

12/20/24	11-01-02	
REVISIONS	BY	
00/00		SH

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A.P.N.
034-032-19
Site Plan

KATHLEEN & JOSH SCHELHORSE
1550 45TH
CAPITOLA CA 95010
415-680-0809

DATE: 8-22-2024
SCALE: AS NOTED

SHEET
SP

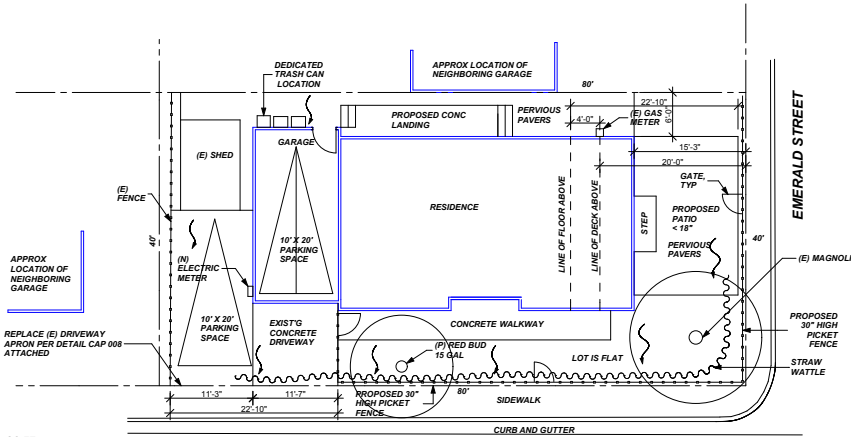
THIS PROJECT IS THE REMODEL OF AN EXISTING THREE BEDROOM ONE BATH RESIDENCE AND THE ADDITION OF A SECOND STORY RESULTING IN A THREE BEDROOM, TWO AND ONE HALF BATH WITH AN UPPER STORY DECK AND A JR ADU.

R-3, TYPE VB SPRINKLED

THE FOLLOWING CODES ARE IN EFFECT FOR THIS PROJECT:
2022 CBC, 2022 RBC, 2022 CPG, 2022 CGBC, 2022 CPC, 2022 CMC 2022 CEC, AND 2022 CALIFORNIA ENERGY CODE.

PROJECT DATA:

A.P.N. 034-032-19	
ZONING R-1	
LOT SIZE	3200 SQ FT
NO GRADING	
LOT COVERAGE	35%
EXIST'G RESIDENCE	897 SQ FT
PROPOSED MAIN LEVEL	587 SQ FT
PROPOSED JR ADU	362 SQ FT
PROPOSED UPPER LEVEL	954 SQ FT (1002-48) (LESS STAIRS COUNTED ONCE BELOW)
PROPOSED UPPER DECK	93 SQ FT (BELOW 150 - DO NOT COUNT)
EXISTING GARAGE	280 SQ FT
EXIST'G SHED	100 SQ FT
LOT COVERAGE	1319/3200 = 41%
FAR (WITHOUT JR ADU)	1821/3200 = .56.9%



IMPERVIOUS AREA CALCS:

EXIST'G IMPERVIOUS AREA:	1957 SQ FT
PROPOSED IMPERVIOUS AREA:	1957 SQ FT

PERVIOUS AREA CALCS:

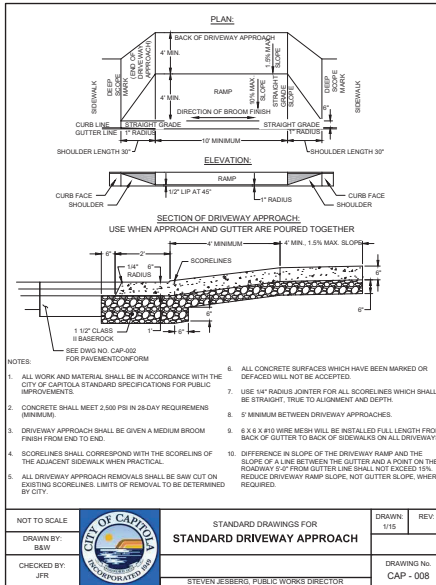
EXIST'G PERVIOUS AREA:	957 SQ FT
PROPOSED PERVIOUS AREA:	1263 SQ FT

NOTE: NO NEW LANDSCAPING EXISTING CONDITIONS TO REMAIN. HOMEOWNER WILL DIG UP AND POT ALL BUSHES AND SHRUBS AND REPLANT AT END OF CONSTRUCTION.

SITE PLAN
1/8" = 1'-0"

EROSION CONTROL

- CONTRACTOR TO BE RESPONSIBLE FOR EROSION CONTROL INSTALLATION AND MAINTENANCE DURING COURSE OF CONSTRUCTION.
- PRIOR TO CONSTRUCTION TEMPORARY STRAW COILS SHALL BE PLACED AS INDICATED ON PLANS.
- NO GRADING MAY TAKE PLACE BETWEEN OCT 15 AND APRIL 15 WITHOUT A WINTER GRADING PERMIT.
- EROSION CONTROL MEASURES SHALL BE IN PLACE BETWEEN OCTOBER 15 AND APRIL 15, OR FORCASTED RAIN.
- SOILS TRACKED ON ADJACENT STREETS SHALL BE CLEANED UP AT THE END OF EACH WORK DAY.
- STOCKPILE DISTURBED TOPSOIL AND REDISTRIBUTE AROUND THE FINISHED SITE ON DISTURBED AREAS AS SEED BASE.
- INACTIVE SOIL STOCKPILES SHALL BE COVERED. ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORCASTED RAIN EVENT.
- DISTURB ONLY THOSE AREAS UNDER CONSTRUCTION. DO NOT LEAVE SOIL UNPROTECTED DURING HEAVY RAIN
- ALL DISTURBED SOIL TO BE REVEGETATED AS PER COUNTY OF SANTA CRUZ, ANNUAL WINTER BARLEY, 2" STRAW MULCH, 1 1/2 LB/1000 SQ. FT.). STRAW MULCH, 2-3 BAIS/1000 SQ. FT. FERTILIZER: 16-20-0, 21 LB/1000 SQ. FT. OR EQUIVALENT. BETWEEN OCT. 15 & APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY LANDSCAPED W/ VARIOUS PERMANENT NATIVE & DROUGHT TOLERANT SHRUBS/TREES.
- THE EROSION CONTROL PLAN SHALL BE RE-EVALUATED AND ADJUSTED ACCORDINGLY AS THE SITE CHANGES AND AFTER RAIN EVENTS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHTOUT THE RAINY SEASON.
- EROSION CONTROL BLANKETS ON ALL FILL SLOPES



SHEET INDEX

- SP SITE PLAN
- A.1 ELEVATIONS
- A.2 PROPOSED FLOOR PLANS
- A.3 EXISTING FLOOR PLAN, ROOF PLAN

DRAINAGE NOTES:

GUTTERS WILL BE USED ALONG ALL ROOF EAVES. ALL RUNOFF FROM PROP ROOF AREA TO BE COLLECTED W/ G.I. GUTTERS AND DOWNSPOUTS AND DISPERSED TO SPLASHBLOCKS TO EXISTING LANDSCAPING. COLLECTED RUNOFF SHOULD BE DISCHARGED AT LEAST 10 FEET FROM FOUNDATIONS AND PAVEMENTS. COLLECTED RUNOFF MAY BE DISPERSED ON SITE AS LONG AS CONCENTRATED RUNOFF IS NOT ALLOWED TO FLOW OR POND ADJACENT TO FOUNDATIONS. WHERE THE GROUND CANNOT BE SLOPED THE FULL 10 FOOT WIDTH AWAY FROM THE STRUCTURE, SWALES SHOULD BE SLOPED AT LEAST 2% TOWARDS THE DISCHARGE POINT.

SOIL RUNOFF DURING CONSTRUCTION SHALL BE PREVENTED BY THE USE OF COIL ROLLS ALONG PROPERTY EDGES.

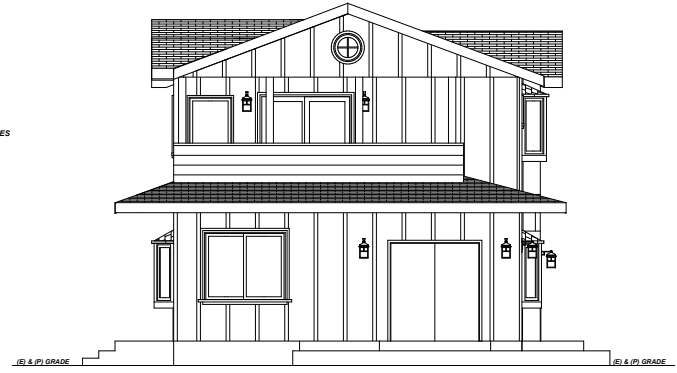
NOTE:

ALL OUTDOOR LIGHTING SHALL COMPLY WITH ALL RELEVANT STANDARDS PURSUANT TO CAPITOLA MUNICIPAL CODE (CMC) SECTION 17.96.110, INCLUDING THAT ALL OUTDOOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD SUCH THAT THE LIGHTING IS NOT DIRECTLY VISIBLE FROM THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES. THE PROJECT WILL BE CONDITIONED SUCH THAT IT MUST COMPLY WITH CAPITOLA'S LIGHT TRESPASS REQUIREMENTS.



WEST ELEVATION
1/4" = 1'-0"

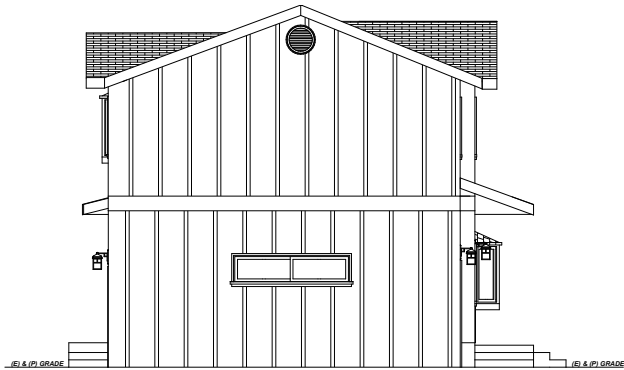
FINISH MATERIALS:
BODY: BOARD AND BATTEN
TRIM: 1X WOOD TRIM
ROOF: ARCHITECTURAL DIMENSIONAL SHINGLES



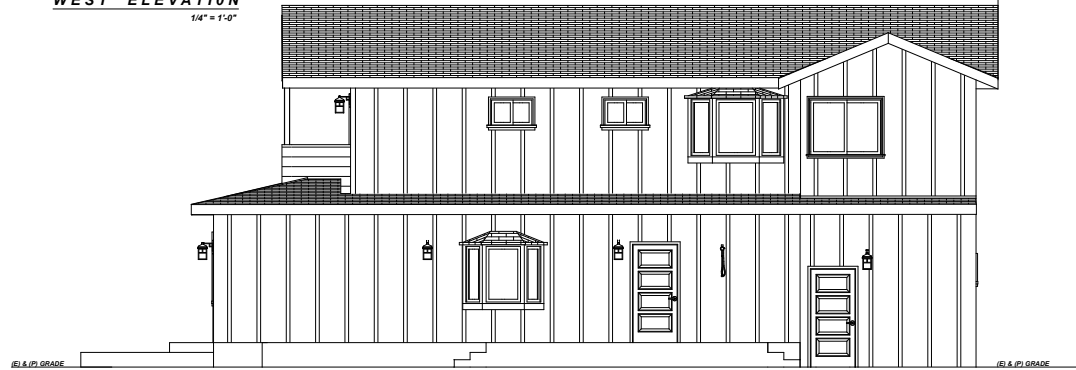
SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

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00/00	SH

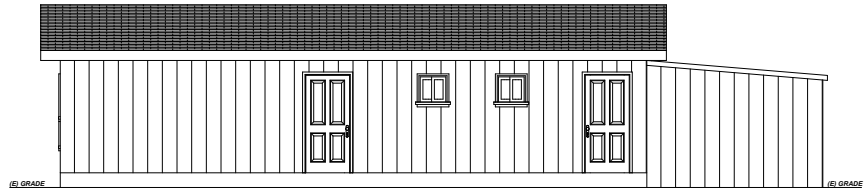
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 Elevations

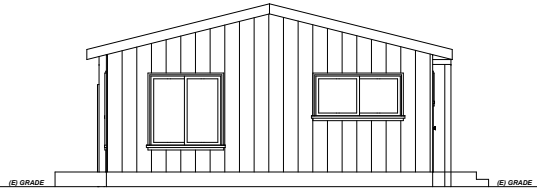
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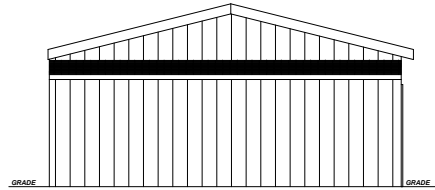
SHEET
A.1



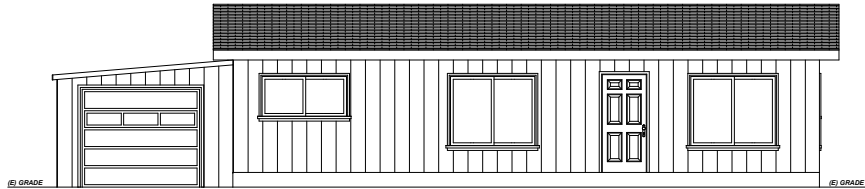
EXISTING EAST ELEVATION
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"



EXISTING NORTH ELEVATION
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"

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12/9/2024 11:25 AM
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 Existing Elevations

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SHEET
A.2



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00/00	SH

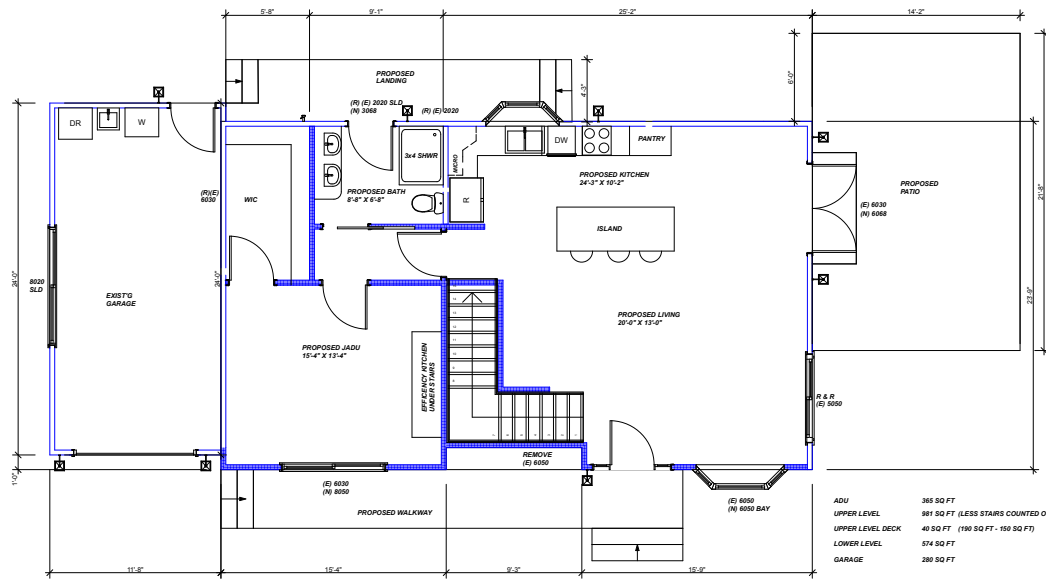
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A.P.N.
 034-032-19
 Elevations A

KATHLEEN & JOSH SCHELHORSE
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 415-680-0809

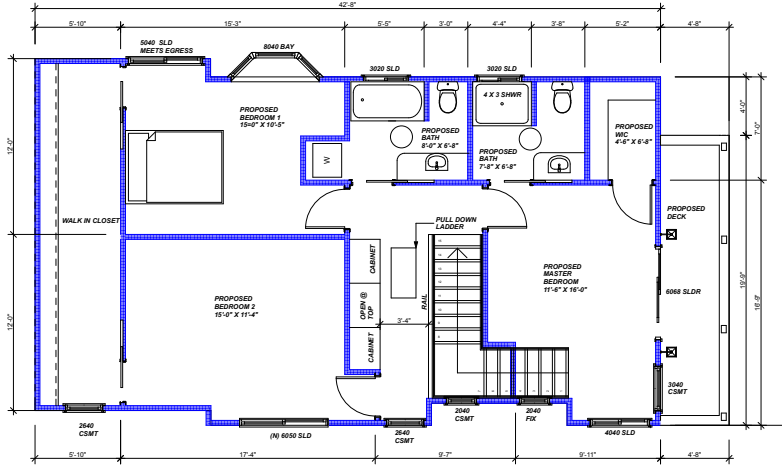
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SHEET
3



ADU	365 SQ FT
UPPER LEVEL	961 SQ FT (LESS STAIRS COUNTED ONCE BELOW)
UPPER LEVEL DECK	40 SQ FT (190 SQ FT - 150 SQ FT)
LOWER LEVEL	574 SQ FT
GARAGE	280 SQ FT

PROPOSED MAIN FLOOR PLAN
 1/4" = 1'-0"



PROPOSED UPPER LEVEL FLOOR PLAN
 1/4" = 1'-0"

12/2/2024	11:27 AM
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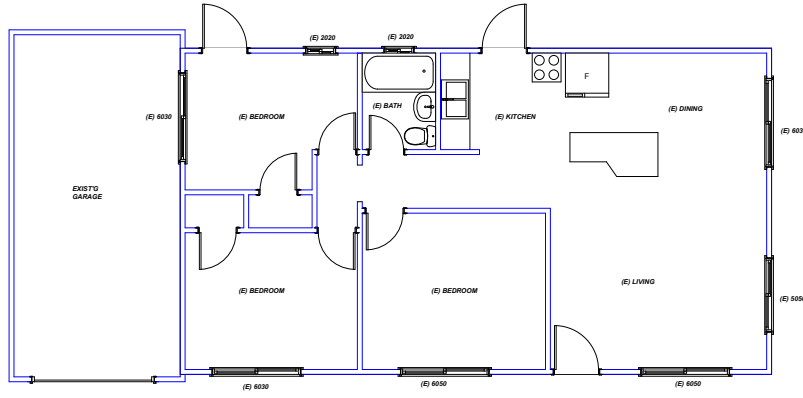
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 Proposed Floor Plans

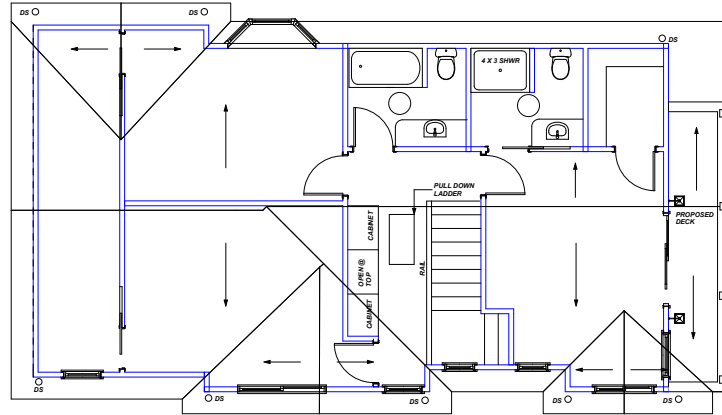
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SHEET
A.3



EXIST'G FLOOR PLAN
1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"

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12/9/2024 11:27 AM
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A.P.N.
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 Existing Floor Plan, Roof Framing Plan

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SHEET
A.4