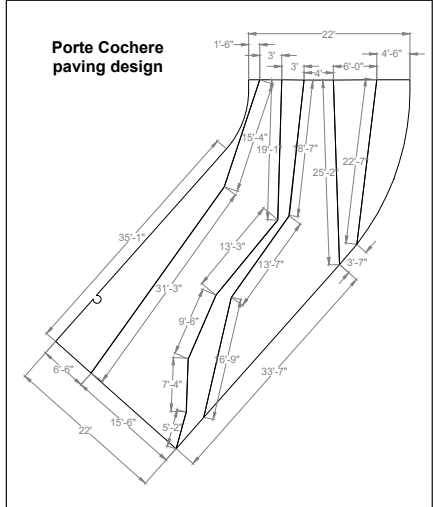


4 concrete finishes
no scale

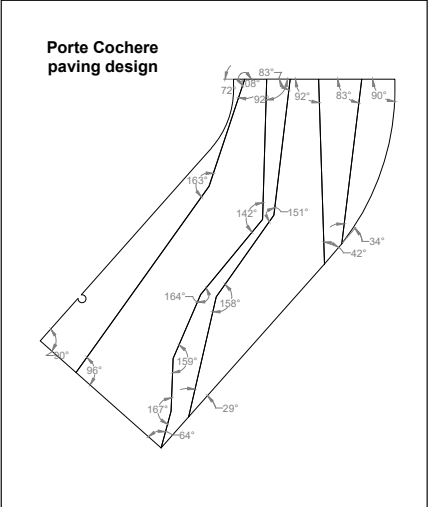


5 concrete colors*
no scale

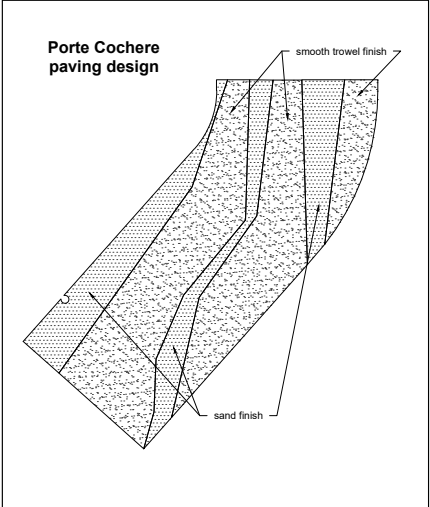
* colors shown are suggested palette, final choice of colors to be selected



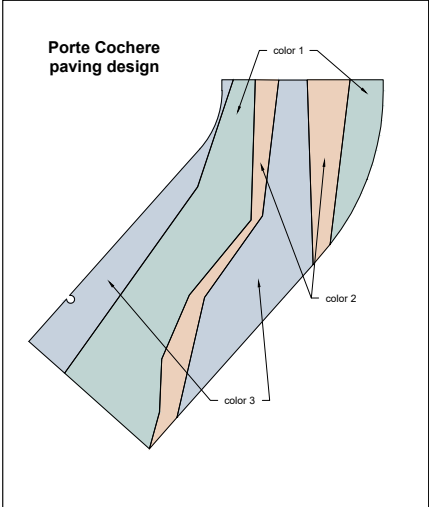
6 hardscape dimensions
scale 3/8" = 1' - 0"



7 hardscape angles
scale 3/8" = 1' - 0"



8 hardscape finishes
scale 3/8" = 1' - 0"



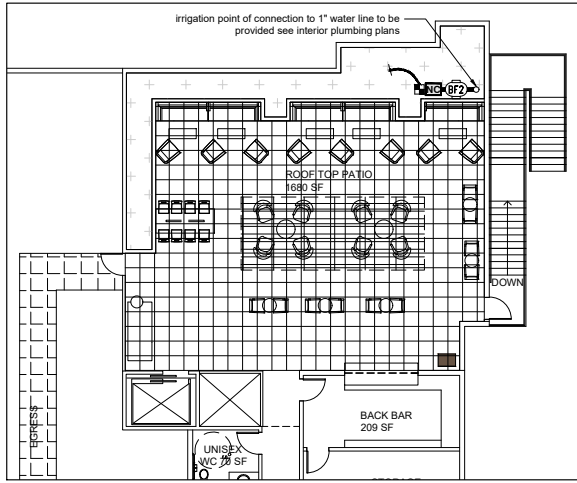
9 hardscape colors
scale 3/8" = 1' - 0"

REVISIONS



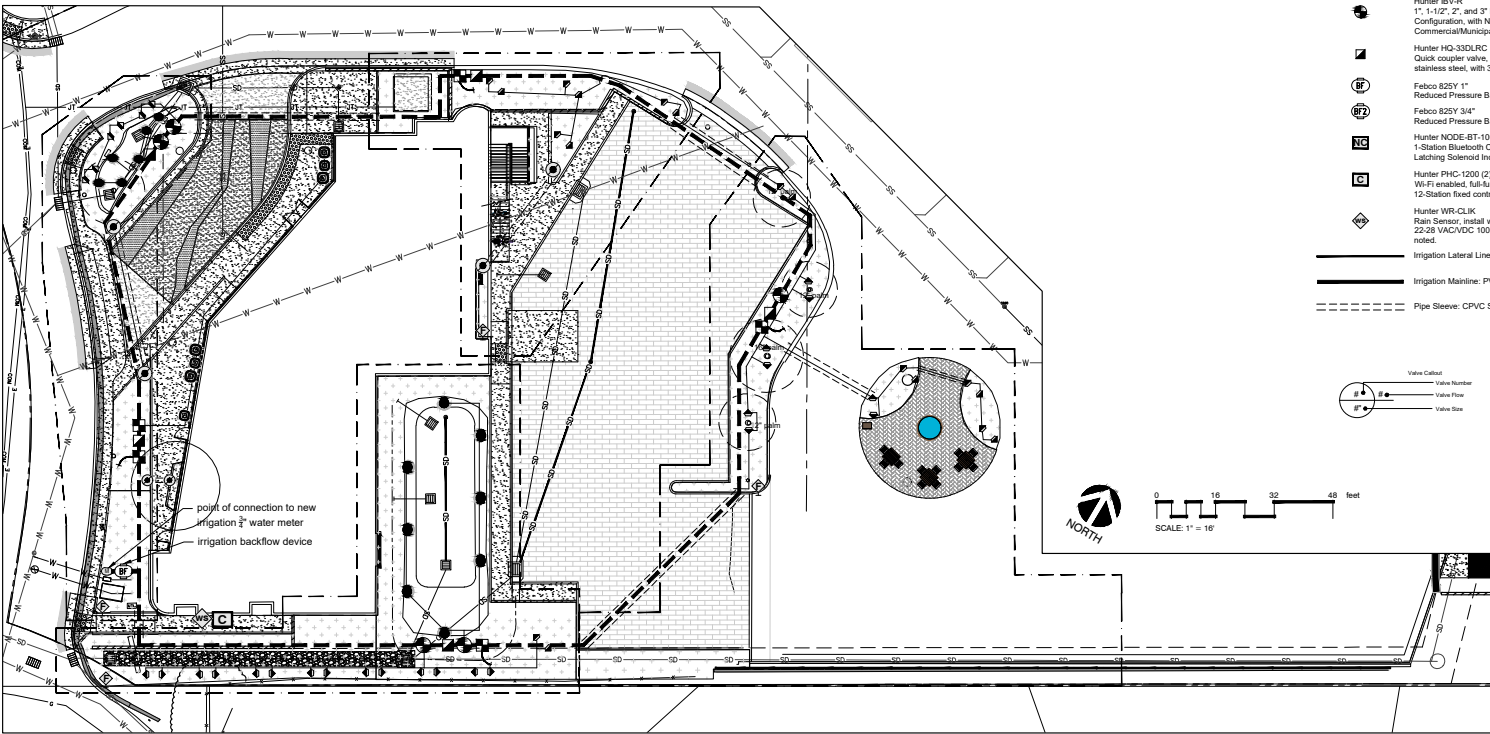
CONCRETE DETAILS & LAYOUT PLANS

JOB NO. 202103
SCALE as noted
DRAWN MA
CHECK
DATE 7.1.2022
SHEET **L-2.3**



IRRIGATION NOTES

- Contractor shall notify U.S.A. (Underground Service Alert) at 811, prior to start of any excavation or trenching.
- Contractor shall review all plans and documents pertaining to the project prior to the start of work to coordinate with other trades.
- Contractor shall install irrigation system in accordance with all local codes and ordinances.
- Overhead spray valves have been designed to operate at a maximum of 10 gallons per minute at 30 p.s.i., drip valves have been designed to operate at a maximum of 5 gallons per minute at 20 p.s.i. and tree bubblers have been designed to operate at a maximum of 10 gallons per minute at 30 p.s.i. static pressure. Irrigation contractor shall verify a static pressure of at least 65 p.s.i. at the point of connection prior to the installation of the irrigation system. Should the p.s.i. or the g.p.m. be insufficient to operate the system, contractor shall notify landscape architect and request review of design. If a booster pump is required we recommend the RainBird CLP Series Boost Model or equal product.
- The roof garden planting area shall be controlled using the battery powered Node Controller specified in the Irrigation Schedule.
- Irrigation design is diagrammatic. Mainline, valves, laterals and other irrigation equipment may be shown outside of planting beds for graphic clarity. All irrigation equipment shall be located in adjacent planting beds. Use common trenching and common sleeving when possible.
- Irrigation pipe depths: Mainlines under paving if needed shall have 24" cover over pipes. Lateral lines under paving if needed shall have 18" cover over pipes. Sleeves shall be located as per plan. Mainlines in planting beds shall have 12" cover over pipes. Laterals in planting beds shall have 12" cover over pipes. All mainline shall be 2", see Irrigation Schedule.
- Lateral lines (non pressure lines) sizing guidelines shall be as follows: 3/4" O.D. - 0 to 10 GPM; 1" O.D. - 11 to 15 GPM; 1 1/4" O.D. - 16 to 25 GPM; 1 1/2" O.D. 26 to 30 GPM; 2" O.D. 31 to 55 GPM. Refer to Irrigation Legend and plan sheets for further data.
- Control wires shall be 14 gauge UF direct burial wire. Use red for control wire and white for common wire. Contractor shall run one spare common and one spare control wire to each of the end valves. All low voltage wire connections shall be made only at remote control boxes. All connections shall be made with a 2' coil of wire for service. Connections shall be made with RainBird 'Snap-Tite' connectors or equal.
- Contractor shall hard wire new controller at location shown on plans.
- Contractor shall determine the location of drip emitters based on the plant counts and actual plant locations in the field. Contractor shall adjust all drip distribution tubing to effectively irrigate all plant material.
- Contractor shall provide a minimum of one drip end cap assembly per drip zone for ease of flushing system. Tubing should be staked at 6' intervals on top of soil and covered by mulch at completion of installation.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
●●●	Hunter MP1000 PROS-12-PRS40-CV-F-R Shrub Rotator, 12" pop-up with check valve, fogguard, purple cap, pressure regulated to 40 psi, MP Rotator nozzle, M-Milano adj arc 90 to 210, L-Light Blue 210 to 270 arc, On-Olive 360 arc on PRS40 body.	2	30
●●●	Hunter MP2000 PROS-12-PRS40-CV-F-R Shrub Rotator, 12" pop-up with factory installed check valve, fogguard, reclaimed body cap, pressure regulated to 40 psi, MP Rotator nozzle, K-Black adj arc 90-210, G-Green adj arc 210-270, R-Red 360 arc on PRS40 body.	6	30
●●●	Hunter MP800SR PROS-12-PRS40-CV-F-R Shrub Rotator, 12" pop-up with check valve, fogguard, Reclaimed Purple Body Cap, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, Adu-Orange and Gray (arc 90-210), 360-Lime Green and Gray (arc 360)	6	30
●●●	Hunter RZWS-SLEEVE-18-CV-25 18" long RZWS with Filter Fabric Sleeve, .25 gpm or 50 gpm bubbler options, Check Valve, 1/2" swing joint for connection to 1/2" pipe	52	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
■	Hunter ICZ-101-25 Drip Control Zone Kit, 1" ICV Globe Valve with 1" NY100 Filter system, Pressure Regulation, 25psi, Flow Range: 2 GPM to 20 GPM, 150 mesh stainless steel screen.	6	
●	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.	6	
◆	Rain Bird MDCFPDAP DripLine Flush Valve purple cap in compression fitting coupler. For non-potable water use.	4	
▲	Rain Bird Xeri-Spray 360 True Spray Xeri-Spray True 360 micro spray, 10-32 self-tapping threaded inlet, 1/4" barb and 5" spike.	10	
□	Area to Receive Drip Emitters Rain Bird XBPC (2) Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph/inch, 1.0gph/inch, and 2.0gph/inch. Comes with a self-flushing barb and barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (4 assigned to each 15 gal plant)	7,254 s.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
●	Hunter IBVR 1", 1-1/2", 2", and 3" Brass Electric Remote Control Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID Purple Tag.	5	
■	Hunter HQ-33DLRC Quick coupler valve, yellow locking rubber cover, red brass and stainless steel, with 3/4" NPT inlet, 2-piece body.	5	
BP	Febco 825Y 1" Reduced Pressure Backflow Preventer	1	
BP2	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1	
NC	Hunter NOCE-BT-100 1-Station Blueboth Controller, Outdoor, Battery Powered with DC Latching Solenoid Included.	1	
CI	Hunter PHC-1200 (2) Wi-Fi enabled, full-functioning controller with touchscreen, 12-Station fixed controller, 120 VAC, Outdoor model.	1	
◆	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight, 22-28 VAC/DC 100 mA power from timer transformer. Mount as noted.	1	
—	Irrigation Lateral Line: PVC Class 315 SDR	1,080 l.f.	
—	Irrigation Mainline: PVC Schedule 40	640 l.f.	
---	Pipe Sleeve: CPVC Schedule 80	280 l.f.	

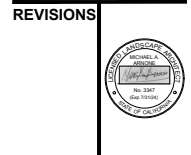


BOUTIQUE HOTEL
720 HILL STREET
CAPITOLA, CA 95010

© Michael Arnone
Landscape Architect - 2022

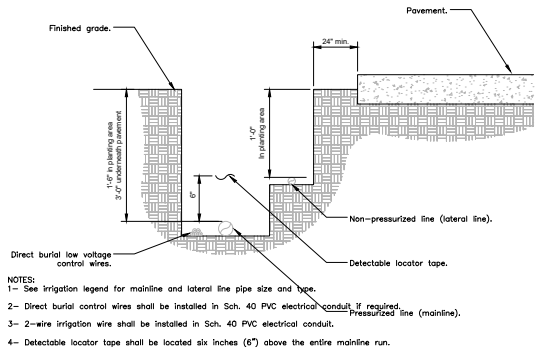
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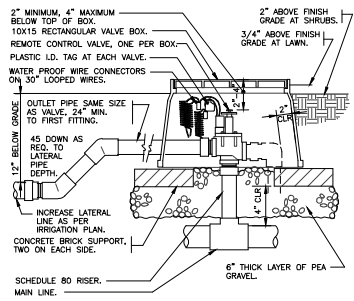
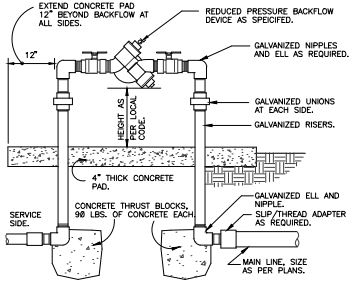
IRRIGATION GROUND LEVEL & ROOF GARDEN

JOB NO. 202103
SCALE as noted
DRAWN MA
CHECK
DATE 7.1.2022
SHEET **L-3.0**

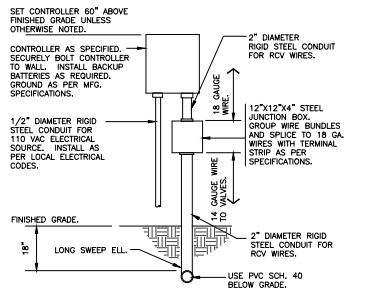


1 IRRIGATION TRENCHING
1 1/2" = 1'-0"

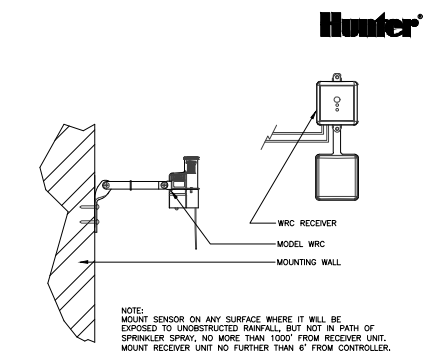
2 REDUCED PRESSURE BACKFLOW
1 1/2" = 1'-0"



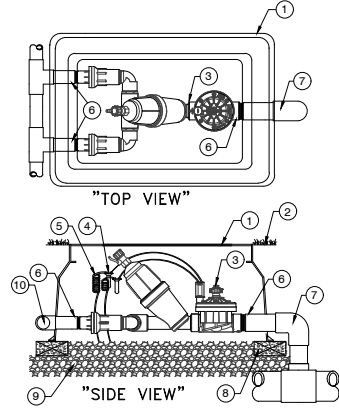
3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"



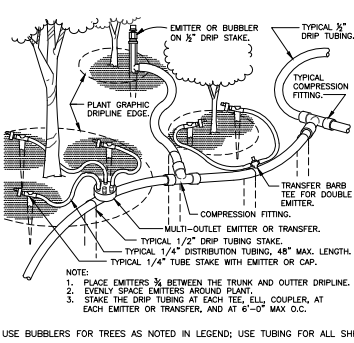
4 WALL MOUNT CONTROLLER
1" = 1'-0"



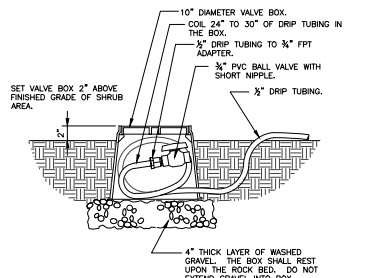
5 WIRELESS RAIN-CLICK
3" = 1'-0"



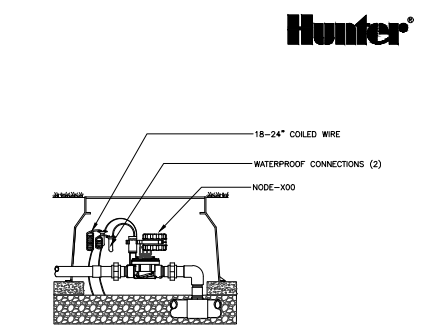
6 ICZ-151-40 DRIP CONTROL KIT
1 1/2" = 1'-0"



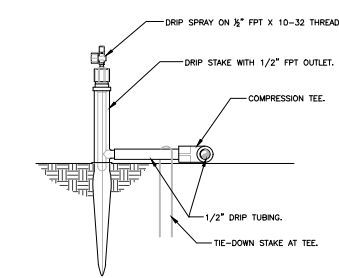
7 TYPICAL DRIP TUBING
1 1/2" = 1'-0"



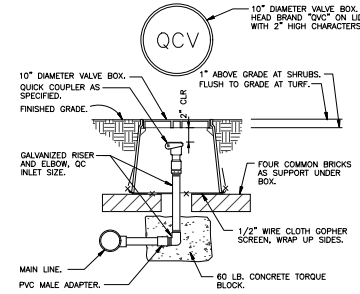
8 DRIP FLUSH VALVE
1 1/2" = 1'-0"



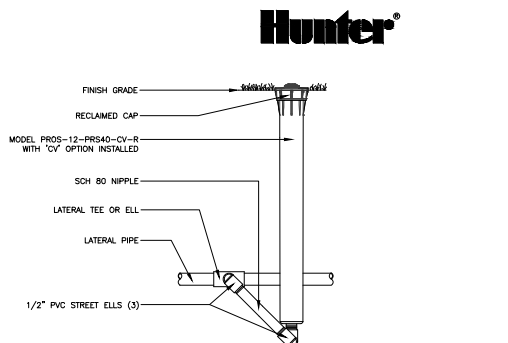
9 NODE CONTROLLER
1 1/2" = 1'-0"



10 DRIP SPRAY ON DRIP STAKE
3" = 1'-0"

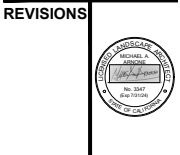


11 QUICK COUPLING VALVE IN BOX
1 1/2" = 1'-0"



12 PROS-12-PRS40-CV-R MP ROTATOR SPRINKLER (1)
3" = 1'-0"

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IRRIATION DETAILS

JOB NO. 202103
SCALE 1/16" = 1'-0"
DRAWN MA
CHECK
DATE 7.1.2022

BOUTIQUE HOTEL
720 HILL STREET
CAPITOLA, CA 95010

© Michael Arnone
Landscape Architect - 2022

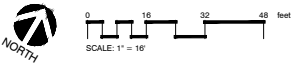
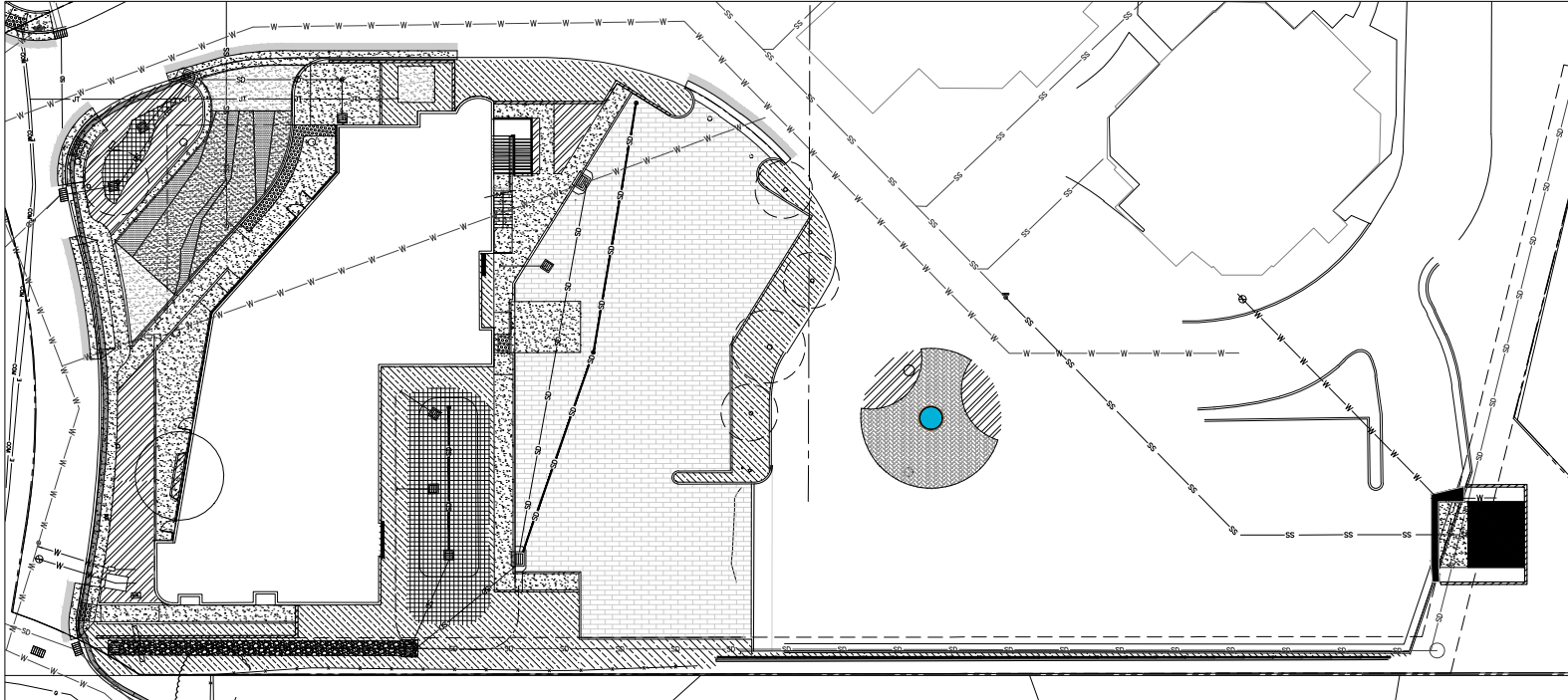
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NO.	REVISIONS
1	ISSUED FOR PERMITTING

HYDROZONE MAP & WATER USE CALCULATIONS

JOB NO. 202103
SCALE 1/16" = 1' - 0"
DRAWN MA
CHECK
DATE 7.1.2022
SHEET L-3.2



HYDROZONE MAP LEGEND

SYMBOL	DESCRIPTION	QTY
	BIO RETENTION AREA OVERHEAD SPRAY	1,613 s.f.
	DRIP LOW WATER USE	5,015 s.f.
	DRIP MEDIUM WATER USE	2,252 s.f.
	SPECIAL LANDSCAPE AREA (FOUNTAIN)	29 s.f.
	TOTAL LANDSCAPE AREA	8,909 s.f.

MAWA CALCULATIONS
Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Messages and Warnings

Click on the blue cell on right to Pick City Name
ETo of City from Appendix A

Name of City	36.60 ETo (inches/year)
1613 Overhead Landscape Area (ft2)	
7267 Drip Landscape Area (ft2)	
29 SLA (ft2)	
Total Landscape Area	8,909
Results: (ETo) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) X SLA]	
91,327 Gallons	
12,209 Cubic Feet	
122 HCF	
0 Acre-feet	
0 Millions of Gallons	
MAWA calculation incorporating Effective Precipitation (Optional) Precipitation (Optional)	
ETo of City from Appendix A	
Total Landscape Area	8,909 LA (ft2)
Special Landscape Area	29 SLA (ft2)
	Total annual precipitation (inches/year)
Enter Effective Precipitation	0.00 Eppt (in/yr)(25% of total annual precipitation)
Results: MAWA = [(ETo - Eppt) x (0.62)] x [(0.45 x LA) + (1.0 - 0.45) x SLA]	
	Gallons
	Cubic Feet
	HCF
	Acre-feet
	Millions of Gallons

ETWU CALCULATIONS
Estimated Total Water Use

Equation: ETWU = ETo x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ETo-Eppt) x 0.62 x [(PF x HA)/IE] + SLA

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

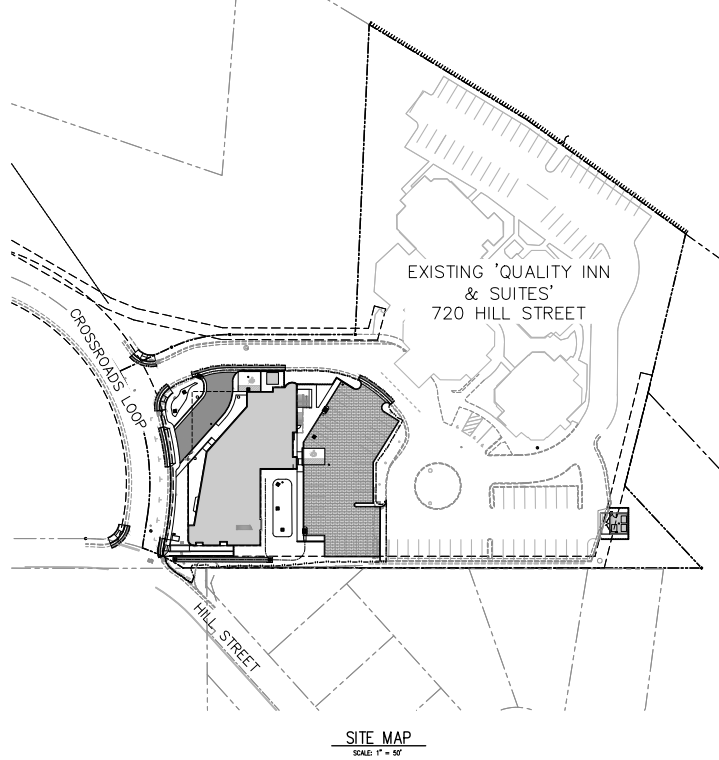
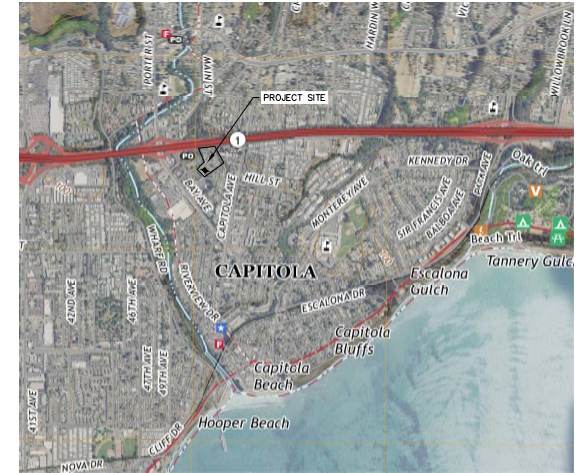
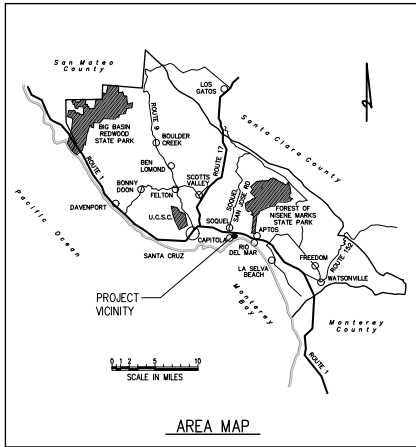
Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1.0

Hydrozone Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft2) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft2))/IE
Zone 1 Overhead Spray	High	0.70	1,613	0.75	1,505
Zone 2 Drip	Low	0.20	5,015	0.81	1,238
Zone 3 Drip	Medium	0.40	2,252	0.81	1,112
	SLA				3,856
	Sum		29		29
Results MAWA = 91,327		ETWU =	88,147 Gallons 11,784 Cubic Feet 117.84 HCF 0.27 Acre-feet 0.09 Millions of Gallons		ETWU complies with MAWA

PRELIMINARY IMPROVEMENT PLANS

BOUTIQUE HOTEL

720 HILL STREET, CAPITOLA, CA.
 APN 036-011-28 #21-0284



GENERAL NOTES

- THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE SHOWN FOR SIMILAR CONDITIONS.
- ALL EARTHWORK AND FOUNDATION CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CAPITOLA MUNICIPAL CODE.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE CITY OF CAPITOLA DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO THE PLACEMENT OF ANY NEW PAVEMENT.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO THE START OF WORK.
- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTOR, WHETHER OR NOT THE NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK.
- ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. CONTRACTOR IS ADVISED TO CONTACT A UNDERGROUND SERVICE LOCATOR FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK. THE PROJECT INSPECTOR SHALL BE PRESENT WHILE THE UNDERGROUND SERVICE LOCATOR IS ON SITE.
- TOPOGRAPHIC AND BOUNDARY INFORMATION WAS SUPPLIED BY THE OWNER.
- ENGINEER OF RECORD TO INSPECT CONSTRUCTION OF STORMWATER MANAGEMENT IMPROVEMENTS AND CERTIFY TO THE CITY THAT THE CONSTRUCTION MEETS THE INTENT OF THE APPROVED DESIGN DRAWINGS, STORMWATER CONTROL PLAN, AND CITY POST CONSTRUCTION REGULATIONS.

LEGEND

- (E) CONTOUR
- (C) FENCE LINE
- (L) LITE
- (S) SANITARY SEWER LINE
- +4.21 (E) GRADE SPOT ELEVATION
- (T) TELEPHONE LINE
- (E) TREE TO REMAIN
- X (E) TREE TO BE REMOVED (VERIFY AGAINST LANDSCAPE PLANS)
- W (E) WATER LINE
- SLOPE (DRAINAGE PATH)
- FG 10.85 FINISH GRADE SPOT ELEVATION
- SD NEW STORM DRAIN
- IN NEW INLET

ABBREVIATIONS

- AC ASPHALT CONCRETE
- BM BOTTOM OF WALL
- CB CONCRETE
- CONC CONCRETE
- C/W CEMENT
- DIAM # DIAMETER
- (E), EX ELECTRICAL
- ELEV ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FG FINISH GRADE
- G GUTTER
- GB GRADE BREAK
- GRD GROUND
- IRR IRRIGATION
- LAND LANDING AREA
- MAN MANHOLE
- PLAN PLANING AREA
- RM OR Rm RM ELEVATION
- S/W SIDEWALK
- SDB STORM DRAIN CATCH BASIN
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SMH SANITARY SEWER MANHOLE
- TOP OF WALL
- TYP TYPICAL
- W/W WITH WATER VALVE

SHEET INDEX

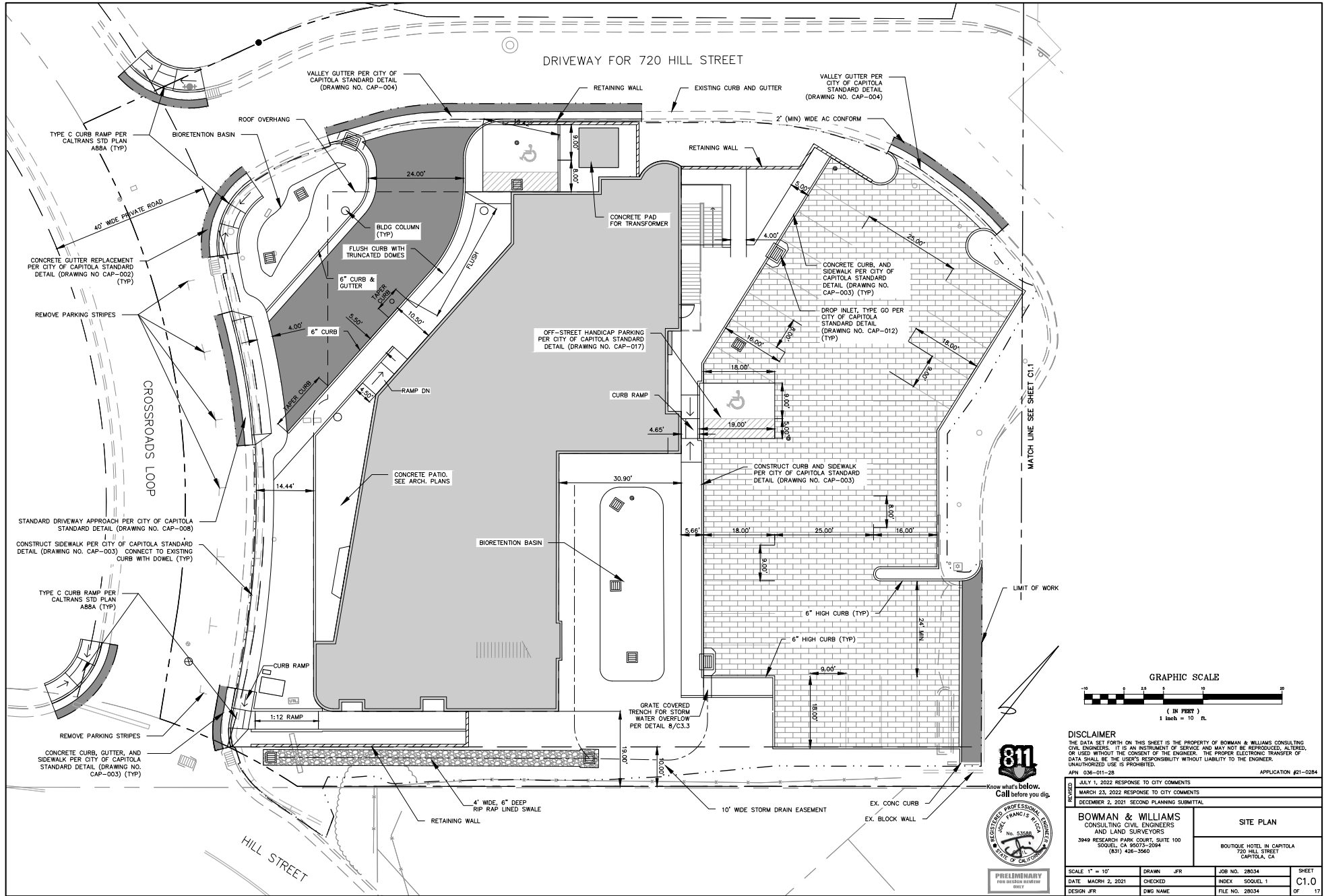
- C0.0 CIVIL COVER SHEET
- C0.1 SITE PLAN
- C1.1 SITE PLAN
- C2.0 PRELIMINARY GRADING PLAN
- C2.1 PRELIMINARY GRADING PLAN
- C2.2 PRELIMINARY GRADING SECTIONS
- C2.3 RETAINING WALL PROFILES
- C3.0 PRELIMINARY DRAINAGE PLAN
- C3.1 PRELIMINARY DRAINAGE PLAN
- C3.2 PRELIMINARY STORMWATER CONTROL PLAN
- C3.3 PRELIMINARY DRAINAGE DETAILS
- C4.0 PRELIMINARY UTILITY PLAN
- C4.1 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY PHASE 1 EROSION AND SEDIMENT CONTROL PLAN
- C5.1 PRELIMINARY PHASE 2 EROSION AND SEDIMENT CONTROL PLAN
- C5.2 PRELIMINARY PHASE 2 EROSION AND SEDIMENT CONTROL PLAN
- C5.3 PRELIMINARY EROSION AND SEDIMENT CONTROL DETAILS



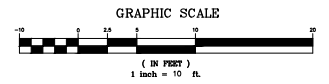
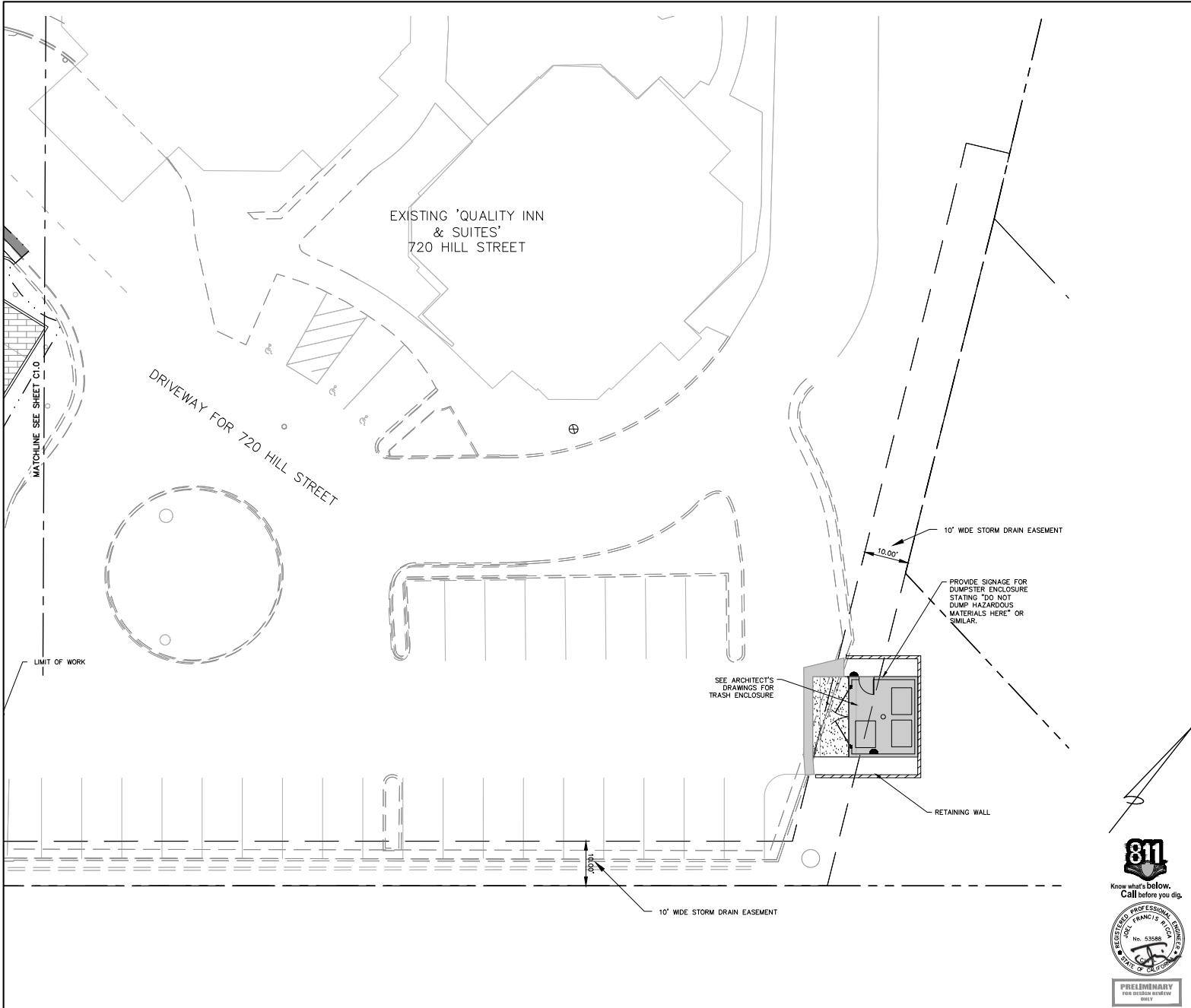
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APPLICATION #21-0284	
JULY 1, 2022 RESPONSE TO CITY COMMENTS	
MARCH 23, 2022 RESPONSE TO CITY COMMENTS	
DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS	
3949 RESEARCH PARK COURT, SUITE 100 SANTA CLARA, CA 95073-2084 (831) 428-3560	
APN 036-011-28	
CIVIL COVER SHEET	
BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE AS SHOWN	DRAWN JFR
DATE: MARCH 2, 2021	CHECKED: INDEX: SQUEL 1
DESIGN: JFR	DWG NAME: FILE NO: 28034
JOB NO. 28034	SHEET
	CO.0
	OF 12



3/2/2021 10:52:03 AM
D:\Projects\2021\720 Hill Street\720 Hill Street\720 Hill Street.dwg
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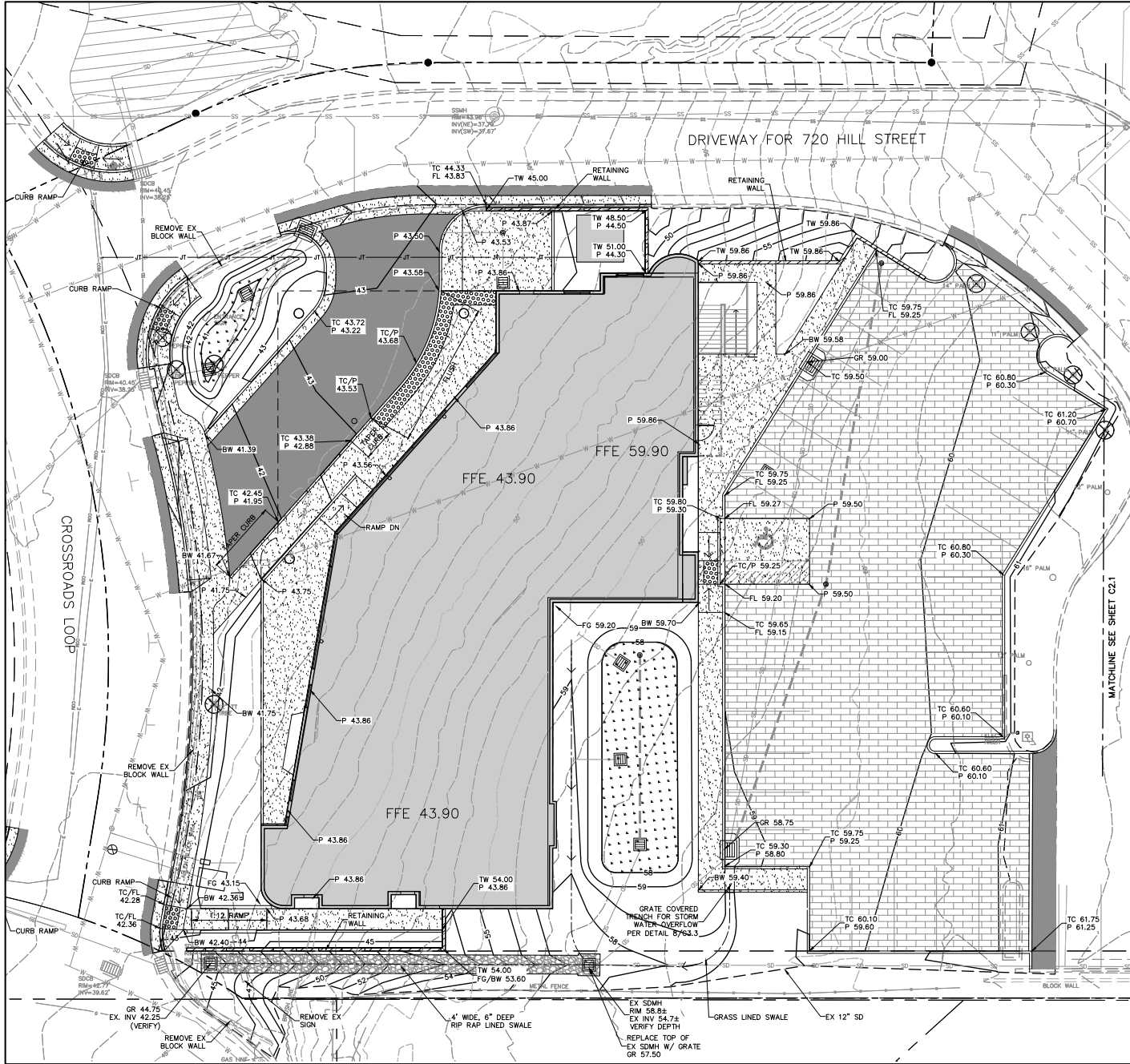
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	MARCH 23, 2022 RESPONSE TO CITY COMMENTS	
	DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL	

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOVELL, CA 95073-2004 (831) 428-3560	SITE PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA

SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034	SHEET
DATE MARCH 2, 2021	CHECKED	INDEX	SOVELL 1
DESIGN JFR	DWG NAME	FILE NO. 28034	C1.1
			OF 12



BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS, 3949 RESEARCH PARK COURT, SUITE 100, SOVELL, CA 95073-2004, (831) 428-3560, WWW.BOWMANANDWILLIAMS.COM



EARTHWORK AND GRADING NOTES

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL EARTHWORK AND FOUNDATION CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CAPITOLA MUNICIPAL CODE, AND IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY THE PROJECT GEOTECHNICAL ENGINEER.
3. A REPRESENTATIVE OF A GEOTECHNICAL ENGINEER, AS HIRED BY OWNER, SHALL BE ON SITE DURING GRADING OPERATIONS AND SHALL PERFORM ALL TESTING AS DEMAND NECESSARY. THE REPRESENTATIVE SHALL OBSERVE THE GRADING OPERATIONS FOR CONDITIONS THAT REQUIRE CORRECTION, AND IDENTIFY THOSE CONDITIONS WITH RECOMMENDED CORRECTIVE MEASURES TO THE CONTRACTOR.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE. GRADING SHALL BE DONE AS RECOMMENDED BY THE PROJECT GEOTECHNICAL ENGINEER.

EARTHWORK QUANTITIES

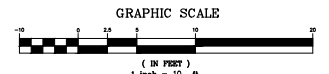
BUILDING & SITE	CUT (CY)	FILL (CY)
2,717	501	
NET	2,216 CY EXPORT	

EARTHWORK VOLUMES SHOWN ARE FOR PERMITTING PURPOSES. EARTHWORK VOLUMES SHOWN ON THESE PLANS ARE TAKEN AS THE DIFFERENCE BETWEEN EXISTING GRADE AS SHOWN ON THE TOPOGRAPHIC SURVEY AND THE FINISH GRADES SHOWN HEREON. ACTUAL EARTHWORK VOLUMES MAY VARY.

THE QUANTITIES ABOVE INCLUDE EXCAVATION FOR STRUCTURAL SECTION OF GARAGE SLAB AND CRAWL SPACE AS SHOWN ON STRUCTURAL PLANS.

CONTRACTOR SHALL VERIFY THE EARTHWORK VOLUMES TO HIS SATISFACTION PRIOR TO CONSTRUCTION.

ALL EXCESS EXCAVATION (CUT) TO BE OFFLOADED FROM SITE AND DISPOSED AT COUNTY LANDFILL OR APPROVED SITE.



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APPLICATION #21-0284

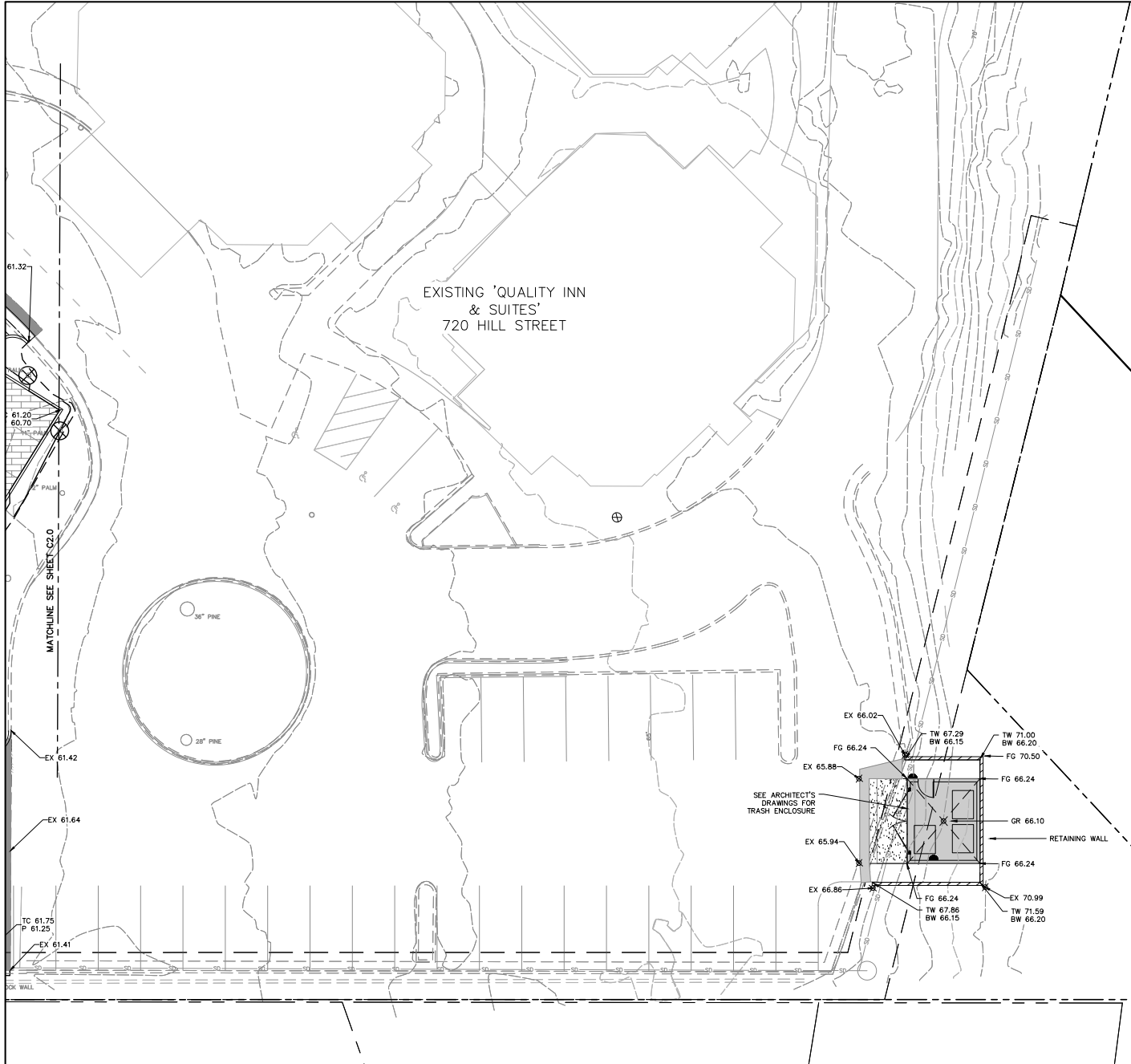
JULY 1, 2022 RESPONSE TO CITY COMMENTS
MARCH 23, 2022 RESPONSE TO CITY COMMENTS
DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL



BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SPOKANE, OR 97373-2004 (831) 428-3560		PRELIMINARY GRADING PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034	SHEET
DATE MARCH 2, 2021	CHECKED	INDEX	SHEET 1
DESIGN JFR	DWG NAME	FILE NO. 28034	C2.0
			OF 12

PRELIMINARY FOR REVIEW ONLY

DATE PLOTTED: 2/21/2024 10:58:11 AM
PLOTTER: HP DesignJet T1100e
PLOT SCALE: 1" = 10'
PLOT SHEET: C2.0 OF 12



61.32
 61.20
 60.70
 MATCHLINE SEE SHEET C2.0
 EX 61.42
 EX 61.64
 TC 61.75
 P 61.25
 EX 61.41
 C&G WALL

EXISTING 'QUALITY INN
 & SUITES'
 720 HILL STREET

38" PINE
 38" PINE

EX 66.02
 EX 65.88
 EX 65.94
 EX 66.86
 FG 66.24
 TW 67.29
 BW 66.15
 FG 66.24
 GR 66.10
 FG 66.24
 EX 70.99
 TW 71.59
 BW 66.20
 TW 71.00
 BW 66.20
 FG 70.50
 FG 66.24

SEE ARCHITECT'S
 DRAWINGS FOR
 TRASH ENCLOSURE

RETAINING WALL

(IN FEET)
 1 inch = 10 ft.

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APN: 026-011-28 APPLICATION #21-0284

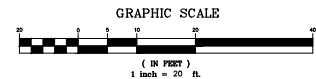
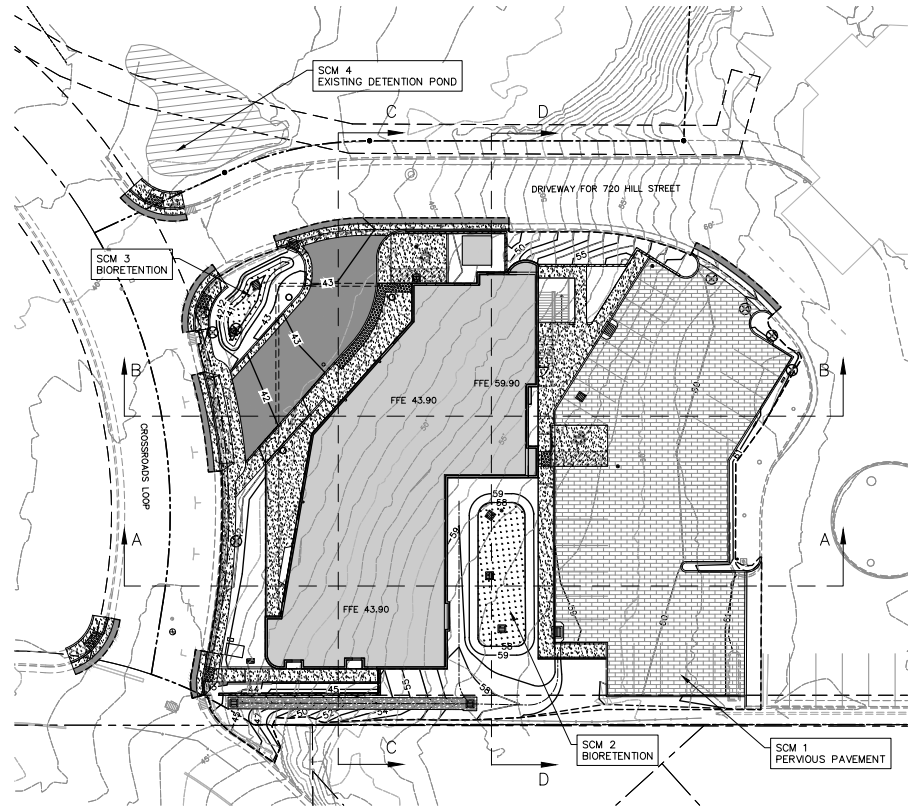
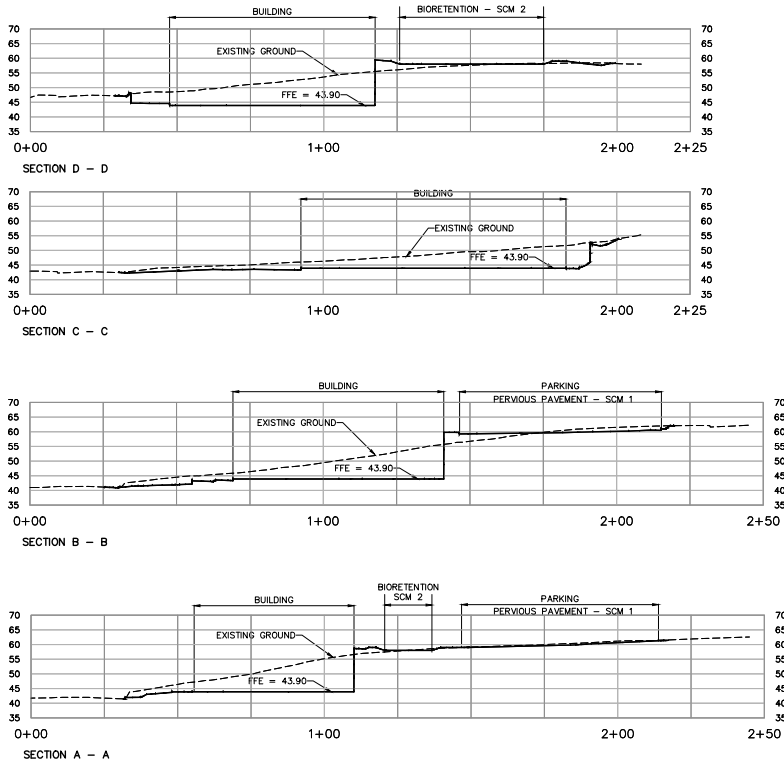
811
 Know what's below.
 Call before you dig.

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
 No. 53588
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS
 3949 RESEARCH PARK COURT, SUITE 100
 SOVELL, CA 95073-2004
 (831) 428-3560

PRELIMINARY FOR DESIGN REVIEW ONLY

REVISIONS			
JULY 1, 2022	RESPONSE TO CITY COMMENTS	APPLICATION #21-0284	
MARCH 23, 2022	RESPONSE TO CITY COMMENTS		
DECEMBER 2, 2021	SECOND PLANNING SUBMITTAL		
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS		PRELIMINARY GRADING PLAN	
3949 RESEARCH PARK COURT, SUITE 100 SOVELL, CA 95073-2004 (831) 428-3560		BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034	SHEET
DATE MARCH 2, 2021	CHECKED	INDEX SOVELL 1	C2.1
DESIGN JFR	DWG NAME	FILE NO. 28034	OF 12

B:\SAP\02-2021-08\2021 08 26\2021 08 26\02-2021-08\2021 08 26\02-2021-08-26.dwg, PLOT DATE: 11/15/2022 10:24:25 AM



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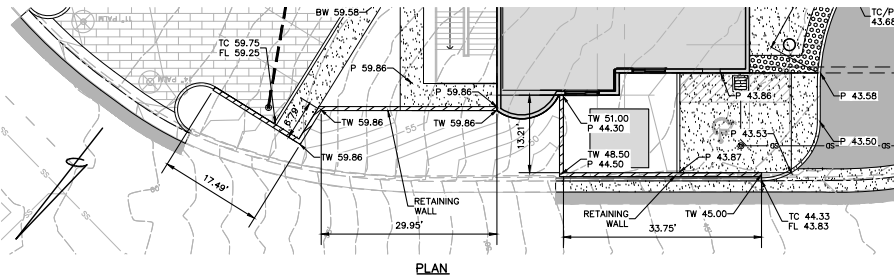


Know what's below.
Call before you dig.

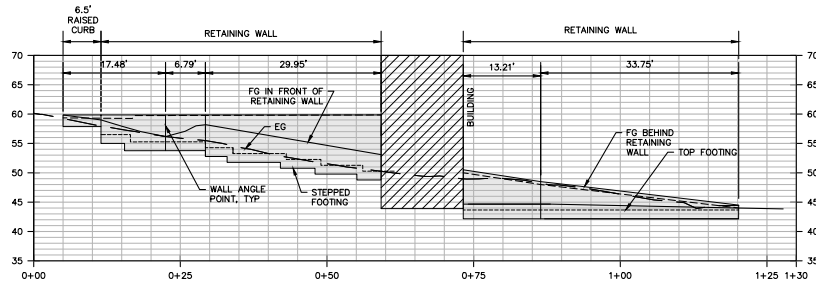


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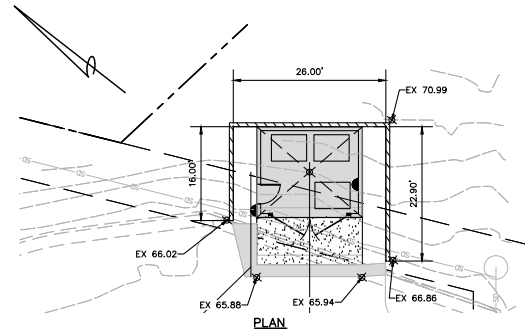
REVISIONS JULY 1, 2022 RESPONSE TO CITY COMMENTS MARCH 23, 2022 RESPONSE TO CITY COMMENTS DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL		APPLICATION #21-0284	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SPOKANE, CA 96073-2084 (831) 428-3560		PRELIMINARY GRADING SECTIONS BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 20' DATE: MARCH 2, 2021 DESIGN: JFR	DRAWN: JFR CHECKED: DWG NAME:	JOB NO.: 28034 INDEX: SCALE 1 FILE NO.: 28034	SHEET C2.2 OF 12



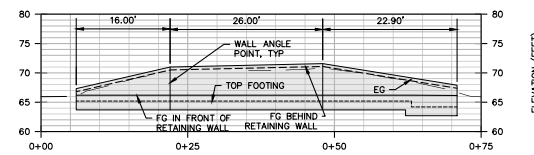
PLAN



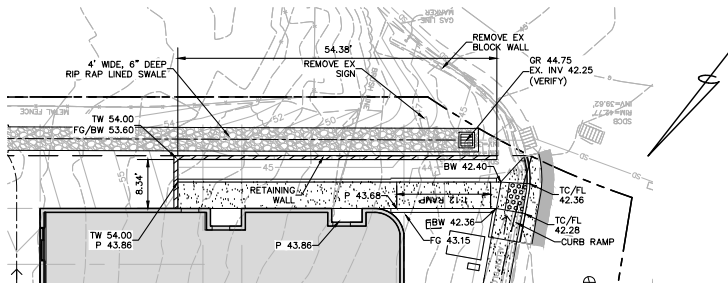
PROFILE
 NORTH RETAINING WALL
 SCALE: 1" = 10' H. & V.'



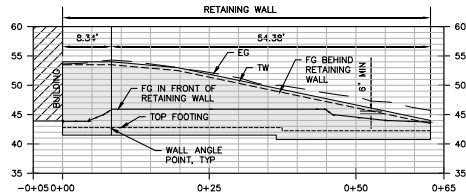
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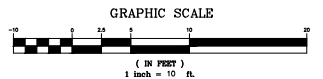
PROFILE
 TRASH ENCLOSURE RETAINING WALL
 SCALE: 1" = 10' H. & V.'



PLAN



PROFILE
 SOUTH RETAINING WALL
 SCALE: 1" = 10' H. & V.'



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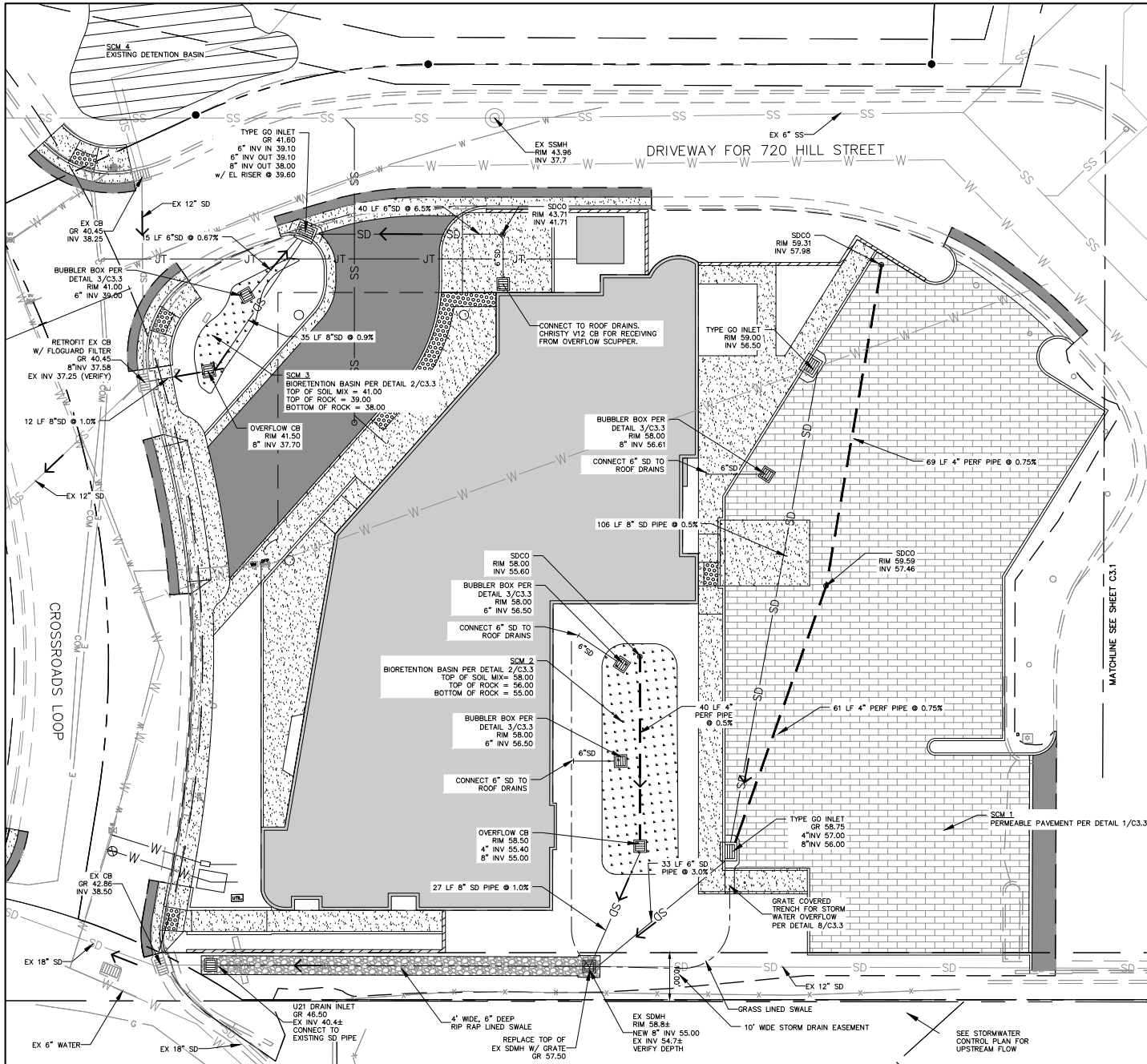
JULY 1, 2022 RESPONSE TO CITY COMMENTS APPLICATION #21-0284
 MARCH 23, 2022 RESPONSE TO CITY COMMENTS
 DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL



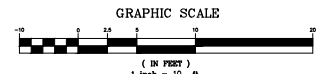
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BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2004 (831) 428-3560		RETAINING WALL PROFILES BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034	SHEET
DATE MARCH 2, 2021	CHECKED	INDEX SOQUEL 1	C2.3
DESIGN JFR	DWG NAME	FILE NO. 28034	OF 13

P:\3\2022\811 - 2021 Hill - Boutique Hotel\DWG\811-2021 Hill - 2021 Hill - 2021 Hill - 2021 Hill - 2021 Hill.dwg, 03.23.2022, 10:25:05 PM, PLOT BY JFR, 2021.03.23.11



← FLOW DIRECTION



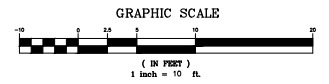
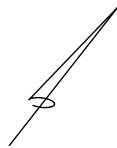
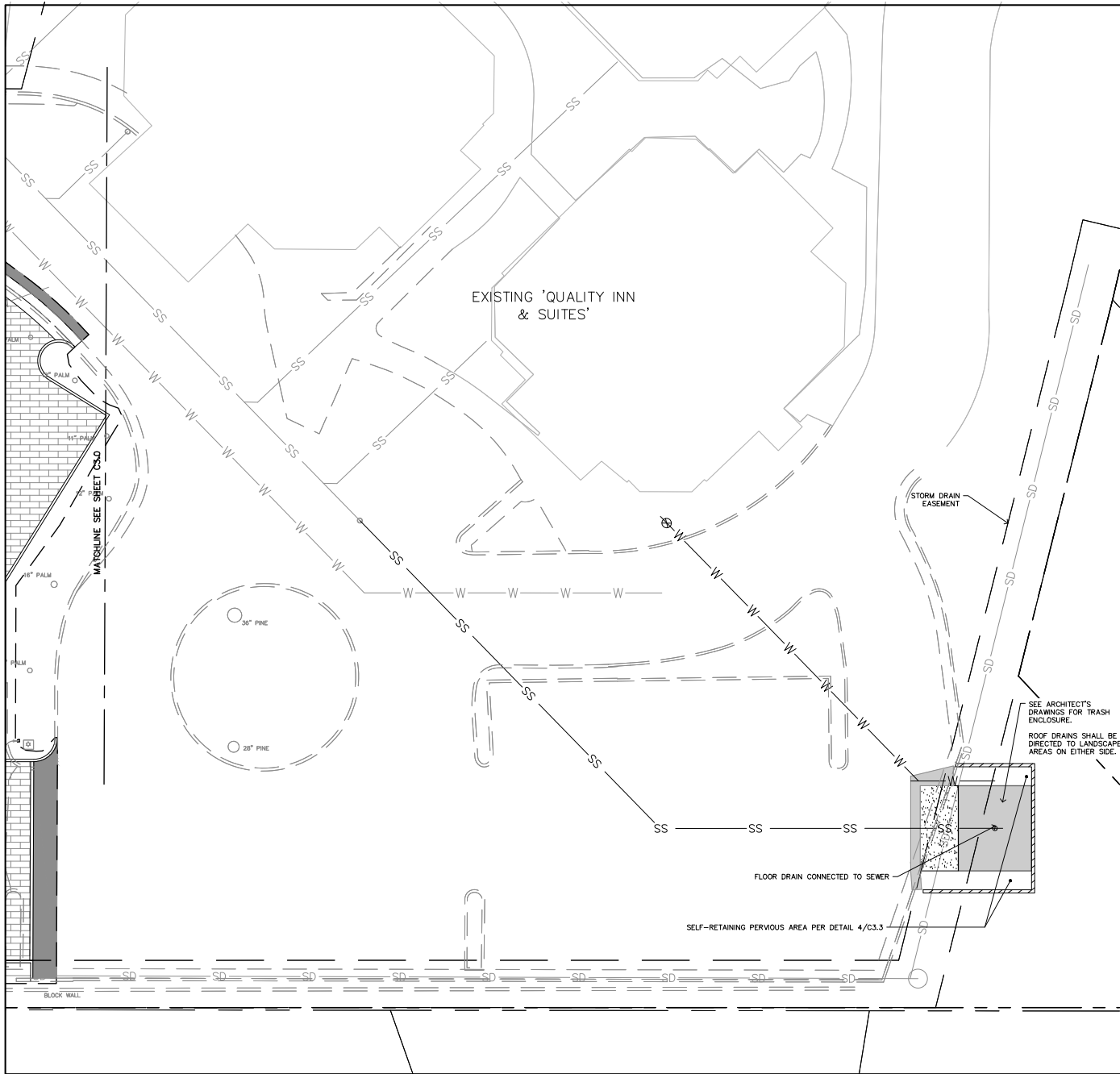
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BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2004 (831) 428-3560		PRELIMINARY DRAINAGE PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA		
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034	SHEET	
DATE MARCH 2, 2021	CHECKED	INDEX SOQUEL 1	C3.0	
DESIGN JFR	DWG NAME	FILE NO. 28034	OF 12	

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS, 3949 RESEARCH PARK COURT, SUITE 100, SOQUEL, CA 95073-2004, (831) 428-3560, WWW.BOWMANANDWILLIAMS.COM



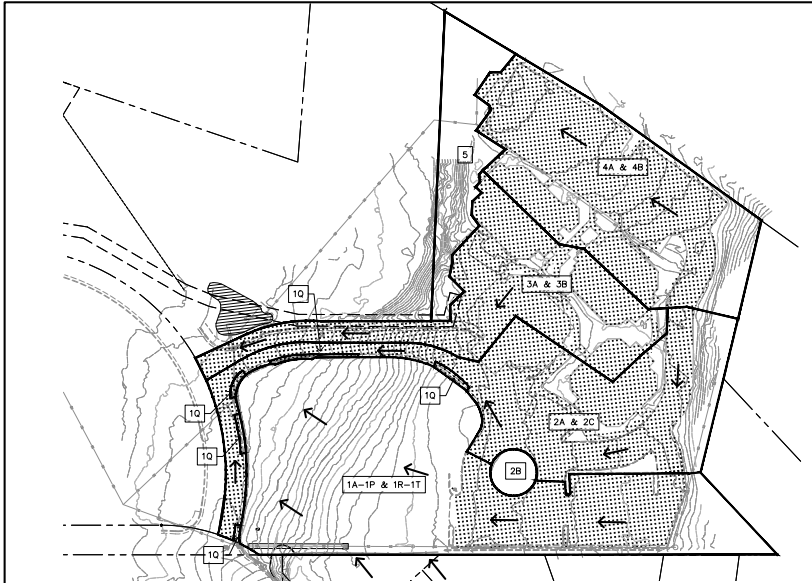
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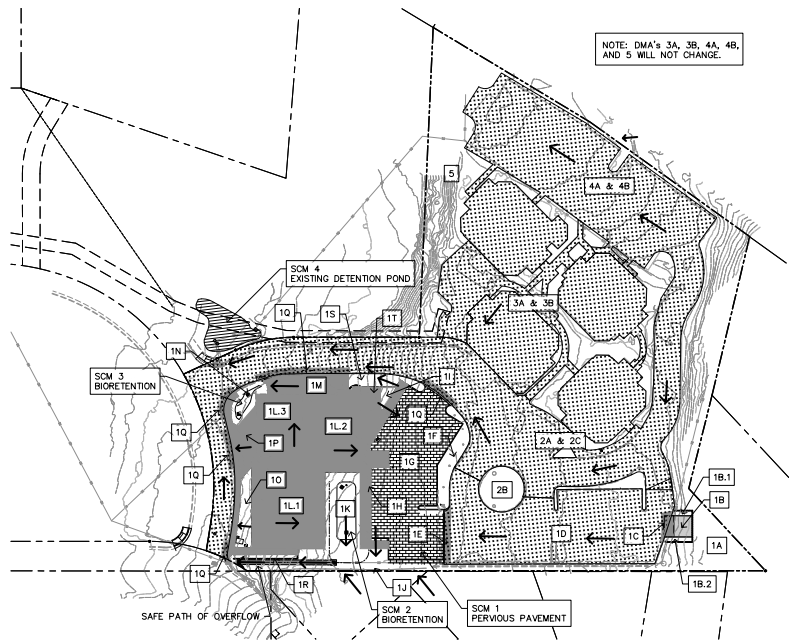
PRELIMINARY
 FOR DESIGN REVIEW ONLY

REVISIONS	JULY 1, 2022 RESPONSE TO CITY COMMENTS		APPLICATION #21-0284
	MARCH 23, 2022 RESPONSE TO CITY COMMENTS		
	DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL		
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SIOUX FALLS, SD 57105-2004 (605) 426-3560		PRELIMINARY DRAINAGE PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034	SHEET
DATE MARCH 2, 2021	CHECKED	INDEX	SOOVEL 1
DESIGN JFR	DWG NAME	FILE NO. 28034	C3.1
			OF 12

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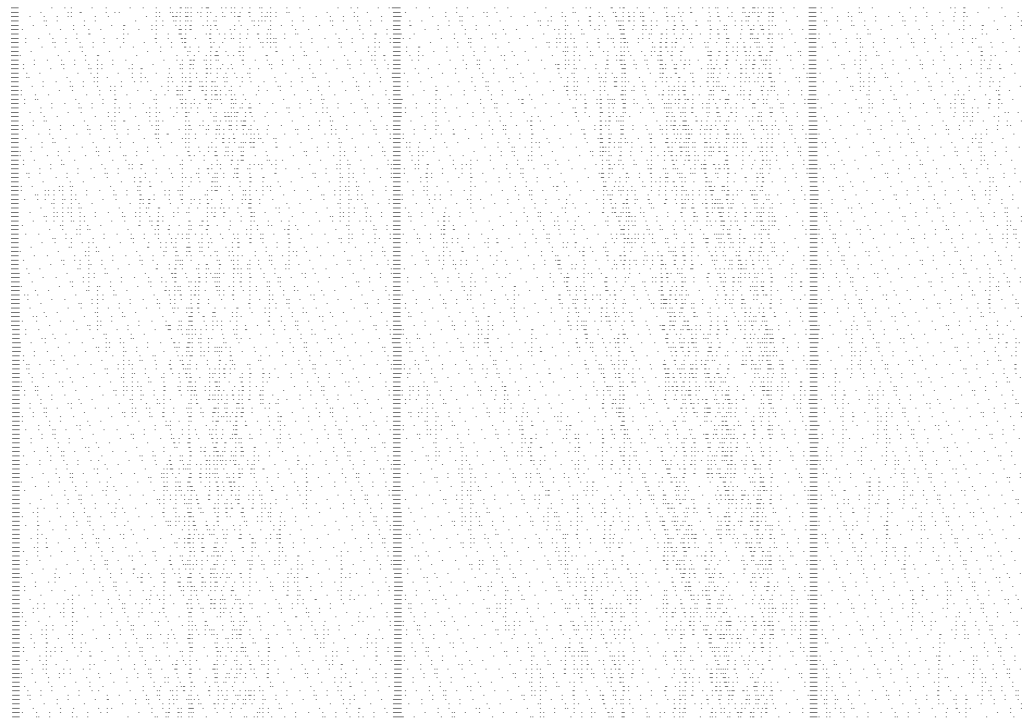


PRE-DEVELOPMENT DMA MAP

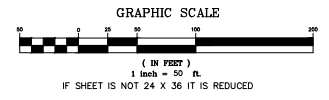


POST DEVELOPMENT DMA MAP

NOTE: DMA's 3A, 3B, 4A, 4B, AND 5 WILL NOT CHANGE.



- LEGEND**
- NEW IMPERVIOUS
 - SEM- IMPERVIOUS
 - REPLACED IMPERVIOUS
 - PERVIOUS
 - FLOW DIRECTION

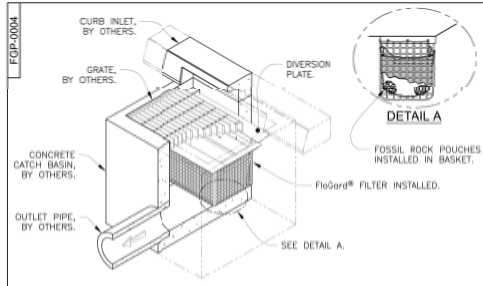


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JULY 1, 2022 RESPONSE TO CITY COMMENTS MARCH 23, 2022 RESPONSE TO CITY COMMENTS DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL	APPLICATION #21-0284
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SPOKANE, WA 99073-2004 (831) 428-3560	PRELIMINARY STORMWATER CONTROL PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA
SCALE 1" = 50' DATE: MARCH 2, 2021 DESIGN: JFR	DRAWN: JFR CHECKED: DWG NAME: JOB NO. 28034 INDEX: SCALE 1 FILE NO. 28034
	SHEET C3.2 OF 12

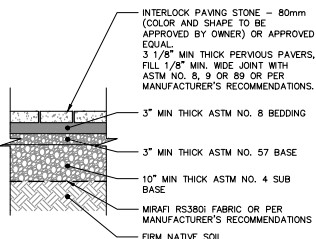
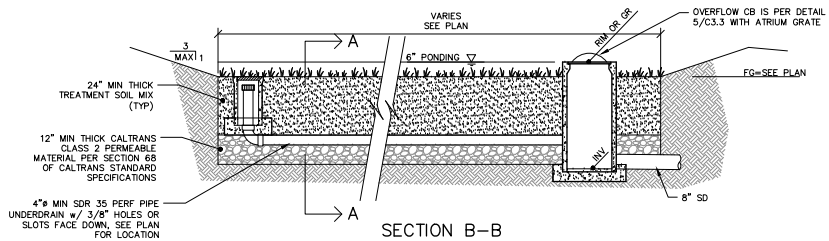


MODEL NO.	STANDARD & SHALLOW DEPTHS			STANDARD DEPTH			MODEL NO.	SHALLOW DEPTH		
	INLET ID (INCH & FRACTION)	GRATE CD (INCH & FRACTION)	TOTAL BYPASS CAPACITY (CU. FT. / 480)	SOLIDS STORAGE CAPACITY (CU. FT.)	FILTERED FLOW (CU. FT. / 480)	SHALLOW DEPTH (INCH)		SOLIDS STORAGE CAPACITY (CU. FT.)	FILTERED FLOW (CU. FT. / 480)	
FGP-163FGO	16 X 33	16 X 36	7.0	2.5	1.7	FGP-163FGO	14	1.1		
FGP-183FGO	18 X 36	18 X 40	8.9	3.3	2.8	FGP-183FGO	13	9		
FGP-223FGO	22 X 34	24 X 36	8.1	3.6	2.1	FGP-223FGO	21	1.4		
FGP-243FGO	24 X 36	24 X 40	8.0	3.4	2.0	FGP-243FGO	1.85	1.15		
FGP-48FGO	48 X 48	20 X 54	6.3	2.2	1.5	FGP-48FGO	1.35	.85		

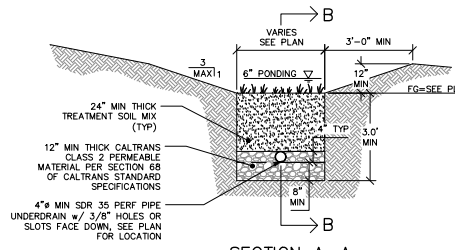
- NOTES:
- Filter insert shall have a high flow bypass feature.
 - Filter support frame shall be constructed from stainless steel Type 304.
 - Filter medium shall be Fossil RockSM, installed and maintained in accordance with manufacturer specifications.
 - Storage capacity reflects 80% or maximum solids collection prior to inspecting filtering bypass.

FloGuard[®]
Catch Basin insert Filter
Combination Inlet Style

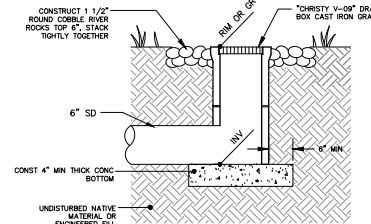
Oldcastle[®]
Stormwater Solutions



- NOTES:
- PERVIOUS PAVERS SHALL BE INTERLOCKING OR APPROVED EQUAL, COLOR AND SHAPE TO BE APPROVED BY OWNER.
 - COMPACT ASTM NO. 57 AND NO. 4 PER MANUFACTURER'S RECOMMENDATIONS.
 - FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS FOR PAVER INSTALLATION.
 - 5% MAX PAVEMENT SURFACE SLOPE



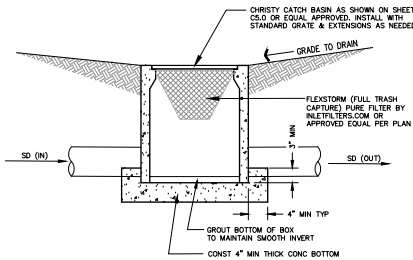
- NOTES:
- BIORETENTION SOIL SHALL BE A WELL-BLENDED MIXTURE OF MINERAL AGGREGATE AND COMPOST MEASURED ON A VOLUME BASIS. A MIXTURE OF SAND (60%-70%) MEETING THE SPECIFICATIONS OF ASTM C-33 AND COMPOST (30%-40%).
 - BIORETENTION SOIL SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR.



1 PERVIOUS PAVER PAVEMENT SECTION
SCALE: 3/4" = 1'-0"

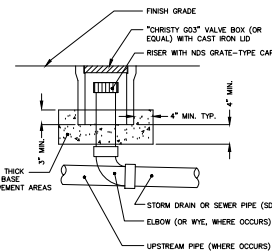
2 LARGE BIORETENTION SECTION IN OPEN SPACE
SCALE: 1/2" = 1'-0"

3 BUBBLER
SCALE: N.T.S.

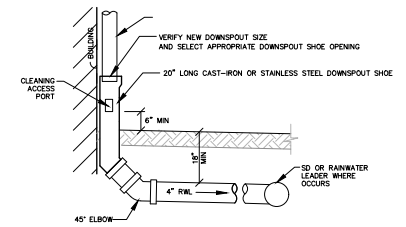


- CONSTRUCTION NOTES:
- MARK ALL ACCESSIBLE ON-SITE INLETS WITH THE STORM DRAIN MARKER "NO DUMPING DRAINS TO BAY".

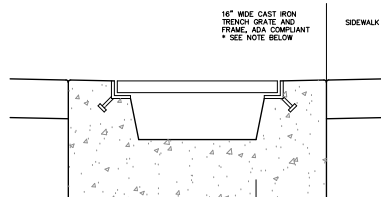
5 TYPICAL CATCH BASIN
SCALE: N.T.S.



6 STORM DRAIN CLEANOUT (SDCO)
SCALE: N.T.S.



7 DOWNSPOUT CONNECTION TO STORM DRAIN
SCALE: N.T.S.



NOTE: OPENINGS IN THE GRATE SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2 INCH DIAMETER, AND THE LONG DIMENSION OF THE GRATE OPENINGS SHALL BE PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

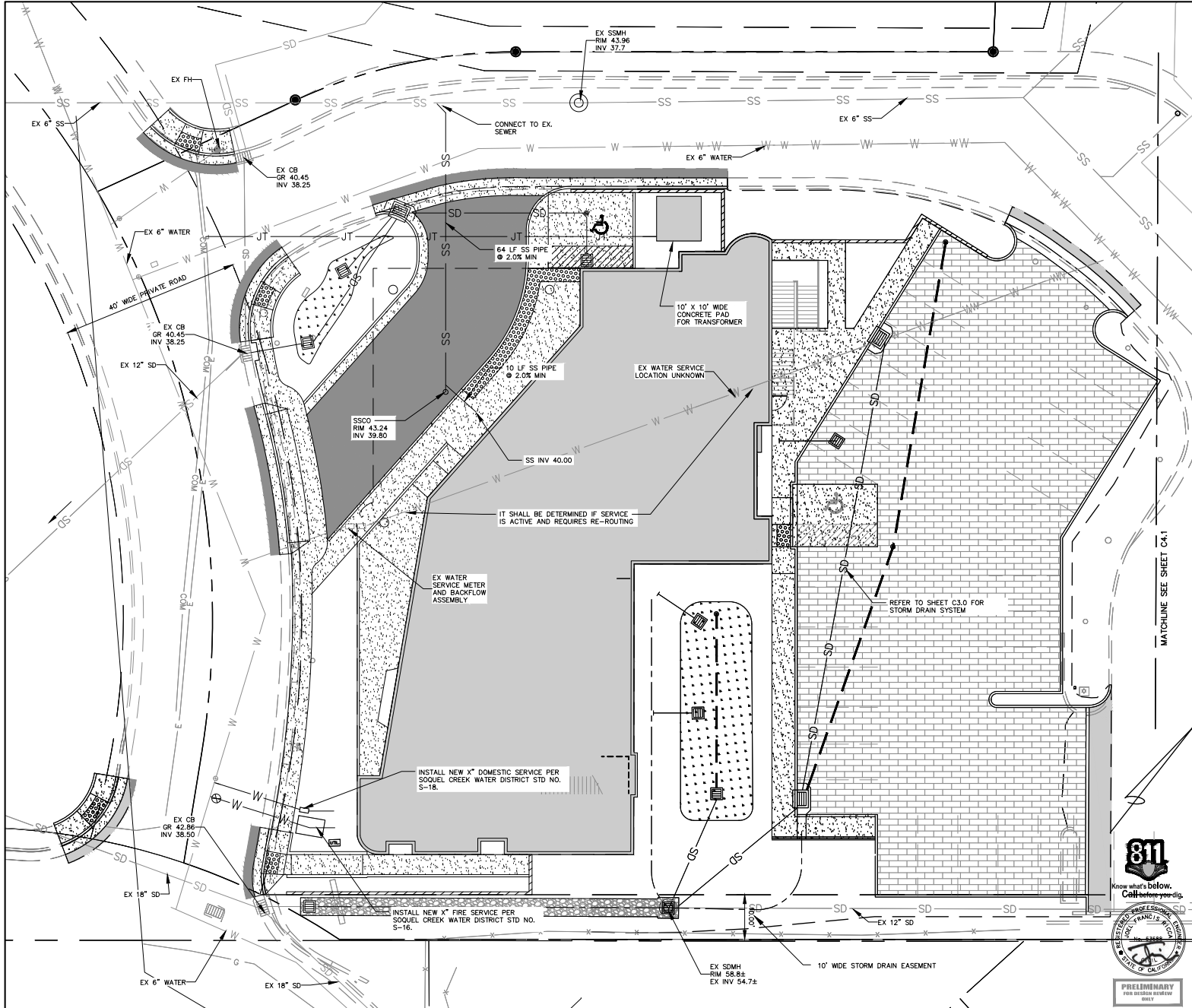
8 TRENCH GRATE
SCALE: 1/2" = 1'-0"

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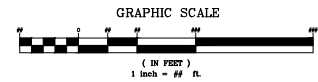


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APPLICATION #21-0284	
REVISED	JULY 1, 2022 RESPONSE TO CITY COMMENTS
REVISIONS	MARCH 23, 2022 RESPONSE TO CITY COMMENTS
	DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SHELVELL, CA 95075-2004 (831) 428-3560	PRELIMINARY DRAINAGE DETAILS BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA
SCALE AS NOTED	DRAWN: JFR
DATE: MARCH 2, 2021	CHECKED: JFR
DESIGN: JFR	DATE: MARCH 2, 2021
JOB NO.: 26034	SHEET NO.: C3.3
INCH SCALE: 1	OF: 13



MATCHLINE SEE SHEET C4.1

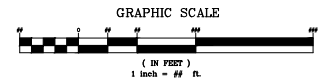
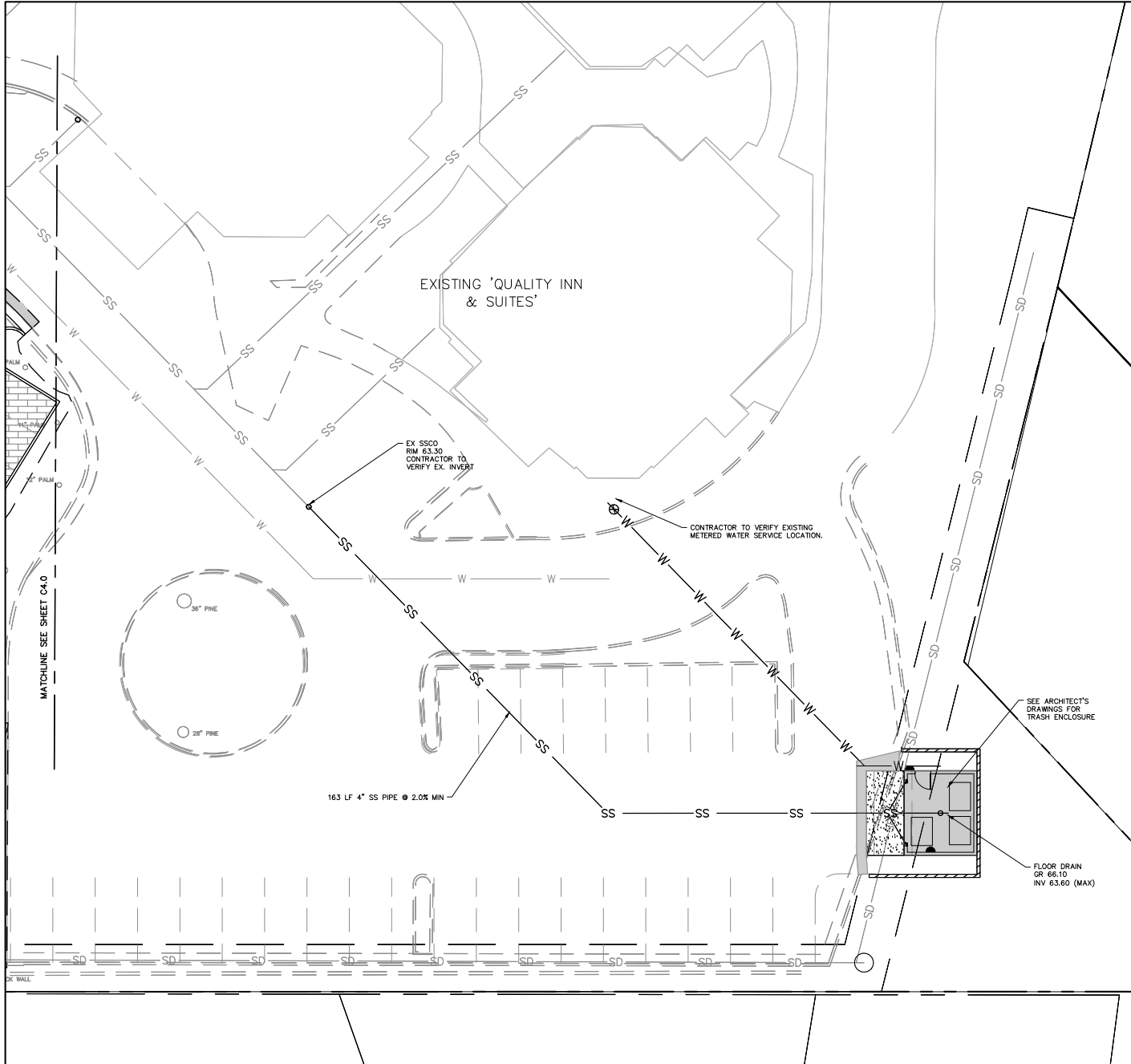


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JULY 1, 2022 RESPONSE TO CITY COMMENTS MARCH 23, 2022 RESPONSE TO CITY COMMENTS DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL		APPLICATION #21-0284	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2004 (831) 428-3560		PRELIMINARY UTILITY PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10' DATE: MARCH 2, 2021 DESIGN: JFR	DRAWN: JFR CHECKED: SOQUEL 1 DWG NAME:	JOB NO. 28034 INDEX: SOQUEL 1 FILE NO. 28034	SHEET C4.0 OF 12

811 CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS, 3949 RESEARCH PARK COURT, SUITE 100, SOQUEL, CA 95073-2004, (831) 428-3560, WWW.811CONSULTING.COM



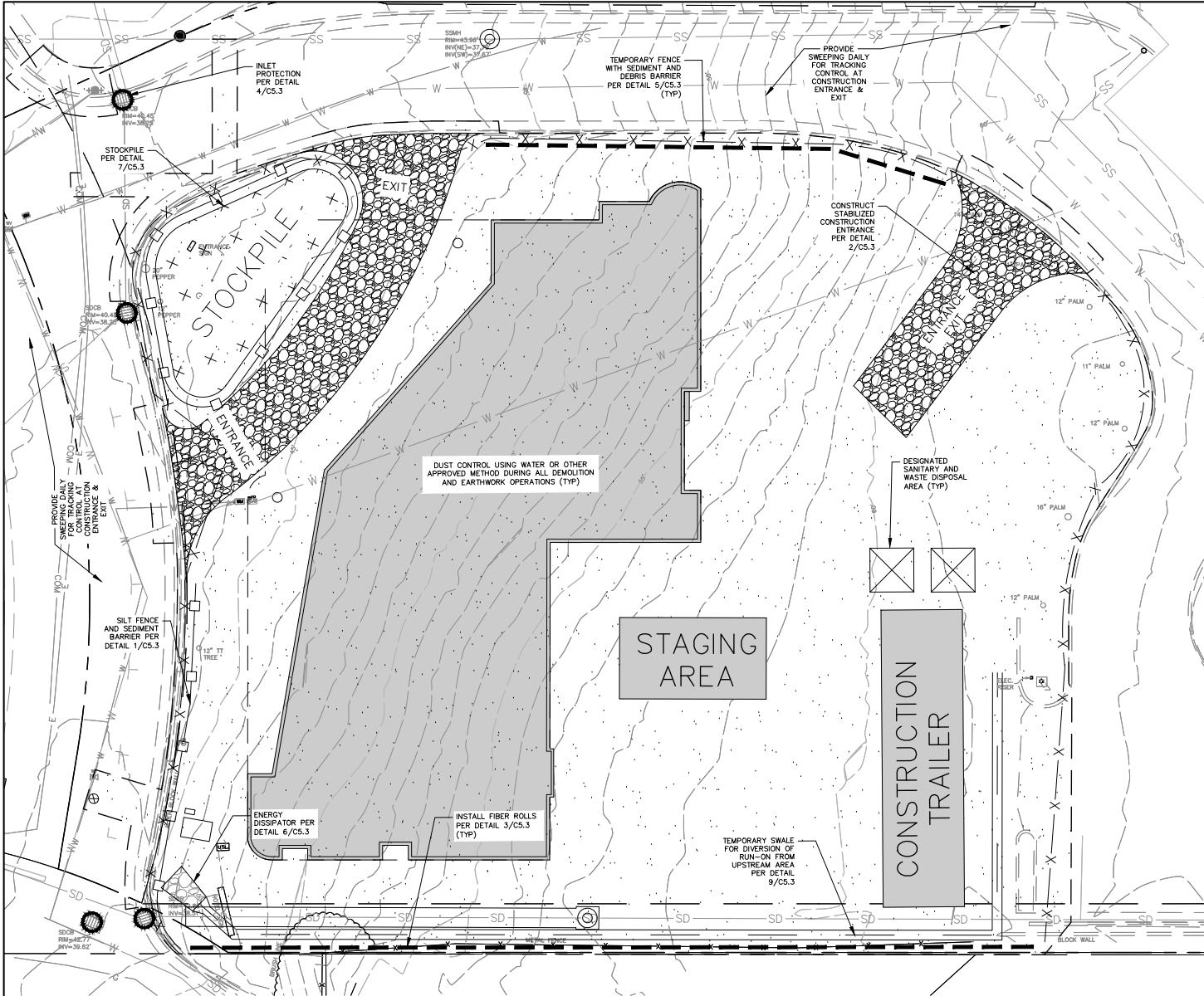
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	JULY 1, 2022 RESPONSE TO CITY COMMENTS	
	MARCH 23, 2022 RESPONSE TO CITY COMMENTS	
	DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SIOUX FALLS, SD 57105-2004 (605) 426-3560	PRELIMINARY UTILITY PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034
DATE MARCH 2, 2021	CHECKED	INDEX S0001.1
DESIGN JFR	DWG NAME	FILE NO. 28034
		SHEET C-4.1 OF 12

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS, 3949 RESEARCH PARK COURT, SUITE 100, SIOUX FALLS, SD 57105-2004, (605) 426-3560, WWW.BOWMANANDWILLIAMS.COM



GRADING PHASE 1: EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 10'

LEGEND

- CONSTRUCTION FENCING
- SILT FENCING
- STRAW WATTLE
- FLOW DIRECTION
- INLET PROTECTION

GRAPHIC SCALE

0 5 10 15 20
 (IN FEET)
 1 inch = 10 ft.

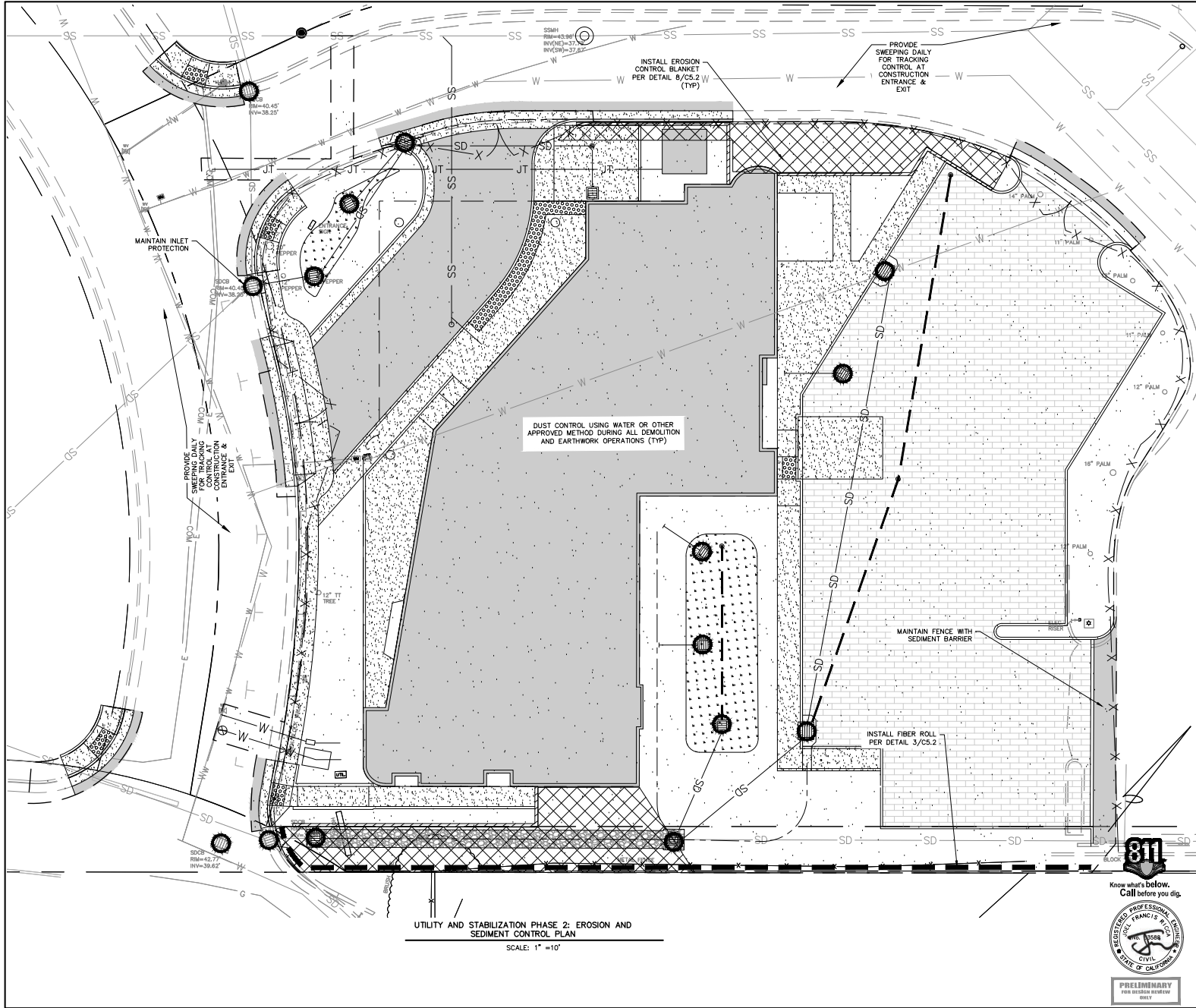
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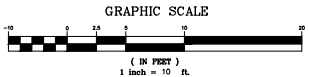
REVISIONS	APPLICATION #21-0284	
	JULY 1, 2022 RESPONSE TO CITY COMMENTS	
	MARCH 23, 2022 RESPONSE TO CITY COMMENTS	
	DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SIOUX FALLS, SD 57105 (605) 426-3560	PRELIMINARY PHASE 1 EROSION AND SEDIMENT CONTROL PLAN BOUTIQUE HOTEL IN CAPITOLA 720 HILL STREET CAPITOLA, CA	
SCALE 1" = 10'	DRAWN JFR	JOB NO. 28034
DATE MARCH 2, 2021	CHECKED	INDEX SOOVEL 1
DESIGN JFR	DWG NAME	FILE NO. 28034
		SHEET C5.0
		OF 12

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS, 3949 RESEARCH PARK COURT, SUITE 100, SIOUX FALLS, SD 57105, (605) 426-3560, WWW.BOWMANWILLIAMS.COM



UTILITY AND STABILIZATION PHASE 2: EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 10'



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Know what's below.
 Call before you dig.

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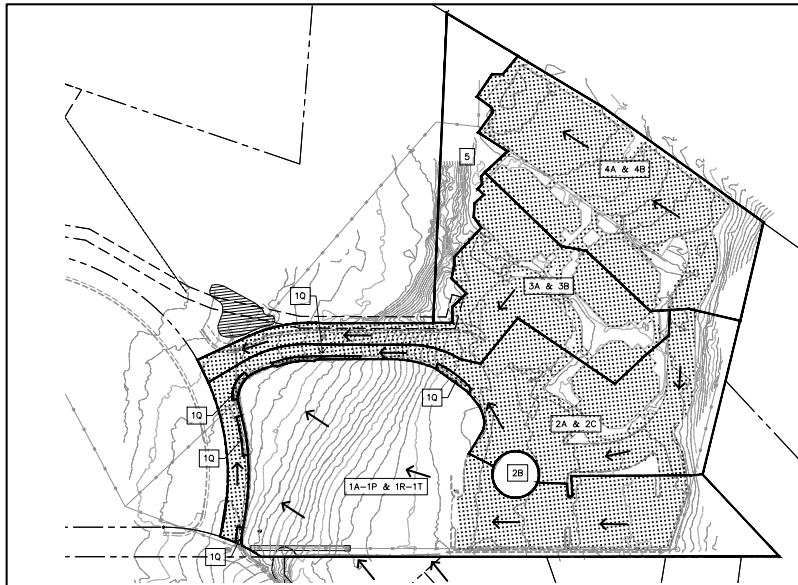
APPROVED
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 MARCH 23, 2022 RESPONSE TO CITY COMMENTS
 DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL

BOWMAN & WILLIAMS
 CONSULTING CIVIL ENGINEERS
 AND LAND SURVEYORS
 3949 RESEARCH PARK COURT, SUITE 100
 SPOKELE, CA 95073-2004
 (831) 428-3560

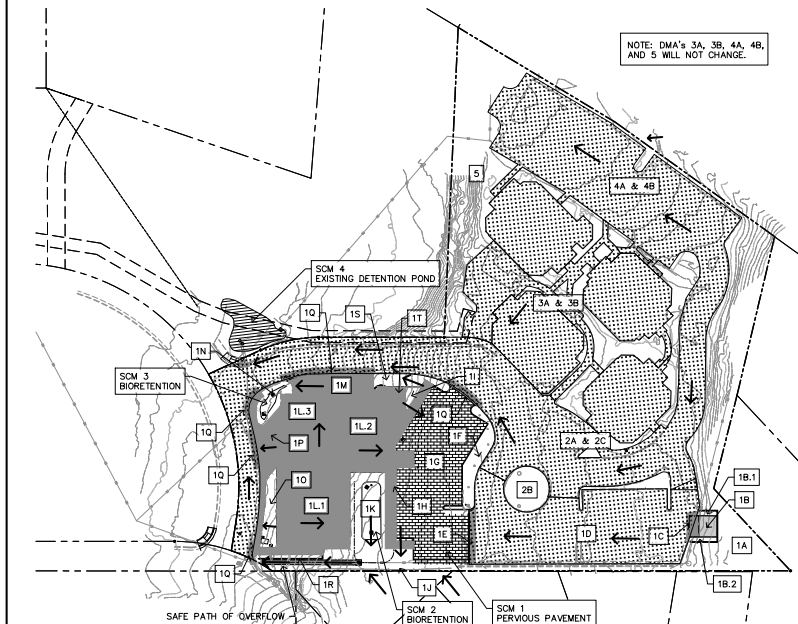
PRELIMINARY PHASE 2 EROSION AND SEDIMENT CONTROL PLAN
 BOUTIQUE HOTEL IN CAPITOLA
 720 HILL STREET
 CAPITOLA, CA

APPLICATION #21-0284

SCALE: 1" = 10'	DRAWN: JFR	JOB NO.: 28034	SHEET
DATE: MARCH 2, 2021	CHECKED:	INDEX: SQUEL 1	C5.1
DESIGN: JFR	DWG NAME:	FILE NO.: 28034	OF 12



PRE-DEVELOPMENT DMA MAP



POST DEVELOPMENT DMA MAP

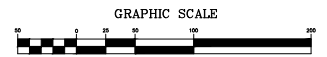
Area Tabulation

DMA #	Total Area (sf)	New Semi-Impervious Area (sf)	Pervious Area (sf)	New Impervious Area (sf)	Replaced Impervious Area (sf)	Existing Impervious surface kept (sf)	Self-treating Area (sf)	Self-retaining Area (sf)	SCM 1 (sf)	SCM 2 (sf)	SCM 3 (sf)	SCM 4 (sf)	Description	TREATMENT
1A	2,977	-	2,977	-	-	-	-	2,977	-	-	-	-	EX LANDSCAPE	SELF-RETAINING
1B	278	-	-	278	-	-	-	-	-	-	-	-	DUMPSTER	DRAINS TO SELF-RETAINING DMA 1B.1 & 1B.2
1B.1	66	-	66	-	-	-	-	66	-	-	-	-	EX LANDSCAPE	SELF-RETAINING
1B.2	92	-	92	-	-	-	-	92	-	-	-	-	EX LANDSCAPE	SELF-RETAINING
1C	124	-	-	-	124	-	-	-	-	124	-	-	REPLACED IMP	DRAINS TO SELF-RETAINING SCM 1
1D	11,214	-	-	-	-	11,214	-	-	-	11,214	-	-	EX IMP	DRAINS TO SELF-RETAINING SCM 1
1E	234	-	-	-	234	-	-	-	-	234	-	-	REPLACED IMP	DRAINS TO SELF-RETAINING SCM 1
1F	1,249	-	1,249	-	-	-	-	1,249	-	-	-	-	EX LANDSCAPE	SELF-RETAINING
1G	8,257	8,257	-	-	-	-	-	8,257	-	-	-	-	PARKING LOT SCM 1	DRAINS TO SELF-RETAINING SCM 1
1H	1,622	-	-	1,622	-	-	-	-	-	1,622	-	-	NEW IMP	DRAINS TO DMA 1H & SELF-TREATING
1I	151	-	151	-	-	-	-	-	-	-	-	-	PERVIOUS	PERVIOUS
1J	3,849	-	3,849	-	-	-	3,849	-	-	-	-	-	PERVIOUS	SELF-TREATING
1K	1,616	-	1,616	-	-	-	-	1,616	-	1,616	-	-	PERVIOUS SCM 2	INCLUDES BIO-RETENTION SCM 2
1L.1	4,765	-	-	4,765	-	-	-	-	-	4,765	-	-	BUILDING	DRAINS TO BIO-RETENTION SCM 2
1L.2	3,237	-	-	3,237	-	-	-	-	-	3,237	-	-	BUILDING	DRAINS TO SELF-RETAINING SCM 1
1L.3	2,114	-	-	2,114	-	-	-	-	-	-	2,114	-	BUILDING	DRAINS TO BIO-RETENTION SCM 3
1M	1,125	-	-	1,125	-	-	-	-	-	-	1,125	-	NEW IMP	DRAINS TO BIO-RETENTION SCM 3
1N	644	-	644	-	-	-	-	644	-	-	644	-	PERVIOUS SCM 3	INCLUDES BIO-RETENTION SCM 3
1O	741	-	741	-	-	-	-	-	-	-	-	-	PERVIOUS	SELF-RETAINING & DRAINS TO DMA 1P
1P	1,713	-	-	1,713	-	-	-	-	-	-	-	-	NEW IMP	DRAINS TO SREET AND TREATED BY CATCH
1Q	1,073	-	-	1,073	-	-	-	-	-	-	-	-	REPLACED IMP	DRAINS TO SREET AND TREATED BY CATCH
1R	233	-	233	-	-	-	-	233	-	-	-	-	PERVIOUS	DRAINS TO DMA 1P & SELF-RETAINING
1S	629	-	629	-	-	-	-	-	-	629	-	-	PERVIOUS	DRAINS TO DMA 2A & SELF-RETAINING
1T	283	-	-	283	-	-	-	-	-	-	-	-	NEW IMP	DRAINS TO SELF-RETAINING DMA 1I
	48,286	8,257	12,247	15,137	1,431	11,214	3,849	16,938	16,431	6,381	3,883	-		
2A	21,428	-	-	-	-	21,428	-	-	-	-	-	-	EX IMPERVIOUS	WILL BE TREATED BY CATCH BASIN FILTER
2B	1,161	-	1,161	-	-	-	-	1,161	-	-	-	-	EX PERVIOUS	DRAINS TO DMA 2A & SELF-RETAINING
2C	6,285	-	6,285	-	-	-	-	6,285	-	-	-	-	EX PERVIOUS	DRAINS TO DMA 2A & SELF-RETAINING
	28,874	-	7,446	-	-	21,428	-	7,446	-	-	-	-		
3A	17,767	-	-	-	-	17,767	-	-	-	-	-	-	EX IMPERVIOUS	DRAINS TO EXISTING CURB INLET
3B	2,799	-	2,799	-	-	-	-	2,799	-	-	-	-	EX PERVIOUS	DRAINS TO DMA 3A & SELF-RETAINING
	20,566	-	2,799	-	-	17,767	-	2,799	-	-	-	-		
4A	21,564	-	-	-	-	21,564	-	-	-	-	-	21,564	EX IMPERVIOUS	DRAINS TO EXISTING CURB INLET
4B	6,416	-	6,416	-	-	-	-	6,416	-	-	-	-	EX PERVIOUS	DRAINS TO DMA 4A AND SELF-RETAINING
	27,980	-	6,416	-	-	21,564	-	6,416	-	-	-	-		
5	8,861	-	8,861	-	-	-	8,861	-	-	-	-	-	EX PERVIOUS	SELF-TREATING
TOTAL	134,567	8,257	37,769	15,137	1,431	71,973	12,710	33,599	16,431	6,381	3,883	21,564		

New and Replaced Impervious Surfaces 16,568
Total Impervious Surfaces 88,541

LEGEND

- NEW IMPERVIOUS
- SEM- IMPERVIOUS
- REPLACED IMPERVIOUS
- PERVIOUS
- FLOW DIRECTION



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APPLICATION #21-0284

JULY 1, 2022 RESPONSE TO CITY COMMENTS
MARCH 23, 2022 RESPONSE TO CITY COMMENTS
DECEMBER 2, 2021 SECOND PLANNING SUBMITTAL

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SIOUX FALLS, SD 57103-2004
(605) 428-3560

PRELIMINARY STORMWATER CONTROL PLAN
BOUTIQUE HOTEL IN CAPITOLA
720 HILL STREET
CAPITOLA, CA

SCALE 1" = 50'
DATE: MARCH 2, 2021
DESIGN: JFR

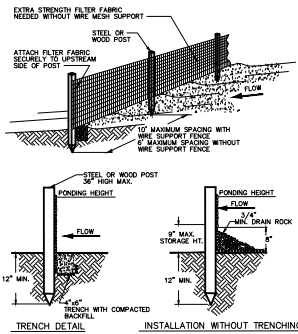
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DWO NAME:

JOB NO. 28034
INDEX: SCALE 1
FILE NO. 28034

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OF 12

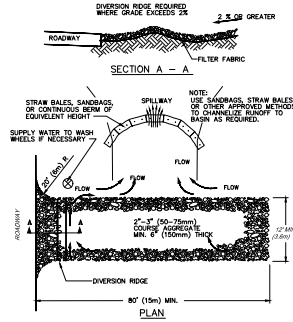


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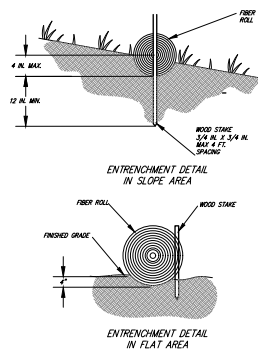
- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE FLOWING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH RAIN EVENT AND REMOVE SEDIMENT WHEN NECESSARY TO MAINTAIN RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

1 **SILT FENCE SEDIMENT BARRIER**
SCALE: NTS

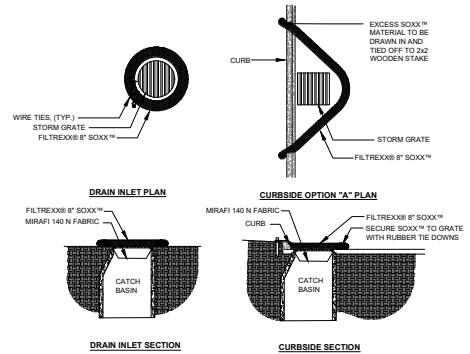


- NOTES:
- PROPERLY GRADE ENTRANCE TO PREVENT RUNOFF FROM CONSTRUCTION SITE. ENTRANCE ELEVATION SHOULD BE LOWER THAN STREET.
 - INSPECT ROUTINELY FOR DAMAGE AND REPAIR AS NEEDED.
 - REMOVE MAT ALL EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS UNTIL THE STABILIZED CONSTRUCTION ENTRANCE.
 - REMOVE SEDIMENT TRAPPING DEVICES ROUTINELY.
 - INSTALL FILTER FABRIC REPAIRS AS APPROPRIATE.

2 **CONSTRUCTION ENTRANCE**
SCALE: NTS

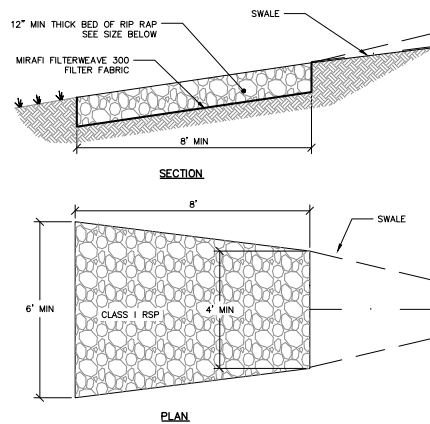


3 **FIBER ROLL**
SCALE: NTS

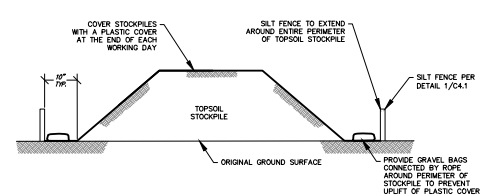


- NOTES:
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPersed ON SITE, AS DETERMINED BY ENGINEER.

4 **FILTREXX INLET PROTECTION**
SCALE: NTS

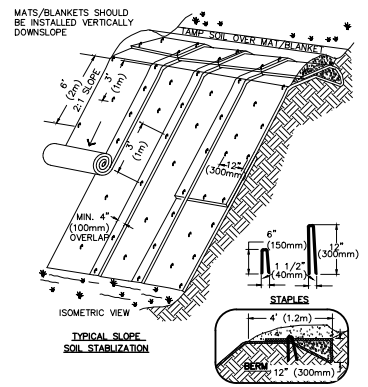


6 **ENERGY DISSIPATOR FOR SWALE**
SCALE: 1/2" = 1' - 0"



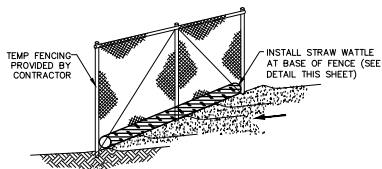
- NOTES:
- AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFFSITE PROPERTY.
 - REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
 - INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF "X". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
 - SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE CITY.

7 **STOCKPILE DETAIL**
SCALE: NTS

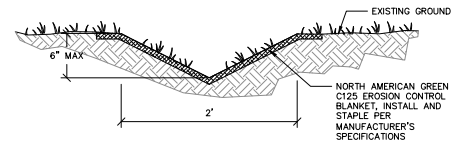


- NOTES:
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLDS, STICKS AND GRASS. MATS/BLANKETS SHALL
 - APPLY PERMANENT SEEDING HAVE GOOD SOIL CONTACT. BEFORE PLACING BLANKETS.
 - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

8 **EROSION CONTROL BLANKETS**
SCALE: N.T.S.



5 **TEMPORARY FENCE WITH SEDIMENT AND DEBRIS BARRIER**
SCALE: NTS



9 **TEMPORARY GRASS LINED SWALE**
SCALE: 1 1/2" = 1' - 0"



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PRELIMINARY EROSION AND SEDIMENT CONTROL DETAILS
BOUTIQUE HOTEL IN CAPITOLA
720 HILL STREET
CAPITOLA, CA

SCALE: 1" = 10'
DATE: MARCH 2, 2021
DESIGN: JFR

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CHECKED: [Blank]
DWG NAME: [Blank]

JOB NO.: 28034
SHEET: SOG001.1
FILE NO.: 28034

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