ΙŢ

NOTES

DEFERRED SUBMITTALS:

FIRE SPRINKLER DESIGN AND DOCUMENTATION TO SUBMITTED UNDER SEPARATE COVER.

"DOCUMENTS FOR DETERRED SUBMITTAL ITEMS MUST BE REVIEWED BY THE REGISTRED DESIGN PROFESSIONAL RESPROSHBLE WHO WILL FORWARD THAT OF THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THEY HAVE BEEN REVIEWED 4 ARE IN GENERAL CONFERNANCE WITH THE DESIGN OF THE BUILDING WITH THE TOP THE WILLIAM TO THE WILLIAM OF THE BUILDING OF THE BUILDING AND THE WILLIAM OF THE BUILDING OF THE BUILD

DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. ADDITIONAL PLAN REVIEW & PROCESSING FEES WILL BE CHARGED FOR ANY DEFERRED SUBMITTAL.

CENTRAL FIRE NOTES:

BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NIPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

VALVEIGRAUDES, STRINNLER REALS.

AN INDERGROUDE PIER FROSTECTION SYSTEM MORKING DRAWING MUST BEFREIPARE BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FROM FROM FROM FROM THE PROTECTION SYSTEMS TALLATION POLICY UNDERGROUND FLAN SUBMIT AND PERMIT TILL BE ISSUED TO A CLASS C-16 OR C-56 CONTRACTOR ORBY AN OWNER/SBUEDER OF AN OWNER/OCCUPIED SHALLER.

ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARD PPO-003 4 SHALL REQUIRE PLAN SUBMITTAL 4 PERMIT APPROVAL PRIOR TO INSTALLATION.

JOB COPIES OF BUILDING & FIRE SYSTEMS PLANS & PERMITS MUST BE ON-SITE DURING INSPECTIONS

ALL WORK TO COMPLY WITH:

GEOTECHNICAL REPORT: ROCK SOLID ENGINEERING, INC. PROJECT NO. 24034 DATED MAR. 13, 2025



VICINITY MAP	
Constant	₩.T.S.



GARAGE 3'-2 K' 3'-2 %' 3'-2 %' 21'-6%" 29511 34'-0" SIDE YARD "-0"(L) \$ | 0'-0"(R) 8'-3'(L) \$10'-0'(R) | 13'-9'(L) \$9'-6'(R) | 8'-6 *X'(L) \$10'-10 X'(R) 25'-0"

PLOOR AREA	LOT SIZE	Pv	1AX (55%)	EXIST	ING (42%)	FR	JFUSED (52.6%)	
RATIO	4,122.18 sq.ft.	2,1	84.75 sq.ft.	1,74	3.71 sq.ft.	2	, 176.92 sq.ft.	
	HABITABLE SPA	ACE	SECON FLOOR DE		GARAGE		TOTAL	

	HABITABLE SPACE	SECOND FLOOR DECKS	GARAGE	TOTAL	l
IAIN LEVEL	1,423.16 sq.ft. 		319.83 sq.ft.	1,656.33 sq.ft.	
PPER LEVEL	511.59 sq.ft.	144.00 sa.ft.		511.59 sq.ft.	ı

(P) TOTAL ** AREA NOT COUNTED PER CHAPTER 17.48.040

STAIR AREA CODNIED ONCE	AT GROOND LEVEL	
RKING	REQUIRED	PROPOSED
	2 SPACES, ONE OF WHICH MUST BE COVERED	*I COVERED SPACE
TOTAL	2 SPACES	I SPACE

ASKING FOR PARKING VARIANCE

2.167.92 pa.ft

BUILDING INFORMATION

DEMOUTION OF EXISTING TWO-STORY SINGLE-FAMILY DWELLING OF APPROXIMATELY 1,743-7,11 SQUARE POUNDATION TO REMAIN, [6] GRANGE ROOF TO BE REMOVED 4 REPLACED W/NEW 12.12 FITCH ROOF. CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY DWELLING OF 2, 167-92 SQUARE FEET INCLUSIVE OF 1,167-92 SQUARE FEET INCLUSIVE OF 3.19.8-3 SQUARE FEOT ENGLESHMILY DWELLING OF 2, 167-92 SQUARE FEOT ENGLESHMILY DWELLING OF 2, 167-92 SQUARE FEOT ENGLESHMILY DWELLING OF 1,167-92 SQUARE FEOT ENGLESHMILY DWELLING OF 1,167-92 SQUARE FEOT SINGLE CAR GRANGE.

PROJECT ADDRESS:

302 GRAND AVE. CAPITOLA, CA 95010

PARCEL NUMBER:

036-132-09 ZONING DESIGNATION:

OCCUPANCY CLASSIFICATION:

GARAGE - II

CONSTRUCTION TYPE:

CODE NOTE:

- THE CALIFORNIA BUILDING CODE & APPENDICES, 2022 EDITION, WHICH EDITION INCORPORATE THE INTERNATIONAL BUILDING CODE.

 THE CALIFORNIA BUILDING CODE.

 THE CALIFORNIA PECHANICAL CODE, 2022 EDITION THE CALIFORNIA PECHANICAL CODE, 2022 EDITION THE CALIFORNIA PELMBING CODE, 2022 EDITION THE CALIFORNIA PELMBING CODE, 2012 EDITION THE CALIFORNIA PELMBING CODE.

 THE CALIFORNIA PERE CODE AS AMENDED BY THE CENTRAL FIRE PROTECTION DISTRICT FIRE CODE, 2022 EDITION THE CALIFORNIA PERE CODE AS AMENDED BY THE CHIPTER. HE PROTECTION DISTRICT FIRE CODE, 2022 EDITION THE CALIFORNIA PEREDENTIAL CODE, 2022 EDITION THE 2022 CALIFORNIA PEREDENCED STANDARDS
- THE 2022 CALIFORNIA REFERENCED STANDARDS
- CODE
 THE CALIFORNIA ENERGY CODE 2022 EDITION
 THE CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 EDITION

CONTACTS

DEREK VAN ALSTINE RESIDENTIAL DESIGN, INC. DEREK VAN ALSTINE 1535 SEABRIGHT AVE SUITE 200 SANTA CRUZ, CA 95062 PH: (831) 426-8400

GEOTECHNICAL ENGINEER:

SURVEYUNG
4113 SCOTTS VALLEY DRIVE, SUITE 102
SCOTTS VALLEY, CA 95066
PH: (831) 278-0479

CIVIL ENGINEER:

BUILDING DESIGN

DRAWING INDEX

- LOW RISE RES. MAND. MEASURES 4 VOC BMP
- LANDSCAPE PLAN
- EXISTING SITE PLAN
- PROPOSED SITE PLAN
- A3 PROPOSED 15T FLOOR PLAN
- PROPOSED 2ND FLOOR PLAN
- PROPOSED ROOF PLAN
- PROPOSED EXTERIOR ELEVATIONS
- PROPOSED EXTERIOR ELEVATIONS

CIVIL DRAWINGS

- C1.0 COVER SHEET
- C1.2 BPM NOTES
- C2.0 SITE PLAN
- C3.1 SECTIONS
- C4.0 DETAILS
- C5.0 EROS

OWNERS:

GEOLOGY:

EASTON GEOLOGY GREG EASTON PO BOX 3533

LUCK RESIDENCE

ABBR	EVIATIONS	
		l ⊨
Ø A.B. A.D. ADDN'L. ADJ. A.F.F.	AT ANCHOR BOLT AREA DRAIN ADDITIONAL ADJACENT ABOVE FINISH FLOOR	G
A.D. ADDN'L.	ADDITIONAL	0
ADJ.	ADJACENT ABOVE FINISH FLOOR	11
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BD. BLDG. BLKG.	ABOVE PINISH PLOOR ALIMINUM APPROXIMATELY ASPHARIC COMCRETE ASSEMBLY BOTTOM OP BUILDING BUILDING BUILDING BUCKING BEAM CABINET CERAMIC TILE CENTER LIME CELLING COLLING COLLIN	ш
BLKG.	BLOCKING	ш
BM. CAB. C.T.	BEAM CABINET	ш
C.T.	CERAMIC TILE	ш
CL. CLG. CLR.	CEILING	ш
COL.	CLEAR COLUMN CONCRETE CONSTRUCTION CONSTRUCTION CONTINUOUS CONTINUOUS CENTER DOUGLAS FIR DIMENSION DOWN DOWNSPOUT	0
COL. CONC. CONSTR. CONT.	CONCRETE	ш
CONT.	CONTINUOUS	ш
CPT. CTR. DBL. D.F. DIA. DIM. DN. DR.	CENTER	ш
DBL. D.F.	DOUBLE DOUGLAS FIR	ш
DIA.	DIAMETER	
DN.	DOWN	ш
DR. D.S. DTL.	DOWNSPOUT	l I
DTL.	DETAIL DRAWING	l I
DWG. EA. ELEC.	EACH ELECTRICAL	l I
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EQ. (E)	DOOMSEPOUT DOOMSEPOUT DETAIL D	l I
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FIN.	PINISH	ш
FL. F.O.B.	PLOOR PACE OF BLOCK	ш
FL. F.O.B. F.O.C. F.O.M. F.O.S FRMG. FTG. GA.	PACE OF CONCRETE	ш
F.O.5	PACE OF STUD	ш
PT.	POOT / PEET	ш
PTG. GA.	FOOTING GAUGE	١.
GALV. G.F.I.	GALVANIZED CROUND FAULT	Ιľ
GYP.	CIRCUIT INTERRUPT	11
H.B.	HOSE BIBB	П.
H.C.	HOLLOW METAL	10
HDR.	HEADER	11
H.B. H.C. H.M. HDR, HORIZ. HT.	HEIGHT	ш
I.D. IN.	INSIDE DIAMETER INCH(S)	0
INFO.	INFORMATION	11
HT. I.D. IN. INFO. INSUL. INT.	INTERIOR	11
JT. MAX. MECH.	JOINT MAXIMUM	ш
MECH.	MECHANICAL MANUFACTURED	11
MECH. MIR. MIN. MISC. MTL. N.I.C. N.T.S.	MINIMUM	ш
MTL.	METAL	11
N.I.C. N.T.S	NOT IN CONTRACT	0
(N) NOM. O/	NEW	11
O/	OVER	11
O.C. O.D. OPENG.	ON CENTER OUTSIDE DIAMETER	0
OPENG.	OPENING DESCRIPT TREATED	l I
PLY.	PLYWOOD	l I
P.T. PLY. PTD. R.O. R. R.C.P.	ROUGH OPENING	0
R. R.C.P.	RADIUS REFLECTED CEILING	l I
DD.	PLAN POOF DRAIN	0
REF.	REFERENCE	l 1-
REINF. REQID.	REINFORCEMENT REQUIRED	
RFG.	ROOFING ROOM	l 1°
S.C.	SOLID CORE	11
SCHED.	SCHEDULE SCHEDULE	0
REF. REINF. REQD. RFG. RM. S.C. S.S. SCHED. SHWR. SHT. SIM. SPEC. SPECD.	SHOWER SHEET	0
SIM.	SIMILAR SPECIFICATION	1 I "
SPECD.	SPECIFIED	l I
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VERT. V.G.D.F.	VERTICAL CRAIN	0
	DOUGLAS FIR	Ιľ
W.C. W/D	WATER CLOSET WASHER / DRYER	l I
W/H W/O W/ W.P.	WATER HEATER	l I
W/	WITH	Ι.
W.P.	WATER PROOF	

GEN	ERAL REQUIREMENTS
01.1	ALL REPERENCES TO "CONTRACTO GENERAL CONTRACTOR AND THE SUB EMPLOY; THEY SHALL BE ONE IN THE : THE STRUCTURAL, MECHANICAL, I LANDSCAPE DRAWNICS ARE SUPPLIES
01.2	DESIGN DRAWINGS, IT SHALL BE THE THE CONTRACTOR TO CHECK WITH TO BEFORE THE INSTALLATION OF STRUC- ELECTRICAL AND LANDSCAPE WORK: O DISCREPANCY BETWEEN THE DESIGN. CONSULTANTS DRAWINGS, IT SHALL ATTENTION OF THE DESIGNER FOR CLI. TO BISTALLATION OF SAID WORK, AM CORRECTED BY THE CONTRACTOR AT AT NO ADDITIONAL COST TO THE OWN.
01.3	PROVIDE ALL LABOR, MATERIAL A RCQUIRED FOR THE SATISFACTORY A WORK SHOWN IN THESE DRAWINGS. SOUND AND QUALITY CONSTRUCTION SHALL BE SOLELY RESPONSIBLE FOR ADDIQUATE LABOR, MATERIALS AND IS COVER THE TIMELY INSTALLATION OF INDICATED. DESCRIBED OR IMPLIED.
01.4	WORK PERFORMED SHALL COMPL (A) ALL APPLICABLE LOCAL AND S ORDINANCES AND REGULATIONS.
01.5	BUILDING COOR. (C) THESE CENERAL NOTES, UNEX DIVING A SERVICE AT THE MOTEO ON PLANES OR SPECIFICATION ON PLANES OR SPECIFICATION ON PLANES OR SPECIFICATION OF THE SERVICE
01.6	CONTRACTOR SHALL CAREFULLY ST THE CONTRACT DOCUMENTS AND VE AND CONDITIONS ON THE JOB AND A ERROR, INCONSISTENCY OR OMISSIC DISCOURT TO THE DESIGNER
01.7	DO NOT SCALE DRAWINGS. WRITT THESE DRAWINGS SHALL HAVE PRECE SCALED DIMENSIONS. LARCE SCALE / DRAWINGS SHALL BE FOLLOWED IN PI SMALL SCALED MEASUREMENTS.
01.8	A COMPLETE SET OF PRINTS WILL SHALL BE MAINTAINED IN GOOD ORD DIFFERENCES BETWEEN THE LOCATION ARRANGEMENTS INDICATED ON THEIST THOSE OF THE ACTUAL INSTALLATION RECORDED IN RED PRINCIL ON THAT SCOMPLETION OF THE PROJECT AND PAYMENT, CONTRACTOR SHALL SIGN BUILT DRAWING AS BEING A CORREC REPRESENTATION OF THE WORK, AND
01.10	ALL SYMBOLS AND ABBREVIATION DRAWINGS ARE CONSIDERED TO BE C STANDARDS. IF CONTRACTOR HAS O REGARDING SAME, OR THEIR EXACT IN SHALL BE NOTIFIED FOR CLARIFICATE ALL DIMENSIONS ARE TO FACE OF
01.11	COLUMN GRID LINES, FACE OF CONCI WALLS, FACE OF STUDS AND FACE OF LINESS OTHERWISE NOTED
01.12	CONTRACTOR SHALL VERIFY SIZE: ALL MECHANICAL EQUIPMENT PADS 4 POWER 4 WATER OR DRAIN INSTALLAT MANUFACTURERS BEFORE PROCEEDI VERIFY ALL DIMENSIONS IN THE DISCREPANCIES TO DESIGNER BEFOR
01.13	DISCREPANCIES TO DESIGNER BEFOR THE WORK. AS-BUILT DRAWINGS SHALL BE M. PROGRESS OF THE WORK WITH THE L CONCEALED, UNDERGROUND OR OTHORN THE CONCEALED, UNDERGROUND OR OTHER SHALL MATTERIALS, AND WORK ASSISTED.
01.14	CONCEALED, UNDERGROUND OR OTH CONDUIT, ETC ALL MATERIALS AND WORKMANSH TO THE DRAWINGS AND SPECIFICATION
01.15	CONTRACTOR SHALL BE RESPONS VERIFICATION OF LOCATION OF ALL E THE FIELD, LOCATIONS SHOWN ON F APPROXIMATE AND FOR GENERAL INFIGURE OF THE SOLE RESPONSIBILITY OF THE VERIFY THE EXISTENCE OF AND PROTISURFACE AND UNDERGROUND FACILITY AND EXPERT OF SUPPLIED FOR THE REPAIR OF SU
01.16	IT IS THE RESPONSIBILITY OF THE PROTECT # PRESERVE ALL SURVEY MY FOUND DURING THE CONSTRUCTION
01.1-	

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GEN	ERAL REQUIREMENTS	DEN	IOLITION
01.3	ALL RETREMENTS TO CONTRACTOR'S SHALL RIDICATE CORRECT AND THE SECONDATIONS AND THE SECONDATIONS AND THE SECONDATIONS AND THE STRUCTURAL RECEIVABLE. RECEIVABLE REPORTS AND THE SECONDATION	02.1 02.2 02.3 02.4 02.5 02.6 02.7	REMOVE FLANTS 4 VECTATION AS REQUIRED FOR MEW CORPINATION AS STREAMS. PROTECT ALL TREES OF MEMOCRAFILMS TO VERY WINDOWS AS THE SECRET AS THE PROPERTY OF THE PROPERTY OF THE SECRET AS THE PROPERTY OF THE SECRET AS
01.6	APPROVIAL & FERMIT, CONTRACTOR SHALL PAY FOR THE APPROVIAL & FERMIT, CONTRACTOR SHALL PAY FOR THE APPROVIATION AND THE APPROVIATION AND THE STEEL OF COMPARE IT WITH THE FAMILY AND THE APPROVIATION A	O3.1 O3.2 O3.3 O3.4 O3.5	WORK IN PAYER STREETS, ALL LIVES SHALL BE SACCOTHE VERTICAL WITH A REAL BEING CORPSALLY BECTWOOLIAGE MANYE MATERIAL WAY BE USED AS RADOFFLILLY BY MANYE MATERIAL WAY BE USED AS RADOFFLILLY BY SON COMPACTION WITHIN TWO PET OF SURFACE (TEST METHOD NO COURTON & 12 C.P. IT SHAD MACTICLE TO SON COMPACTION WITHIN TWO PET OF SURFACE (TEST METHOD NO COURTON & 12 C.P. IT SHAD MACTICLE TO SON COMPACTION WITHIN TWO PET OF SURFACE (TEST METHOD NO COURTON & 12 C.P. IT SHAD MACTICLE USED A MINERESEAULUS SERVICE ALEXT) 1-600-237-2400 METHOD NO COURTON SERVICE ALEXT)
01.10	COLUMN GRID LINES, FACE OF CONCRETE BLOCK, WALLS, FACE OF STUDG AND FACE OF FOAM BLOCK UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY SIZES 4 LOCATIONS OF TOWNS OF THE STATE OF THE STAT	03.6 03.7 03.8 03.9 03.10	WITERD AND MAINTAINED WITH ETPECTIVE EROSION CONTROL HIS BETT ETABLISHED TO THE APPROVAN OF CONTROL HIS BETT ETABLISHED TO THE APPROVAN OF CONTROL HIS BETT ETABLISHED TO THE APPROVAN OF THE APPROVAN OF THE APPROVAN OF THE APPROVANCE OF THE APPROVEN OF THE APPROVENCE OF

S USED ON THE DISTRUCTION IPSTIONS	03.8	A SANITARY SEWER LATERAL CLEA INSTALLED AT THE PROPERTY LINE, IF O ALREADY EXIST WITHIN TWO (2) FEET O
EANING, DESIGNER N. CONCRETE.	03.9	ANY TRENCHING WITHIN THE DRIPL SHALL BE HAND DUG AND SO NOTED THE CONTRACTOR SHALL REPAIR O
ETE BLOCK FOAM BLOCK		EXISTING IMPROVEMENTS NOT DESIGN REMOVAL THAT ARE DAMAGED OR REI OF CONTRACTOR'S OPERATIONS, IMP
# LOCATIONS OF BASES AS WELL AS ONS W/ EQUIPMENT G W/ THE WORK.		AS, BUT NOT LIMITED TO: CURBS, GU DRIVEWAYS, SIGNS, PAVEMENTS, RAI: MARKERS, THERMOPLASTIC PAVEMEN SHALL BE REPAIRED 4 REPLACED TO A TO OR PETTER THAN THE ORIGINAL OF
LD. REPORT ALL PROCEEDING W/		IMPROVEMENT TO BE REPAIRED OR RE AT THE DIRECTION OF THE ENGINEERIN INSPECTOR, # SHALL COMPLY WITH AL
RKED DURING THE CCATIONS OF ALL RWISE - PIPING,		DISABLED ACCESS PROVISIONS, CON REQUEST A WALK. THROUGH WITH THI CONSTRUCTION INSPECTOR BEFORE T CONSTRUCTION TO VERIFY EXISTING O
P SHALL CONFORM NS.	03.11	INCLUDING TELEPHONE, ELECTRICAL PO
BLE FOR ISTING UTILITIES IN ANS ARE RMATION ONLY, IT	03.12	COMMUNICATIONS LINES UNDERGROL BY LOCAL CITY CODE. THE ADJACENT PUBLIC RIGHT-OF-V CLEAR OF ALL JOB DEBRIS AT THE END AND DEBRIS SHALL MOT BY WASHED I

A SUM-THISHED SURFACE OF CUTBACK OR LOWERT. AS THE HISHED SURFACE OF CUTBACK OR LOWERD CROSS-SECTION MAXIMUM LOW. FRED DETINATION OF THISTY (SQ.) DAYS ATTES BACKFILLING TO ALLOW FOR SETTLING. CONTRACTOR SHALL PATCH ANYTIME THAT EXCESSIVE SETTLING COURS.

BOILER PLATE NOTES

WITHIN 30 DAYS, CONTRACTOR SHALL RESTORE SHALL RESTORE SHALL RESTORE AND TO THE RESPONDING AND TO THE RESPONDING AND THE RESP

SEE WATERPROOFING NOTES FOR ADDITIONAL SHEE MITAL NOTES
ALL COPPER MEETING DISSIMILAR METALS TO BE PROTECTED WITH DI-ELECTRIC UNION. PROVIDE PROPER SEPARATION BETWEEN DISSIMILAR MITALS.

WATERPROOFING / FLASHING

INSULATION

09.1 INSTALL A MIN, OF 1.5 THICK RESULATION ON ALL HOT SHIPLE A MIN, OF 1.5 THICK RESULATION ON ALL HOT SHIPLE A COLD WITER PIES FOR THE PIEST 5° FROM A SHIPLE A COLD WITER PIES FOR THE PIEST 5° FROM A SHIPLE AND A MIN OF 2° THICK RESULATION, HOT WATER PIEST SHIPLE BY THE SHIPLE AND A MIN OF 10° THICK RESULATION, HOT WATER PIEST SHIPLE BY THE SHIPLE AND A MIN OF 10° THE SHIPLE AND A SHIPLE AND A SHIPLE AND A SHIPLE WATER SHIPLE BY THE SHIPLE AND A SHIPLE SHIPLE WATER SHIPLE BY THE SHIPLE SHIPLE BY THE SHIPLE SHIPLE SHIPLE BY THE SHIPLE SHIPLE SHIPLE SHIPLE BY THE SHIPLE S

FIRE BLOCK STUD WALLS & PARTITIONS AT FLOOR, CEILING, SOFFIT, & MID-HEIGHT WALLS OVER 10'-0' IN HI

SEE DOOR & WINDOW SCHEDULES FOR ADD'TL NOTE.

 NFRC LABELS SHALL REMAIN ATTACHED TO GLAZING UNTIL INSULATION INSPECTION IS COMPLETE.

ALLIAGE LESS THAN 1.6" ABOVE THE ADJACTOR WASHING ASPECTS THAN 1.6" ABOVE THE ADJACTOR THE ADJACTOR THE ADJACTOR ASPECTS ASPECTS THE ADJACTOR AS TORDE OF THE ADJACTOR AS TORDE OF THE ADJACTOR AS TORDE OF THE ADJACTOR ASPECTS ASPECTS

TAIRS / HANDRAILS/ GUARDS

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POPERTION O

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PER POOT FALL TO SANIFARY SEVER.
PER POOT FALL TO SANIFARY SEVER.
ALL WATES SHEPPY LINES, PRINCE OF LINING
SHALL BE U.F. C. APPROVED. CONTRACTOR SHALL
JURISDICTIONAL PREPOVAL.
ALL SHOWERS TO BE PRESIDER BALANCED (20 OL)
ALL SHOWERS TO BE PRESIDER BALANCED (20 OL)
AMBORMAN WATER LINING.

** TOURITS & 1.20 CPT. PETERTUR FLUSH VOLUME
** TRUBLE STANIFACE SANIFACE FLUSH VOLUME
** TRUBLE STANIFACE SANIFACE FALLOTTS & 0.5 GM
** STORING SANIFACE SANIFACE FALLOTTS
** LINING SANIFACE SANIFACE FLUSH VOLUME
** LINING SANIFACE SANIFACE FALLOTTS
** LINING SANIFACE FALL

ALL BUILDING WATER SUPPLY SYSTEMS IN WITH QUIC ACTING VALVES SHALL BE INSTALLED WITH DEVICE TO

GARAGE.
PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUS'
EXTENDING TO OUTSIDE W/ BACKDRAFT DAMPER

ALL AIR DUCTS PENETRATING SEPARATION WALL OR EILING BETWEEN GARAGE & LIVING AREA SHALL BE 2G CELING BETWEEN CARACE 4 LIVING AREA SHALL BE 26 CALACE MIN.
MISULATION SHALL NOT BLOCK THE PREF LOW OF AIR.
BISULATION SHALL NOT BLOCK THE PREF LOW OF AIR.
THE INSULATION SHALL NOT BLOCK THE PREF LOW OF AIR.
CHEMICAL SHALL SHALL

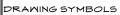
N BAILDRIGS WITH COMBUSTRIC CRUNG OR BOOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO THE CACCES OPENING THE CACCES OPENING THE CACCES OPENING THE CACCES OPENING SHALL NOT BE LESS THAN 22° X 30° S WALL BE LOCATED IN A THALLWAY LOCATED IN A THALLWAY LOCATED IN A THALLWAY LOCATED IN CHING. SHALL NOT BE A THALLWAY LOCATED IN CHING. SHALL NOT BE A THALLWAY LOCATED IN CHING SHALL NOT BE A THALLWAY LOCATED IN CHING. SHALL NOT BE A THALL NO

NEW WINDOWS AND DOORS WE FILLY COMPLY WIT THE TOLLOWING MINDOWS OF BODIES CON-PEDIDENTIAL WINDOWS 4 DOOR COOL ECONOMISSION DESCRIPTION OF THE ANAL STANDARDS PER CRC, SEC. GOD 3.1 IN SACTY CAUGHS TESTING AND JURGILIKO PER CRC, SC. EJERGY TESTING 8 CERTIFICATION PER CDIC, SEC. 110.6

.2 WATER CLOSETS TO HAVE A MIN. CLEARANCE OF 15° ON EACH SIDE FROM THE CENTERLINE OF THE FIXTURE, ¢ A MIN. OF 24° CLEAR IN FRONT OF THE FOURIE. C, P.C. SECTION 407.5. ALL NEW WATER CLOSETS TO HAVE A MAX. FLUSHING CAPACITY OF 1.28 CALLONS.

ELECTRICAL

MECHANICAL

















DVRD_s

ATA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the edispoint and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

381.1.1 Additions and alterations, [HCD]. The mandatory provisions of Chapter 4 shall be applied additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific zers of the addition or alteration.

The mandatory provision of Section 4.108.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.108.4.3 for application.

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, read-ential buildings undergoing permitted afterations, additions, improvements shall replace noncompliant plumbing fatures with water conserving plumbing fatures. Plumbing fature replacement in sequel prior to issuence of a certificate of find completion, certificate of occupancy or final permit approval by the local building department. See Cult Code Section 1/01.1, order improvements of the control of the control

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS, [HCD] The DI individual sections of CAL Green may apply to either low-rise residential buildings. Injih-rise residential buildings, or both. Individuals sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and control of the property of the section applies to both low-rise and control of the property of the property

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

plions.

I. IPLCDI Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable, 2. [PICDI For purposes of CALGreen, In-Wenvis units, complying with Section 419 of the Californ Building Code, shall not be considered mixed occupancies. LiverWork units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:
HCD Department of Heaving and Community Development
Department of Heaving and Community Development
Development
Development
Development
Development
Development
Development
HC Low Rise
HGR Nas
A

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

EFINITIONS ing terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wellies are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hey, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and relet controls.

4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of evaluable natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm value for damage and existing controls shall comply with this section.

1.10.2.3 TORM WATER DRAINAGE and RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in lotal disturbs one sour or more, shall manage atom vasif enhance during construction. In order to manage atom water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjact property, prevent existing and relation and of the site.

Retention basins of sufficient size shall be utilized to retain storm water on the site.
 Where storm water is conveyed to a public drainage system, collection point, guiter or similar disposal method, water shall be filtered by use of a barrier system, water or other method approved by the enforcing agency.
 Compliance with a lawfully enacted storm water management ordinance.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 166.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surfa water include, but are not initiate to. the following:

Swelan Water collection and disposal systems French durins Water relation perdens Other water measures which keep surface water away from buildings and aid in groundwater necharge.

Exception: Additions and alterations not altering the drainage path.

.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Secti 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (PS/SF) shall be installed in accordance with the Californa's Psectrical Code Article 625

power.

1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility inhestructure design requirements, directly related to the implementation of Eardion 4.106.4, may adversely impact the construction cost of the project.

Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional paning facilities.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The receway termination location shall be permanently and visibly marked as "EV CAPABLE".

6.4.2 New multifamility desillings, hotels and models and new residential parking facilities, praiding pseroides parking spaces for rew multifamily develope, hotels and models stall made the internets of Sections 4, 106.4.2.1 and 4, 106.4.2.2. Calculations for spaces shall be rounded up to the nearest in number. A parking space served by electric vehicle supply experience of designed as a fauth res EV changing as shall count as at least one standard automobile parking space only for the purpose of complying with any recision intrinsim parking space requirements established by a local particulation. See Vehicle Good Section 2500.

1.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less han 20 sleeping units or guest rooms.
The number of welling units serging units or guest rooms shall be based on all buildings on a project site subject to

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserv for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.

2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV charges installed.

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

2.EV Ready. Twenty-fire (25) percent of the total number of parking spaces shall be equipped with low power Lewel 2 EV charging receptacles. For multitamity parking facilities, no more than one receptacle is required pe dwelling unit when more than one parking space is provided for use by a single dwelling unit.

Exception: Areas of parking facilities served by parking lifts. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of welling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to

1.8IV Capable. Ten (16) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical and calculations shall demonstrate that the electrical paris event capably, and extending system, including any on-site distribution transformer(s), have sufficient capacity for simultaneously change all EVs et all required by spaces at an influent of 04 amperes.

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) ref for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (6) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV charges installed over the five (6) percent required.

a Construction documents shall show locations of figure EV spaces

b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.

Exception: Areas of parking facilities served by parking lifts.

When nor power Level 2 EV chapting recognises or Level 2 EVEE are installed beyond the minimum required, capacity is each space served by the ALMS. The electrical system and any on-the intribution transforma-capacity is each space served by the ALMS. The electrical system and any on-the intribution transforma-tion and a served of the ALMS and a served system and any on-the intribution transforma-tion and a served of the ALMS and a served of the ALMS and a served of the any of the ALMS and and the ALMS and not be used to recisive the intrinsium required electrical capacity to the required by Capables spaces.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).
Electric vehicle charging stations required by Section 4.106.4.2.2, item 3, shall comply with Section 4.106.4.2.2.1.

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code. Chapter 118, for accilicable

4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options:

1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapiter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2 ib

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:

1 The minimum length of each FV space shall be 18 feet (5486 mm).

2 The minimum width of each FV space shall be 9 feet (2743 mm)

a. Surface slope for this EV space and the able shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

A166.4.2.2.1.3 Accessible EV spaces.
In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2 all EVSE, when Installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 118. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 114, Section 1109A.

Exception: A raceway is not required if a minimum 40-ampere 209/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway fermination point and the totation of installed or failure EV papers, receptocies or EV chapters. Construction documents shall also provide extended to the EV papers. The shall be provided to the EV chapter of the EV papers of the

exception: A receively is not required in a minimum 40-ampere 208/240-Volc dedicated EV branch circuit is installed in close proximity of the location of the proposed location of the EV space at the time of original construction in accordance with the Cellifornia Finction Code. 4.106.4.2.4 Identification.
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) restrictive EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

4.106.4.2.5 Electric Vehicle Ready Space Signage.
Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Califfrant Traille Coversions Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its

nt for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy
Associations will eventual to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

1.303 INDOOR WATER USE
4.303. INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING PIXTURES AND FITTINGS. Plumbing fixtures (water closeds and
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4.303.1 WATER CONSERVING PLUMBING PIXTURES AND FITTINGS PLUMBING PIXTURES PIXTURES

Note: All noncompilant plambing fintures in any residential real properly shall be replaced with water-conservir plumbing fintures. Plumbing forture replacement is required prior to issuance of a certificate of renal competion, contributed or competion, contributed of competions, contributed programmers, or final parish approval by the local building department. See Civil Code Section 1101.1, at seq., for the definition of a noncompilant plumbing finture, types of residential buildings affected and other important enactment distance.

4.393.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type. Tolists.

Note: The effective flush volume of dual flush tollets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterGense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallors per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallors per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavator faucets installed in common and public use areas (outside of dwellings or steeping units) in residential buildings shell not exceed 0.5 acidinos per minute at 60 ps.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not delive more than 0.2 gallons per cycle.

4,303.1.4.4 Kitchen Fausets, The maximum flow rate of kitchen fausets shall not acceed 1.8 gallons per mixed as 60 pat. Kitchen fausets may temporarily increase the flow above the maximum rate, but to acceed 2.2 gallone per mixed as 60 pat, and must default to a maximum flow rate of 1.8 gallone per mixed as 60 pat.

4.303.1.4.5 Pre-rinse spray valves.
When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations). Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutterf.

FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations. Tiple 20 (Appliance Efficiency Regulations). Section 1600.1 mi/4) and Section

TABLE H-2	
STANDARDS FOR COMMERCIAL VALUES MANUFACTURED ON C	
PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)
Product Class 1 (≤ 5.0 ozl)	1.00
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20
Product Class 3 (> 8.0 ozf)	1 28

Title 20 Section 1606.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)(113 grams-force(gf)) 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial

Ings.
Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table

NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A

TABLE - MAXIMUM FIXTURE WATER	USE
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE
A304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPIE AREAS. Residential developments shall comply with
a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water
Efficient Landscape Ordinance (MWELO), whichever is more stringent.

Y - YES
MA - WIT APPLICABLE
RESPON. PARTY - RESPONSE FARTY (B): ARCHITECT, ENGINEER,
OWNER, COMMERCIOR, RESPECTOR ETC.)

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

b. RODENT PROOFING. Annular spaces around pipes, electric cables, capture or other openings in solebottom plates at exterior walls shall be protected against the passe, and use or other openings in openings with cement montar, concrete masoning or a similar method acceptable to the enforcing agency.

8.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING A.608.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demotition waste in accordance with either Section 4.740.2, 4.408.3 or 4.408.4, or meet a more stingest local construction and demotition waste

Enzivated soil and land-clearing debris.
 Alternals waste reduction methods developed by working with local agencies if diversion or clearly continued to complete the design of completenes with this face do not exist or are not located massimably close to the jobble.
 The enforcing agency may make exceptions to the requirements of this section when isolated jubellate are latested in areas they must be abundanced for the discharged in a continued to the band humeridate and the discharged for alternal for a continued to the band humeridate and the discharged for alternal for alternal for a continued to the band humeridate of the discharged for alternal for alternal for a continued to the continued of the discharged for alternal for a continued of the discharged for alternal for a continued of the discharged for alternal for a continued for a

Identify the construction and demollion waste materials to be diverted from disposal by recycling.
 Specify if construction and demollion waste materials will be notified on-site (source separately) or built mixed (regise demail).
 Identify diversion facilities where the construction and demollion waste material collected will be called the construction and demollion waste material collected will be called the construction methods employed to reduce the amount of construction and demollion waste.

Identify construction interiors emproyed to reduce the amount or construction and demonstrative generated.
 Specify that the amount of construction and demoitton waste materials diverted shall be calculated by weight or volume, but not by both.

408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 weight of construction are demolition waste disposed of the landscape Seet Complete Control waste production repurposes. 4.406.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combin-weight of construction and demoition waste disposed of in landfils, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hock.ca.gov/CALCreen.him may be used to assist in documentificoncepilisnes with his section.
 Mixed construction and demolition debris (0.2 B) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

.410 BUILDING MAINTENANCE AND OPERATION

d. Landscape Irrigation, systems.

3. Information from local cliffly, water and weate recovery providers on methods to further reducts resource consumption, including recycle programs and locations.

4. Partic transprodriom reduce cappor cliptors establist in the size transprodriom reduce cappor cliptors establists in the assistantisty believes 30.400 percent in the program of t

Information about variet conserving instituces and integration design and controlleds which conserve a section of the production of the production of the production of the integration of the service of the production of the service of the se

.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructualizing sits, provide readily accessible areals) that serves all buildings on the atte and are identified propositing, storage and collection of non-hazerdous materials for recycling, including let a minimum corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local retinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL

.501.1 Scope
he provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, ritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS

\$.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference) AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS, Composite vwool products incide heartwood pyrocot, particlescent and medium density floatmoore. Composite vwool products' does not incide heartwood pyrocot, particlescent and medium density floatmoore. Composite vwool products' does not incide heartboore, droubless physicos, structural pareasks incident and previous descriptions of the products of the pro

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREE

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

T3

ATA California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-fulls for all predients in a product subject to this indice. The PVMIRH is the total product reactivity expressed to hundredths of a grain of accree formed per grain of indice (rectubing container and packaging).

ACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to one formation in the transponder.

A 504 POLLITATI CONTROL
4.504 I COURRING OF DUCT OFBENDOS A PROTECTION OF MEDIANICAL EQUIPMENT DURING
4.504 I COVERNING OF DUCT OFBENDOS A PROTECTION OF MEDIANICAL EQUIPMENT DURING
CONSTRUCTION. A the mind of ongly inhealization, using storage or the construction also and until final
openings and the covered with layer, plastic, sheet metal or other methods acceptable to the enforcing ager
reasines has memorif exist, dutal or distribution may great the assignment.

04.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caults shall comply with local or regional air pollution control or air quality immegament district rules shall comply with the control or air quality immegament district rules such products also what comply with the Right 18th primition on the use of credit tools; compounds (chloroform, dirighters distriction, emittylane chlorofore, beginning chlorofore, beginning chlorofore, and control in obstruction.) Zelevis delivers distriction, and control in obstruction.

Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or cauking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid courses) shall comply with absteried by Castanderis and other requirements, including prohibitors on use of certain toxic compounds, of Cattornia Code of Regulations, Title 17, commencing with section 14507.

4.994.23 Aerosol Paints and Gestings. Aerosol paints and costings shall meet the Product-weighted htm: Limits for ROC in Section 9452(2)(4)) and other requirements, including prohibitors on use of startal hold. Regulations: Till 17, commoning with Section 94502 and in section 18502 and in section 18502

Manufacturer's product specification.
 Field verification of on-site product containers.

(Less Water and Less Exempt Compounds in Gran	ns per Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

 IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Grams per Liter)			
SEALANTS	VOC LIMIT		
ARCHITECTURAL	250		
MARINE DECK	760		
NONMEMBRANE ROOF	300		
ROADWAY	250		
SINGLE-PLY ROOF MEMBRANE	450		
OTHER	420		
SEALANT PRIMERS			
ARCHITECTURAL			
NON-POROUS	250		
POROUS	775		
MODIFIED BITUMINOUS	500		
MARINE DECK	760		
OTHER	750		

TABLE 4 504 3 - VOC CONTENT LIMITS FOR

ARCHITECTURAL COATINGS₂₃

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMP

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	160
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS:	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	360
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

 GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &

EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS	
MAXIMUM FORMALDEHYDE EMISSIONS IN PAI	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM	A THOSE SPECIFIED

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIE BY THE CALLF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTME 133S. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MMA)

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

Section of the Colfornia

tips://www.cdph.ca.gov/Programs/CCDPHP/DFODC/FHLB/IAQ/Pages/VOC.aspx

4.594.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatic Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01360)

See California Department of Public Health's website for certification programs and testing labs https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

See California Department of Public Health's website for certification programs and testing labs. htps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plyw 304.3 CHIEFC31 IS WOUD PRODUCTS. INSTANCED pyritode, participated and medium density indencedor impositio wood products used on the interior or exterior of the buildings shall meet the requirements for maiddenyde as specified in ARDS AIT Toxics Control Messure for Composite Wood (17 CCR 93120 et seq.), or o before the dates specified in those sections, as shown in Table 4.304.5

Product setficiations and specifications.
 Chair of cusholy certifications.
 Product liabeled and invoiced as meeting the Composite Wood Products regulation (see
 Control Chair of Cusholy Control Chair of Control Chair of C

4.505 INTERIOR MOISTURE CONTROL

4.505 Agraematic Residency shall meet or exceed the provisions of the California Building Standards Code

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code. Chapter 5, shall also comply with his section.

A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with connects and a concrete mix design, which will address bleeding and contact the contact of the contact with connects and a connect mix design, which were de-pendent of the contact with the contact with the contact with the contact with the contact in the contact in the contact with the c

Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
 Moisture readings shall be labor at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped on

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically verillated and shall comply with the

Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
 Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.

adjustment.

A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

 For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. tub/shower combination.

2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems, design, design, and air conditioning systems, design, design, and have their equipment selected using the following methods:

The heat to see and heat gain is established according to MoNAICACA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Dut systems are stated according to ANSIACACA Manual 0 - 2014 (Residential Dut Systems).

3. Select heating and cooling equipment according is ANSIACACA Manual 5 - 2014 (Residential Equipment) Selection), or other equivalent design software or methods.

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

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Y - YES

MA - HOT APPLICABLE

RESPON PARTY - RESPONSIBLE PARTY (N: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity extra gas the owner's agent shall entity one or more special inspection to provide inspection of end of the content of the endorse and endorse endorse

Certification by a national or regional green building program or standard publisher.
 Certification by a statewise energy consuling or verification organization, such as HERS refers, building performance contractors, and home energy auditors.
 Successful completion of a bird party appendinc braining program in the appropriate trade.
 Other programs acceptable to the enterioring agency.

Notes:

1. Special inspectors that be independent entities with no financial interest in the materials or the control of the c

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

ΙŢ INC. ALST DESIGN I Z_{-}^{-} ESIDENTIAL шΞ

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LUCK RESIDENCE 302 GRAND AVE CAPITOLA, CA 95010

MAY 29, 202 P.C. COMMENT

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Stormwater Pollution Prevention and Protection for Construction Projects

In the City of Capitals, water in streets, guiters, and storm drains flows directly to local creets and Monteny flavy without any treatment. When detects, paint, concerts and other human pollutants from connections dise and none construction profess and store human flavy can damage sensitive creek habitats and end up polluting our bay and coean.

In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following amandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) Induction State Volume 4 and 10 and 1

◆General Construction 8. Site Supervision
The miry season referred to hermi applies to the disease October 1 to April 30; the dry season spans May1 to September 30.
Compliance with the CGP and below BMPs is required year round; however, different requirements may be needed for the ra and non-rainy season.

- General Principles

 Resp an orderly site and ensure good housekeeping practices are used.

- | Geogram on definy late and ensure pools not consensuration in the consensuration of th

- Erobor e Sediment difficir rean instituti, california regional vater Quality Control locare San Francisco Lay Nee
 Manuel of Silander's for Ensois and Sediment Control Reseauses, Association of Bay Area Governments (ABAG)
 Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA)
 Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA)
 Construction Best Management Practices (BMPs) Manual, Storm Water Quality Handbook, California

- Good Toursekeorian Practices

 Good Toursekeorian

 Good T storm inlets and/or drainage channels.

 Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or
- cycling receptacles. sep dumpster lids closed and secured. For dumpsters or bins that don't have a lid, cover them with tarps or plastic ceeling, secured around the exterior of the dumpster or place them under temporary roofs. Never clean out a dumpster by

NOT TO SCALE	OF CAPITA	STANDARD DRAWINGS FOR	DRAWN: 2/14	REV:
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S.E.J.		STEVEN JESSERG PURLIC WORKS DIRECTOR	BMP-S1	FRM.1

- Clean up leaks, drips and other spills immediately so that they do not contaminate the soil or runoff nor leave residue on paved surfaces. Use dry cleanup methods whenever possible. Water may only be used in minimum quantities to prever
- f portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs.
- Conduct visual inspections for leaks.

 Protect vegetation and trees from accidental damages from construction activities by surrounding them with fencing or tree armoring.

- amonting.

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 Sate development all be filted to the topography and solls in order to minimize the potential for entains.

 Be defined the control of the c
- Mancapel Code Chapter 15 28.

 Control the annual of nend to assist your site especially during excavation by using berms or temporary drainage of tiches or bibs-availes to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary chack dams or berms where appropriate.

- Materials & Waste Landlina

 Practice contaminant "Source Reduction" by estimating carefully and minimizing wester when ordering materials.

 Practice contaminant "Source Reduction" by estimating carefully and minimizing wester when ordering materials.

 In Practice contaminant "Source Reduction" by estimating carefully septimated to the property of the materials that cannot be recycled are taken to an appropriate land fig or disposed of all westers prosperly by ensuring that materials that cannot be recycled are taken to an appropriate land fig or disposed of all hexactions waster. Never buy wester materials or leave them in the serior or near careful or disposed.

◆ Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance

**Monutantenanism achieliae and machines expose soils and increase the likelihood of water runoff that will transport earth, Meny lendsceping activities and practices expose soils and increase the likelihood of water runoff that will transport earth, sediments and garden chemicals to the storm drain during irrigation or rain events. Other exterior armenifies such as ponds, pools and spas require regular maintenance using chlorine and/or copper based algeecides. Water treated with these chemicals is toxic to aquatic life and should never be discharged to the storm drain.

- Andscaping & Garden Maintenance

 Divident shockniles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Protects occupies and sansosciping inventions from what of it can be yourning ment unlose traps or secured peased. Scheduling sharing and executation cluring dry weather.

 Use temporary check drains or disches to direct unrolf away from storm drains or drainage channels or offeringed channels. Protect storm drain inless with sendibeless, gravel fillied belongs, straw watters, filter fabric or other sediment controls. Re-vegetation is an excellent fort or if crossion control for any site.

 Never drain por leaves soil, much, or other landscape protects in the street, guilter, or storm drain.

OnderSourchainsPoolSpa Maintenance

When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Capitola Pulko Works Department. The City will provide guidance on handling special cleaning waste, flow rate restrictions and backflow prevention.

restrictions and bactors prevenue.

**Proventing Water & Suffment Functi

Effective aposon and sedement control measures must be implemented and maintained on all disturbed areas in order to

Effective aposon and sedement control measures must be implemented and maintained on all disturbed areas in order to

Effective aposon and sedement control measures must also be located at all appropriate locations along the site's permeter and at all rises to

the storm drain systems. Effective methods to protect storm dam insits includes send applianters, heavy public mast to cover

and seal the intel, and sediment traps or bassins. Refer to the Encoson & Sediment Control Field Manual, California Regional

Water Costilly Control Gard San Francisco By Region, Forth Efficient August 2023, and the most record versions of the

Manual of Standards for Encoson and Sediment Control Researces, Association of By Area Convernments (ABCA), and

Manual of Standards for Encoson and Sediment Control Researces, Association of By Area Convernments (ABCA), and

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♦ Painting, Varnish & Application of Solvents & Adhesives Adhesives Application of Solvents & Adhesives Adhesives Application of Solvents & Adhesives Adhesives

chemicals may come from fluid or solid products or from cleaning residues or rags. Paint materials and waster, after cleaning fluid should be recycled when possible or properly disposed to prevent these substances from entering the ston drains and watercourses.

Handling of Surface Coatings

Keen naint, varnish, solvents and achesive products and wastes away from the gutter, street and storm drains. Wastewater

The solventh flow shown drain system. or runoff containing paint or paint thinner must never be discharged into the storm drain system.

When there is a risk of a spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting.

- Removal of Surface Coatings

 In Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths
- and disposed of as frash. Chemical plate of vernish stopping residue, chips and dust from merine paints or varieties, or paints containing lead. Chemical plate of vernish stopping residue, and such states of the chemical paint removal reputine a state of certified contractor. Paint may be tested for lead by taking paint scrapings to a local, state-certified laboratory. When stripping or cleaning building settorics with high-pressure water, tooks down drains to prevent flow to creake and the
- Moniterry Bay, Wash water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before stripping paint or cleaning a pre-1978 building's exterior with water under high pressure, test paint for lead by taking paint scrapings to a local, state-certified laboratory.

- Clean Up of Surface Coatings

 Never clean brushes or rinse paint or varnish containers into a gutter, street, storm drain, French drain or creek.

 For water based paints, paint out brushes to the extent possible and rinse into an interior sink drain that goes to the sanitary
- reverse. For oil based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Dispose of excess liquids and residue as hazardous waste.

 When thoroughly dv, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.

- Disposal of Surface Costings

 Recycle return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as New year, recurring suppose, or Goriella univariate view received (view) plants. On based plant interpret every or obspaced or a hazardious waste. Varianth, thinners, solvents, glues and cleaning fluids must be disposed of as hazardious waste. When the job is completed, collect all unused or waste materials and dispose of property. Never leave or abandon materials onsite, and onsure that nothing has drifted toward the street, putter, or catch based.

Roadwork & Paving

- KORKWOTK 8. Pavina Protect nearly skind under skind so displacet vaster bodies price to breaking up asphal or concrete. Protect nearly skind under skind to the skind with any skind ski
- materials. Cover and seal nearby storm drain inlets and manholes before applying seal coat, slurry seal, etc. Leave covers in place

- Cover and seal nearry storn user a week are used to the control the control that the collection is done stored to the control that the collection is done stored to the control that the control
- base stockpile or dispose of in the trash. Remove and clean up material stockpiles (i.e. asphalt and sand) by the end of each week or, if during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

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*Earth Moving Activities. A Heavy Equipment
Disconsistion self-garding periodics closes large amounts for sit that can be transported into storm drains when handled
improprie, Effective encour control practices induce the amount of rund crossing a site and slow the flow with chick dams
conglemed ground surfaces. Often, earth moving activities require use and stratege of every equipment. Provide invalidation, and heavy equipment flowed leak fuel, oil, antifleeze or other fluids onto the construction site are common sources of
storm dain polition.

Effective filtration devices, burriers, and setting devices shall be selected, installed and maintained properly. Shi femore must be installed so that the drainage around each femore does not create additional erocion and nils down slope of the femore around the device of the drainage around each femore acquisity filtering the water (and not just causing if storus waters are used to filter sectioner furnoff, ensure that the balses are actually filtering the water (and not just causing

All on-site erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety

hazards
A qualified person should conduct inspections of all on-site BMPs during each rainstorm and after a storm is over to ensure
that the BMPs are functioning properly. For sites greater than one-acre, onsite inspections are required in accordance with
the GCP.

- Size Planning

 Mantana all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.

 Petform major auto or heavy equipment mantenance, repair jobs and vehicle or equipment washing off-site.

 Petform major auto or heavy equipment mantenance, repair jobs and vehicle or equipment washing off-site or site of the petrological petrologica
- To not use diesel oil to lubricate equipment parts or clean equipment. Only use water for onsite cleaning. Cover exposed fifth wheel hitches and other oily or greasy equipment during all rain events.

- Practices During Construction

 Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosen control on slopes or where constructions in ord immediately plant destron distant with writtles or temporary durinage needed. Protect down slope damage occurses, creates and storm distant with writtles or temporary durinage needed. Protect down slope damage because the second storm of the storm of

- Spill Clean Up

 Maintain a spill clean-up kit on site.

- Maintain a spill dear-sp. kt of sits.

 All states and spill dear-sp. kt of sits.

 New hose down for if you represent personal to great where fluids have spilled. Use dry cleanup methods (absorbert materials, cell titler and/or rap) whenever possible and properly dispose of absorbert materials, cell titler and/or rap) whenever possible and properly dispose of absorbert materials. Sweep us pagilled or yimedicals immediately, lever attempt to worth them ravely with water do buy them.

 Sweep us pagilled or yimedicals immediately, lever attempt to worth them ravely with water do buy them.

 Call 911 for significant spills. If the spill poses a significant hazard to human health and safety, you must also report it to the state Office of ferengery devices.

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0.0.		STEVEN JESSERS, PUBLIC WORKS DRECTOR	DMIT-31	run-3

♦Concrete, Cement, & Masonry Products

- llutant laden water shall never be discharged into or allowed to reach
- Note that make the property of the property of
- be provided on-site.

 Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditches or water body.

 If conducting sidewalk work, material stockpiles must be removed and cleaned up by the end of each day. Sweep or collect
- unused materials and debris that remain on pavement and dispose of property.

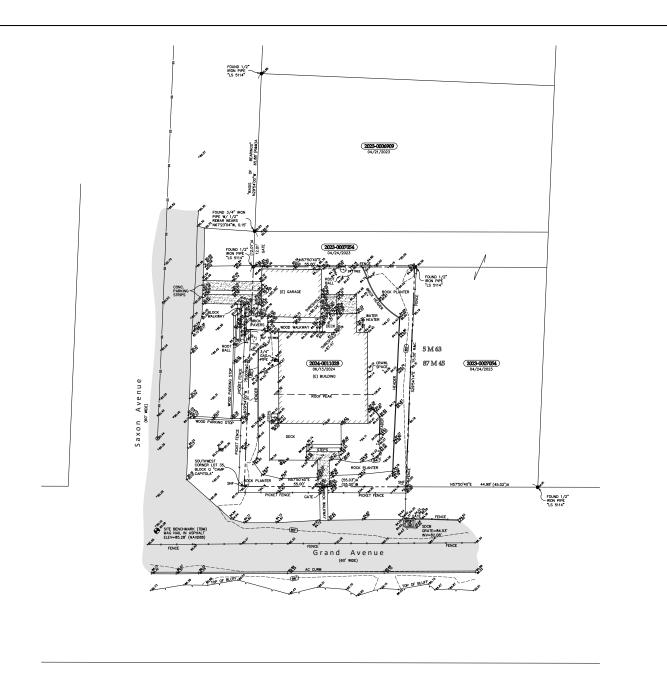
 When the job is completed, collect all unused or waste materials and dispose of property. Never leave or abandon materials on onsite. Ensure that nothing has drifted towards the street, gutter or catch basin.

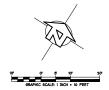
Site Clean Up

- Clean up by sweeping instead of hosing down whenever possible. Depose of little and obbris in the garbage. The steet, sideward and other power desert any not be cleaned by warning or by developing admirent, concrete, asphalt, or the steet, sideward and other power desert any not be cleaned by warning or by developing admirent, concrete, asphalt, or directed to a landscaped or grassy area large enough to abords all the value. I particular the production of the steet of

Signed and Agreed to by: Project Owner or General Contractor		
Signed:	Date:	
Print Name:		

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Legend

MONUMENT FOUND AS NOTED
S SAN. SEWER MANHOLE
WATER METER

WATER MEIER

BENOMARK

() INDICATES RECORD DATA
() A 87 M 45

R&C RECORD & CALCULATED DATA
BV. INVERT LEVATION

BOLLARD
SWF MOTHING FOUND OR SET

ORADE BREAK
SINTAMY SERRE INE
FINCE
CONTOR INE
TO F SUPE
TO F SUPE
TO F SUPE
ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

Basis of Bearings
THE BASIS OF BEARNOS FOR THIS SURVEY IS BETWEEN MONAMENTS FOUND ALONG THE NORTHEASTREY SEE OF SAXON AVDIALE, AS SHOWN ON THAT MAP FILED IN VOLUME 57 OF MAPS, AT FACE 45, SANTA GRUZ COUNTY RECORDS.

BASIS OF BEARINGS = N29'54'W

Benchmark

BENCHMARK ELEVATION = 66.70 (NAVD88)

STORM DRAIN INLET
STREET SIGNAGE
SO
SAN. SEWER CLEANOUT
UTILITY POLE
GAS METER

ASPHALT CONCRETE, AC (SHADED)

THE BENCHMARK FOR THIS SURVEY IS SANTA CRUZ COUNTY BENCHMARK BM 909, WHICH IS A BRASS DISC SET IN CONCRETE MONUMENT, LOCATED AT THE SOUTHMEST CORNER OF MONTEREY AKONE AND THE SOUTHEN PACIFIC RAILROAD TRACK. 10.5' NORTHWEST OF UTILITY POLE WITH A LIGHT ATTACHED.

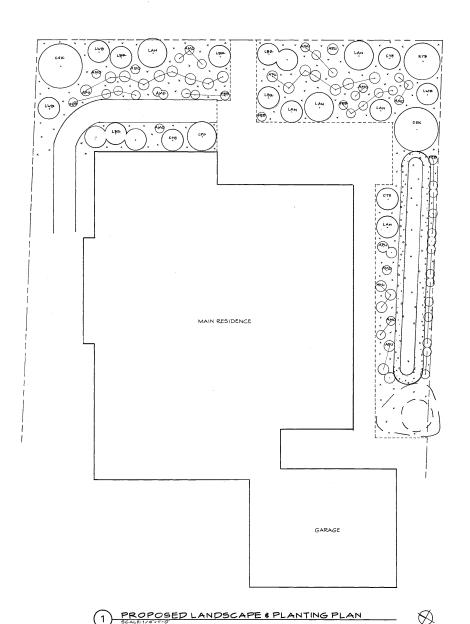
SITE BENCHMARK (TBM) MAG NAIL IN ASPHALT LOCATED AT THE NORTHEAST CORNER OF GRAND AVENUE AND SAXON AVENUE. BLEV=85.28 $\,$

Record Boundary and Topographic Survey 302 Grand Avenue Santa Cruz, CA

GV Land Surveying 4113 Sont Valky Drive, Suite 102 Scotts Valky, CA 9906 gylandsurveying.com

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JOB NO. V24071



PLANT LIST

CODE	NAME	COMMONNAME	SIZE.	œry	TYPE
AMO	ACHILLEA X 'MOONSHINE'	MOOHSHINEYARROW	14AL	28	PER.
APUL	ARISTIDA PURPURBA	THREE AWN GRASS	14AL	2.5	GRASS
CTE	CHONDROPETALLIM T. 'EL CAMPO'	EL CAMPO GAPERIUSH	5GAL	3	4PASS
CSK	CISTUS X SKANBORGII	DWARF PINK CORAL ROCKROSE	5-4L	2	SHRUE
FEB	PESTUCA GLANCA BUJAHBUNE'	ELIJAH BLUG FESCUE	144	27	GRASS
LAM	LAVANDULA ALLARDII 'MEERLO'	MEBRIC LAVENDER	IGAL	3	SHR-LIE
LAN	LAVANDULA STOECHAS 'AHOUK'	AHOUK LAVENDER	54AL	3	SHRUE
LWB	LAVANDULA STORCH, WINTER BEE'	WINTER BEE LAVENDER	24AL	3	SHRUB
LPP	LEUCADENDRONDISCOLOR 'POMPOM'	POMPOMCONBBUSH	54AL	1	SHRW
LBE	LOMANDRA LONGIFOLIA BREEZE'	DWARF MATRUSH	5 GAL	8	49.45
RTB	THO SMARINUS OFF, "THIS CAN BLUE"	THECAMBLUE POSEMARY	54AL	1	SHRUE

X X X X X MINITER BARK MULCH

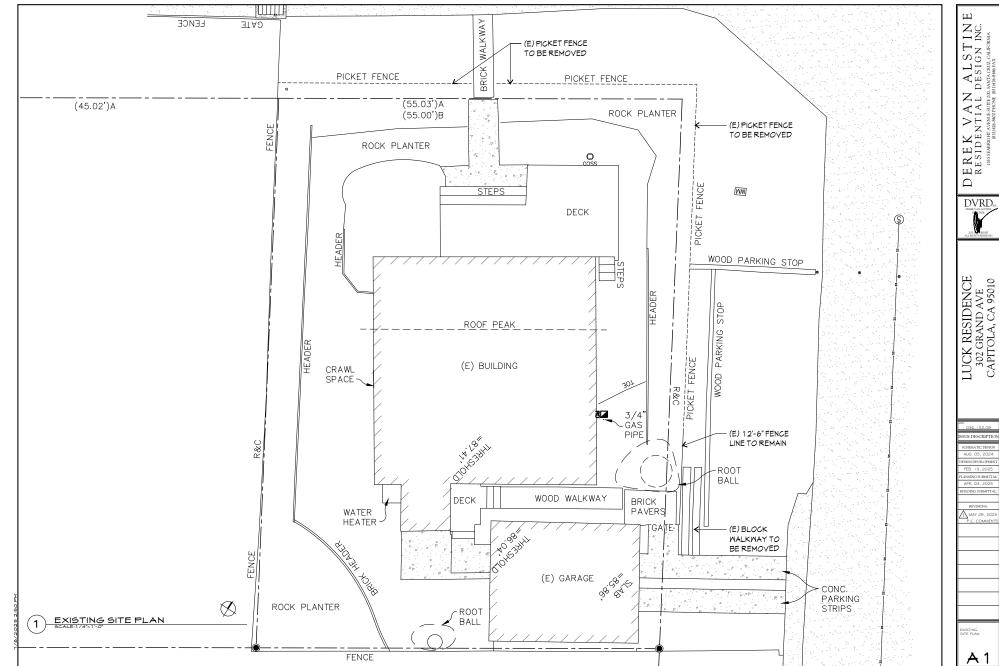
LUCK RESIDENCE

	LESLEY	GRAINGER	D5514H
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831-236-0483

www.lesleygraingerdesign.com

5/28/25



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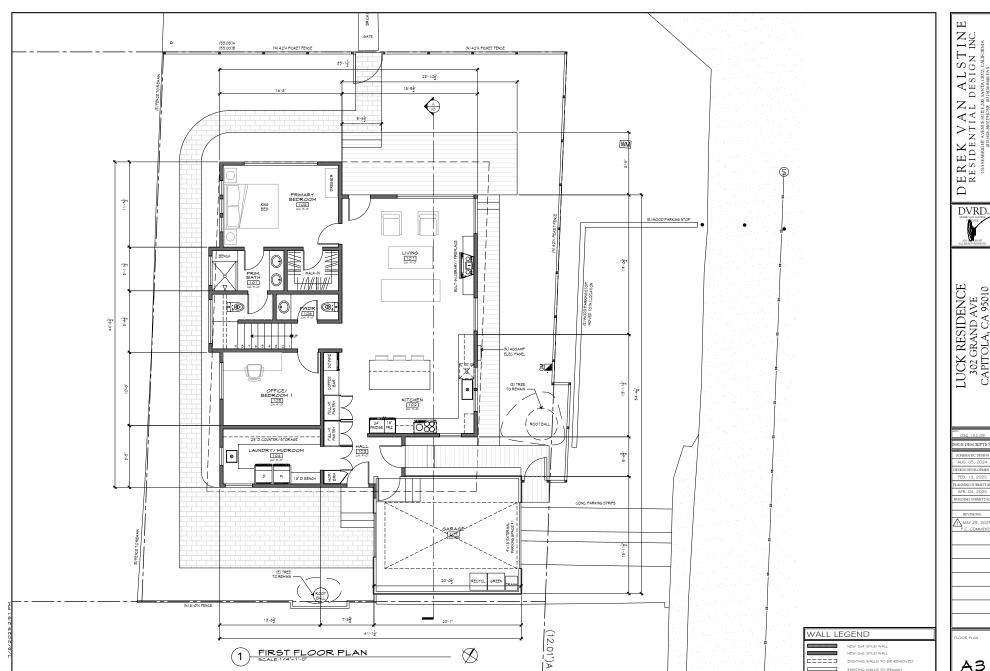
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LUCK RESIDENCE 302 GRAND AVE CAPITOLA, CA 95010

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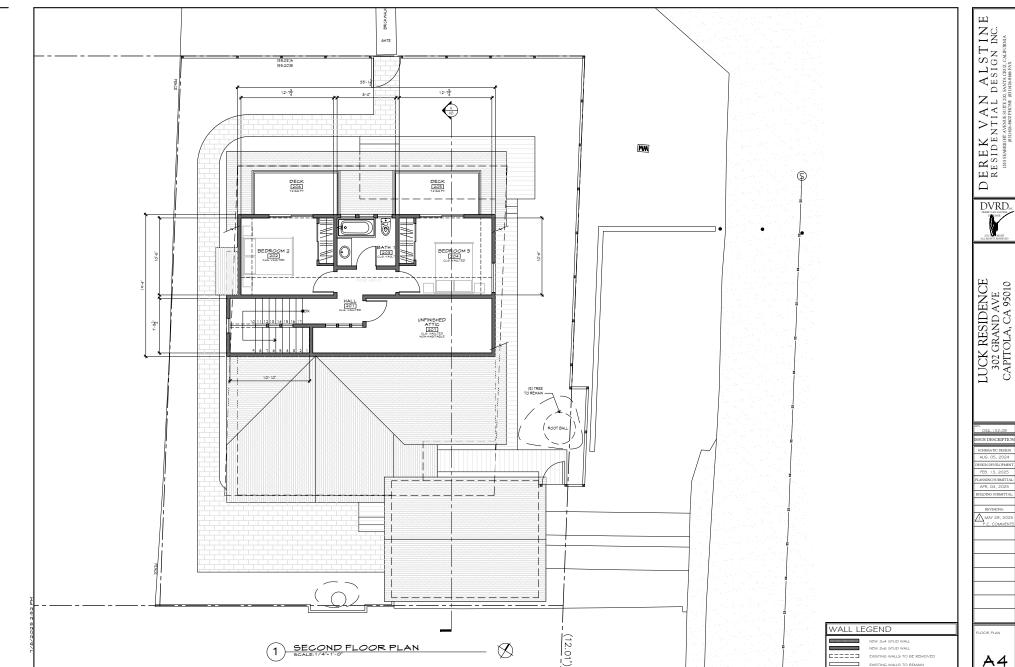
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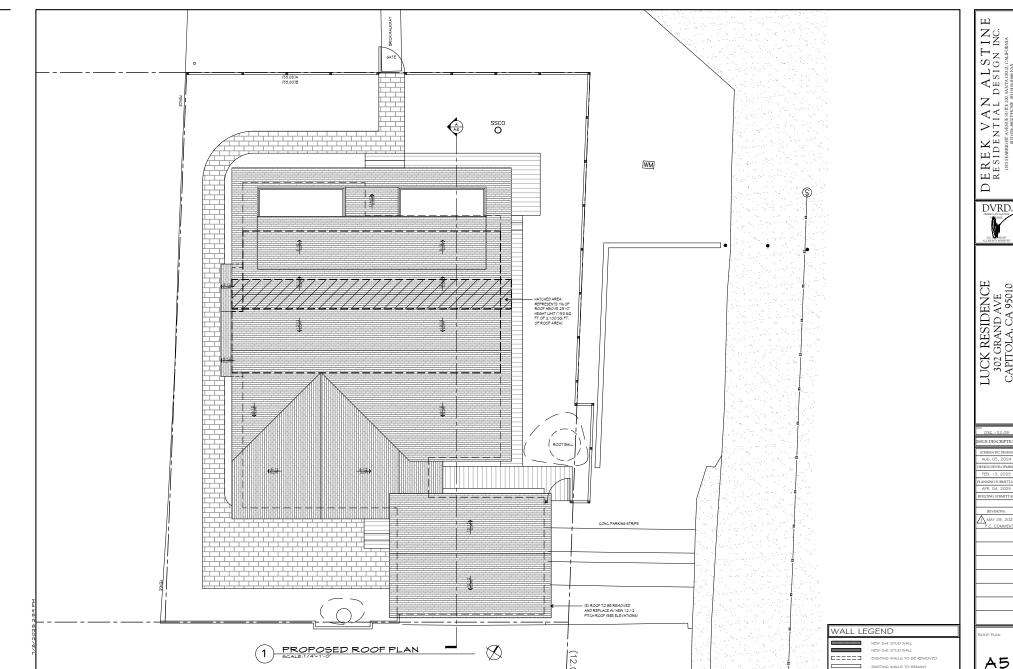
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LUCK RESIDENCE 302 GRAND AVE CAPITOLA, CA 95010

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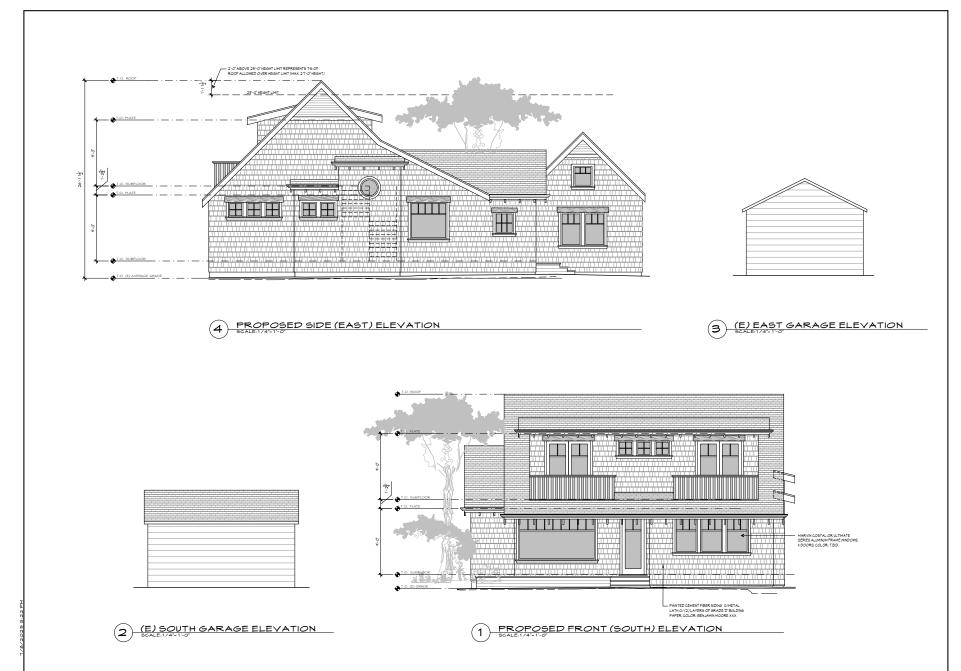


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ANNING SUBMITTAL:
APR. 04, 2025

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LUCK RESIDENCE 302 GRAND AVE CAPITOLA, CA 95010

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LUCK RESIDENCE 302 GRAND AVE CAPITOLA, CA 95010

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REVISIONS:

MAY 29, 2025

REVISIONS:

MAY 29, 2025

P.C. COMMENTS

PROPOSED SECTIONS

ABBREVIATIONS

AGGREGATE BASE
AR CONDITIONER UNIT
AREA DRAIN
AREA DRAIN
AREA DRAIN
ASSESSORS PARCEL NUMBER
ASSESSORS PARCEL NUMBER
BASEMENT FLOOR
BACKFLOW PREVENTER
BLOW-OFF VALVE
BASEMET FLOOR
BACKFLOW PREVENTER
BLOW-OFF VALVE
BACK OF SIDEWAKE
BACK OF SIDEWAKE
BEGIN VERTICAL CURVE
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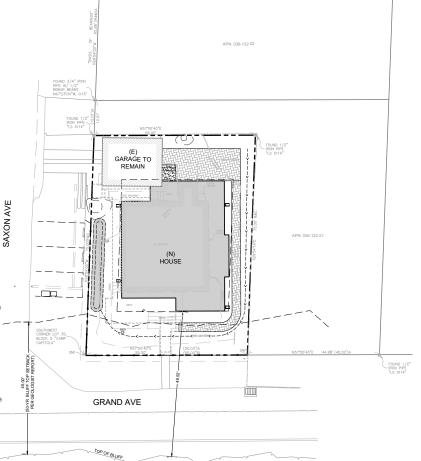
WATER THRUST BLOCK

IMPROVEMENT PLANS

FOR

LUCK RESIDENCE

CAPITOLA, SANTA CRUZ COUNTY, CALIFORNIA





MAP DATA © GOOGLE

VICINITY MAP

SURVEY

SURVEY FOR THIS PROJECT PROVIDED BY GV LAND SURVEYING, JOB NO. V24071, DATED 8/15/2024.

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS SANTA CRUZ COUNTY BENCHMARK BM 909, WHICH IS A BRASS DISC SET IN CONCRETE MONUMENT. LOCATED AT THE SOUTHWEST COPIER OF MONTEREY AVENUE AND THE SOUTHERN PACIFIC RAILROAD TRACK. 10.5 NORTHWEST OF UTILITY POLE WITH A LIGHT ATTACHED.

BENCHMARK ELEVATION = 66.70 (NAVD88)

SITE BENCHMARK (TBM)
MAS NAIL IN ASPHALT LOCATED AT THE NORTHEAST CORNER OF
GRAND AVENUE AND SAXON AVENUE.
ELEV=85.28

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN
MONUMENTS FOUND ALONG THE NORTHEASTERLY SIDE OF
SAXON AVENUE. AS SHOWN ON THE MAP FILED IN VOLUME 87 OF
MAPS, AT PAGE 45, SANTA CRUZ COUNTY RECORDS.

BASIS OF BEARINGS = N 29"54" W

INDEX OF SH	IEETS		
SHEET NO.	DESCRIPTION		
C1.0	COVER SHEET		
C1.1	NOTES		
C1.2	BMP NOTES		
C2.0	SITE PLAN		
C3.0	GRADING AND DRAINAGE PLAN		
C3.1	SECTIONS		
C4.0	DETAILS		
C5.0	EROSION CONTROL PLAN & DETAILS		









RESIDENC

COVER SHEET LUCK



Tier 1 Project Data Form (Instructions on Back)

Name of Owner or Developer	Stephanie Luck	
Name of Primary Contact (if different)		
Primary Contact Information	Phone: 408-482-5352	
	Email: Just1luckygirl@Yahoo.com	
Project Name/Number		
Application Submittal Date		
Project Location (Address/APN)	036-132-09	
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking," etc.]		
Total Project Site Area (sf)	4,122	
Total Pre-Project Impervious Area (sf)	1,443	
Total Post-Project Impervious Area (sf)	2,049	
Total New Impervious Area (sf)	649	
Total Replaced Impervious Area (sf)	1,034	
Runoff Reduction Measures Selected	☑ Disperse runoff to vegetated area	
(Check one or more)	☑ Pervious pavement	
	☐ Cisterns or Rain Barrels	

CITY OF CAPITOLA GENERAL NOTES

- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS PROVIDED BY THE CITY OF CAPITOLA.
- 2. UNLESS OTHERWISE AGREED UPON WITH THE CITY OF CAPITOLA, DURING CONSTRUCTION, ANY CONSTRUCTION ACTIVITY SHALL BE SUBJECT TO A CONSTRUCTION NOISE CURFEW, EXCEPT WHEN OTHERWISE SPECIFIED IN THE BUILDING PERINT ISSUED BY THE CITY CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF NIME PM. AND SEVEN-THIETY AM. ON WEEKAMS UND STRUCTION NOISE SHALL BE PROHIBITED THE THEN THE NIME OF SHEEP AND FOR STRUCTION NOISE SHALL BE PROHIBITED ON WEEKAMS WITH THE EXCEPTION OF SATURGAY WORK BETWEEN NIKE AM AND FOUR PLACE REMEMBERS.
- 3. A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INCURRES RECARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGH EASILY VISIGLE FROM OFF-SITE DURING THE ENTRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPRATOR TOR NOURLY.
- 4. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF
- 5. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR BETWEEN OCTOBER IS AND APRIL 15, EXPOSED SOL SHALL BE PROTECTED FROM RESIGNA AT ALL THESE. DURING CONSTRUCTION SUCK) PROTECTION MY CONSIST OF MUCHING AND
- THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
- UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE
 AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- 8. CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED. IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR
 USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO
 CONSTRUCTION.
- 10. UNLESS OTHERWISE NOTED, THE TERMS "INSTALL", "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION
- 11. PURSUANT TO SECTIONS 16.40,000 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER RIGUIND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTEATO OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATURE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL MINEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORDINET IF THE DISCOVERY CONTAINS HUMAN REMANS, OR THE PLANNING DIRECTOR F THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16 40.010 AND 16 42.100. SHALL BE OBSERVED.
- THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- 13. SPILLANT SALL, NOTTY THE PISEC YWORD EXPANIEST A NORS IN ADMICE OF THE COMMISCISHEN OF WORK PROCESSING THE COMMISCISHEN OF WORK PROCESSING THE COMMISCISHEN OF WORK PROCESSING THE COMMISCISHEN OF THE COM PROJECT DURATION.
- 14. KEEP WORK SITE CLEAR OF DEBRIS AND BE AWARE OF TRACKING MUD, DIRT, GRAVEL INTO THE STREET, AND SWEEP DALLY, COVER ALL STOCKPILES AND EXCAVATION SPOILS. PRACTICE GOOD HOUSEKEEPING AND MAINTAIN TEMPORARY CONSTRUCTION BMPS.
- 15. PRIOR TO ANY WORK IN THE CITY ROAD RIGHT OF WAY, AN ENCROACHMENT PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR PERFORMING THE WORK. NO MATERIAL OR EQUIPMENT STORAGE MAY BE PLACED IN THE ROAD

RAMSEY CIVIL ENGINEERING NOTES

- SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY GV LAND SURVEYING, DATED 8/15/2024.
- ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SECRETED IN THE GEOTET-INVAL REPORT BY NOCK SOLD INDIVIDENCE, NO. 2003-200 HOURS 1-1-2003-PROJECT NO. 2003-AND ANY SUBSEQUENT ADDENOUN LETTERS. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE GEOTECHNICAL INVESTIGATION REPORT
- REFER TO ABOVE REFERENCED GEOTECHNICAL REPORT FOR ONSITE SOIL PREPARATION (OVEREXCAVATION AND RECOMPACTION REQUIRED) BELOW CONCRETE FOOTINGS, SLABS, AND PAVEMENT.
- ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022.
- NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING, INC.
- EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO
- ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC, AND DIRECTED TO GRADE TO DRAIN.
- 9 ALL COMPACTION TO BE DETERMINED LISING THE LATEST EDITION OF ASTM D1557
- 10. THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT THE TYPES LOCATIONS SEES, ANDOOR DEPTHS OF EXISTING LORGERICAND LITTLES AS SHOWN ON THE IMPROVEMENT PLANS URED COTTAINED FROM SOURCES OF WARMING RELIABILITY. THE CONTRACTOR SHALL PERFORM THERE ON IN FELL PLANS OF THE PROPERTY OF THE TYPES, EXTENT SIZES LOCATIONS, AND DEPTHS OF SUCH UNDERSOON UTILITIES. THE EXCANATION WILL REVEAL THE TYPES, EXTENT SIZES LOCATIONS, AND DEPTHS OF SUCH UNDERSOON UTILITIES. THE EXCANATION WILL REVEAL THE TYPES, EXTENT SIZES LOCATIONS, AND DEPTHS OF SUCH UNDERSOON UTILITIES OF SUCH UNDERSOON UTILITIES OF THE CONTRACTOR IS UNSINGE OF UTILITIES. THE CONTRACTOR IS UNSINGE OF UTILITIES. ONSITE UTILITIES, OR CONTACT U.S.A (OR 811) FOR OFFSITE UTILITIES.
- ALL LIFETY STRUCTURES TO REMAIN WITHIN MEASE EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT REQLIDING BIT NOT LIMITET TO CLEMONITS NATION WAYES AND PALL BOXES SHALL BE AUSINEED TO GRADE BY THE CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANY.
- ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
- 13. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
- CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A REGULATIONS.
- 16. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONTROLOR SHALL ASSUME SECRET OF THE RESERVATION OF THE PROSIDE AND CONTRIBUTIONS DURING THE CONSTRUCTION OF THIS PROJECT, INCLUDING SHAPETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTRIBUOUS, Y AND NOT BE LIBITED OF NORMAL WORKING FROUNDS. CONTRIBUTION ASSESTS TO EXPERTING INCLUDING AND HOLD ESSIGN PROFESSIONALS AND CITY REPRESENTATIVES HAVING SECRET AND AND ALL LIBILITY, REAL OR ALLEGED, INCONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIBILITY ARISING FROM THE SOCIE RECIDENCE OF THE DESIGN PROFESSIONAL.
- RAMSEY CIVIL ENGINEERING PERFORMED AN LIPSTREAM AND DOWNSTREAM SITE ASSESSMENT FOR STORMWATER RUNOFF ROMSEY CYNL ENGINEERING PER-OMBEL AN UPSTREAM AND DOWNS IREMS SILE ASSESSMENT FOR STORMAN IN KNOWN IN MARCH 3.20.55. THERE IS INSTOCIAL CONCERN WITH RENORT TOWARDS THE BLUFF AREA AND TOWARDS SANDA WISHOULD RENORMED AND THE SOUTHERSY PROPERTY LINE. ALL DRAWING WILL BE DIRECTED WARY FROM THE BLUFF AREA AND TOWARDS SANDA WISHOULD RENORMED AND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPROPERTY OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPORT OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPORT OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPORT OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE DEPORT OF THE BUILDING AROUND THE SOUTH, AND DISCOMPANIES TO THE BUILDING AROUND THE SOUTH AND DISCOMPANIES TO THE BUILDING AROUND THE BUILDING AROUND THE SOUTH AND DISCOMPANIES TO THE BUILDING AROUND THE BUILDING AROUND THE SOUTH AND DISCOMPANIES TO THE BUILDING AROUND THE SOUTH AND DISCOMPANIES TO THE BUILDING AROUND THE BUI

City of Capitola Storm Water Permit Project Application

All projects must comply with the City's Storm Water Post Construction Requirements (CMC 13.16.98). Complete the following isformation in order for the Public Works Department to determine the applicable requirements for a project. Once this has been submitted the applicant will be neitfied and provided guidance on achieving compliance.

PROJECT ADDRESS: 302 Grand Avenue, Capitola CA 95010

OWNER:		REPRESENTATIVE:	
Contact Name: Stephanie Luck		Contact Name: David Ramsey - Ramsey Civil Engineering inc	
Address:		Address: 2905 Kristie Ct	
City:	Zip:	City: Santa Cruz CA	Zip: 95065
Phone: 408-482-5352 Fax: Email:		Phone: 831-462-2905 Fax: Empil: David@ramsevce.com	

Project Type: V Residential

☐ Commercial ☐ Industrial

Project is a: ☐ New Development ☑ Redevelopment Project Description: Site improvements including patios, land ncluding patios, landscape walls, and driveway

Stornwater Project Information When completing this section, conset the entire site, not separate parcels or development sites within the project area Impervious Area = structures, pavement, hardscaping—any surface that will not allow water to infiltrate into the ground			
Parcel Size	4122	eq. ft.	
Amount of existing (pre-project) impervious surface area (e.g., existing buildings, paving, hardscape)	1,443	eq. ft.	
Amount of replaced impervious surface area (e.g., parking lot replaced by a building)	1,034	eq. ft.	
Amount of new impervious surface area created (e.g., newbuilding addition and/or patio)	649	eq. ft.	
Total proposed (post-project) impervious surface area	2,049	sq. ft.	

I hereby affirm that this information is accurate and understand it will be used to determine compliance with the City's Storm Water Post Construction Requirements for this project.

David Ramsey





Check One	Tier**	Detached Single Family Homes	All Others (Commercial, Industrial, Two- &Multi-Family Homes)
×	Basic Tier***	New/Replaced impervious area < 2,500 sf	
	Tier 1	New/Replaced impervious area ≥ 2,500 sf	New/Replaced impervious area ≥ 2,500 sf
	Tier 2	N/A	Net impervious area ≥ 5,000 sf
	Tier 3	Net inpervious area ≥ 15,010 sf	New/Replaced impervious area ≥ 15,000 sf
	Tier 4	New/Replaced impenious area ≥ 22,500 sf	

vious + replaced impervious - (pre-project minus post-project) Cannot be less than

- The numbers correspond to "Performance Requirements" identified in the State Webr Resource Control Board resolution for PCPS.

 Basic Time projects result incorporate number reduction measures into site plan, e.g., disperse numb to vegetated area, pervious persign, and borrel or citation.

PROJECT CONDITIONS:

- APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT 24 HOURS IN ADVANCE OF THE COMMERCEMENT OF WORK A PRE-CONSTRUCTION INSPECTION MIST BE CONDUCTED BY THE GRADING OFFICIAL OR APPOINTED STAFF TO VERBY COMPLICACY WITH THE APPOINTED STAFF TO WERRY COMPLICACY WITH THE APPOINTED STAFF OF MIST SEDMENT AND ENGINE WITH THE APPOINTED STAFF OF TO THE STAFF OF FORSTRUCTION AND SHALL BE MINISTRUCTION THROUGHOUT PROJECT DURATION.
- DURING CONSTRUCTION, ANY CONSTRUCTION ACTIVITY SHALL BE SUBJECT TO A CONSTRUCTION NOISE CURFEW, EXCEPT WHEN OTHERWISE SPECIFIED IN THE BUILDING PERMIT ISSUED BY THE CIT CUREEW, EALER WHEN OTHERWISE SPECIFIED IN THE BUILDING PERMIT ISSUED BY THE CITY. CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF 9.00 PM. AND 7-30 AM. ON WEEKDAYS. CONSTRUCTION NOISE SHALL BE PROHIBITED ON WEEKENDS WITH THE EXCEPTION OF SATURDAY WORK BETWEEN 9.00 AM. AND 4.00 P.M. OR EMERGENCY WORK APPROVED BY THE BUILDING OFFICIAL §9.12.0108.
- GENERAL SITE MAINTENANCE: KEEP WORK SITE CLEAR OF DEBRIS AND BE AWARE OF TRACKING MUD, DIRT GRAVEL INTO THE STREET, AND SWEEP DAILY, COVER ALL STOCKPILES AND EXCAVATION SPOILS. PRACTICE GOOD HOUSEKEEPING AND MAINTAIN TEMPORARY CONSTRUCTION BMPS.
- PRIOR TO PROJECT FINAL, ANY AREAS ONSITE WITH DISTURBED SOILS OR DENUDED OF VEGETATION BE STABILIZED OR REPLANTED SO AS TO INHIBIT EROSION BY WIND OR WATER AND ARE CONSISTEN THE PROJECTS APPROVED DRAINAGE PLANT.
- EPIDE TO PROJECT FINAL, MY COLOCES ON BROKEN DRIVINGY APPROACHES, CURBS, QUITTES, OR SIGNAVALO MANY EL RENTIFICA DOCUMENTED, AND REPLACED REY RIJEL WOPENS TRANDAD DETAILS AND APPROVED BY THE PUBLIC WORKS STATE REQUIRED TO REVIEW MAN PROVED THESE CONDITIONS. ALI REPLACED FEATURES SHALL MEET CURRENT ACCESSIBILITY STANDARDS, PUBLIC WORKS STANDARD DETAILS CAN BE ACCESSED ON "EVENT WAS APPROACHED." WE CITYS WEIGHT CONTROLLED WAS ARROUNDED THE CONTROLLED WAS ARROUNDED THE CONTROLLED WAS ARROUNDED THE CONTROLLED WAS ARROUNDED WAS ARROUNDED THE CONTROLLED WAS ARROUNDED THE CONTROLLED WAS ARROUNDED THE CONTROLLED WAS ARROUNDED WAS AR HTTPS://WWW.CITYOFCAPITOLA.ORG/PUBLICWORKS/PAGE/STANDARD-DETAILS-PUBLIC-WORKS
- PRIOR TO ANY WORK IN THE CITY INSIGHT-OF-WAY INDOOR THE ROADS. AND SERVICES THE PROPERTY OF THE CITY INSIGHT-OF-WAY TO APPLY FOR AN ENCROACHMENT PROPERTY OF THE CITY INSIGHT-OF-WAY TO APPLY FOR AN ENCROACHMENT PROPERTY WISHINGTON THE CITY INSIGHT-OF-WAY TO APPLY FOR AN ENCROACHMENT PROPERTY WISHINGTON THE CITY INSIGHT-OF-WAY TO APPLY FOR AN ENCROACHMENT PROPERTY WISHINGTON THE CITY INSIGHT OF WAY OR ENCROACHMENT PERMIT ALL PROPOSED WORK INTERFACING WITH THE PRIVATE RIGHT OF WAY OR COUNTSIDE OF THE LIMITS OF THE PRIVATE PROPERTY WISHINGTON THE ROAD OF THE PRIVATE PROPERTY AND COTY RIGHT-OF-WAY WAY ON THE THE THE WAY THE PRIVATE PROPERTY AND COTY RIGHT-OF-WAY CONTRIBUTED THE WAY HOW REVERNE THE LIMITS OF THE PROVINCE THE LIMITS OF THE PRIVATE PROPERTY AND COTY RIGHT-OF-WAY.

ESTIMATED OVER-EX & RECOMPACTION

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- NOTES
- ESTIMATE DOES NOT INCLUDE UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
- 2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
- 3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT
- 4. EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL SITE.





C1.1

RAMSE

2905 KRISTIE COURT

ANTA CRUZ, CA 9506

TEL (831) 462-2905

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for this purpose. All varies revisions control resistations and structural devices, both temporary and generatives, that is proposely main. All varies revisions control resistations with subgrapher feature, colon, insect developing, heavy algae growth, debits, and/or hazardra colon or theorem remains and subject to the colon hazardra. A qualified person should canduct insections of all on-alle BMPs during each rainstem and after a storm is over that the BMPs are functioning properly. For sites greater than one-acro, orable inspections are required in accords the CPP. **Earth Moving Activities & Heavy Equipment** See a certain and a subject to the control orable and a subject to the properly. Effective enroles routed produces reduce the amount of rainst crossing as also and size the four with other properly. Effective enroles routed produces reduce the amount of rainst crossing as an advice the four with other which can be ready equipment that leak feet, oil, antitiesze or other fluids onto the construction site are comman sour storm dains pollution.					
for this purpose. All varies revisions control resistations and structural devices, both temporary and generatives, that is proposely main. All varies revisions control resistations with subgrapher feature, colon, insect developing, heavy algae growth, debits, and/or hazardra colon or theorem remains and subject to the colon hazardra. A qualified person should canduct insections of all on-alle BMPs during each rainstem and after a storm is over that the BMPs are functioning properly. For sites greater than one-acro, orable inspections are required in accords the CPP. **Earth Moving Activities & Heavy Equipment** See a certain and a subject to the control orable and a subject to the properly. Effective enroles routed produces reduce the amount of rainst crossing as also and size the four with other properly. Effective enroles routed produces reduce the amount of rainst crossing as an advice the four with other which can be ready equipment that leak feet, oil, antitiesze or other fluids onto the construction site are comman sour storm dains pollution.		to catch dri Recycle who	ips and spills. Collect a nenever possible. diesel oil to lubricate e	all spent fluids, store in separate containers and properly dispose as ha squipment parts or clean equipment. Only use water for one to elegate	izardous v
for this purpose. All varies revisions control resistations and structural devices, both temporary and generatives, that is proposely main. All varies revisions control resistations with subgrapher feature, colon, insect developing, heavy algae growth, debits, and/or hazardra colon or theorem remains and subject to the colon hazardra. A qualified person should canduct insections of all on-alle BMPs during each rainstem and after a storm is over that the BMPs are functioning properly. For sites greater than one-acro, orable inspections are required in accords the CPP. **Earth Moving Activities & Heavy Equipment** See a certain and a subject to the control orable and a subject to the properly. Effective enroles routed produces reduce the amount of rainst crossing as also and size the four with other properly. Effective enroles routed produces reduce the amount of rainst crossing as an advice the four with other which can be ready equipment that leak feet, oil, antitiesze or other fluids onto the construction site are comman sour storm dains pollution.	000	Maintain al Perform ma If you must	I heavy equipment, insp ajor auto or heavy equip drain and replace mote	pect trequently for leaks, and repair leaks immediately upon discovery. pment maintenance, repair jobs and vehicle or equipment washing off- or oil, radiator coolant or other fluids on site, use drip pans, plastic shee	site. eting or dn
for this purpose. All value resident control resistances and structural devices, both surposary and permanent, shall be properly main. All value resident control resistances with stiligent healer, oden, insect developing, theirly algae growth, debits, and/or hazardra A qualified perma hould canduct insection of all on-alle BMPs during each rainsterm and after a storm is over to that the BMPs are functioning properly. For sites greater than one-acre, invalide inspections are equired in accorda the GCP. *Earth Moving Activities. & Heavy Equipment Soll accession and enging operations became large amounts of roll that case be transported into storm drains when he managing the engine of the property. Effective encount order properly in the amount of rained recovering as the and soft his flow with the white and having supplement that leak feet, of a written and or funder drossing a site and soft his flow with the white and having supplement that leak feet, of a written are order into discontinuous control or and order to the soll of the control or and order to the control order to the control or and order to the control or and order to the control or and order to the control o	Sit	e Planning	l		
for this purposes, control reseasures and structural devices, but hempooray and permanent, shall be properly maint has they for on the properly maint but they do not be properly maint but they for not become missiones with stigrant relater, colors, insect freedings, heavy algae growth, debries, and/or hazards. A qualified person should conduct expections of all on-sate BMPs during each maintenam and after a storm is over the A qualified person should conduct expection of all on-sate BMPs during each maintenam and after a storm is over the CSP. The section of the section of the property for all the property of the conduction of the property of the coordinate of the	rou	oropeny. E ughened gro hicles and h	rrective erosion tontrol ound surfaces. Often, e heavy equipment that le	, praduces reduce the amount of runon crossing a site and slow the how earth moving activities require use and storage of heavy equipment. Pe eak feel, oil, antifreeze or other fluids onto the construction site are com	v with chec boofly main iman soun
for this purpose. All on-like revision control measures and structural devices, both temporary and permanent, shall be properly main that they do not become unisances with stagmant water, odors, insect broading, heavy algae growth, debris, and/or hazards A qualified person should conduct inspections of all on-site BMPs during each rainsenant and after a storm is over that the BMPs are functioning properly. For sites greater than one-acre, norsite inspections are required in according	So	Earth Mo	oving Activities & on and grading operation	4. Heavy Equipment ins lossen large amounts of soil that can be transported into sterm drain	ns when h
for this purpose. All cn-site erosine control measures and structural devices, both temporary and permanent, shall be properly main that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/o bazarife.		the GCP.			in accorda
for this purpose. All cn-site erosien control measures and structural devices, both temporary and permanent, shall be properly main that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/o					
If staw wattles are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just he water to traval around the bale) and that the stave pieces are not carried into the storm drain system. Whenever possible, us be traveling, surface roughening (e.g., with a buildoor), and energy dissipaters (such as right processes) on slopes to reduce mortifived yay dut far set administration. Do not use asphalt noble or other demoli		that they di	pose. erosion control measun o not become nuisance	es and structural devices, both temporary and permanent, shall be prop as with stagnant water, odors, insect breeding, heavy algae growth, deb	perly main oris, and/o
If straw wattles are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just the water to travel around the bale) and that the straw pieces are not carried into the storm drain system.					
of the fence.		If straw wat the water to	ttles are used to filter so travel around the balo	ediment runoff, ensure that the bales are actually filtering the water (an e) and that the straw pieces are not carried into the storm drain system.	d not just

CHECKED BY:

settling devices shall be selected, installed and maintained properly.

drainage around each fence does not create additional erosion and rills down slope Clean up leaks, drips and other spills immediately so that they do not contaminate the soil or runoff nor leave residue on

STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND

dust. If portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs.

Conduct visual inspections for leaks.

Protect vegetation and trees from accidental damages from construction activities by surrounding them with fencing or free

Amount of Plannias

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Materials A Wash Handlino

— Deducto Contennen Source Reduction* by estimating carefully and minimizing wade when ordering malefals.

— Recycle excess materials such as concrete, asphalt, corap metal, solvents, degreasers, paper, and vehicle maintenance

materials whenever possible.

Dispose of all wastes properly by ensuring that materials that cannot be recycled are taken to an appropriate land fill or disposed of as Augustous properly by the properly such as the prop

♦Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance Value of the control of the control

Landscapins A. Gerdem Mathanance
Schoole grading and excanation during dry weather
Schoole grading and excanation during dry weather
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Les temporary between the control of the control away from storm dains or dratage characte.
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PondsEquitatinsPoolSps Maintenance

When dealines pront, fourtain, pool or sps, any volumes in excess of 500 gallons must be reported in advance to the City of Capitole Public Works Department. The City will provide guidance on handling special cleaning waste, flow rate restrictions and backflow prevention.

Preventing Water & Sediment Runoff

◆Preventing Water & Sediment Runoff
Effective around not administration of all disturbed areas in order to
prevent a red increase of sediment protein inseasures must be implemented and maintained on all disturbed areas in order to
prevent a red increase of sediment in the abits action water discharge relable to pine-coastruction levels. During the ranny
assessment control mortal measures must also be located at all agregative factories along the obligative parties become all pine disch symmetries and all all hids to
and set the hiele, and sediment traps or basins. Refer to the Erison & Sediment Control Field Manual, California Regional
water Quality Cortect Board Ran Francisco Reg Region, Fourth Edino August 2012, and the most reconstructions of the
Manual of Standards for Erison and Sediment Control Measures, Association of Bay Peas Governments (ARAG), and
Construction Bast Management Productice (ABAG).

NOT TO SCALE	OF CAPITAL	STANDARD DRAWINGS FOR	DRAWN: 2/14	REV:
DRAWN BY:		STORMWATER POLLUTION PREVENTION AND PROTECTION		
CHECKED BY:	ORPORATED.		DRAWI	NG No.
SEJ		STEVEN JESSERO, PUBLIC WORKS DIRECTOR	STRM-	BMP-2

Pointing, Vernish S. Application of Servents S. Adhesives Paics, somets, coherent and disbesses content indensions have a heart of the widdlife and equatic file in our community. Toxic chemicals may come from liquid or solid products or from cleaning resolves or rags. Paint materials and wastes, adhesives and cleaning fluid should be recycled when possible or properly disposed to prevent these substances for entering the story.

DRAWING No STRM-BMP-5 Handling of Surface Costinus.
Keep paint, versite, solverts and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or enoff containing paint or paint thinner must neere be discharged into the storm drain system.
When there is a risk of a spill reaching the storm drain, expert storm drain intelle must be protected prior to starting painting.

Removal of Surface Coatlings Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop doths

and disposed of as treat.

Chemical partie trainshipping residue, chips and dust from marine paints or varieties, or paints containing lead.

Chemical partie trainshipping residue, chips and dust from marine paints or varieties, or paints containing lead or chipse training to the control of the chipse training to the chipse training the chipse training with graining training training training to the chipse training t

Morterey Bay,

Wish water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before stripping paint or cleaning a pre-1978 building's exterior with water under high pressure, test paint for lead by taking paint scrapings to a local, state-ordified leadershortory.

Clean Up of Surface Coatings

Never clean brushes or rinse paint or vamish containers into a gutter, street, storm drain, French drain or creek.

The Constant Power Inselts and maints, such and out brushes to the action

sewer.

For all based paints, paint out brushes to the extert possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Dispose of excess liquids and residue as hazatious waste.

When thoroughly dry, empty paint cans, used brushes, rags and drop oftom may be disposed of as garbage.

Disposal of Surface Coatings

Recycle, return to supplier, or donate unwanted water-based fatex) paint. Oil-based paint may be recycled or disposed of as hazardous wasts. Available, thinners, solvents, glass and clearing fluids must be disposed of as hazardous wasts.

When the job is completed, collect all unused or waster materials and dispose of properly. Never leave or abandon materials create, and waster with onlocing has dished lowered the store, fully, or cutch basing.

◆ Roadwork & Paving

Protect nearby storm drain inlets and adjacent water bodies prior to breating up asphalt or concerts.

The discharge of awar out stury to the storm drain system is prohibited. Take measures to contain the stury and protect

The discharge of awar out stury to the storm drain system is prohibited. Take measures to contain the stury and protect

The discharged storm out the discharged storm of the study of the storm drain system by wind, steffic, or many the observed up and properly disposed so that it will not be carried into the storm drain system by wind, steffic, or many the observed up and properly disposed so that it will not be carried into the storm drain system by wind, steffic, or many the observed up and properly disposed so that it will not be carried into the storm drain system by wind, steffic or many the observed up and properly disposed so that it will not be carried into the storm drain system by wind, steffic or the storm drain system by wind, steffic or the sterm drain system by wind. wind, traffic, or rainfall.

After breaking up old pavement, sweep up materials and recycle as much as possible. Properly dispose of non-recyclable

materials.

Cover and seal nearby storm drain links and marrholes before applying seal cost, slurry seal, etc. Leave covers in place until the oil sealert is dry.

In the event of an industrial result in soft amount work areas and cover materials.

The event of an industrial result in soft amount work areas and cover materials.

New wash event place and event or place a result of a street or a storm drain intel. Coded and return to aggregate concrete felt a street or a storm drain intel. Coded and return to aggregate bese stockpile or filescope of in the transit.

Remove and clear up materials stockpiles (inc. a spittal and sadd) by the end of each dreet or, if during the rainy season, by the end of each dry. Stockpiles must be removed by the end of each dry if they are footed in a public right-of-way.

NOT TO SCALE	OF CAPITA	STANDARD DRAWINGS FOR	DRAWN: RE 2/14 RE
DRAWN BY:		STORMWATER POLLUTION PREVENTION AND PROTECTION	
CHECKED BY:	OMPORATED		DRAWING
S.E.J.		STEVEN JESSERG, PUBLIC WORKS DIRECTOR	STRM-BMP

Stormwater Pollution Prevention and Protection for Construction Projects

In the City of Capitola, water is streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When dobris, paint, concrete and other harmful pollutants from construction sites and home construction projects spilled, leaked or washed into the seried or storm drain they can damage seasible creek habitats and end up polluting our bay.

In order to reduce the amount of pollutants reaching local storm érains and waterways, the City has developed 'Best Management Practices' (BMRs) for construction work. All types of construction projects are required to abide by the following manadatory BMRs. These BMRs apply to both new and remodeder readental, commercial, retail, and industrist projects.

mandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects. In addition to the following mandatory BMPs. The Central Costa Regional Valler Cassift, convention and entermore the section of the contract control beard (Selsen Water Bass) under the Siste Water Resources Control Board (Selsen Water Bass) requires coverage under and entermore the section of the section of

♦ General Construction & Site Supervision
All construction BIMPS, sediment and eroxion control must be installed prior to beginning construction and maintained throughout the project duration. Complisions with the CGP and below BIMP is required year round.

General Principles

Kook an orderly site and ensure good housekeeping practices are used

Keep an orderly-site and ensure good locusekeeping practices are used.

Cover materials where they are not in use.

Keep materials away from streets, guitars, atorm darate and datage channels,

Keep materials away from streets, guitars, atorm darate and datage channels,

Trial spute employees on these BMPs and familiators them with storm water issues prior to beginning work. Inform your

subconfunctions about storm water requirements and be sure that they also abide by these BMPs.

**Entire that they also abide by the analysis of the storm of the storm water issues grior to beginning work. Inform your

subconfunctions about storm water requirements are not only the storm water issues grior to beginning work. Inform your

subconfunctions about storm water requirements and in the property of the storm water store and analysis of the storm of the store and they are the store and the store

Good Housekeeping Practices Description one area of the site located away from storm drains, drainage swales, and creeks for auto parking and heavy

equipment storage, vehicle refeating and routine equipment naintenance.

To grewnet of feller shouling off up routed is enterinous with shalloud aggregate surfaces or powde at the weah area on the site, but away from storm inlets or drainage channels. Mud, dirt, greet, sand and other materials tracked or dropped on clay street must be cleaned up to prevent wathing into the strend mains.

Keep materials and soil stockpiles out of the rain and prevent nurself containing and the site. Show materials, stockpiles and exceeded noise under overview and protected from wind, rain, and rundri. Over exposed pales of construction materials or and exceeded noise funder overview and protected from wind, rain, and rundri. Over exposed pales of construction materials or some content of the protection of the content of the protection of the prot storm inlets and/or drainage channels. Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or

recycling recoptacles.

Keep dumpster list closed and secured. For dumpsters or birs that don't have a lid, cover them with tarps or plastic sheeting, secured around the exterior of the dumpster or place them under temporary roofs. Nover clean out a dumpster by hoshig at down on the construction sheeting.

NOT TO SCALE	STANDARD DRAWINGS FOR	DRAWN: REV:
DRAWN BY:	STORMWATER POLLUTION PREVENT PROTECTION FOR CONSTRUCTION PR	
CHECKED BY:	PORATE	DRAWING No.
S.E.J.	STEVEN JISSERO, PUBLIC WORKS DIRECTOR	STRM-BMP-1







AVID RAMSEY DATE CE# 73735

PLAN TYPE RESIDENTIAL

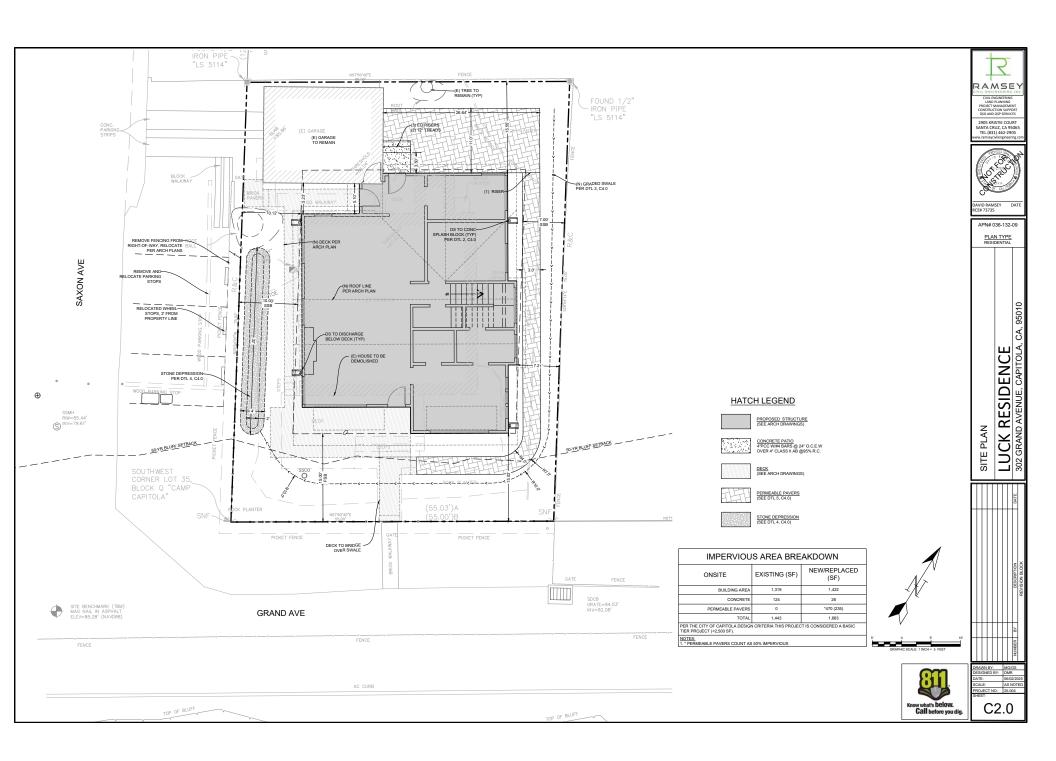
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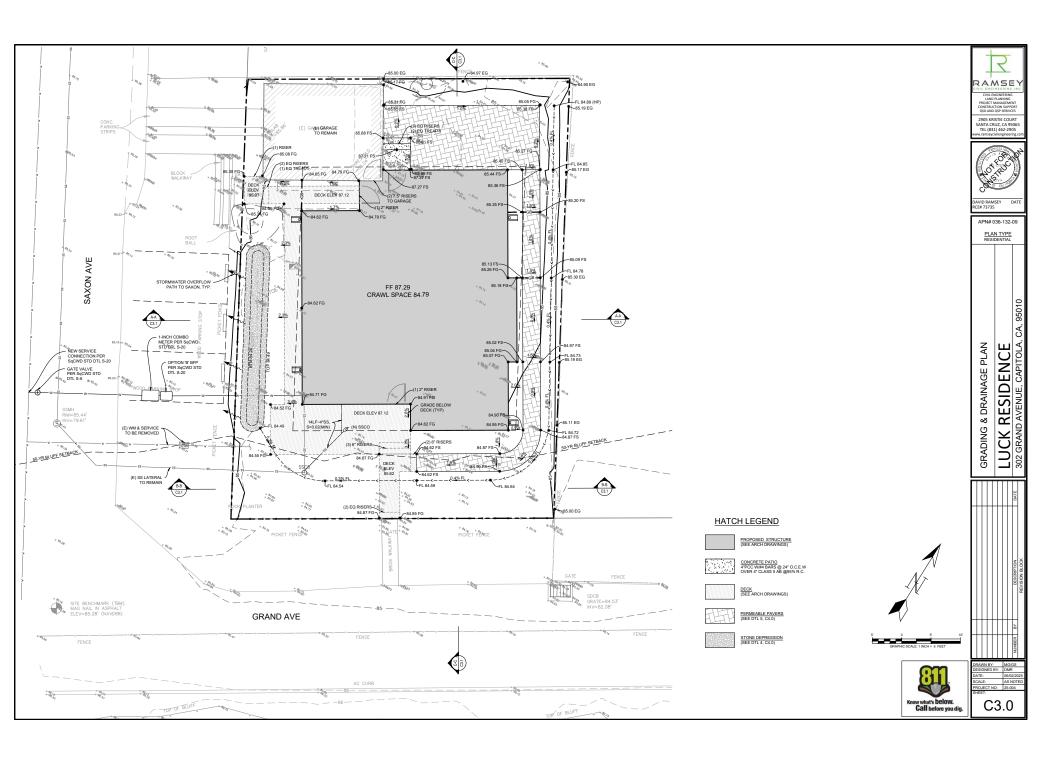
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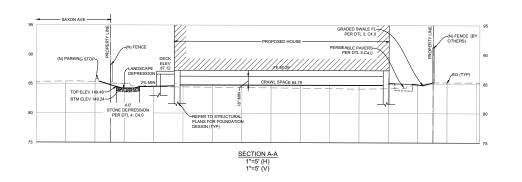


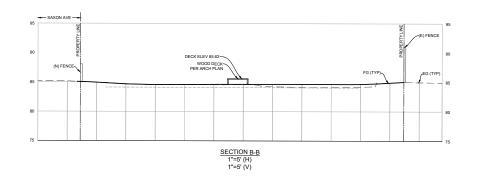


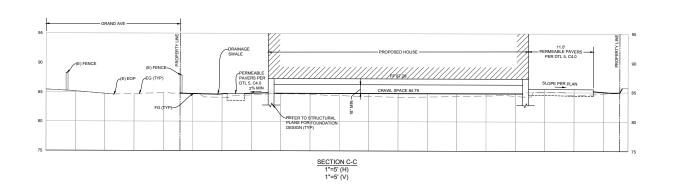
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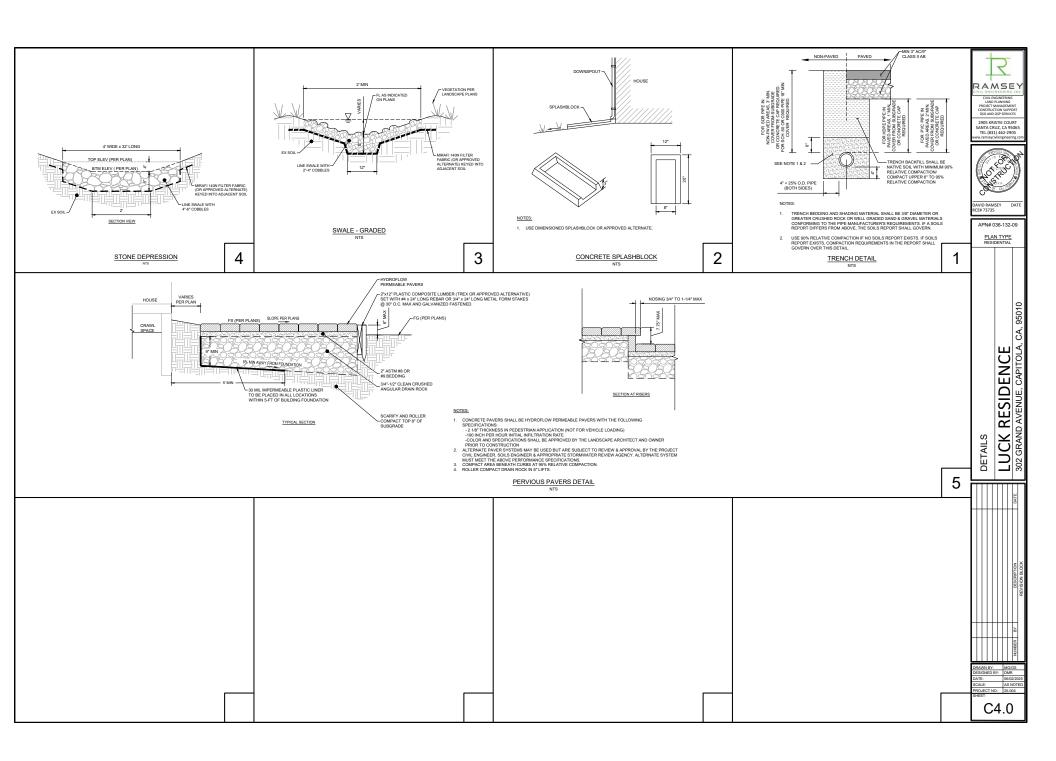


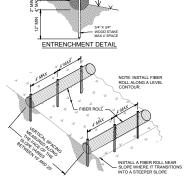
SECTIONS
LUCK RESIDENCE
302 GRAND AVENUE, CAPITOLA, CA, 95010











TYPICAL INSTALLATION

FIBER ROLLS CONSTRUCTION SPECIFICATIONS

- 1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED
- PREPARE SLOPE BEFORE THE FIRER ROLL PROCEDURE IS STARTED SHALLOW GULLES SHOULD ES ROUGHED AS WORK PROGRESSES. DIG SMALL TREMONES ACROSS SLOPE ON CONTOUR. TO PLACE HIBER HALF THE THORNESS OF THE FIRER ROLL. WHICH THE SOIL IS LOOSE AND UNCOMPACTED. THE TREMON SHOULD BE DEEP ENDUGH TO BURY THE FIGURE ROLL ZO OF IS THICKNESS BECAUSE THE GROUND WILL SETTLE.
- FIBER ROLL 23 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR. START BULDING TERNOHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.

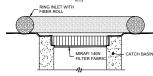
 CONSTRUCT TERNOHES AT CONTOUR INTERVALS OF THREE TO. EIGHT CONSTRUCT TERNOHES AT CONTOUR.

- CONSTRUCT TRENDIES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENDIESS IT THE SLOPE. AND THE SLOPE THE CLOSER TOGETHER THE TRENDIES IT THE SOL. AND THE FOLL AND THE SLOPE THE SLOPE THE SLOPE AND THE SLOPE AND THE FOLL AND THE SLOPE THE WOODEN STAKES. DRIVET HE STAKE THROUGH THE PREPARED HOLE INTO THE SOL. LEAVE ONLY ONE OR TWO NOKES OF STAKE EMPOSED AS OF FIRST ROLL FEW BOULY ONE OR TWO NOKES OF STAKE EMPOSED AS OFF FIRST ROLL FEW USEN OF SLOPE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOL. LEAVE HOLY ONE OR TWO NOKES OF STAKE EMPOSED AS OFF FIRST ROLL FEW USEN OF SLOPE THE STAKE THROUGH THE STAKE THE STAKE THROUGH THE STAKE THROUGH THE PROPERTY OF THE PREPARED HOLE WITH THE STAKE THROUGH THE PROPERTY OF THE PROPERTY O
- INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSIVE OR VERY STEEP SLOPES.

INSTALLATION AND MAINTENANCE

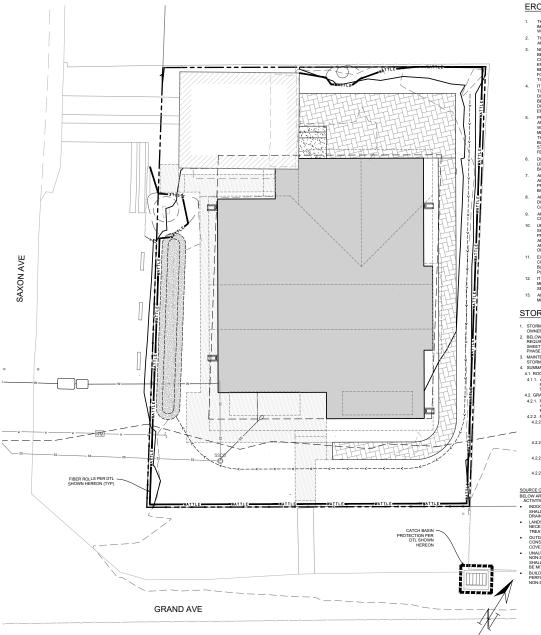
- INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS.
 MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
 REPAIR ANY RILLS OR GUILLISE PROMPTLY.
 RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABLEZE.

FIBER ROLLS



- FILTER FARRIC BARRIERS SHALL BE INSPECTED FILL IER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM -1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES
- SEDIMENT SHOULD BE REMOVED WHEN IT REACH 3° MAXIMUM HEIGHT, AT THAT TIME INSPECT THE
- 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL.

CATCH BASIN PROTECTION



EROSION CONTROL NOTES

- THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND

RAMSE

2905 KRISTIE COURT ANTA CRUZ, CA 9506 TEL (831) 462-2905

VID RAMSEY E# 73735

DETAIL:

PLAN AND ENCI

CONTROL SID

EROSION LUCK LUCK

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PLAN TYPE RESIDENTIAL

- YOUNG. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION ESTABLISHED AND AREA STATEMENT OF THE AR
- TIMES.
 IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY UDINING OR A FITTER PROLECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED MEEDS ARTY TO CONTROL ACCELERATED FROSION
- PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15
 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH
 WORKWEEK. THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY WURNWEER, THE VERLEUPER'S PAIL IMPLEMENT ALL TEMPOPARYTY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LUMITED TO, DIFFECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT EFFOCES.
- DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
- ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
- ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
- ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- 10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS DPUN COMPLETION OF CORSTRUCTION, ALT REMAINING EXPOSED SOFT SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROLECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION PALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- LA EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
- 12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT FOR FISHE ARE IMPLEMENTED.

 13. ALL SPILLS ANDIOR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS OAM STANDARDS.

STORMWATER O&M PLAN

- 1. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH
- 2. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS, REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
 SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES.

- 4.1 HLUS DOWNSPOUTS

 4.1 ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY
 FOR SEDMENT ANDOR TRASH BUILD-UP. ALL SEDMENT AND TRASH
 SHALL BE REMOVED MOR PROPERTY DISPOSED OF.
 4.2 GRADED SWALES & PERVIOUS DRIVEWAY/PEDESTRAIN SLAB AREA.
 2.1. ROUTINE MANTENANCE ON AN ARWALL BASIS SHALL INCLUDE TRASH
 AND DEBRIS REMOVAL, AND REMOVAL OF LEAVES DURING AND AFTER
 FALL LEPP TROP.
- 4.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE 4.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO
 EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR
 CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE.
- EROSION.
- 4222 F VISIBLE SEGMENT EXIST AT BOTTOM OF FACILITY OR WITHIN ALSO EXPONENT SHALL BE REMOVED TO ENGINE PROPER FLOW THROUGH SHALL BE REMOVED TO ENGINE PROPER FLOW THROUGH OF WATER IS OCCURRING (2.3 DAYS AFTER THE END OF A STORM) CONFIRM LEAP, DEBRIS OR SEDMENT BUILD-UP IS NOT MEDIODE FLOW, REMOVE AS NECESSARY.
- 4.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

- SOURCE CONTROL MEASURES
 BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES.
- LANDSCAPE/OUTDOOR PESTICIDE USE PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.
- OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA UNAUTHORIZED NON-STORMWATER DISCHARGES ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION,
- SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
- BUILDING & GROUND MAINTENANCE ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.



