

# HADDEN RESIDENCE

## NOTES

### DEFERRED SUBMITTALS:

- PHOTOVOLTAIC SYSTEM TO BE SUBMITTED SEPARATELY AS A DEFERRED SUBMITTAL.
  - ENGINEERING FOR SKYLIGHTS TO BE SUBMITTED SEPARATELY AS A DEFERRED SUBMITTAL.
  - FIRE SPRINKLER DESIGN AND DOCUMENTATION TO SUBMITTED UNDER SEPARATE COVER.
- \*DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS MUST BE REVIEWED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE WHO WILL FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THEY HAVE BEEN REVIEWED AND ARE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.
- THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. ADDITIONAL PLAN REVIEW & PROCESSING FEES WILL BE CHARGED FOR ANY DEFERRED SUBMITTAL.

### CENTRAL FIRE NOTES:

BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS AND CUT SHEETS FOR THE UNDERGROUND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO THE AGENCY OF REFERENCE FOR APPROVAL. INSTALLATION SHALL FOLLOW OUR GUIDE SHEET BUT SHEETS SHALL INCLUDE, BUT NOT LIMITED TO PIPING, VALVES, GAUGES, & SPRINKLER HEADS.

AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY UNDERGROUND PLAN SUBMITTAL AND PERMIT WILL BE ISSUED TO A CLASS C-16 OR C-18 CONTRACTOR OR BY AN OWNER/BUILDER OF AN OWNER-OCCUPIED SINGLE-FAMILY DWELLING.

ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARD FPO-002 & SHALL REQUIRE PLAN SUBMITTAL & PERMIT APPROVAL PRIOR TO INSTALLATION.

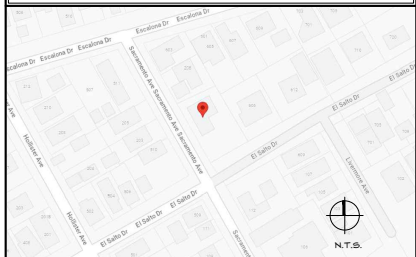
JOB COPIES OF BUILDING & FIRE SYSTEMS PLANS & PERMITS MUST BE ON-SITE DURING INSPECTIONS.

### ALL WORK TO COMPLY WITH:

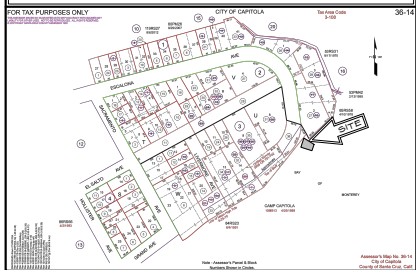
GEOTECHNICAL REPORT  
DEES & ASSOCIATES, INC.  
PROJECT NO. SCR-1655  
DATED JULY 2021



## VICINITY MAP



## PARCEL MAP



## PROJECT DATA

SETBACKS		REQUIRED	EXISTING	PROPOSED
FRONT YARD	GARAGE	20'-0"	20'-0"	20'-0"
	1st STORY	20'-0"	42'-6"	42'-6"
REAR YARD	2nd STORY	20'-0"	42'-6"	42'-6"
	1st STORY	6'-5"	17'-1"	12'-0"
SIDE YARD	2nd STORY	6'-5"	19'-0"	11'-7"
	1st STORY	7'-6"(L) 41'-0"(R)	7'-3"(L) 41'-0"(R)	10'-1"(L) 41'-0"(R)
HEIGHT	2nd STORY	11'-4"(L) 41'-0"(R)	13'-4"(L) 41'-0"(R)	16'-4"(L) 41'-0"(R)
	HEIGHT	25'-0"	24'-4"	24'-10"

FLOOR AREA RATIO	LOT SIZE	MAX (48%)	EXISTING (33%)	PROPOSED (47.9%)
	9,108 sq.ft.	4,371.84 sq.ft.	3,044 sq.ft.	4,369.18 sq.ft.
	HABITABLE SPACE	SECOND FLOOR DECKS	GARAGE	TOTAL
ADU	792.60 sq.ft.			14260 sq.ft.
MAIN LEVEL	1,729.16 sq.ft.		522.04 sq.ft.	220120 sq.ft.
UPPER LEVEL	2,161.98 sq.ft.	1,494.44 sq.ft.		218188 sq.ft.
(P) TOTAL				43609.18 sq.ft.

\*\* AREA NOT COUNTED PER CHAPTER 17.48.G40  
\*\*\* STAIR AREA COUNTED ONCE AT GROUND LEVEL

PARKING	REQUIRED	PROPOSED
	3 SPACES, ONE OF WHICH MUST BE COVERED	2 COVERED SPACES 2 UNCOVERED
TOTAL	3 SPACES	4 SPACES

## BUILDING INFORMATION

**PROJECT DESCRIPTION:**  
PARTIAL DEMOLITION OF AN EXISTING TWO-STORY SINGLE-FAMILY DWELLING OF APPROXIMATELY 3,044 SQUARE FEET. CONSTRUCTION OF A NEW AND REMODELED TWO-STORY SINGLE-FAMILY DWELLING OF 4,369 SQUARE FEET INCLUSIVE OF A 522 SQUARE FOOT TWO CAR GARAGE, TWO UNCOVERED PARKING SPACES, AND AN ACCESSORY DWELLING UNIT OF 793 SQUARE FEET.

### PROJECT ADDRESS:

602 EL SALTO DRIVE  
CAPITOLA, CA 95010

### PARCEL NUMBER:

042-051-04

### ZONING DESIGNATION:

R-1

### OCCUPANCY CLASSIFICATION:

R-3

### CONSTRUCTION TYPE:

TYPE V-B SPRINKLERED

### CODE NOTE:

THESE PLANS CONFORM TO THE 2022 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL & ENERGY CODE. STRUCTURAL ENGINEERING SHALL CONFORM TO 2022 CALIFORNIA BUILDING CODE, AS AMENDED BY THE STATE OF CALIFORNIA.

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022) AND REFERENCE CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS.

## CONTACTS

### OWNERS:

SAINA & JOE DAVID HADDEN  
24874 OLIVE TREE LANE  
LOS ALTOS HILLS, CA 94024  
415-215-3930

### PROJECT DESIGNER:

DEREK VAN ALSTINE RESIDENTIAL DESIGN, INC.  
DEREK VAN ALSTINE  
1535 SEABRIGHT AVE SUITE 200  
SANTA CRUZ, CA 95062  
PH: (831) 426-8400  
derek@vanalstine.com

### STRUCTURAL ENGINEER:

REDWOOD ENGINEERING LEONARD WILLIS, P.E.  
1535 SEABRIGHT AVE SUITE 200  
SANTA CRUZ, CA 95062  
PH: (831) 426-8444  
LEONARD@REDWOODENGINEERING.NET

### GEOTECHNICAL ENGINEER:

ROCK SOLID ENGINEERING  
YVETTE M. WILSON, P.E.  
1100 MAIN STREET, SUITE A  
WATSONVILLE, CA 95076  
PH: (831) 724-5868

## DRAWING INDEX

### BUILDING DESIGN

- T1 TITLE SHEET
- A1 SURVEY
- A1 TREE CANOPY STUDY
- A1 EXISTING SITE PLAN
- A2 EXISTING DEMO LOWER FLOOR PLAN
- A4 EXISTING DEMO UPPER FLOOR PLAN
- A5 EXISTING EXTERIOR ELEVATIONS
- A6 EXISTING EXTERIOR ELEVATIONS
- A7 PROPOSED FIRST FLOOR PLAN
- A8 PROPOSED SECOND FLOOR PLAN
- A9 PROPOSED ROOF PLAN
- A10 PROPOSED EXTERIOR ELEVATIONS
- A11 PROPOSED EXTERIOR ELEVATIONS
- A12 PROPOSED EXTERIOR RENDERINGS
- A13 PROPOSED EXTERIOR RENDERINGS

### CIVIL DRAWINGS

- C1.0 COVER SHEET
- C1.1 NOTES
- C2.0 SITE PLAN
- C3.0 GRADING
- C3.1 SECTIONS
- C4.0 DETAILS
- C5.0 EROS
- C5.1 EROS NOTES

DEREK VAN ALSTINE  
RESIDENTIAL DESIGN INC.  
1535 SEABRIGHT AVENUE SUITE 200, SANTA CRUZ, CALIFORNIA  
(831) 426-8400 PHONE, (831) 426-8446 FAX



HADDEN RESIDENCE  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

042-051-04

ISSUE DESCRIPTION

REVISIONS

JAN. 11, 2024

DESIGN DEVELOPMENT

FEB. 1, 2024

PLANNING/SUBMITTAL

DEC. 1, 2023

PLAN COMMISSION

MAY 2, 2024

PRELIM BIRTH

MAR. 15, 2024

BUILDING/SUBMITTAL

REVISIONS

FEB. 14, 2024

PLANNING PRELIM

COMMENTS

TITLE SHEET

T1

5/26/2024 2:58 PM

APN 036-142-12

APN 036-142-13

LEAD PLUG & TAG LS 500.3 IN TOP CENTER OF CONCRETE WALL

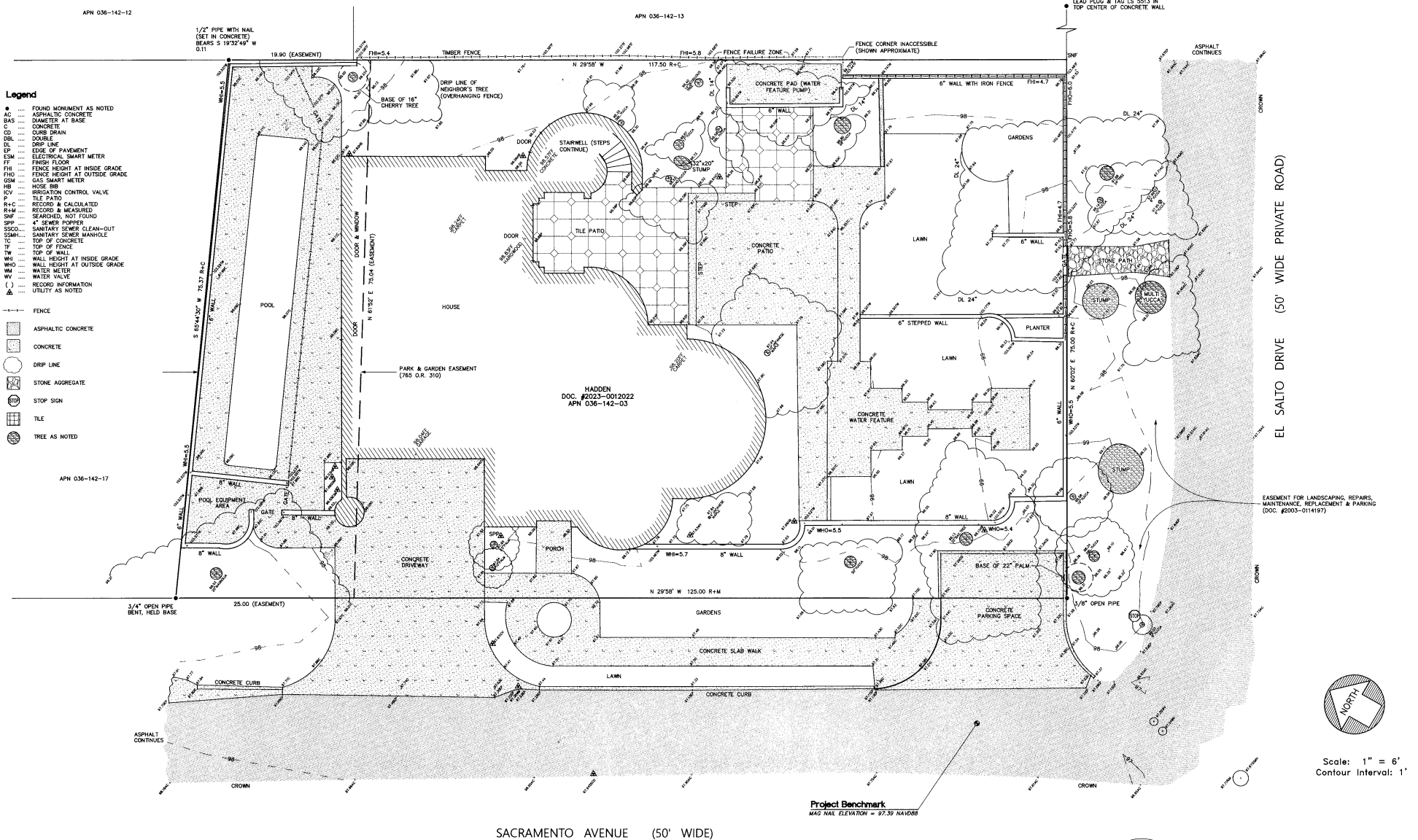
1/2" PIPE WITH NAIL (SET IN CONCRETE) BEARS S 19°32'49" W 0.11

19.90 (EASEMENT)

- Legend**
- FOUND MONUMENT AS NOTED
  - AC ASPHALTIC CONCRETE
  - BAS DIAMETER AT BASE
  - C CONCRETE
  - CD CURB DRAIN
  - DBL DOUBLE
  - DL DRIP LINE
  - EP EDGE OF PAVEMENT
  - ESM ELECTRICAL SMART METER
  - FF FINISH FLOOR
  - FHI FENCE HEIGHT AT INSIDE GRADE
  - FHO FENCE HEIGHT AT OUTSIDE GRADE
  - GSM GAS SMART METER
  - HBI HOSE BIE
  - ICV IRRIGATION CONTROL VALVE
  - IP TILE PATIO
  - R+C RECORD & CALCULATED
  - R+M RECORD & MEASURED
  - SF SEARCHED, NOT FOUND
  - SP 4" SEWER POPPER
  - SSCO SANITARY SEWER CLEAN-OUT
  - SMH SANITARY SEWER MANHOLE
  - TC TOP OF CONCRETE
  - TF TOP OF FENCE
  - TH TOP OF HOUSE
  - WHI WALL HEIGHT AT INSIDE GRADE
  - WHO WALL HEIGHT AT OUTSIDE GRADE
  - WM WATER METER
  - WV WATER VALVE
  - ( ) RECORD INFORMATION
  - △ UTILITY AS NOTED

- FENCE
- ASPHALTIC CONCRETE
- CONCRETE
- DRIP LINE
- STONE AGGREGATE
- STOP SIGN
- TILE
- TREE AS NOTED

APN 036-142-17



HADDEN DOC. #2023-0012022 APN 036-142-03

EL SALTO DRIVE (50' WIDE PRIVATE ROAD)

SACRAMENTO AVENUE (50' WIDE)

Project Benchmark  
MAC NAIL ELEVATION = 92.39 NAVD83

EASEMENT FOR LANDSCAPING, REPAIRS, MAINTENANCE, REPLACEMENT & PARKING (DOC. #003-0114197)



Scale: 1" = 6'  
Contour Interval: 1'

**NOTES**

Distances are in feet and decimals thereof.  
 All data points are on the ground unless otherwise noted.  
 House trim located. Foundation lines may be different.  
 Trees larger than 6 inches (at breast height) located.  
 All walls shown are masonry stucco.  
 Easements shown as per Preliminary Report prepared by Fidelity National Title Company dated June 9, 2023, Title No. F98C-0282200579-DG



### Topographic Map

prepared for: HADDEN  
 602 EL SALTO DRIVE, CAPITOLA, CA 95010  
 SANTA CRUZ COUNTY, CALIFORNIA  
 APN: 036 - 142 - 03

BRIDGETTE LAND SURVEYING

80 ASPEN WAY, SUITE A, WATSONVILLE CA 95076  
 tel 831.722.5800 fax 831.722.8077 bridgettelandsurveying.com  
 March 2024 Job: 24-08 Scale 1"=6' Sheet 1 of 1

**NOTES**

**Protective Tree Fencing**

Tree protection fencing shall be 6'-0" high chain link fencing, mounted on two-inch diameter galvanized iron posts driven into the ground to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in the arborist report, posts may be supported by a concrete base.

The chain link fencing shall be located as indicated on the Grading and Drainage Plan. Caution shall be used to avoid damaging any bark or branches. The dripline shall not be altered in any way so as to increase the encroachment of the construction.

Fencing shall be erected before demolition, grading or construction begins and remain in place until final landscaping is required. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

Tree fencing shall prevent excavation, grading, drainage and leveling within the dripline of the tree unless approved by the project arborist. Fencing shall further prevent disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.

**Mulching**

All trees to be protected shall be mulched before the protective fencing is put in place with a 3" layer of redwood bark mulch.

**Trenching**

No trenching for utilities shall take place within the driplines of the protected trees without the project arborist on site.

**Tree Pruning**

All pruning of protected trees shall be consistent with the current edition of Best Management Practices—Tree Pruning, established by the International Society of Arboriculture (ISA). No pruning shall take place without the project arborist on site.

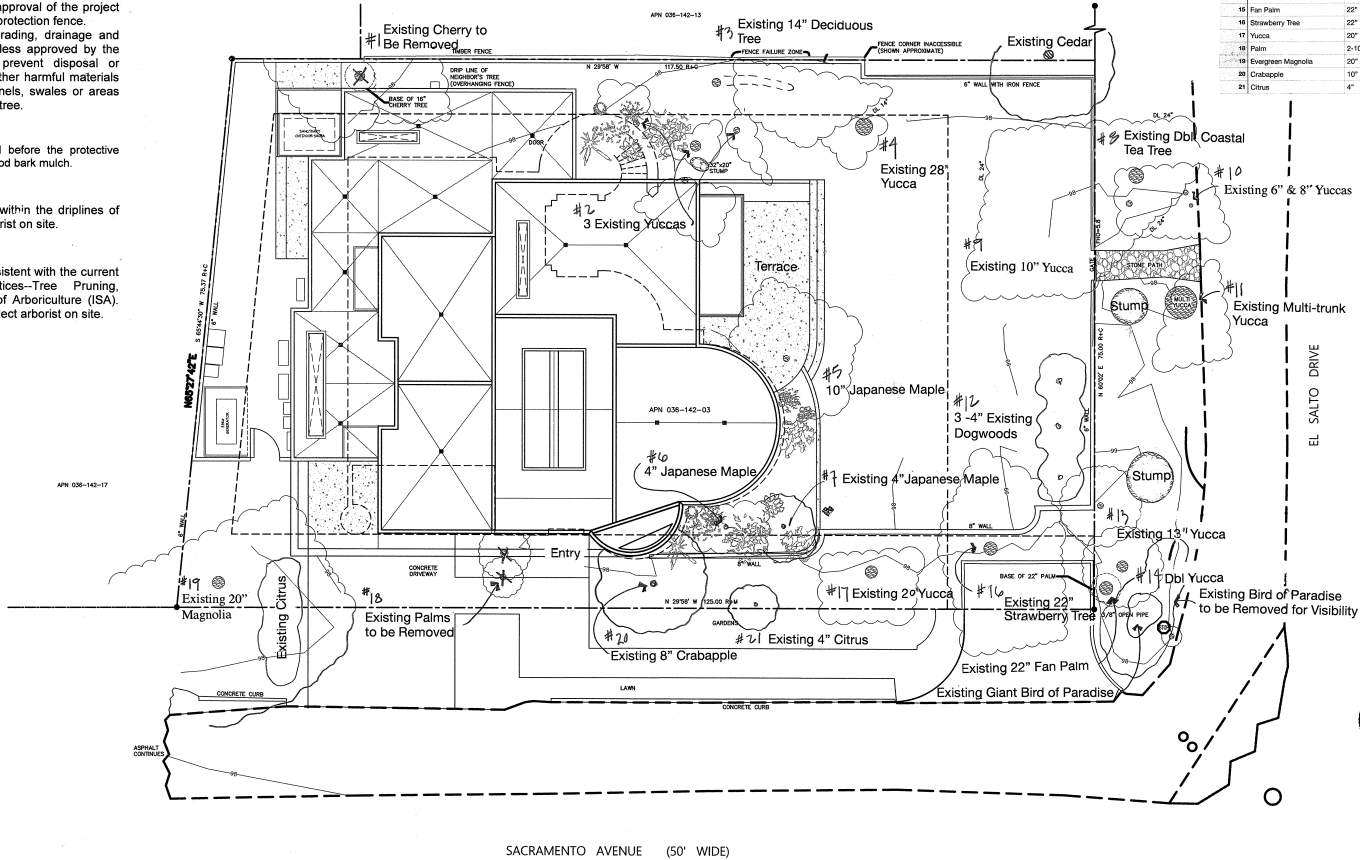
**Canopy Coverage**

Total Lot Square Footage            9108  
 Total Frontage Square Footage  
 El Salto Drive & Sacramento Ave.    1033

Total                                        10,041  
 Canopy Coverage Sq Ft                 3530  
 Canopy Coverage %                    34%

**Existing Trees**

Tree #	Species Common Name	DBH	Canopy Coverage (ft <sup>2</sup> )	Status
1	Cherry	16"		Remove
2	Yucca	2-Various	75	
3	Deciduous Tree	14"	200	
4	Yucca	28"	45	
5	Japanese Maple	10"	950	
6	Japanese Maple	4"	198	
7	Japanese Maple	4"	200	
8	Coastal Tea Tree	DBL trunk 24"	550	
9	Yucca	10"	70	
10	Yucca	2- 8" & 6"	60	
11	Yucca	Multi trunk	55	
12	Dogwood	2-4"	100	
13	Yucca	13"	98	
14	Yucca	DBL trunk	98	
15	Fan Palm	22"	25	
16	Strawberry Tree	22"	260	
17	Yucca	20"	120	
18	Palm	2- 10" & 8"		Remove
19	Swamp Magnolia	20"	570	
20	Crabapple	10"	200	
21	Citrus	4"	50	



Note:  
 All bushes and trees within 15' of the curb area on both El Salto Dr. & Sacramento are to be less than 32' high or trimmed/limbed to be over 8' tall for visibility purposes.

**Tree Removal, Preservation, Protection and Canopy Plan**

Ellen Cooper  
 Landscape Architect  
 Ca. Lic. #2937

Hadden  
 602 El Salto Drive  
 Capitola, Ca. 95010

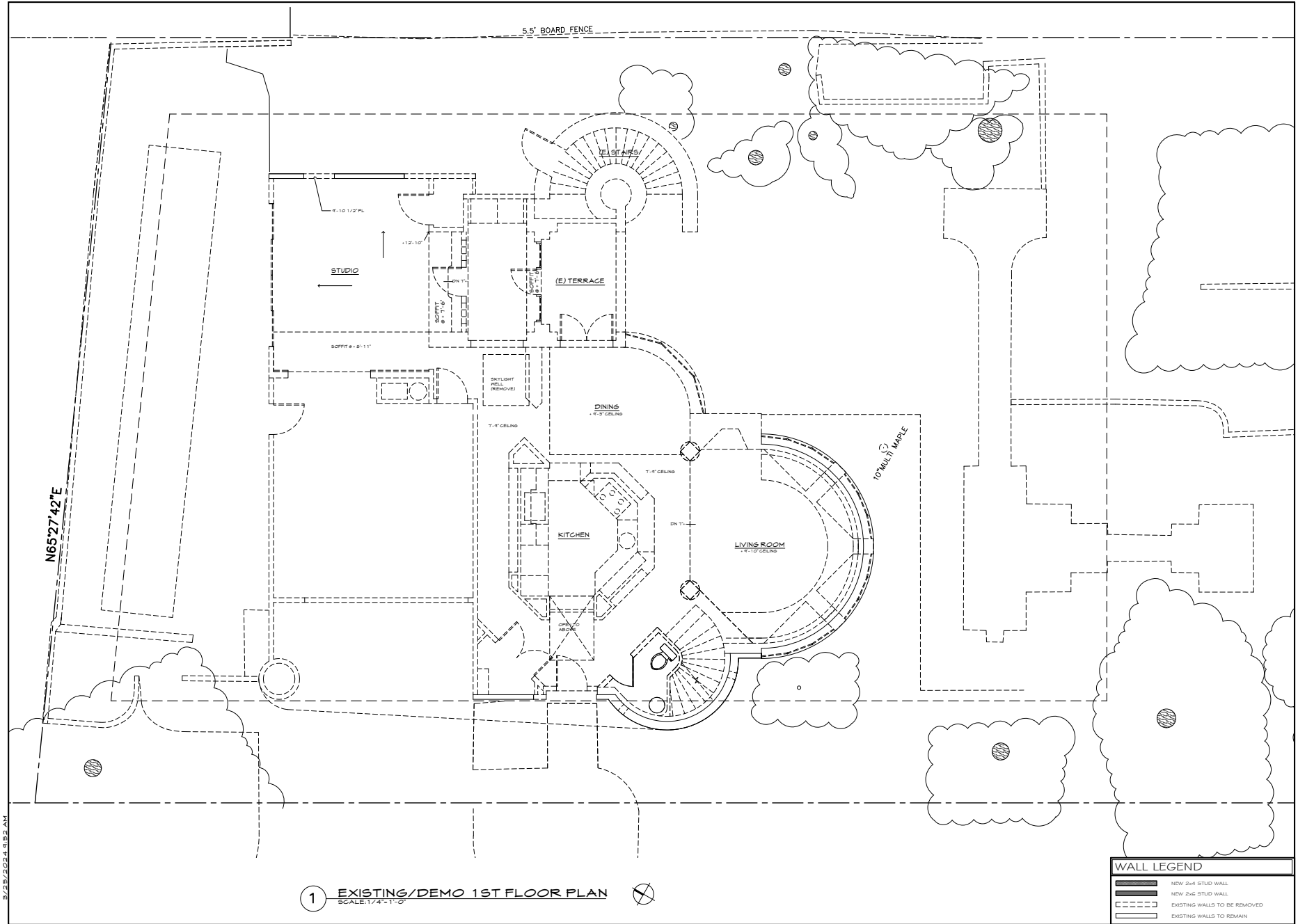
7/26/19/03  
 DESCRIPTION  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 PLANNING SUBMITTAL  
 BUILDING SUBMITTAL  
 REVISIONS

L1









N65°27'42"E

5.5' BOARD FENCE

1 EXISTING/DEMO 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	NDW: 2x4 STUD WALL
	NDW: 2x6 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

DEREK VAN ALSTINE  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
9034940410 PHONE 9034940410 FAX



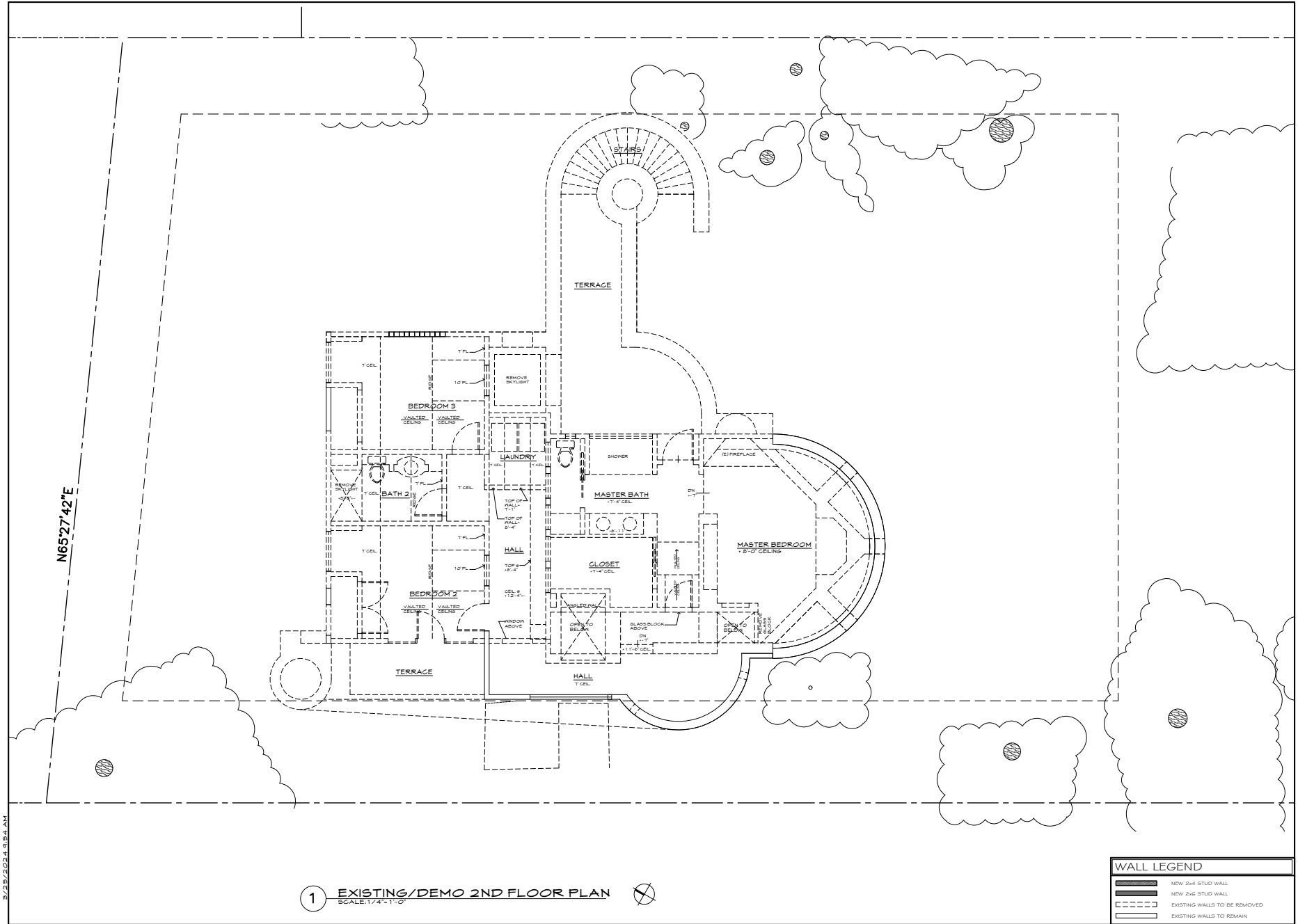
HADDEN RESIDENCE  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

DATE	DESCRIPTION
JAN. 11, 2024	SCHMIDTTLER'S
FEB. 1, 2024	DESIGN DEVELOPMENT
DEC. 1, 2023	PLANNING SUBMITTAL
MAY 2, 2024	PLAN COMMISSION
MAY 15, 2024	PRELIMINARY
MAY 15, 2024	PLANNING SUBMITTAL
FEB. 14, 2024	REVISIONS
	PLANNING FIELD COMMENTS

EXISTING LOWER FLOOR PLAN

A3

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WALL LEGEND	
	NDW 2x4 STUD WALL
	NDW 2x6 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

1 EXISTING/DEMO 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

8/25/2024 9:54 AM

N65°27'42"E

DEREK VAN ALSTINE  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
95062-4847 PHONE: 831.462.4474 FAX: 831.462.4474



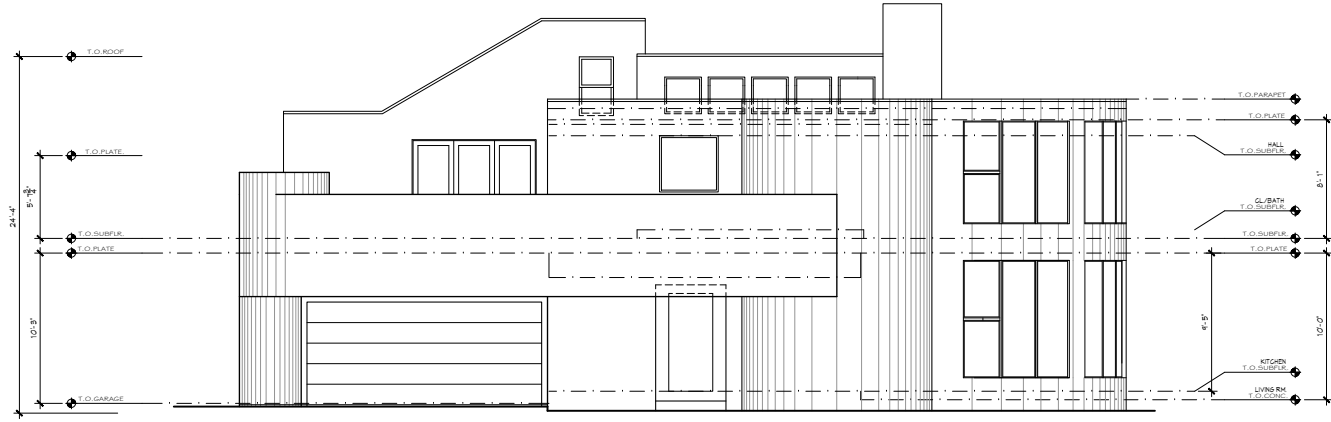
HADDEN RESIDENCE  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

DATE	ISSUE DESCRIPTION
JAN. 11, 2024	SCHEDULE DESIGN
FEB. 1, 2024	DESIGN DEVELOPMENT
DEC. 1, 2023	PLANNING SUBMITTAL
MAY 2, 2024	PLAN COMMENTS
MAY 15, 2024	PERMISSION SET
	BUILDING SUBMITTAL

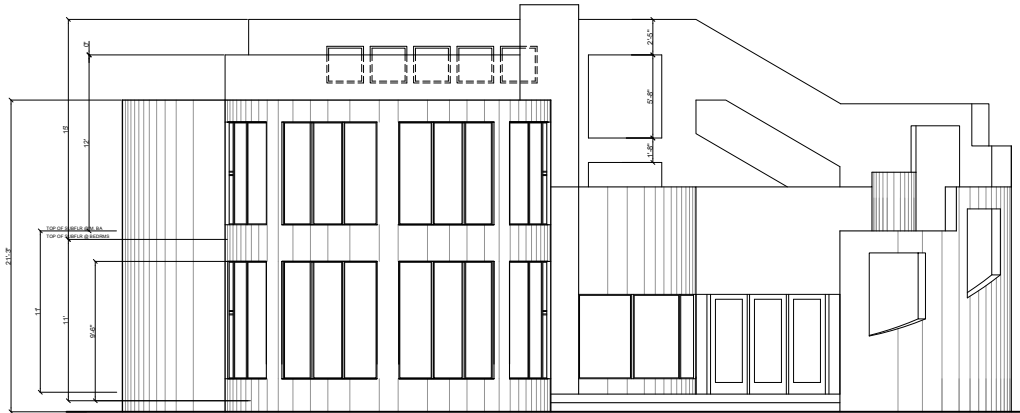
REVISIONS:  
FEB. 14, 2024  
PLANNING FIELD  
COMMENTS

EXISTING UPPER  
FLOOR PLAN

A4



2 EXISTING SOUTHWEST (SIDE) ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING SOUTHEAST (FRONT) ELEVATION  
SCALE: 1/4" = 1'-0"

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DEREK VAN ALSTINE  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
90348-0447 PHONE 831.686.4474 FAX



HADDEN RESIDENCE  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

0425-0511-04

ISSUE DESCRIPTION

SCHEDULE LESSON

JAN. 11, 2024

DESIGN DEVELOPMENT

FEB. 1, 2024

PLANNING SUBMITTAL

DEC. 1, 2023

PLAN COMMISSION

MAY 2, 2024

PRELIMINARY

MAR. 15, 2024

BUILDING SUBMITTAL

REVISIONS

FEB. 14, 2024

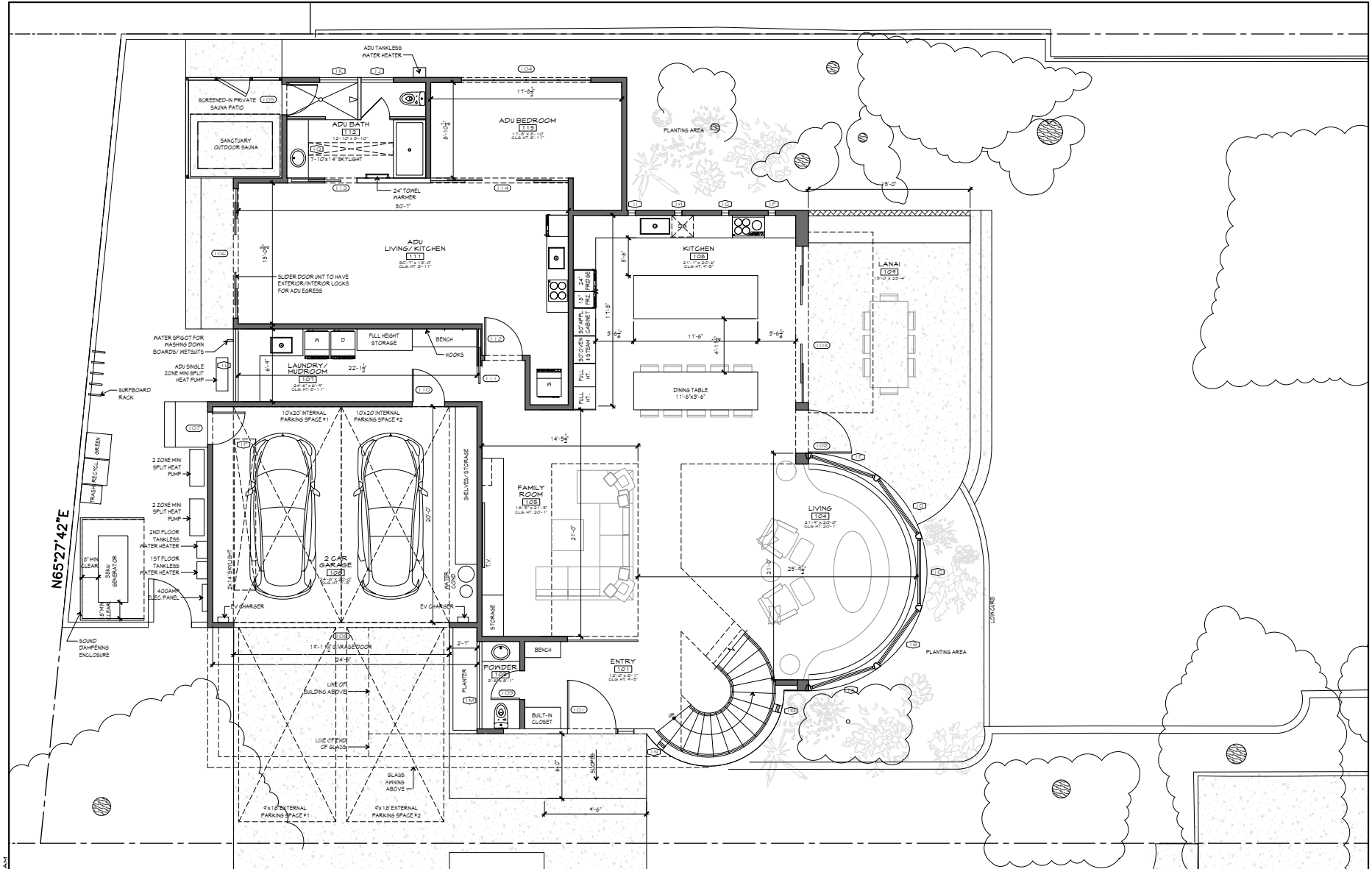
PLANNING PRELIM

COMMENTS

EXISTING  
EXTERIOR  
ELEVATIONS

A5





N65°27'42"E

**1 PROPOSED LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	NDW 2x4 STUD WALL
	NDW 2x6 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

**DEREK VAN ALSTINE**  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
803.684.0410



**HADDEN RESIDENCE**  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

DATE	DESCRIPTION
JAN. 11, 2024	SCHMIDT LIESSEN
FEB. 1, 2024	DESIGN DEVELOPMENT
DEC. 1, 2023	PLANNING SUBMITTAL
MAY 2, 2024	PLAN COMMENTS
MAR. 15, 2024	PRELIMINARY
	BUILDING SUBMITTAL

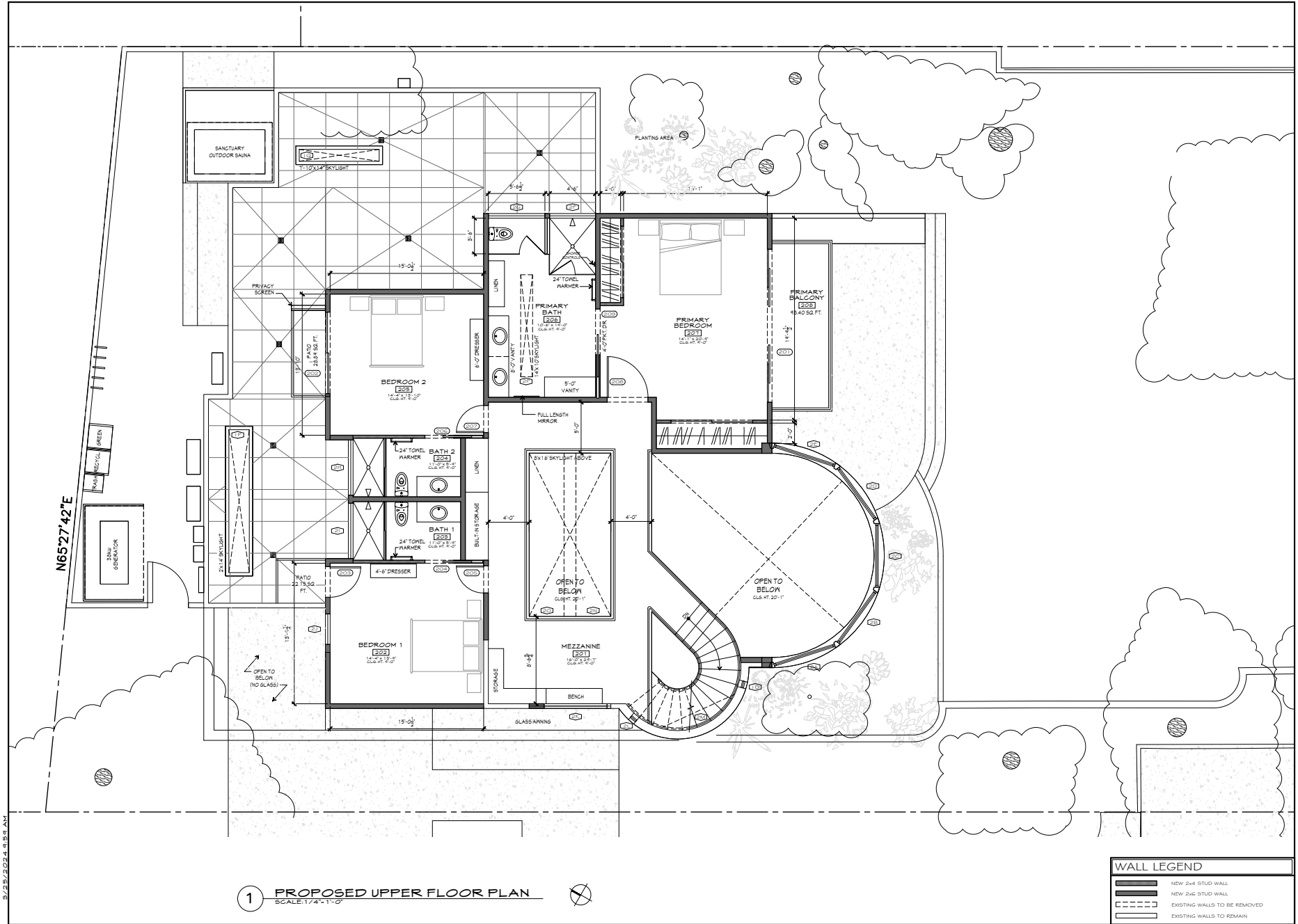
REVISIONS:  
FEB. 14, 2024  
PLANNING FIELD  
COMMENTS

LOWER FLOOR PLAN

**A7**

8/23/2024 12:00 AM





N65°27'42"E

8/23/2024 9:55 AM

1 PROPOSED UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	NDW: 2x4 STUD WALL
	NDW: 2x6 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

**DEREK VAN ALSTINE**  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
9030404000 PHONE 8388660000 FAX



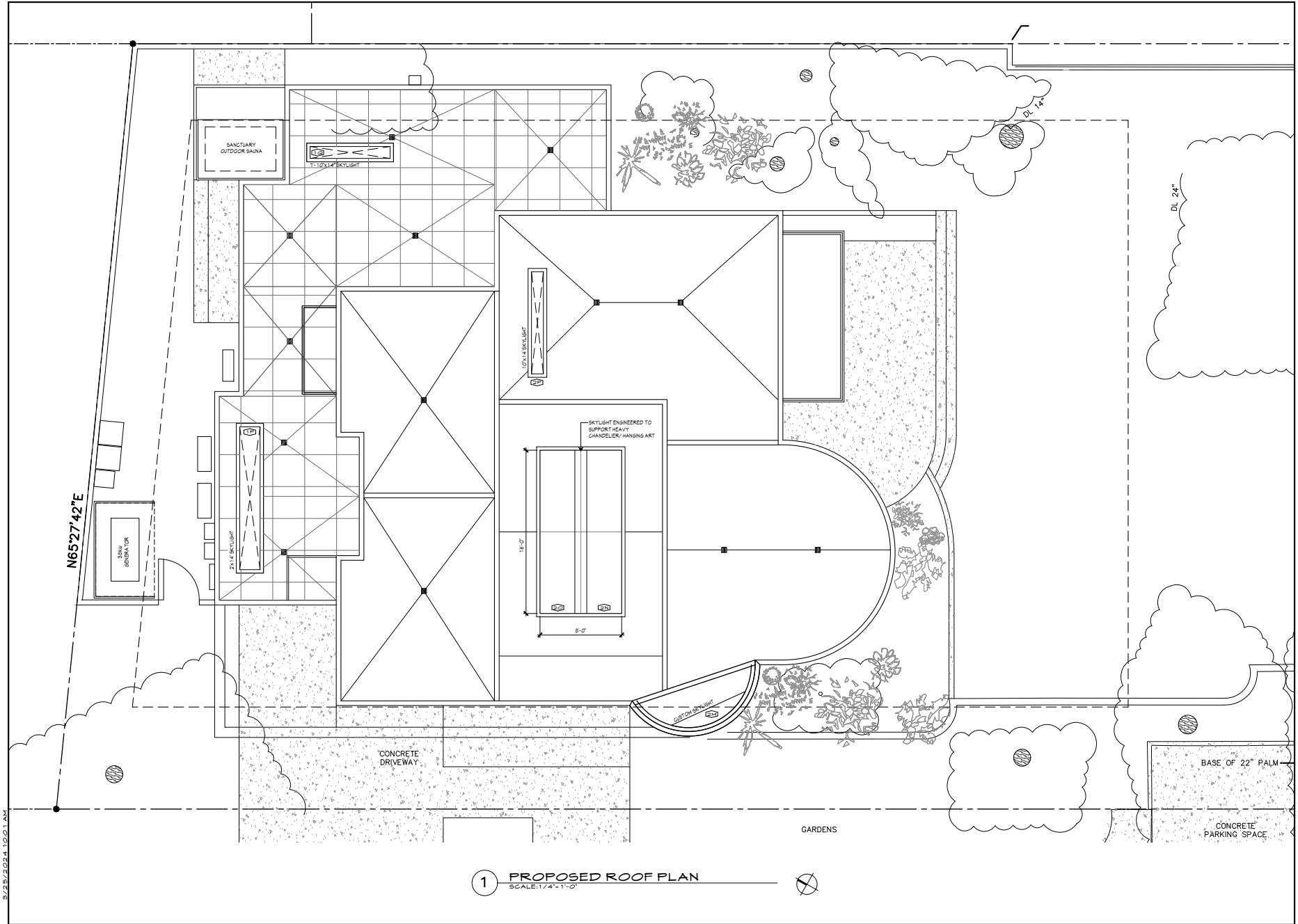
**HADDEN RESIDENCE**  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

DATE	ISSUE DESCRIPTION
JAN. 11, 2024	SCHMIDLER'S
FEB. 1, 2024	DESIGN DEVELOPMENT
DEC. 1, 2023	PLANNING SUBMITTAL
MAY 2, 2024	PLAN COMMENTS
MAR. 15, 2024	PRELIMINARY
	BUILDING SUBMITTAL

REVISIONS
FEB. 14, 2024 PLANNING PRELIM COMMENTS

UPPER FLOOR PLAN

A8



1 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

DEREK VAN ALSTINE  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
901049430@GMAIL.COM 831.456.6674 FAX



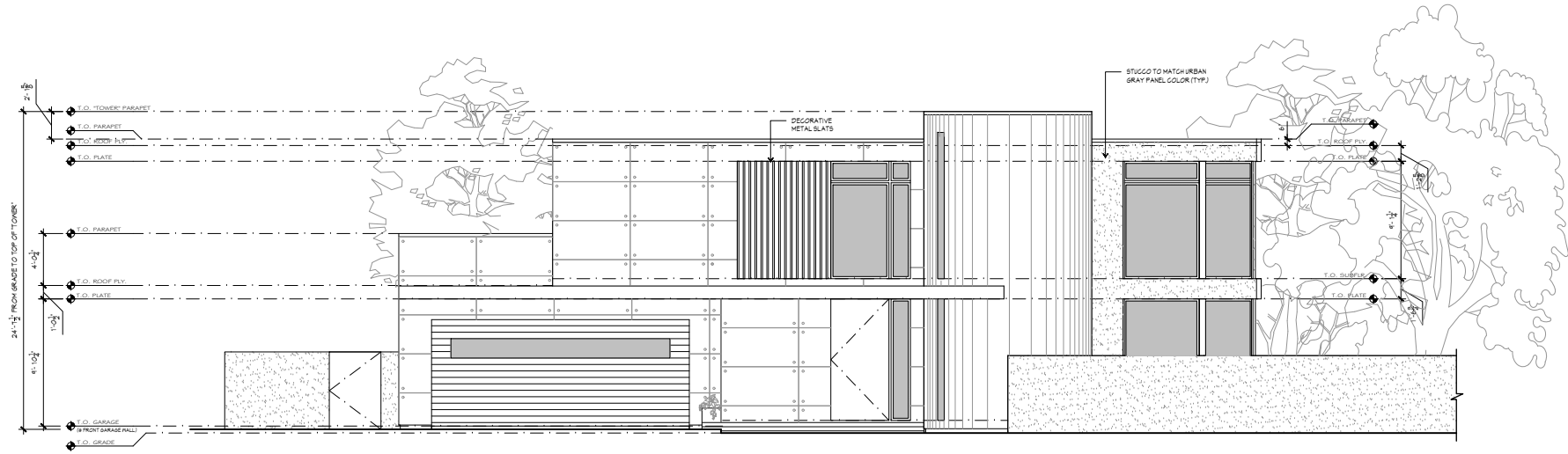
HADDEN RESIDENCE  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

DATE	DESCRIPTION
04-22-2024	ISSUE DESCRIPTION
	SCHMIDLER'S
JAN. 11, 2024	PLANNING SUBMITTAL
FEB. 1, 2024	DESIGN DEVELOPMENT
DEC. 1, 2023	PLANNING SUBMITTAL
MAY 2, 2024	PLAN COMMISSION
MAY 2, 2024	PRELIMINARY
MAY 15, 2024	PLANNING SUBMITTAL
	BUILDING SUBMITTAL

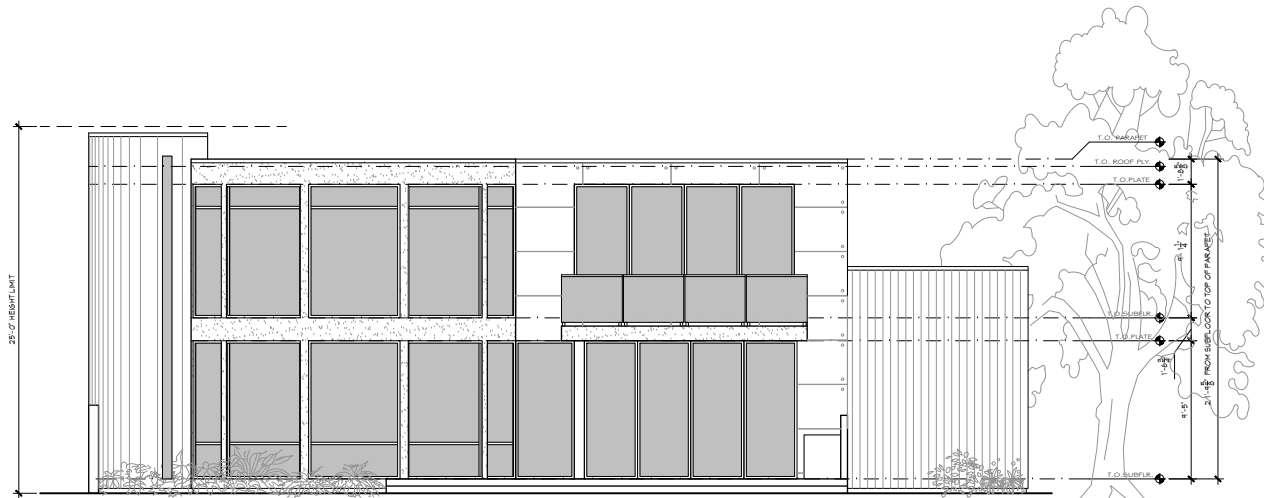
REVISIONS
FEB. 14, 2024 PLANNING PRELIM COMMENTS

ROOF PLAN  
A9

8/23/2024 12:01 AM



**2** PROPOSED SOUTHWEST (SIDE) ELEVATION  
SCALE: 1/4" = 1'-0"



**1** PROPOSED SOUTHEAST (FRONT) ELEVATION  
SCALE: 1/4" = 1'-0"

8/23/2024 11:43 AM

**DEREK VAN ALSTINE**  
RESIDENTIAL DESIGN INC.  
1515 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
90349383@GMAIL.COM 831.456.4463 FAX



**HADDEN RESIDENCE**  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

048-05-1-04

ISSUE DESCRIPTION
SCHEDULE LESSON
JAN. 11, 2024
DESIGN DEVELOPMENT
FEB. 1, 2024
PLANNING SUBMITTAL
DEC. 1, 2023
PLAN COMMISSION
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PRELIMINARY
MAR. 15, 2024
BUILDING SUBMITTAL

REVISIONS:  
FEB. 14, 2024  
PLANNING PRELIM  
COMMENTS

EXTERIOR  
ELEVATIONS

**A10**



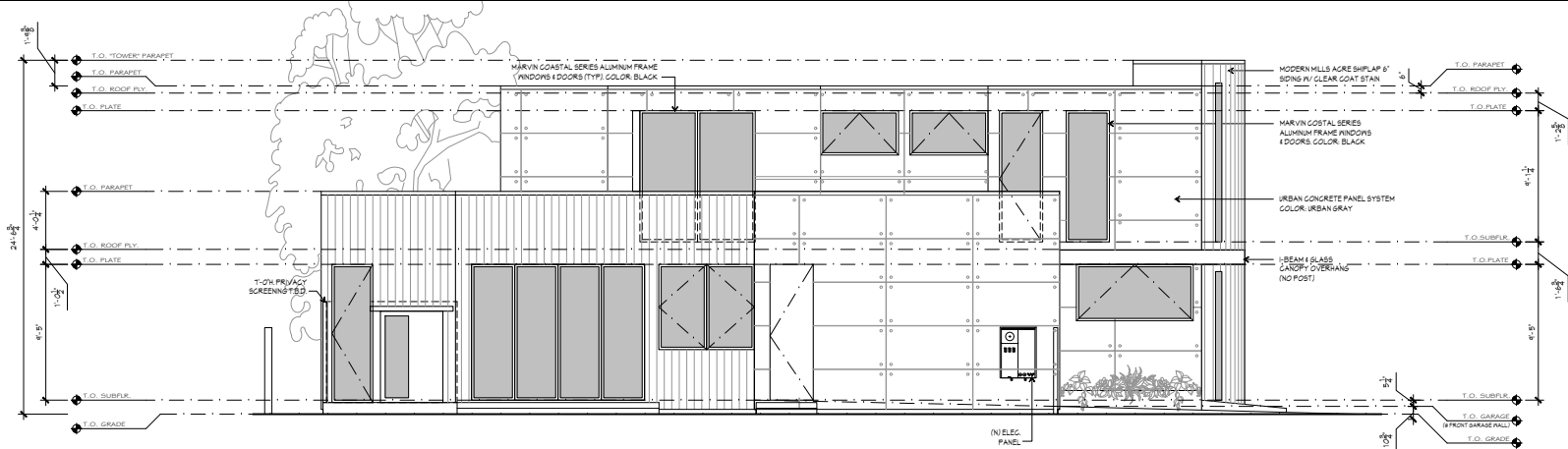
MODERN MILLS ACRE SHIPLAP SIDING  
COLOR: NATURAL STAIN



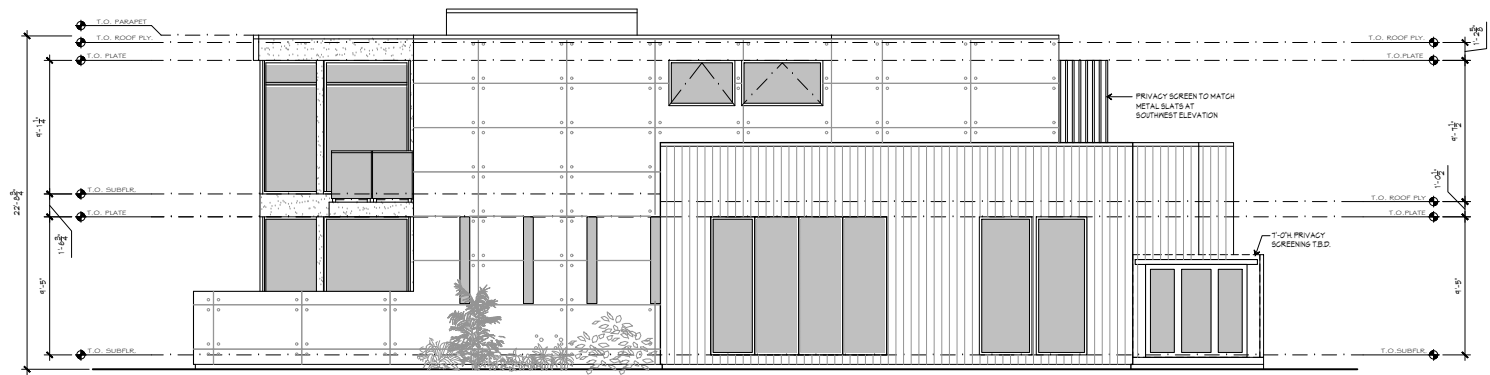
URBAN CONCRETE PANEL SYSTEM  
COLOR: URBAN GRAY



SMOOTH STUCCO  
COLOR: TO MATCH URBAN GRAY



2 PROPOSED NORTHWEST (REAR) ELEVATION  
SCALE: 1/4"=1'-0"



1 PROPOSED NORTHEAST (SIDE) ELEVATION  
SCALE: 1/4"=1'-0"

8/23/2024 11:45 AM

**DEREK VAN ALSTINE**  
RESIDENTIAL DESIGN INC.  
1535 SEABRIGHT AVENUE SUITE 200 SANTA CRUZ CALIFORNIA  
90304 PARADISE PHONE: 831.886.4474 FAX:



**HADDEN RESIDENCE**  
602 EL SALTO DRIVE  
CAPITOLA, CA 95010

DATE	ISSUE DESCRIPTION
03-05-2024	SCHEDULE DESIGN
JAN. 11, 2024	DESIGN DEVELOPMENT
FEB. 1, 2024	PLANNING SUBMITTAL
DEC. 1, 2023	PLAN COMMISSION
MAY 2, 2024	PERMISSIONS
MAR. 15, 2024	BUILDING SUBMITTAL
REVISIONS:	
FEB. 14, 2024	PLANNING PRELIM COMMENTS

EXTERIOR ELEVATIONS

**A 11**





2 PROPOSED NORTHWEST (REAR) RENDERING  
SCALE: N.T.S.



1 PROPOSED NORTHEAST (SIDE) RENDERING  
SCALE: N.T.S.

8/28/2024 12:13 PM

DEREK VAN ALSTINE  
RESIDENTIAL DESIGN INC.  
1333 SEABRIGHT AVENUE SUITE 100, SANTA CRUZ, CALIFORNIA  
(310) 626-8007 PHONE (310) 426-8486 FAX



HADDEN RESIDENCE  
602 EL SALTO DRIVE  
CAPTOLA, CA 95010

DATE: 05/14/24

ISSUE DESCRIPTION
PRELIMINARY DESIGN
JAN. 11, 2024
DESIGN DEVELOPMENT
FEB. 1, 2024
PLANNING SUBMITTAL
DEC. 1, 2023
PLAN COMMISSION
MAY 2, 2024
PRELIM BID SET
MAR. 15, 2024
BUILDING SUBMITTAL

REVISIONS:  
FEB. 14, 2024  
PLANNING PRELIM  
COMMENTS

EXTERIOR  
RENDERINGS

A13



**ABBREVIATIONS**

AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	AIR CONDITIONER UNIT	L	LANDING
ADU	ACCESSORY DWELLING UNIT	L.F.	LINEAR FOOT
APN	ASSESSORS PARCEL NUMBER	LIP	LIP OF GUTTER
ARV	AIR-RELEASE VALVE	LOG	LIMIT OF GRADING
BF	BASEMENT FLOOR	LP	LOW POINT
BFP	BACKFLOW PREVENTER	LP	LOW POINT
BO	BLOW-OFF VALVE	MH	MANHOLE
BRW	FG AT BOTTOM OF RETAINING WALL	MIN	MINIMUM
BSW	BACK OF SIDEWALK	N	NORTH
BVC	BEGIN VERTICAL CURVE	NE	NORTHEAST
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CATV	CABLE TELEVISION	NW	NORTHWEST
CB	CATCH BASIN	OCCW	ON CENTER, EACH WAY
CBC	CALIFORNIA BUILDING CODE	OH	OVERHEAD
CIP	CAST IRON PIPE	OC	ON CENTER
CL	CENTERLINE	POC	POINT OF CONNECTION
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CMU	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
CO	CLEANOUT	PRC	POINT OF REVERSE CURVE
CONC	CONCRETE	PS	PLANTING STRIP
COTG	CLEANOUT TO GRADE	PSE	PUBLIC SERVICE EASEMENT
DIP	DUCTILE IRON PIPE	PV	POST-INDICATOR VALVE
DS	DOWNSPOUT	PV	PAVEMENT
DTL	DETAIL	PVC	POLYVINYL CHLORIDE PIPE
DWG	DRAWING	R	RADIUS
DWY	DRIVEWAY	RC	RELATIVE COMPACTION
E	EAST, ELECTRICAL	RCP	REINFORCED CONCRETE PIPE
EG	EXISTING GROUND	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	RPPB	REDUCE PRESSURE PRINCIPLE BACKFLOW
(E)	EXISTING	RWB	REAR SETBACK
EQ	EQUAL	RW	RECYCLED WATER
EX	EXISTING	S	SOUTH, SLOPE
EX	EXISTING	SD	STORM DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SE	STORM DRAIN EASEMENT
FF	FINISH FLOOR	SHT	SHEET
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOWLINE	SSB	SIDE SETBACK
FNC	FENCE	SSE	SANITARY SEWER EASEMENT
FO	FIBER OPTIC	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	STA	STATION
FSB	FRONT SETBACK	STD	STANDARD
FT	FOOT/FEET	SW	SIDEWALK, SOUTHWEST
FW	FIRE WATER	SWE	SIDEWALK EASEMENT
G	GAS	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
GF	GARAGE FLOOR	TH	THRESHOLD
HT	HEIGHT	TRAN	TRANSFORMER
HDPE	HIGH-DENSITY POLYETHYLENE	TRW	FG AT TOP OF RETAINING WALL
HP	HIGH POINT	TW	TOP OF WALL
INT	INTERSECTION	USA	UNDERGROUND SERVICE ALERT
INV	INVERT	W	WEST, WATER
IRR	IRRIGATION	WH	WATER HEATER
JB	JUNCTION BOX	WM	WATER METER
		WV	WATER VALVE

**LEGEND**

	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE - ADJACENT		BLOW-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE
	OVERHEAD LINE		WATER THRUST BLOCK
	RECYCLED WATER LINE		FLOW DIRECTION
	STORM DRAIN LINE		
	PERFORATED PIPE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		
	LIMIT OF GRADING		
	FIBER ROLLS		

# IMPROVEMENT PLANS

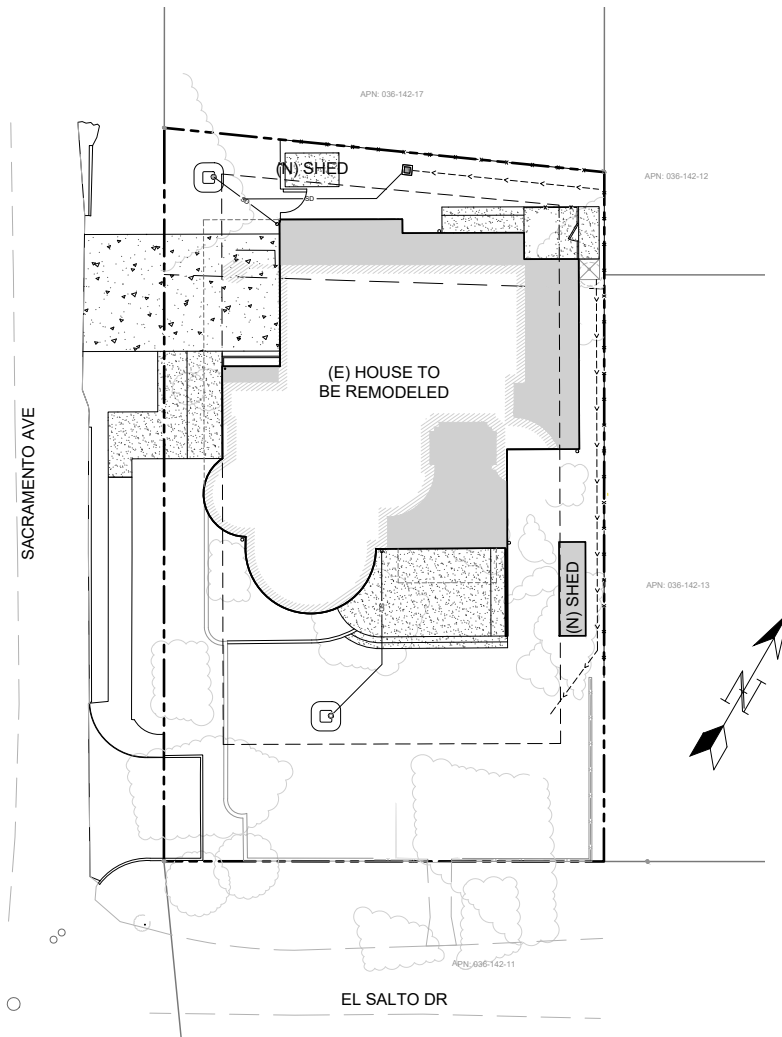
FOR

## HADDEN RESIDENCE

602 EL SALTO DRIVE  
CAPITOLA, SANTA CRUZ COUNTY, CALIFORNIA, 95010



**VICINITY MAP**  
N.T.S.



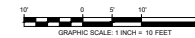
**SURVEY**

SURVEY FOR THIS PROJECT PROVIDED BY BRIDGETTE LAND SURVEYING, JOB NO. 24-08, DATED MARCH 2024.

**BENCHMARK**

ELEVATIONS ARE BASED ON THE MAG NAIL ON THE SOUTHWEST SIDE OF THE PROPERTY ON SACRAMENTO AVE.  
ELEVATION = 97.39' (NAVD88) = PROJECT BENCHMARK

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	NOTES
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SECTIONS
C4.0	DETAILS
C5.0	EROSION CONTROL PLAN & DETAILS



**RAMSEY**  
CIVIL ENGINEERING, INC.

CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
GIS AND GIS SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com

NOT FOR CONSTRUCTION

DAVID RAMSEY      DATE  
RC# 73735

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APN# 042-051-04

PLAN TYPE  
RESIDENTIAL

COVER SHEET

**HADDEN RESIDENCE**

602 EL SALTO DRIVE, CAPITOLA, CA, 95010

NO.	DATE	DESCRIPTION	REVISION BLOCK

DRAWN BY: MG  
DESIGNED BY: DMK  
DATE: 03/18/2024  
SCALE: AS NOTED  
PROJECT NO: 24-011  
SHEET:

DRAWN BY: MG  
DESIGNED BY: DMK  
DATE: 03/18/2024  
SCALE: AS NOTED  
PROJECT NO: 24-011  
SHEET:

**C1.0**

**DEMOLITION NOTES:**

- BUILDINGS OR PORTIONS OF BUILDING TO BE DEMOLISHED WILL BE VACATED AND THEIR USE DISCONTINUED BEFORE START OF THE WORK.
- OWNER ASSUMES NO RESPONSIBILITY FOR BUILDINGS AND STRUCTURES TO BE DEMOLISHED.
- BUILDINGS IMMEDIATELY ADJACENT TO DEMOLITION AREA WILL BE OCCUPIED. CONDUCT BUILDING DEMOLITION SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED.
- PROVIDE NOT LESS THAN 72 HOURS' NOTICE OF ACTIVITIES THAT WILL AFFECT OPERATIONS OF ADJACENT OCCUPIED BUILDINGS.
- MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER FACILITIES USED BY OCCUPANTS OF ADJACENT BUILDINGS.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER FACILITIES USED BY OCCUPANTS OF ADJACENT BUILDINGS WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- PROMPTLY REPAIR DAMAGE TO ADJACENT BUILDINGS CAUSED BY DEMOLITION OPERATIONS.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGIN.
- SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT BUILDING DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFICWAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- ERECT A PLAINLY VISIBLE FENCE AROUND DRIP LINE OF INDIVIDUAL TREES OR AROUND PERIMETER DRIP LINE OF GROUPS OF TREES TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS.
- USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
- REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST, WHERE OPEN EXCAVATIONS OR OTHER HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARY BARRIERS AND PROTECTIONS IN PLACE.
- VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS.
- EXISTING UTILITIES: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES SERVING BUILDINGS AND STRUCTURES TO BE DEMOLISHED. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- OWNER WILL ARRANGE TO SHUT OFF UTILITIES WHEN REQUESTED BY CONTRACTOR.
- ARRANGE TO SHUT OFF UTILITIES WITH UTILITY COMPANIES.
- EXISTING UTILITIES SERVING ADJACENT BUILDINGS: MAINTAIN UTILITY SERVICES TO REMAIN AND PROTECT FROM DAMAGE DURING DEMOLITION OPERATIONS.
- IF REMOVAL, RELOCATION, OR ABANDONMENT OF UTILITY SERVICES WILL AFFECT ADJACENT OCCUPIED BUILDINGS, THEN PROVIDE TEMPORARY UTILITIES THAT BYPASS BUILDINGS AND STRUCTURES TO BE DEMOLISHED AND THAT MAINTAIN CONTINUITY OF SERVICE TO OTHER BUILDINGS AND STRUCTURES.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE AT LEAST 72 HOURS' NOTICE TO OCCUPANTS OF AFFECTED BUILDINGS IF SHUTDOWN OF SERVICE IS REQUIRED DURING CHANGEOVER.
- STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- GENERAL: DEMOLISH INDICATED EXISTING BUILDINGS COMPLETELY AND SITE IMPROVEMENTS ACCORDING TO CIVIL DRAWINGS. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
- DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- MAINTAIN FIRE WATCH DURING FLAME CUTTING OPERATIONS AND FOR A PERIOD AFTER CUTTING OPERATIONS ACCORDING TO OWNER'S INSURANCE AND LOCAL FIRE MARSHALL REQUIREMENTS.
- MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- EXPLOSIVES: USE OF EXPLOSIVES IS NOT PERMITTED.
- REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO MINIMIZE GROUND IMPACT AND DUST GENERATION.
- HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY OWNER. HAZARDOUS MATERIAL WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- BELOW-GRADE CONSTRUCTION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW-GRADE CONSTRUCTION.
- BELOW-GRADE AREAS: ROUGH GRADE BELOW-GRADE AREAS READY FOR FURTHER EXCAVATION OR NEW CONSTRUCTION. DO NOT DISTURB GRADE BELOW LEVEL OF NEW FOUNDATIONS.
- ON-SITE STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS IS NOT PERMITTED.
- UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF CONTRACTOR.
- REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- DO NOT BURN DEMOLISHED MATERIALS.
- HISTORIC ITEMS, RELICS, ANTIQUES, AND SIMILAR OBJECTS INCLUDING, BUT NOT LIMITED TO, CORNERSTONES AND THEIR CONTENTS, COMMEMORATIVE PLAQUES AND TABLETS, AND OTHER ITEMS OF INTEREST OR VALUE TO OWNER THAT MAY BE UNCOVERED DURING DEMOLITION REMAIN THE PROPERTY OF OWNER CAREFULLY SALVAGE IN A MANNER TO PREVENT DAMAGE AND PROMPTLY RETURN TO OWNER.

**SANTA CRUZ COUNTY SANITATION DISTRICT GENERAL NOTES**

- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- INSTALL SEWER SYSTEM AND CONNECTIONS IN ACCORDANCE WITH ALL REQUIREMENTS OF THE SANTA CRUZ COUNTY SANITATION DISTRICT.
- ALL SEWER INSTALLATIONS SHALL CONFORM TO THE COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- A SANITARY SEWER PERMIT SHALL BE REQUESTED FROM PUBLIC WORKS - SANITATION EITHER BY PHONE, 831-454-2160, OR EMAIL, DPW.LATERAL.PROGRAM@SANTACRUZCOUNTY.CA.GOV FOR THE NEW SANITARY SEWER LATERAL AND CONNECTION TO SANITATION DISTRICT MAIN PRIOR TO ANY WORK, EITHER CMB, C42, OR CLASS A CONTRACTOR LICENSING IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY WITH RESPECT TO THE SEWER IMPROVEMENTS. INSPECTIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE SANITATION DISTRICT INSPECTOR (831-454-2160 OR LEAVE MESSAGE AT 831-454-2895) BEFORE 8:00 A.M. AT LEAST 24 HOURS PRIOR TO THE CONNECTION OF ANY BUILDING SEWER TO THE SEWER LATERAL, OR TO THE ABANDONMENT THEREOF (IN THE CASE OF ABANDONMENT, NO DEMOLITION PERMITS WILL BE ISSUED UNTIL SAID SEWER LINE HAS BEEN ABANDONED).
- EACH NEW SANITARY SEWER LATERAL NOT IMMEDIATELY CONNECTED TO A BUILDING SHALL BE MARKED WITH A 2" X 4" X 5" REDWOOD STAKE MARKER, TO 12" ABOVE FINISH GRADE, AT THE END OF EACH NEW LATERAL STUB OUT. AN "S" SHALL BE PAINTED ON THE MARKER AND THE END OF EACH LATERAL SHALL BE PROPERLY CAPPED. ALL LATERALS INSTALLED IN NEW DEVELOPMENTS SHALL ALSO BE MARKED BY STAMPING AN "S" IN THE CURB JUST ABOVE THE LATERAL.
- INSULATED COPPER WIRE (NO. 10) SHALL BE PLACED ALONG TOP OF ALL GRAVITY AND FORCE MAINS. THE WIRE SHALL RUN BETWEEN MANHOLES, CLEANOUTS, OR OTHER APPROPRIATE FACILITIES, BROUGHT TO THE SURFACE AND BOLTED OR OTHERWISE SECURELY AFFIXED TO THE MANHOLE OR CLEANOUT COVER OR OTHER APPROPRIATE METAL STRUCTURE.

**CITY OF CAPITOLA GENERAL NOTES**

- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS PROVIDED BY THE CITY OF CAPITOLA.
- UNLESS OTHERWISE AGREED UPON WITH THE CITY OF CAPITOLA DURING CONSTRUCTION, ANY CONSTRUCTION ACTIVITY SHALL BE SUBJECT TO A CONSTRUCTION NOISE CURFEW, EXCEPT WHEN OTHERWISE SPECIFIED IN THE BUILDING PERMIT ISSUED BY THE CITY. CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF NINE P.M. AND SEVEN-THIRTY A.M. ON WEEKDAYS, CONSTRUCTION NOISE SHALL BE PROHIBITED ON WEEKENDS WITH THE EXCEPTION OF SATURDAY WORK BETWEEN NINE A.M. AND FOUR P.M. OR EMERGENCY WORK APPROVED BY THE BUILDING OFFICIAL. §9.12.10B.
- A DISTURBANCE COORDINATOR SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFF-SITE DURING THE ENTIRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DAILY AT THE END OF THE WORK DAY.
- UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THE TERMS "INSTALL," "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
- PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
- THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF WORK. A PRE-CONSTRUCTION INSPECTION MUST BE CONDUCTED BY THE GRADING OFFICIAL OR APPOINTED STAFF TO VERIFY COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. ALL BMPs, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT PROJECT DURATION.
- KEEP WORK SITE CLEAR OF DEBRIS AND BE AWARE OF TRACKING MUD, DIRT, GRAVEL INTO THE STREET, AND SWEEP DAILY COVER ALL STOCKPILES AND EXCAVATION SPOILS. PRACTICE GOOD HOUSEKEEPING AND MAINTAIN TEMPORARY CONSTRUCTION BMPs.
- PRIOR TO ANY WORK IN THE CITY ROAD RIGHT OF WAY, AN ENCROACHMENT PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR PERFORMING THE WORK. NO MATERIAL OR EQUIPMENT STORAGE MAY BE PLACED IN THE ROAD RIGHT-OF-WAY.

**ESTIMATED EARTHWORK QUANTITIES**

83	CUBIC YARDS EXCAVATION
40	CUBIC YARDS EMBANKMENT
43	CUBIC YARDS EMBANKMENT

- NOTES**
- ESTIMATE DOES NOT INCLUDE UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
  - ESTIMATE DOES NOT INCLUDE POOL DEMOLITION AND BACK FILL.
  - ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
  - PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.
  - EXCESS MATERIAL SHALL BE DISPOSED OFF SITE AT AN APPROVED DISPOSAL SITE.

**RAMSEY CIVIL ENGINEERING NOTES:**

- SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY KEVIN SMITH LAND SURVEYING, JOB NO. K23041, DATED SEPTEMBER 2023.
- ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022 AND THE LATEST CITY OF CAPITOLA STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS PRIOR TO PERFORMING ANY WORK ON SITE.
- NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING, INC.
- EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC, AND DIRECTED TO GRADE TO DRAIN.
- ALL COMPACTION TO BE DETERMINED USING THE LATEST EDITION OF ASTM D1557.
- THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL PERFORM THEIR OWN FIELD INVESTIGATION PRIOR TO CONSTRUCTION TO VERIFY UTILITY LOCATIONS. CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED. IF AT ANYTIME THE CONTRACTOR IS UNSURE OF UTILITY LOCATIONS, A CERTIFIED UNDERGROUND UTILITY LOCATOR SHALL BE OBTAINED AT THE COST OF THE CONTRACTOR, FOR ON-SITE UTILITIES, OR CONTACT U.S.A. (OR 811) FOR OFF-SITE UTILITIES.
- ALL UTILITY STRUCTURES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT, INCLUDING, BUT NOT LIMITED TO, CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
- ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
- CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONALS AND CITY REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

IMPERVIOUS AREA BREAKDOWN		
ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
BUILDING AREA	2,242	963
CONCRETE	2,776	1,573
ASPHALT	0	0
TILE	302	0
TOTAL	5,320	2,536

PER THE CITY OF CAPITOLA STORMWATER TECHNICAL GUIDE FOR TIER 1 PROJECTS, DATED MARCH 2014, THIS PROJECT IS CONSIDERED A TIER 1 PROJECT, AS IT CREATES/REPLACES >2,500 SF OF IMPERVIOUS SURFACES.

**NOTES:**  
1. DOWNSPOUTS DRAIN TO CONCRETE SPLASH BLOCKS AND ADJACENT LANDSCAPING, AWAY FROM FOUNDATION, PER CBC 2022, PRIOR TO LEAVING SUBJECT PARCEL.



**RAMSEY CIVIL ENGINEERING, INC.**  
 CIVIL ENGINEERING  
 LAND PLANNING  
 PROJECT MANAGEMENT  
 CONSTRUCTION SUPPORT  
 GSE AND GSP SERVICES

2905 KRISTIE COURT  
 SANTA CRUZ, CA 95065  
 TEL (831) 462-2905  
 www.ramseycivileng.com

**NOT FOR CONSTRUCTION**

DAVID RAMSEY DATE  
 REC# 73735

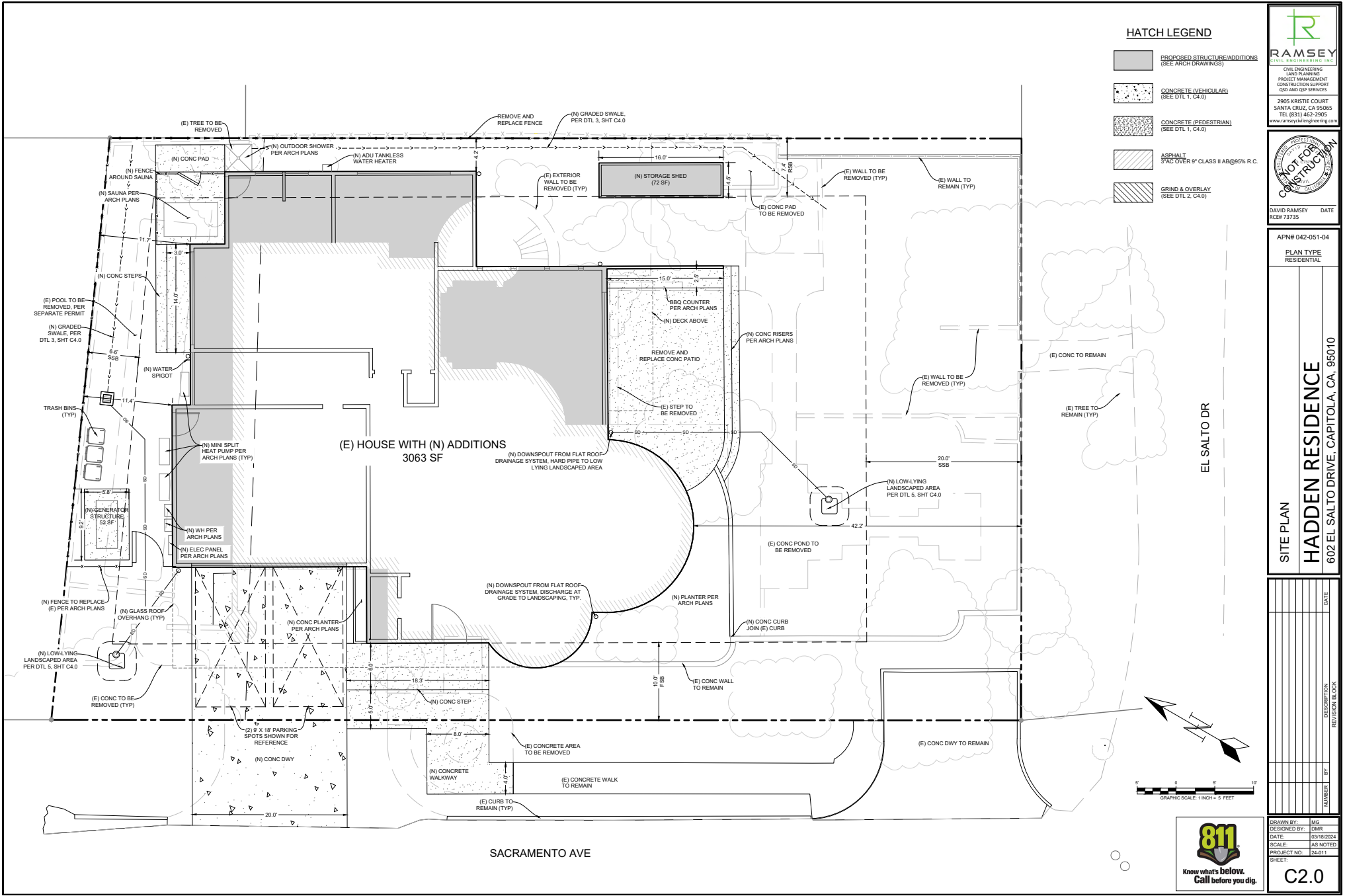
APN# 042-051-04  
 PLAN TYPE  
 RESIDENTIAL

**NOTES**  
**HADDEN RESIDENCE**  
 602 EL SAL TO DRIVE, CAPITOLA, CA, 95010

DATE	
DESCRIPTION	
REVISION	
BY	
NAME	

DRAWN BY: MG  
 DESIGNED BY: DMF  
 DATE: 03/18/2024  
 SCALE: AS NOTED  
 PROJECT NO: 24-011  
 SHEET:

**C1.1**



- ### HATCH LEGEND
- PROPOSED STRUCTURE/ADDITIONS (SEE ARCH DRAWINGS)
  - CONCRETE (VEHICULAR) (SEE DTL 1, C4.0)
  - CONCRETE (PEDESTRIAN) (SEE DTL 1, C4.0)
  - ASPHALT 5/8\"/> ASPHALT 5/8\"/> OVER 9\"/> OVER 9\"/> CLASS II AB@95% R.C.
  - GRIND & OVERLAY (SEE DTL 2, C4.0)

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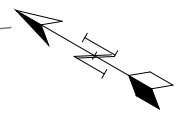
DAVID RAMSEY DATE  
 RCE# 73735

APN# 042-051-04  
 PLAN TYPE  
 RESIDENTIAL

SITE PLAN  
**HADDEN RESIDENCE**  
 602 EL SALTO DRIVE, CAPITOLA, CA, 95010

NO.	DATE	DESCRIPTION	BY	REVISION BLOCK

DRAWN BY: MG  
 DESIGNED BY: DMH  
 DATE: 03/18/2024  
 SCALE: AS NOTED  
 PROJECT NO: 24-011  
 SHEET: **C2.0**



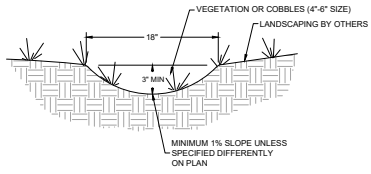
SACRAMENTO AVE

EL SALTO DR

(E) HOUSE WITH (N) ADDITIONS  
 3063 SF

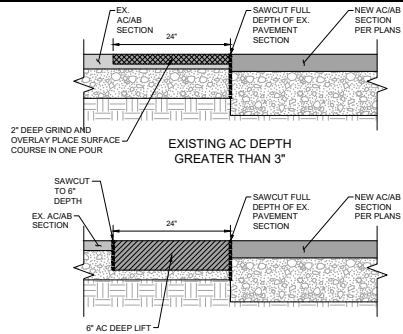






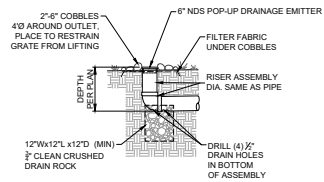
GRADED SWALE  
NTS

3



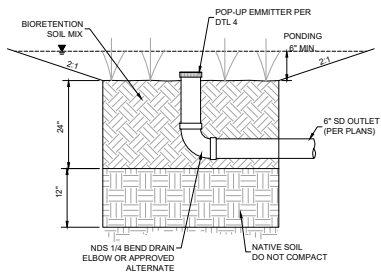
EXISTING AC DEPTH  
LESS THAN 3"  
NEW TO EXISTING AC INTERFACE  
NTS

2



POP-UP EMITTER OUTLET  
NTS

4



BIORETENTION AREA  
NTS

**BIORETENTION NOTES**

1. SURFACE OF THE PLANTING BED SHALL BE RELATIVELY LEVEL BUT MAY HAVE A SLIGHT SLOPE TO DISTRIBUTE WATER THROUGHOUT SURFACE AREA.

**OVERFLOW**

1. INSTALL WATERPROOFING AS NECESSARY TO PROTECT ADJACENT BUILDING WALLS.  
2. TO AVOID CLOGGING, FILTER FABRIC SHALL NOT BE USED IN OR AROUND THE UNDER DRAIN OR BETWEEN THE BIOTREATMENT SOIL MIX AND THE DRAIN ROCK. IF DESIRED, A 2 INCH PEA GRAVEL LAYER MAY BE USED BETWEEN THE BIOTREATMENT SOIL MIX AND THE DRAIN ROCK.

**SOIL REQUIREMENTS**

1. PLANTING SOILS SHALL MEET THE BIOTREATMENT SOIL MIX SPECIFICATIONS APPROPRIATE FOR THE JURISDICTION, A MINIMUM INFILTRATION RATE OF 5 IN/HR AND A MAXIMUM INFILTRATION RATE OF 10 IN/HR ARE REQUIRED.

**VEGETATION**

1. PLANT SPECIES SELECTED SHALL BE SUITABLE FOR BIORETENTION AREA LOCATION, BIOTREATMENT SOILS AND OCCASIONAL INUNDATION.  
2. VEGETATION SHOULD NOT BLOCK INFLOW, CREATE SAFETY ISSUES OR OBSTRUCT FACILITIES.  
3. PLANTING SELECTIONS ARE SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LOCAL JURISDICTION AND SHALL BE SELECTED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECT.

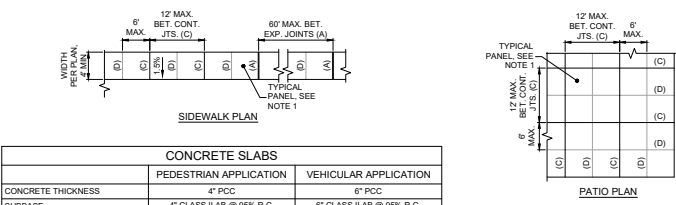
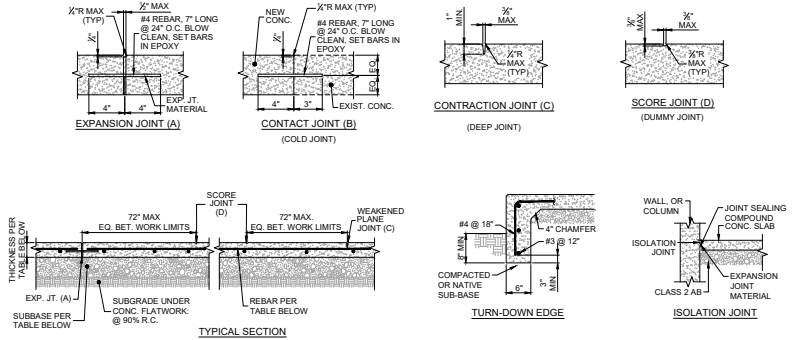
**CONSTRUCTION REQUIREMENTS**

1. BIORETENTION AREAS ARE NOT INTENDED TO WORK AS CONSTRUCTION PHASE BMP'S. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF. DIVERT RUNOFF FROM UNSTABILIZED AREAS AWAY FROM COMPLETED BIORETENTION AREAS.

**MAINTENANCE**

1. CONDUCT BIENNIAL EVALUATION OF THE HEALTH OF THE VEGETATION AND REMOVE AND REPLACE DEAD OR DYING PLANTS.  
2. MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM.  
3. AVOID THE USE OF PESTICIDES AND QUICK RELEASE SYNTHETIC FERTILIZERS.  
4. BEFORE THE WET SEASON BEGINS, VERIFY THAT THERE IS SUFFICIENT BIOTREATMENT SOIL MEDIA TO EFFECTIVELY FILTER STORMWATER. REMOVE ACCUMULATIONS OF SEDIMENT, LITTER AND DEBRIS AS NECESSARY.  
5. PERIODICALLY CHECK DOWNSPOUTS, INLETS AND OVERFLOW PIPING. REMOVE DEBRIS AND REPAIR/REPLACE DAMAGED OR DISCONNECTED PIPES.

5



CONCRETE THICKNESS	PEDESTRIAN APPLICATION	VEHICULAR APPLICATION
	4" PCC	4" PCC
SUBBASE	4" CLASS II AB @ 95% R.C.	6" CLASS II AB @ 95% R.C.
REBAR REQUIREMENT	#4 @ 24" O.C.E.W	#4 @ 24" O.C.E.W

**NOTES:**  
1. USE CLASS A PORTLAND CEMENT  
2. ALL PANELS SHOULD BE SQUARE OR RECTANGULAR WITH A MAX. RECOMMENDED ASPECT RATIO OF 1.5:1 AND A MAX. RECOMMENDED AREA OF 50 SQUARE FEET  
3. SUBGRADE PREPARATION AND COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE GEOTECHNICAL REPORT.

CONCRETE FLATWORK DETAIL  
NTS

1

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QUALITY ASSURED  
NOT FOR CONSTRUCTION

DAVID RAMSEY DATE  
RCE# 73735

APN# 042-051-04  
PLAN TYPE  
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DETAILS  
**HADDEN RESIDENCE**  
602 EL SAL TO DRIVE, CAPITOLA, CA, 95010

NO.	DATE	DESCRIPTION	BY	REVISION

DRAWN BY: MG  
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SHEET:

C4.0



## EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXCAVATED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL, STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE IN PLACE FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL, ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS O&M STANDARDS.

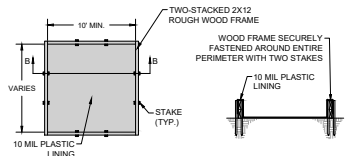
## STORMWATER O&M PLAN

1. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP.
2. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS, REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
3. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
4. SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
  - 4.1. ROOF DOWNSPOUTS:
    - 4.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILD-UP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND PROPERLY DISPOSED.
    - 4.2. GRADED SWALES & PERVIOUS DRIVEWAY/PEDESTRIAN SLAB AREAS:
      - 4.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND DEBRIS REMOVAL AND REMOVAL OF LEAVES DURING AND AFTER FALL LEAF DROP.
      - 4.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
        - 4.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
        - 4.2.2.2. IF VISIBLE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN GAPS OF SLABS, SEDIMENT SHALL BE REMOVED TO ENSURE PROPER FLOW THROUGH.
        - 4.2.2.3. IF EXCESSIVE PONDING OF WATER IS OCCURRING (2-3 DAYS AFTER THE END OF A STORM) CONFIRM LEAF, DEBRIS OR SEDIMENT BUILD-UP IS NOT IMPEDING FLOW, REMOVE AS NECESSARY.
        - 4.2.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

### SOURCE CONTROL MEASURES

BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES:

- INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.
- LANDSCAPE/OUTDOOR PESTICIDE USE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.
- OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.
- UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
- BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.



**OPTION #1 ABOVE GRADE (WOOD PLANKS)**

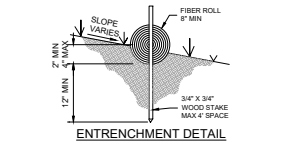
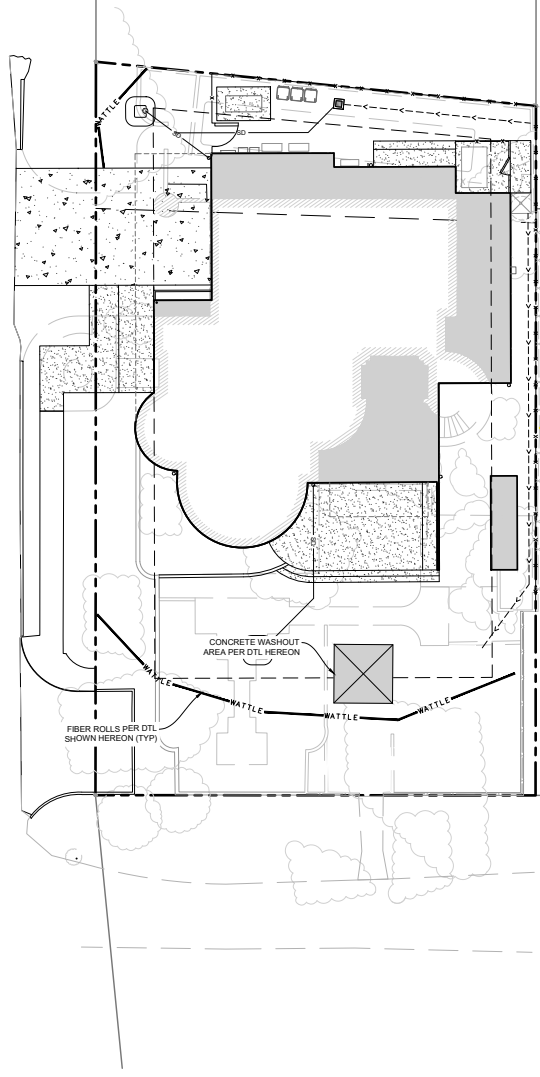
NOTE: ACTUAL LAYOUT DETERMINED IN THE FIELD. ALTERNATIVE WASHOUTS AVAILABLE, CONFIRM WITH ENGINEER PRIOR TO INSTALLATION.

### CONCRETE WASHOUT

- INSPECTION AND MAINTENANCE
1. THE CONTRACTOR'S WATER POLLUTION CONTROL (WPC) MANAGER SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
  2. THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING DAILY TO ENSURE PROPER METHODS ARE EMPLOYED AS DIRECTED BY THE ENGINEER.
  3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
  4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
  5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED FOR DAMAGE (I.E. TEARS IN POLYETHYLENE LINERS, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.

### CONCRETE WASHOUT

NTS

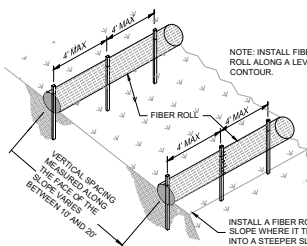


### FIBER ROLLS CONSTRUCTION SPECIFICATIONS

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL, WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE, THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL, MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL, LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY ERODIBLE OR VERY STEEP SLOPES.

### INSTALLATION AND MAINTENANCE

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.



### TYPICAL INSTALLATION

### FIBER ROLLS

NTS

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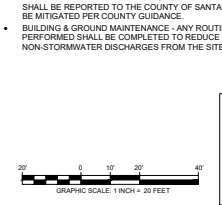
DAVID RAMSEY DATE  
REG #47375

APN# 042-051-04  
PLAN TYPE  
RESIDENTIAL

EROSION CONTROL PLAN AND DETAILS  
**HADDEN RESIDENCE**  
602 EL SAL TO DRIVE, CAPITOLA, CA, 95010

NO.	DESCRIPTION	DATE

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REVISED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**811**  
Know what's below.  
Call before you dig.

DRAWN BY: MG  
DESIGNED BY: DMR  
DATE: 03/18/2024  
SCALE: AS NOTED  
PROJECT NO: 24-011  
SHEET: **C5.0**

◆Painting, Varnish & Application of Solvents & Adhesives

Paints, varnishes, solvents and adhesives contain chemicals that are harmful to wildlife and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials and wastes, adhesives and cleaning fluid should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and watercourses.

Handling of Surface Coatings

- Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system.
When there is a risk of a spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting.

Removal of Surface Coatings

- Chemical paint or varnish stripping residue, chips and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Clean Up of Surface Coatings

- Never clean brushes of rinse paint or varnish contains into a gutter, street, storm drain, French drain or creek.
For water based paints, paint out brushes to the extent possible and rinse into an interior sink drain that goes to the sanitary sewer.

Disposal of Surface Coatings

- Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glue and cleaning fluids must be disposed of as hazardous wastes.

◆Roadwork & Paving

- Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
The discharge of saw cut slurry into the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.

- Effective filtration devices, barriers, and settling devices shall be selected, installed and maintained properly.
Silt fences must be installed so that the drainage around each fence does not create additional erosion and fills down slope of the fence.

◆Earth Moving Activities & Heavy Equipment

Soil excavation and grading operations loose large amounts of soil that can be transported into storm drains when handled improperly. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams and roughened ground surfaces.

Site Planning

- Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
Perform major auto or heavy equipment maintenance, repair jobs and vehicle or equipment washing off-site.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
Protect down slope drainage courses, creeks and storm drains with wattles or temporary drainage swales.

◆Clean Up

- Maintain a spill clean-up kit on site.
Clean up spills immediately. Use dry cleaning methods if possible.

- Clean up leaks, drips and other spills immediately so that they do not contaminate the soil or runoff nor leave residue on paved surfaces. Use dry cleanup methods whenever possible.
Portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs.

◆Advanced Planning

- Site development shall be fitted to the topography and soils in order to minimize the potential for erosion.
Soil grading/clearing limits, easements, setback, sensitive or critical areas, trees, drainage courses, and buffer zones must be delineated on site to prevent excessive or unnecessary disturbances and exposure prior to construction.

Materials & Waste Handling

- Practice containment "Source Reduction" by estimating carefully and minimizing waste when ordering materials.
Practice containment "Source Reduction" by estimating carefully and minimizing waste when ordering materials.

◆Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance

- Landscaping activities and practices expose soils and increase the likelihood of water runoff that will transport earth, sediments and garden chemicals to the storm drain during irrigation or rain events.
Protect storm drain inlets with sandbags, gravel filled bags, straw wattles, filter fabric or other sediment controls.

Ponds/Fountains/Pool/Spa Maintenance

- When draining a pool, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Capitola Public Works Department.
The City will provide guidance on handling special cleaning wastes, flow rate restrictors and backflow prevention.

◆Preventing Water & Sediment Runoff

- Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent a net increase of sediment in the site's storm water discharge relative to pre-construction levels.
During the rainy season, erosion control measures must also be located at all appropriate locations along the site's perimeter and at all inlets to the storm drain system.

◆Stormwater Pollution Prevention and Protection for Construction Projects

In the City of Capitola, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get spilled, leaked or washed into the street or storm drain they can damage sensitive creek habitats and end up polluting our bay and ocean.

In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects.

◆General Construction & Site Supervision

All construction BMPs, sediment and erosion control must be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CGP and below BMPs is required year round.

General Principles

- Keep an orderly site and ensure good housekeeping practices are used.
Maintain equipment properly.
Cover materials when they are not in use.

Good Housekeeping Practices

- Designate one area of the site located away from storm drains, drainage swales, and creeks for auto parking and heavy equipment storage, vehicle refueling and routine equipment maintenance.
Keep materials and soil stockpiles out of the rain and prevent runoff contamination from the site.

NOT TO SCALE. STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION. DRAWN: 3/14 REV. CHECKED BY: S.E.A.

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NOT TO SCALE. STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION FOR CONSTRUCTION PROJECTS. DRAWING NO. STRM-BMP-1. CHECKED BY: S.E.A.

POST CONSTRUCTION STORMWATER REQUIREMENTS

The Central Coast Regional Water Quality Control Board (Water Board) has implemented Post Construction Requirements or "PCRs" for all new development and redevelopment projects located within the jurisdiction of a small Municipal Separate Storm Water System (MS4) that is subject to the Phase II Statewide permit. The City of Capitola is one such jurisdiction.

◆Application. All applicants to the Community Development and/or Building Departments are required to complete the Storm Water Project Permit Application (SWPPA) form in planning a development or redevelopment project to identify the necessity and level of compliance with PCRs. Projects include single family homes, duplex and multi-family units, commercial buildings, and industrial facilities, among other projects.

Table with 3 columns: Tier, Detached Single Family Homes, All Others (Commercial, Industrial, Two- & Multi-Family Homes). Rows for Tier 1, Tier 2, Tier 3 with corresponding New/Replaced impervious area values.

- Notes:
1. Impervious area = includes structures, pavement, hardscaping - essentially any surface that will not allow water to infiltrate into the ground.
2. Net impervious area = the difference between post-project and pre-project impervious areas.

◆Technical Guide. Development and/or redevelopment projects require a certain measure of consideration when planning the site layout/design, preparing the construction documents, and preparing for long-term maintenance of storm water facilities that may be needed.

◆Design Standards. Specific storm water design standards, including boreation swales, detention facilities, etc., may be found in the most recent versions for the California Stormwater Quality Association (CASQA) "Stormwater Best Management Practice Handbook" for:
• New Development and Redevelopment
• Industrial and Commercial
• Municipal

The City accepts best management practices, design standards, and site design measures detailed in these references for implementation on certain projects within the City's jurisdiction, as long as the practices, standards, and measures are suitable for the intended application. The intended application will be described in detail in the guidance document.

◆Fees. Fees associated with reviews pertaining to storm water management are available at the City Planning Department.

◆Enforcement. Storm water management enforcement is described in Chapter 13.16 of the City's Municipal Code.

NOT TO SCALE. STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION. DRAWN: 3/14 REV. CHECKED BY: S.E.A.

- ◆Concrete, Cement, & Masonry Products
Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
Avoid mixing excess amount of fresh concrete or cement mortar on-site.

◆Site Clean Up

- Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
The street, sidewalk and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system.

Form for signing and agreeing to the project owner or general contractor, including fields for signature, date, and print name.

NOT TO SCALE. STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION. DRAWING NO. STRM-PCR-1. CHECKED BY: S.E.A.



RAMSEY CIVIL ENGINEERING INC. CIVIL ENGINEERING, LAND PLANNING, PROJECT MANAGEMENT, CONSTRUCTION SUPPORT, QSO AND GPS SERVICES. 2905 KNISSTIE COURT, SANTA CRUZ, CA 95065. TEL (831) 462-2905. www.ramseycivil.com

APN# 042-051-04. PLAN TYPE RESIDENTIAL. DAVID RAMSEY DATE FEB 7 2024.

BMP & PCR NOTES. HADDEN RESIDENCE. 602 EIL SAL TO DRIVE, CAPITOLA, CA. 95010.

NOT TO SCALE. STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION. DRAWING NO. STRM-PCR-1. CHECKED BY: S.E.A.

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APN: 036-142-03

ADDRESS: 602 El Salto Drive

**\*ESTIMATE\***

WATER SUPPLY FIXTURE COUNT

<b>Fixture Description</b>	<b>Private</b>	<b>SFD</b>	<b>ADU</b>	<b>Public</b>	<b>COM</b>	<b>Sub-Total</b>
Bathtub or Combination Bath/Shower	4	0	1	4		4
3/4" Bathtub Fill Valve	10			10		
Bidet	1			0		
Clothes Washer	4	1	1	4		8
Dental Unit, cuspidor	0			1		
Dishwasher, domestic	1.5	1	0	1.5		1.5
Drinking Fountain or Water Cooler	0.5			0.5		
Hose Bibb	2.5	1	1	2.5		5
Hose Bibb, each additional	1	3	0	1		3
Lavatory	1	5	1	1		6
Lawn Sprinkler, each head	1			1		
Mobile Home, each ( <i>minimum</i> )	6			0		
Sink - Bar	1			2		
Sink - Clinic Faucet	0			3		
Sink - Clinic Flushometer Valve with or without faucet	0			8		
Sink - Kitchen, domestic with or without dishwasher	1.5	1	1	1.5		3
Sink - Laundry	1.5	1	0	1.5		1.5
Sink - Service or Mop Basin	1.5			3		
Sink - Washup, each set of faucets				2		
Shower, per head	2	3	1	2		8
Urinal, 1.0 GPF Flushometer Valve	See 610.10			See 610.10		
Urinal, greater than 1.0 GPF Flushometer Valve	See 610.10			See 610.10		
Urinal, flush tank	2			2		
Wash Fountain, circular spray	0			4		
Water Closet, 1.6 GPF Gravity Tank	2.5	4	1	2.5		12.5
Water Closet, 1.6 GPF Flushometer Tank	See 610.10			See 610.10		
Water Closet, greater than 1.6 GPF Gravity Tank	3			5.5		
<b>TOTAL</b>						<b>52.5</b>