

LUCK RESIDENCE

NOTES

DEFERRED SUBMITTALS:

1. FIRE SPRINKLER DESIGN AND DOCUMENTATION TO SUBMITTED UNDER SEPARATE COVER.
DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS MUST BE REVIEWED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE WHO WILL FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THEY HAVE BEEN REVIEWED & ARE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.
DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. ADDITIONAL PLAN REVIEW & PROCESSING FEES WILL BE CHARGED FOR ANY DEFERRED SUBMITTAL.

CENTRAL FIRE NOTES:

BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS, & CUT SHEETS FOR THE UNDERGROUND & OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO THE AGENCY OF REFERENCE FOR APPROVAL. INSTALLATION SHALL FOLLOW OUR SURE SHEET. CUT SHEETS SHALL INCLUDE, BUT NOT LIMITED TO: PIPING, VALVES/GAUGES, & SPRINKLER HEADS.

AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY UNDERGROUND PLAN SUBMITTAL AND PERMIT WILL BE ISSUED TO CLASS C-18 OR C-19 CONTRACTOR OR ONLY AN OWNER/BUILDER OF AN OWNER-OCCUPIED SINGLE-FAMILY DWELLING.

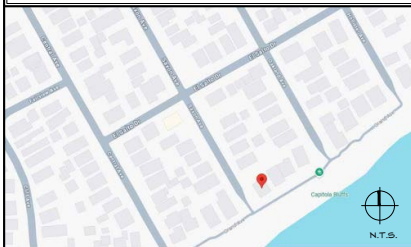
ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARD PFD-CDS & SHALL REQUIRE PLAN SUBMITTAL & PERMIT APPROVAL PRIOR TO INSTALLATION.

JOB COPIES OF BUILDING & FIRE SYSTEMS PLANS & PERMITS MUST BE ON-SITE DURING INSPECTIONS.

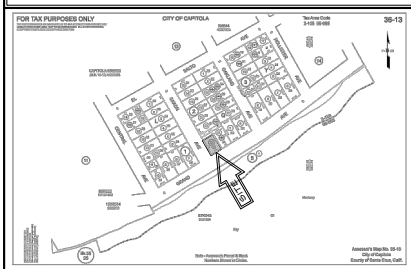
ALL WORK TO COMPLY WITH:

GEOTECHNICAL REPORT:
ROCK SOLID ENGINEERING, INC.
PROJECT NO. 24034
DATED MAR. 13, 2025

VICINITY MAP



PARCEL MAP



PROJECT DATA

SETBACKS	REQUIRED	EXISTING	PROPOSED
FRONT YARD			
GARAGE	3'-2 1/2"	3'-2 1/2"	3'-2 1/2"
1st STORY	15'-0"	21'-6 1/2"	15'-0"
2nd STORY	20'-0"	23'-6"	21'-7"
REAR YARD			
1st STORY	15'-0"	15'-1 1"	12'-0"
2nd STORY	15'-0"	29'-1 1"	34'-0"
SIDE YARD			
1st STORY	7'-0"(L) & 10'-0"(R)	7'-3"(L) & 10'-0"(R)	7'-3 1/2"(L) & 10'-0 1/2"(R)
2nd STORY	8'-3"(L) & 10'-0"(R)	13'-9"(L) & 9'-6"(R)	8'-6 1/2"(L) & 10'-10 1/2"(R)
HEIGHT	25'-0"	21'-7"	24'-1 1"

FLOOR AREA RATIO	LOT SIZE	MAX (53%)	EXISTING (42%)	PROPOSED (52.8%)
	4,122.18 sq.ft.	2,184.75 sq.ft.	1,743.71 sq.ft.	2,176.92 sq.ft.

	HABITABLE SPACE	SECOND FLOOR DECKS	GARAGE	TOTAL
MAIN LEVEL	1,423.16 sq.ft. *** -26.66 sq.ft.		319.63 sq.ft.	1,656.33 sq.ft.
UPPER LEVEL	511.59 sq.ft.	144.00 sq.ft.		511.59 sq.ft.
(P) TOTAL				2,167.92 sq.ft.

** AREA NOT COUNTED PER CHAPTER 17.48.040
*** STAIR AREA COUNTED ONCE AT GROUND LEVEL

PARKING	REQUIRED	PROPOSED
	2 SPACES, ONE OF WHICH MUST BE COVERED	* 1 COVERED SPACE
TOTAL	2 SPACES	1 SPACE
		* ASKING FOR PARKING VARIANCE

BUILDING INFORMATION

PROJECT DESCRIPTION:

DEMOLITION OF EXISTING TWO-STORY SINGLE-FAMILY DWELLING OF APPROXIMATELY 1,743.71 SQUARE FEET; EXISTING 319.63 SQ. FT. GARAGE WALLS & FOUNDATION TO REMAIN, (D) GARAGE ROOF TO BE REMOVED & REPLACED W/ NEW 12:12 PITCH ROOF. CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY DWELLING OF 2,167.92 SQUARE FEET INCLUSIVE OF (E) 319.63 SQUARE FOOT SINGLE CAR GARAGE.

PROJECT ADDRESS:

302 GRAND AVE.
CAPITOLA, CA 95010

PARCEL NUMBER:

03G-132-09

ZONING DESIGNATION:

R1

OCCUPANCY CLASSIFICATION:

R-3

GARAGE - U

CONSTRUCTION TYPE:

TYPE V-B SPRINKLERED

CODE NOTE:

- THE CALIFORNIA BUILDING CODE & APPENDICES, 2022 EDITION, WHICH EDITION INCORPORATES THE INTERNATIONAL BUILDING CODE.
- THE CALIFORNIA ELECTRICAL CODE, 2022 EDITION
- THE CALIFORNIA MECHANICAL CODE, 2022 EDITION
- THE CALIFORNIA PLUMBING CODE, 2013 EDITION, WHICH INCORPORATES THE 2012 EDITION OF THE INTERNATIONAL PLUMBING CODE
- THE CALIFORNIA FIRE CODE AS AMENDED BY THE CENTRAL FIRE PROTECTION DISTRICT FIRE CODE, 2022 EDITION
- THE CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
- THE 2022 CALIFORNIA REFERENCED STANDARDS CODE
- THE CALIFORNIA ENERGY CODE 2022 EDITION
- THE CALIFORNIA GREEN BUILDING STANDARDS CODE, 2022 EDITION

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022) AND REFERENCE CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS.

CONTACTS

OWNERS:

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juli.luck@att.net

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derek@vanalstine.com

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GREG EASTON
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SURVEYOR:

GV LAND SURVEYING
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vcm@gvlandsurveying.com

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DRAWING INDEX

BUILDING DESIGN

- T1 TITLE SHEET
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- T4 LOW RISE RES. MAND. MEASURES & VOC
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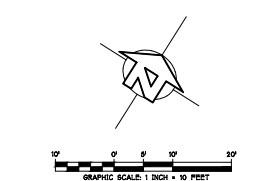
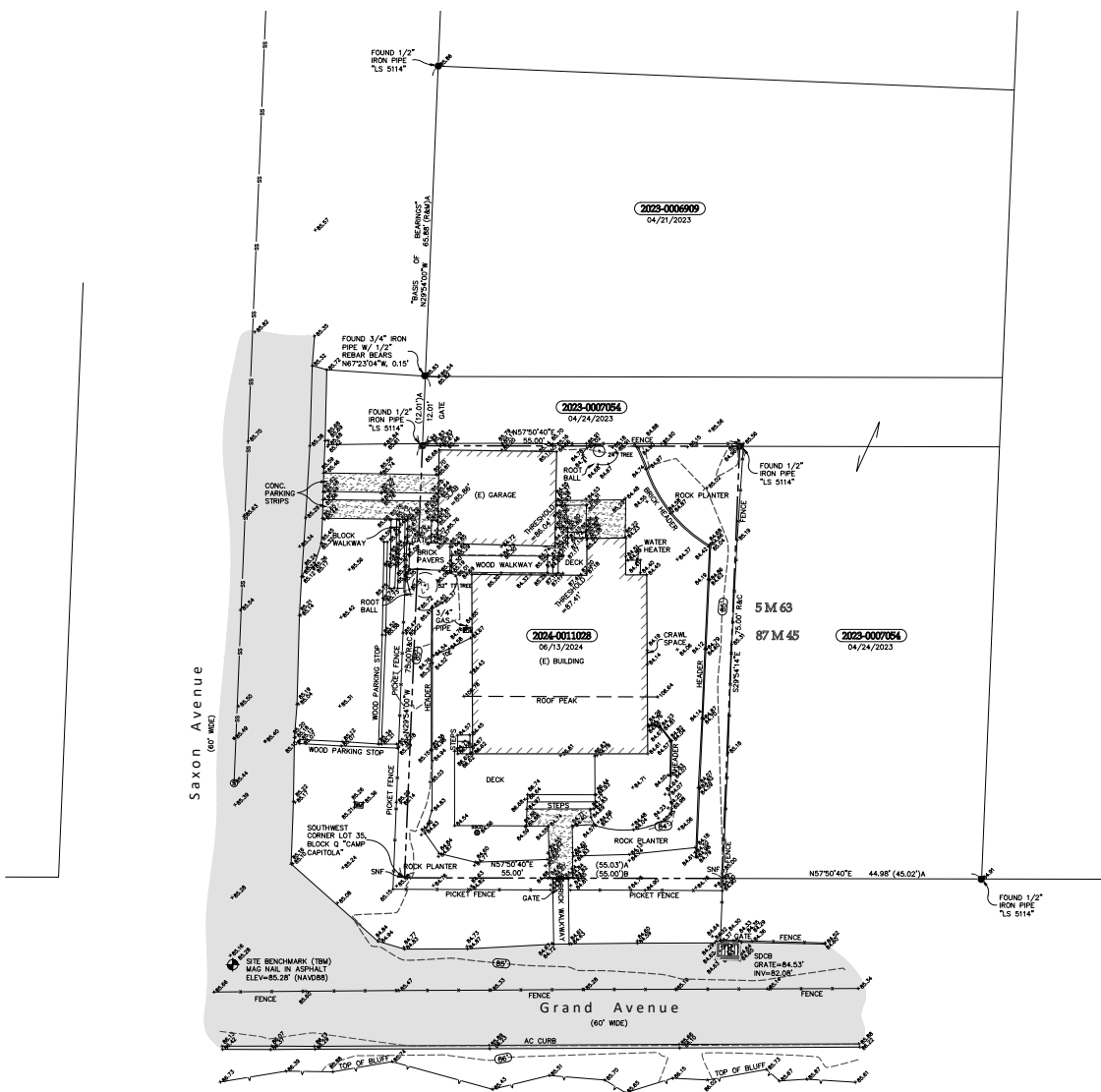
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- Legend**
- MONUMENT FOUND AS NOTED
 - SAN. SEWER MANHOLE
 - WATER METER
 - BENCHMARK
 - () INDICATES RECORD DATA
 - JA 87 M 45
 - RAC RECORD & CALCULATED DATA
 - INV. INVERT ELEVATION
 - BOLLARD
 - SEARCHED FOR CORNER
 - NOTHING FOUND OR SET
 - STORM DRAIN INLET
 - STREET SIGNAGE
 - SAN. SEWER CLEANOUT
 - UTILITY POLE
 - GAS METER
 - BUILDING FOOTPRINT
 - ASPHALT CONCRETE, AC (SHADED)
 - CONCRETE
 - GRADE BREAK
 - SANITARY SEWER LINE
 - FENCE
 - PROPERTY BOUNDARY
 - CONTOUR LINE
 - TOE OF SLOPE
 - TOP OF SLOPE
- ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS FOUND ALONG THE NORTHEASTERLY SIDE OF SAXON AVENUE, AS SHOWN ON THAT MAP FILED IN VOLUME 87 OF MAPS, AT PAGE 45, SANTA CRUZ COUNTY RECORDS.

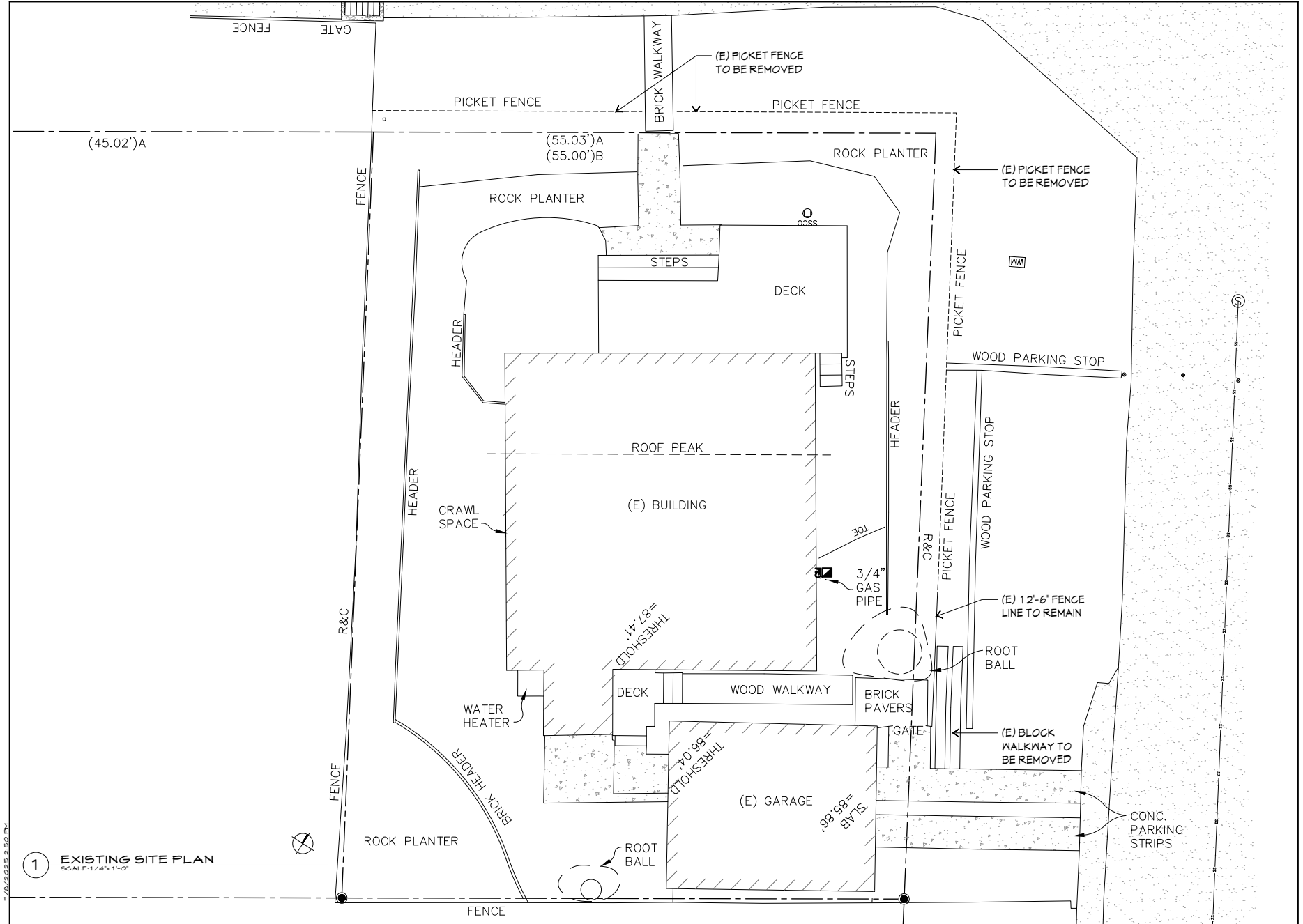
BASIS OF BEARINGS = N29°54'W

Benchmark

THE BENCHMARK FOR THIS SURVEY IS SANTA CRUZ COUNTY BENCHMARK BM 909, WHICH IS A BRASS DISC SET IN CONCRETE MONUMENT, LOCATED AT THE SOUTHWEST CORNER OF MONTEREY AVENUE AND THE SOUTHERN PACIFIC RAILROAD TRACK, 10.5' NORTHWEST OF UTILITY POLE WITH A LIGHT ATTACHED.

BENCHMARK ELEVATION = 66.70 (NAVD88)

SITE BENCHMARK (TBM)
MAG NAIL IN ASPHALT
ELEV=85.28' (NAVD88)



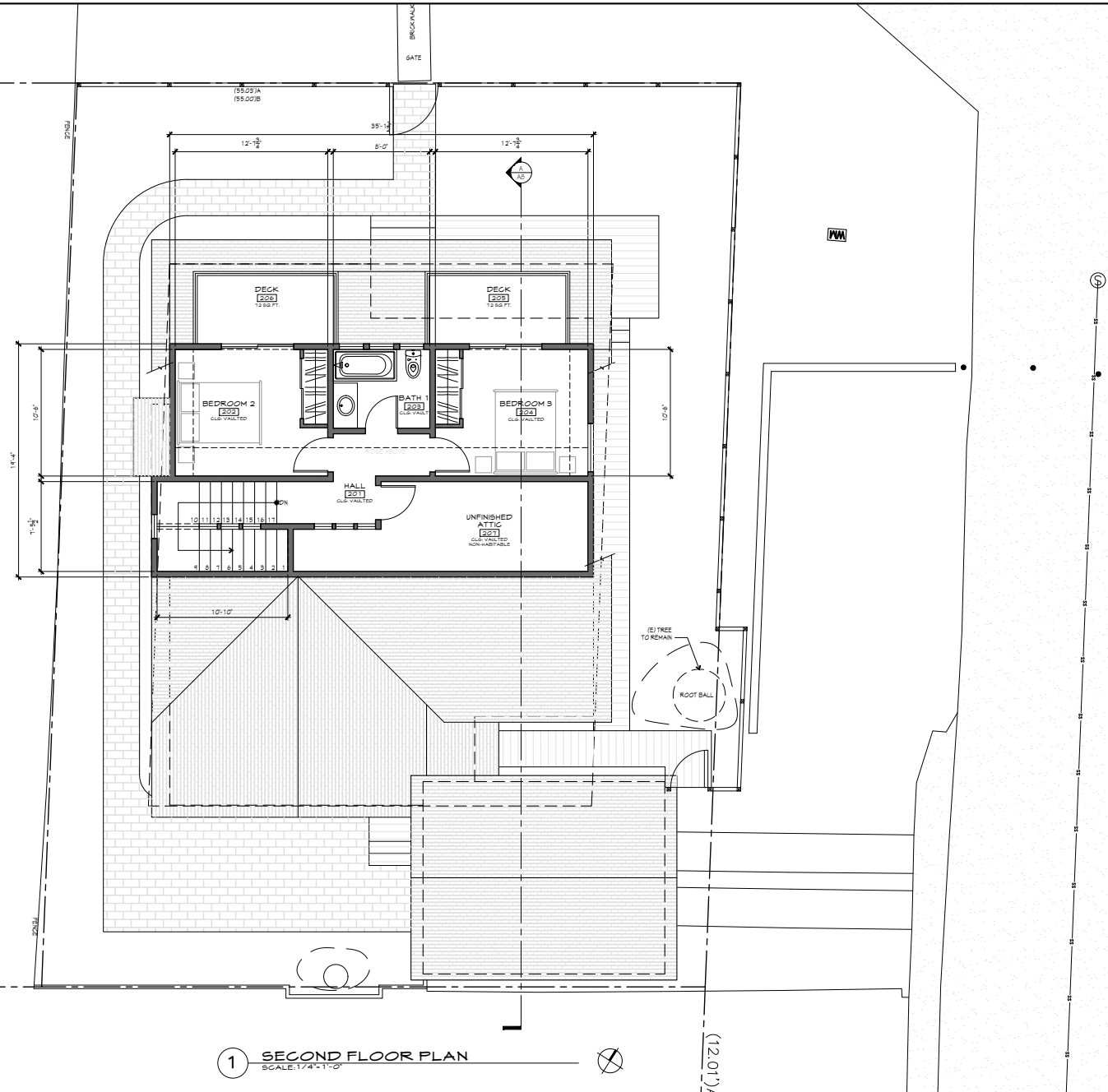
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① SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	NEW 2x4 STUD WALL
	NEW 2x4 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

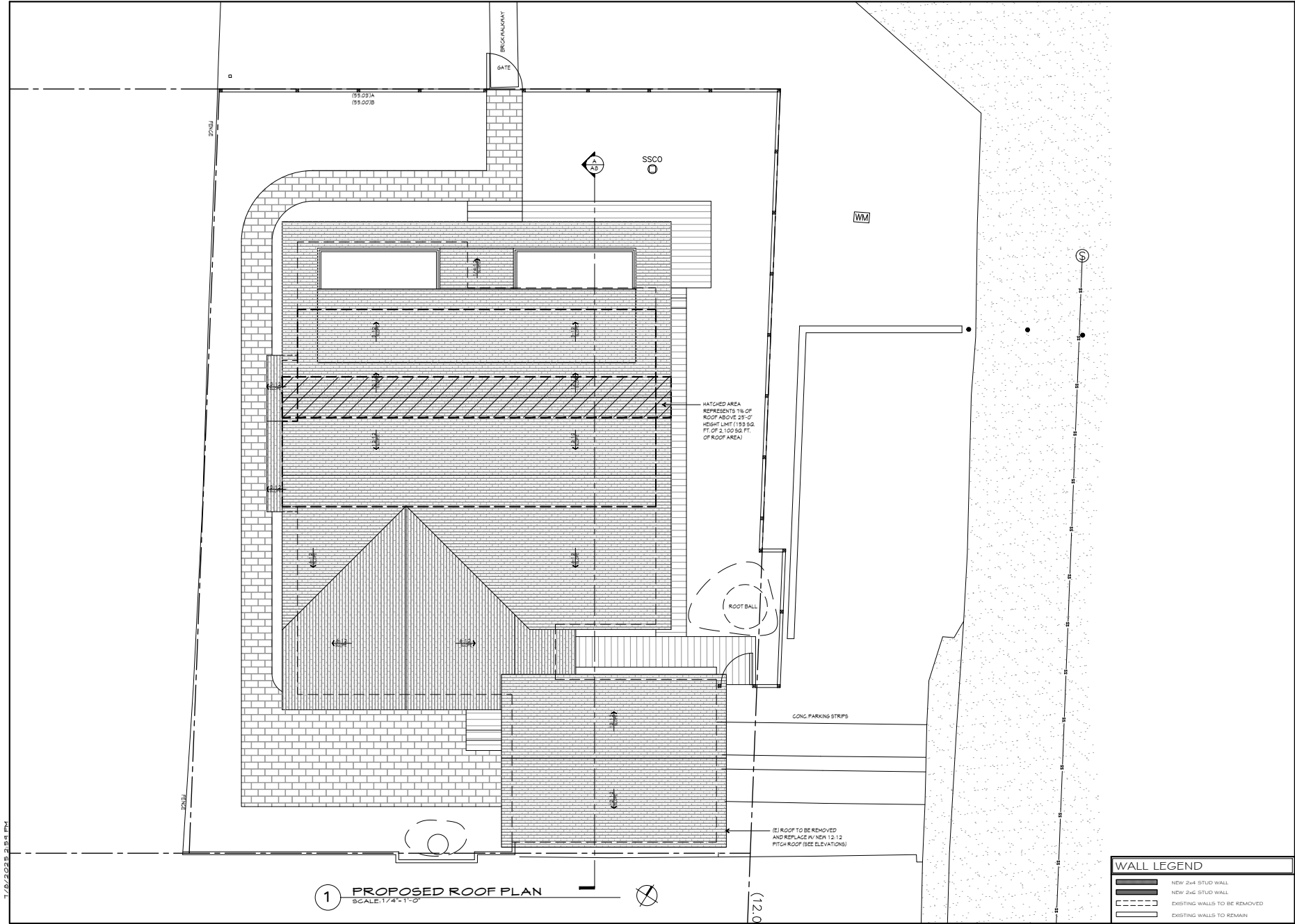
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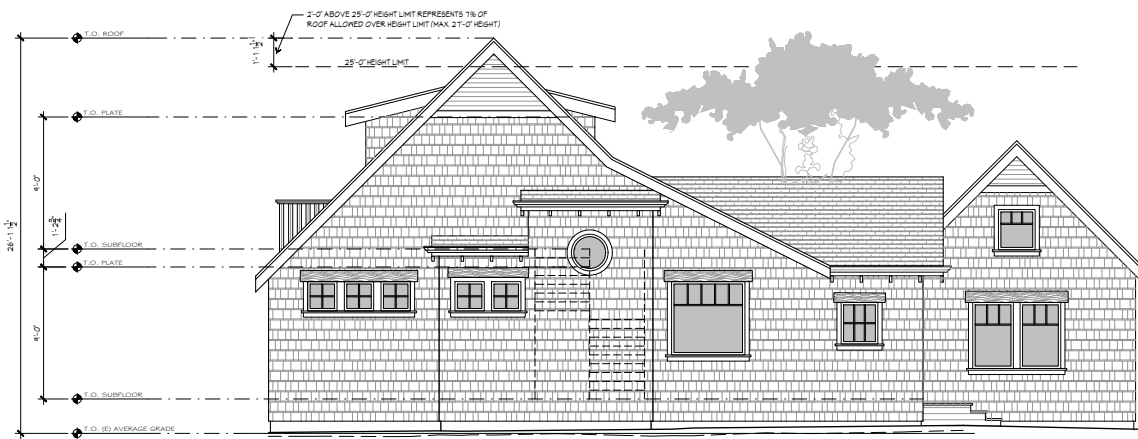
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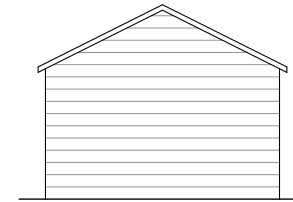
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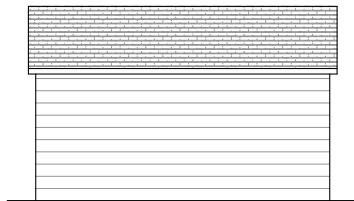
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4 PROPOSED SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



3 (E) EAST GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) SOUTH GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

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ISS: 1-2-09

ISSUE DESCRIPTION

PRELIMINARY DESIGN

AUG. 05, 2024

DESIGN DEVELOPMENT

FEB. 13, 2025

PLANNING SUBMITTAL

APR. 04, 2025

BUILDING SUBMITTAL

REVISIONS

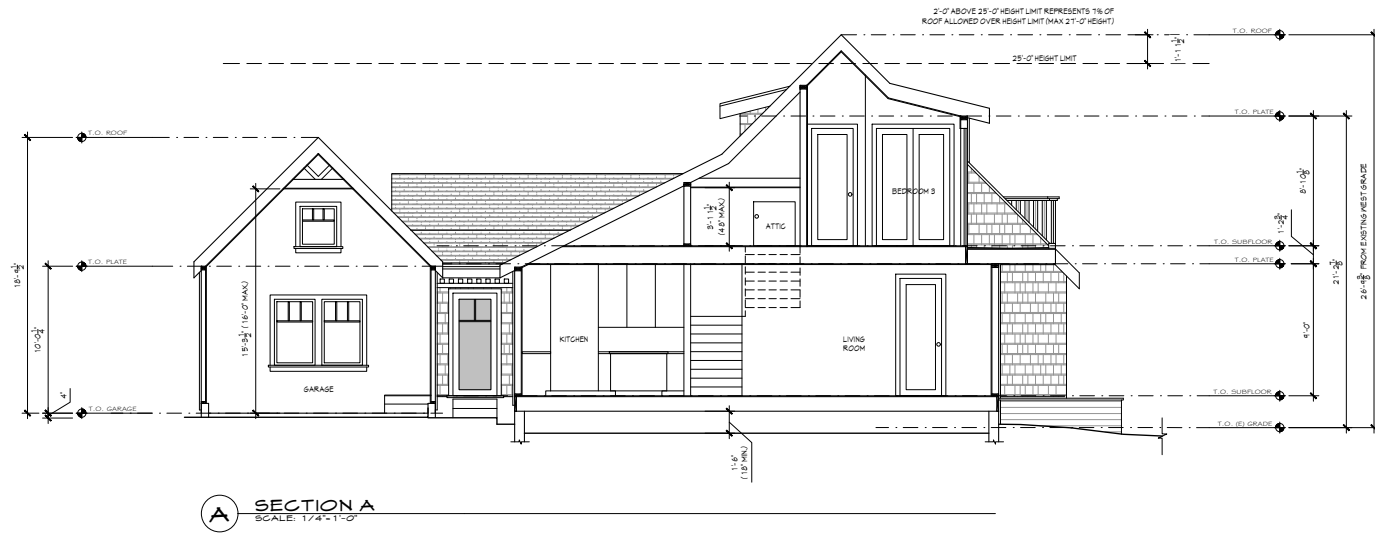
MAY 29, 2025

P.C. COMMENTS

EXTERIOR ELEVATIONS

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ISSUE DESCRIPTION

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AC	AGGREGATE BASE	JT	JOINT TRENCH
AC	AIR CONDITIONER UNIT	LJ	LAND
AD	AREA DRAIN	LF	LINEAR FOOT
ADU	ACCESSORY DWELLING UNIT	LP	LIP OF GUTTER
APN	ASSESSORS PARCEL NUMBER	LOG	LOW LIMIT OF GRADING
APV	AIR RELEASE VALVE	LOW	LOW POINT
BP	BASEMENT FLOOR	MH	MANHOLE
BP	BACKFLOW PREVENTER	MIN	MINIMUM
BO	BLOW-OFF VALVE	N	NORTH
BRW	FG AT BOTTOM OF RETAINING WALL	NE	NORTHEAST
BRW	BACK OF SIDEWALK	NTS	NOT TO SCALE
BVC	BEGIN VERTICAL CURVE	NW	NORTHWEST
CB	BOTTOM OF BUILDING	OC	ON CENTER
CBV	CABLE TELEVISION	OCW	ON CENTER EACH WAY
CATCH	CATCH BASIN	OH	OVERHEAD
CC	CALIFORNIA BUILDING CODE	ORT	PORTLAND CEMENT CONCRETE
CIP	CURB INLET	POC	POINT OF CONNECTION
CI	CURB RISE PIPE	PP	POWER POLE
CJ	CENTERLINE	PR	PROPERTY LINE
CMJ	CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVE
CMP	CONCRETE MASONRY UNIT	PS	PLANTING STRIP
CN	CLEANOUT	PS	PUBLIC SERVICE EASEMENT
CONC	CONCRETE	PIV	POST-INDICATOR VALVE
CONC	CLEANOUT TO GRADE	PV	PAVEMENT
CO	COCKLE IRON PIPE	PVC	POLYVINYL CHLORIDE PIPE
DS	DOWNSPOUT	R	RADIUS
DETAL	DETAIL	RC	RELATIVE COMPACTION
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
DWG	DRIVEWAY	ROW	RIGHT-OF-WAY
E	EAST	RPR	REDUCE REVERSE PRINCIPLE BACKFLOW
EW	EXISTING ELECTRICAL	RSB	REAR SETBACK
EW	EDGE OF PAVEMENT	RD	REDUCED WATER
(E)	EXISTING	S	SOUTH, SLOPE
EQ	EQUAL	SD	STORM DRAIN
EXIST	EXISTING	SE	SOUTHEAST
FC	FACE OF CURB	SDMH	STORM DRAIN MANHOLE
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAIN EASEMENT
FIN	FINISH GRADE	SH	SHEET
FF	FINISH FLOOR	SS	SANITARY SEWER
FF	FINISH DRAINANT	SSB	SIDE SETBACK
FL	FLOWLINE	SSE	SANITARY SEWER EASEMENT
FNC	FENCE	SSMH	SANITARY SEWER MANHOLE
FB	FIBER OPTIC	STA	STATION
FS	FINISHED SURFACE	STD	STANDARD
FSB	FRONT SETBACK	SW	SIDEWALK, SOUTHWEST
FT	FOOTFEST	SWE	SIDEWALK EASEMENT
FW	FIRE WATER	T	TELEPHONE
GB	GRADE	TH	THRESHOLD
GB	GARAGE FLOOR	TRAN	TRANSFORMER
GH	HEIGHT	TRW	FG AT TOP OF RETAINING WALL
HDPE	HIGH-DENSITY POLYETHYLENE	TW	TOP OF WALL
HP	HIGH POINT	USA	UNDERGROUND SERVICE ALERT
I	INTERSECTION	W	WEST, WATER
INV	INVERT	WM	WATER METER
IRRIG	IRRIGATION	WV	WATER VALVE
JB	JUNCTION BOX		

	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE - ADJACENT		BLow-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE BLOCK
	OVERHEAD LINE		FLOW DIRECTION
	RECYCLED WATER LINE		
	STORM DRAIN LINE		
	PERFORATED PIPE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		
	LIMIT OF GRADING		
	TREE PROTECTION FENCING		
	FIBER ROLLS		
	PROPOSED RETAINING WALL		



SURVEY FOR THIS PROJECT PROVIDED BY GV LAND SURVEYING,
JOB NO. V24071, DATED 8/15/2024.

THE BENCHMARK FOR THIS SURVEY IS SANTA CRUZ COUNTY BENCHMARK BM 909, WHICH IS A BRASS DISC SET IN CONCRETE MONUMENT, LOCATED AT THE SOUTHWEST CORNER OF MONTEREY AVENUE AND THE SOUTHERN PACIFIC RAILROAD TRACK, 10.5' NORTHWEST OF UTILITY POLE WITH A LIGHT ATTACHED.

BENCHMARK ELEVATION = 66.70 (NAVD88)

SITE BENCHMARK (TBM)
MAG NAIL IN ASPHALT LOCATED AT THE NORTHEAST CORNER OF
GRAND AVENUE AND SAXON AVENUE.
ELEV=85.28'

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS FOUND ALONG THE NORTHEASTERLY SIDE OF SAXON AVENUE, AS SHOWN ON THE MAP FILED IN VOLUME 87 OF MAPS, AT PAGE 45, SANTA CRUZ COUNTY RECORDS.

BASIS OF BEARINGS = N 29°54' W

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
C1.0	COVER SHEET
C1.1	NOTES
C1.2	BMP NOTES
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SECTIONS
C4.0	DETAILS
C5.0	EROSION CONTROL PLAN & DETAILS



Know what's below.
Call before you dig.



RAMSEY
ENGINEERING INC.

CIVIL ENGINEERING
LAND PLANNING
PROJECT MANAGEMENT
CONSTRUCTION SUPPORT
QSD AND QSP SERVICES

2905 KRISTIE COURT
SANTA CRUZ, CA 95065
TEL (831) 462-2905
www.ramseycivilengineering.com

DAVID RAMSEY
CE# 73735

APN# 036-132-09

PLAN TYPE
RESIDENTIAL

COVER SHEET

LUCK RESIDENCE

3302 GRAND AVENUE, CAPITOLA, CA, 95010

[illegible]

DRAWN BY:	MG/GS
DESIGNED BY:	DMR
DATE:	06/02/2025
SCALE:	AS NOTED
PROJECT NO:	25-004
SHEET:	

C1.0

RAMSEY CIVIL ENGINEERING NOTES:

- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE LATEST APPLICATION REQUIREMENTS PROVIDED BY THE CITY OF CAPITOLA.
2. UNLESS OTHERWISE AGREED UPON WITH THE CITY OF CAPITOLA, DURING CONSTRUCTION, ANY CONSTRUCTION ACTIVITY SHALL BE SUBJECT TO A CONSTRUCTION NOISE CURFEW, EXCEPT WHEN OTHERWISE SPECIFIED IN THE BUILDING PERMIT ISSUED BY THE CITY. CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF NINE P.M. AND SEVENTH A.M. ON WEEKDAYS. CONSTRUCTION NOISE SHALL BE PROHIBITED ON WEEKENDS WITH THE EXCEPTION OF SATURDAY MORNING FROM 6:00 A.M. TO 12:00 P.M. ON SATURDAY.
3. A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE PROVIDED TO THE CITY OF CAPITOLA. THE DISTURBANCE COORDINATOR SHALL BE PRESENT DURING PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND PROVIDE A WRITTEN FINAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
4. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
5. NO LAND EROSION, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WATER CLOSING CONTROL PLAN IS APPROVED BY THE PLANNING DEPARTMENT. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED EROSION PROTECTION SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING VEGETATION, MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXISTING VEGETATION SHALL BE REPLANTED OR REPLACED WITH NATIVE VEGETATION.
6. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DAILY AT THE END OF THE WORK DAY.
7. UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SHALL BE PROTECTED TO REMAIN IN PLACE. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SURFACE. THE CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND STRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
8. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR VIOLATIONS OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
9. UNLESS OTHERWISE NOTED, THE TERMS "INSTALL," "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR PURCHASING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
10. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF HISTORIC OR ARCHAEOLOGICAL SIGNIFICANCE IS DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE DEPARTMENT OF PUBLIC WORKS IMMEDIATELY. THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND SHALL MAINTAIN THE AREA THAT CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100 SHALL BE OBSERVED.
11. THE CONTRACTOR OR DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
12. APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SURFACE AND SHALL PROVIDE APPROPRIATE STAFF TO VERIFY COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. ALL BMPs, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT PROJECT DURATION.
13. KEEP WORK SITE CLEAR OF DEBRIS AND BE AWARE OF TRACKING MUD, DIRT, GRAVEL INTO THE STREET, AND SWEEP DAILY. COVER ALL STOCKPILES AND EXCAVATION SPOILS. PRACTICE GOOD HOUSEKEEPING AND MAINTAIN TEMPORARY CONSTRUCTION BARRIERS.
14. PRIOR TO ANY WORK IN THE CITY ROAD RIGHT OF WAY, AN ENCROACHMENT PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR PERFORMING THE WORK. NO MATERIAL OR EQUIPMENT STORAGE MAY BE PLACED IN THE ROAD RIGHT OF WAY.

- 1 SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY GV LAND SURVEYING, DATED 8/15/2024.
- 2 ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE
- 3 RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT BY ROK SOLID ENGINEERING INC., DATED 3/31/2025.
- 4 THE DESIGN SHALL BE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE CONTRACTOR SHALL INSPECT THE
- 5 COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE GEOTECHNICAL INVESTIGATION REPORT.
- 6
- 7 REFERENCE TO ABOVE REFINISHED GEOTECHNICAL REPORT FOR ONSITE SOIL PREPARATION (OR EXCAVATION AND
- 8 RECOMPACTION REQUIRED) BELOW CONCRETE FOOTINGS, SLABS, AND PAVEMENT.
- 9 ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022.
- 10 NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CITY ENGINEERING INC..
- 11 EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY
- 12 CONSTRUCTION OR GRADING OPERATIONS.
- 13 THE CONTRACTOR SHALL BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO,
- 14 OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO
- 15 CONSTRUCTION.
- 16
- 17 ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC, AND DIRECTED TO GRADE TO
- 18 GRADE.
- 19 ALL COMPACTIO TO BE DETERMINED USING THE LATEST EDITION OF ASTM D1557.
- 20
- 21 THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT
- 22 PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL PERFORM THEIR OWN FIELD
- 23 SURVEY PRIOR TO ANY CONSTRUCTION. IF AT ANY TIME THE CONTRACTOR HAS ANY DOUBT AS TO THE ACCURACY OF ANY
- 24 EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE
- 25 ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH
- 26 UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENSURE OF UTILITY
- 27 LOCATIONS. A CERTIFIED UNDERGROUND UTILITY LOCATOR SHALL BE OBTAINED AT THE COST OF THE CONTRACTOR, FOR
- 28 ALL EXCAVATIONS, OR LOCATIONS OF ANY EXISTING UTILITIES.
- 29 ALL UTILITY STRUCTURES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT.
- 30 INCLUDING, BUT NOT LIMITED TO CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE ADJUSTED TO GRADE BY THE
- 31 CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL
- 32 AGENCIES THAT MAINTAIN UTILITIES.
- 33
- 34 ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE
- 35 SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
- 36
- 37 CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
- 38
- 39 CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND,
- 40 AND STRUCTURAL STEEL) FROM THE EXISTING NORMAL PLANS OF THE BUILDING OF GRADING OPERATIONS.
- 41
- 42 ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH
- 43 APPLICABLE O.S.H.A REGULATIONS.
- 44
- 45 CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF
- 46 THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL
- 47 APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR AGREES TO DEFEND, INDEMNIFY,
- 48 AND HOLD DESIGN PROFESSIONALS AND CITY REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR
- 49 IMAGINARY, ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE
- 50 SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- 51
- 52 RAMSEY CITY ENGINEERING PERFORMED AN UPSTREAM AND DOWNSTREAM SITE ASSESSMENT FOR STORMWATER RUNOFF
- 53 FROM 2020 TO 2021. THE RESULTS OF THE ASSESSMENT INDICATE THAT THE BLUFF, ALONG THE SOUTHERLY
- 54 PROPERTY LINE, ALL DRAINAGE WILL BE DIRECTED AWAY FROM THE BLUFF AREA AND TOWARDS SAVANNA AVENUE. RUNOFF
- 55 FROM THE ROOF SYSTEM WILL BE CONVEYED VIA DOWNSPOUTS THAT DISCHARGE AT GRADE TO A GRADED SWALE FROM
- 56 THE ROOF THAT CORRESPONDS TO THE DRAINAGE AREA OF THE BLUFF. THE DRAINAGE AREA OF THE BLUFF AREA
- 57 AREA, OVERFLOW FROM THIS AREA WILL BE DIRECTED TOWARDS SAVANNA AVENUE. THERE ARE NO NO DRAINAGE ISSUES
- 58 FROM THE BLUFF AREA.

APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF WORK. A PRE-CONSTRUCTION INSPECTION MUST BE CONDUCTED BY THE GRADING ENGINEER PRIOR TO ANY CONSTRUCTION OR EROSION CONTROL MEASURES. EROSION CONTROL PLAN, EROSION CONTROL PLAN REVIEW AND EROSION CONTROL PLAN APPROVAL. EROSION CONTROL PLAN, ALL BMPs, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT PROJECT DURATION.

D. DISTURBED AREAS: ANY CONSTRUCTION OR EROSION CONTROL MEASURES SHALL BE LIMITED TO THE CURFEW, EXCEPT WHEN OTHERWISE SPECIFIED IN THE BUILDING PERMIT ISSUED BY THE CITY. CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF 9:00 P.M. AND 7:30 A.M. ON SUNDAYS AND HOLIDAY DAYS. CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 P.M. ON EMERGENCY WORK APPROVED BY THE BUILDING DEPARTMENT.

E. GENERAL SITE MAINTENANCE: KEEP WORK SITE CLEAR OF DEBRIS AND BE AWARE OF TRACKING MUD, DIRT OR GRAVEL INTO THE STREET, AND SWEEP DAILY; COVER ALL STOCKPILES AND EXCAVATION SOILS. PRACTICE CAREFUL EROSION CONTROL AND EROSION CONTROL MEASURES.

F. PROJECT TO PROTECT PLANT, ANY AREAS ONSITE WITH DISTURBED SOIL OR DENuded OF VEGETATION MUST BE STABILIZED OR REPLANTED SO AS TO INHIBIT EROSION BY WIND OR WATER AND IS CONSISTENT WITH THE PROJECT'S APPROVED DRAINAGE PLAN.

G. PROPOSED SIDEWALKS: ANY CRACKS OR BROKEN DRIVEWAYS OR SIDEWALKS MUST BE IDENTIFIED, DOCUMENTED, AND REPLACED PER PUBLIC WORKS STANDARD DETAILS, AND APPROVED BY THE PUBLIC WORKS DEPARTMENT. A PRE-CONSTRUCTION INSPECTION BY PUBLIC WORKS DEPARTMENT IS REQUIRED FOR ANY SIDEWALK REPAIRS. SIDEWALK REPAIRS SHALL MEET CURRENT ACCESSIBILITY STANDARDS. PUBLIC WORKS STANDARD DETAILS CAN BE ACCESSED/SEEN HERE: <https://www.cityofcapitolca.org/publicworks/pwgs/Pages/StandardDetails-PublicWorks.aspx>

H. PRIOR TO ANY WORK IN THE CITY RIGHT-OF-WAY (MOST OFTEN ROADS AND SIDEWALKS), AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF CAPITOL CA. ANY CONSTRUCTION OR EQUIPMENT STORAGE MAY BE PLACED IN THE CITY RIGHT-OF-WAY TO APPLY FOR AN ENCROACHMENT PERMIT. PLEASE VISIT www.cityofcapitolca.org/publicworks/pwgs/Pages/ENCROACHMENT-PERMIT.aspx THE CITY'S WEBSITE: www.cityofcapitolca.org/cityofcapitolca/Pages/default.aspx FOR MORE INFORMATION REGARDING ENCROACHMENT PERMITS. ANY WORK INTERFERING WITH THE PUBLIC RIGHT OF WAY OR ROADWAY SHALL REQUIRE AN ENCROACHMENT PERMIT REVIEW BY THE CITY OF CAPITOL CA. ANY ENCROACHMENT PERMIT SHALL BE A STANDARD ENCROACHMENT PERMIT - ANY WORK IN THE CITY RIGHT-OF-WAY.

I. RECOVERABLE ENCROACHMENT PERMIT - ANY WORK BETWEEN THE LIMITS OF THE PRIVATE PROPERTY AND THE CITY RIGHT-OF-WAY.

29	CUBIC YARDS EXCAVATION
64	CUBIC YARDS EMBANKMENT
35	CUBIC YARDS NET EMBANKMENT (FILL)

NOTES

1. ESTIMATE DOES NOT INCLUDE UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.
4. EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL SITE.



Know what's below.
Call before you dig.

DRAWN BY:	MG/GS
DESIGNED BY:	DMR
DATE:	06/02/2025
SCALE:	AS NOTED
PROJECT NO:	25-004
SHEET:	

C1.1

C1.1

CITY OF CAPITOLA

Tier 1 Project Data Form (Instructions on Back)

Name of Owner or Developer	Stephanie Luck		
Name of Primary Contact (if different)			
Primary Contact Information	Phone	608-482-5352	
	Email:	Just1luckygirl@yahoo.com	
Project Name/Number			
Application Submittal Date			
Project Location (Address/APN)	036-132-09		
Project Type and Description (Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking," etc.)	Single Family residence - Site improvements		
Total Project Site Area (sf)	4,122		
Total Pre-Project Impervious Area (sf)	1,443		
Total Post-Project Impervious Area (sf)	2,049		
Total New Impervious Area (sf)	649		
Total Replaced Impervious Area (sf)	1,034		
Runoff Reduction Measures Selected (Check one or more)	<input checked="" type="checkbox"/> Disperse runoff to vegetated area <input checked="" type="checkbox"/> Pervious pavement <input type="checkbox"/> Cisterns or Rain Barrels		

Project Data Form TIER 1 STORMWATER CONTROL PLAN



City of Capitola
Storm Water Permit Project Application

All projects must comply with the City's Storm Water Post Construction Requirements (CMC 13.16.090). Complete the following information in order for the Public Works Department to determine the applicable requirements for a project. Once this has been submitted the applicant will be notified and provided guidance on achieving compliance.

PROJECT ADDRESS: 302 Grand Avenue, Capitola CA 95010

OWNER:	REPRESENTATIVE:
Contact Name: Stephanie Luck	Contact Name: David Ramsey - Ramsey Civil Engineering Inc.
Address:	Address: 2905 Kristie Ct
City:	City: Santa Cruz CA
Zip:	Zip: 95095
Phone: 408-482-5352	Phone: 831-462-2905
Fax:	Fax:
Email: Justluckvair@yahoo.com	Email: David@ramseyce.com

Project Type: ☒ Residential ☐ Commercial ☐ Industrial
Project is a: ☐ New Development ☒ Redevelopment
Project Description: Site improvements including native landscape walls, and driveway

Stormwater Project Information

▶ **Impervious Area** = structures, pavement, hardscaping – any surface that will not allow water to infiltrate into the ground

Parcel Size	4122	sq. ft.
Amount of existing (pre-project) impervious surface area (e.g., existing buildings, paving, hardscape)	1,443	sq. ft.
Amount of replaced impervious surface area (e.g., parking lot replaced by a building)	1,034	sq. ft.
Amount of new impervious surface area created (e.g., new building addition and/or/patio)	649	sq. ft.
Total proposed (post-project) impervious surface area	2,049	sq. ft.

I hereby affirm that this information is accurate and understand it will be used to determine compliance with the City's Storm Water Post Construction Requirements for this project.

Property Owner or Authorized Agent

David Ramsey
Print Name


Signature

04/04/2025
Date

On Streamwater Standard Boat Construction, SC Department of Water, Permit Project Application, no. 9-1-17, April 2017.

Staff to complete below

Net Impervious Area* (New + Replacement - (Existing- Proposed))		2,289	sq. ft.
Tier Determination		<input checked="" type="checkbox"/> Basic	Tier _____
Check One	Tier**	Detached Single Family Homes	All Others (Commercial, Industrial, Two- & Multi-Family Homes)
<input checked="" type="checkbox"/> Basic Tier***	New/Replaced Impervious area < 2,500 sf		
<input type="checkbox"/> Tier 1	New/Replaced Impervious area ≥ 2,500 sf	New/Replaced Impervious area ≥ 2,500 sf	
<input type="checkbox"/> Tier 2	N/A	Net Impervious area ≥ 5,000 sf	
<input type="checkbox"/> Tier 3	Net Impervious area ≥ 15,000 sf	New/Replaced Impervious area ≥ 15,000 sf	
<input type="checkbox"/> Tier 4	New/Replaced Impervious area ≥ 22,500 sf		

Method

* *Net impervious area = new impervious + replaced impervious – (pre-project minus post-project) Cannot be less than*

^{**} Tier numbers correspond to "Performance Requirements" identified in the State Water Resource Control Board

*** Basic Tier projects must incorporate runoff reduction measures into site plan, e.g. disperse runoff to vegetated area, pervious paving, rain barrel or cistern

On Stormwater Separated Drainage Construction, D/C Gas Storm Water Permit Report Application, pp. 5-17.

- Use as little water as possible for dust control. If water is used, ensure it does not leave silt or discharge to storm drains.
- Call 911 for significant spills. If the spill poses a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.

- **Site Clean Up**
 - Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
 - The street, sidewalk and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb all the water.
 - If conducting road or sidewalk work, material stockpiles must be removed and cleaned up by the end of each work day.
 - Discarded materials and demolition wastes must never be left in a street, gully, or alleyway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.

Signed and Agreed to by:
Project Owner or General Contractor

Signed: _____ Date: _____

Print Name: _____

Print Name _____

- Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent a net increase of sediment in the site's storm water discharge relative to pre-construction levels. During the rainy season, erosion control measures must also be located at all appropriate locations along the site's perimeter and at all inlets to the storm drain system. Effective methods to protect storm drain inlets include sand bay barriers, heavy rubber mats to cover and seal the inlet, and sediment traps or basins. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002; and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).

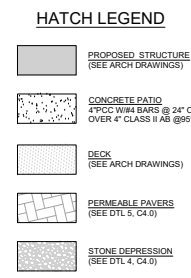
- When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials

- [illegible]

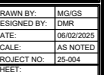


C1.2

[illegible]



 RAMSEY <small>CIVIL ENGINEERING</small>	
CIVIL ENGINEERING LAND PLANNING PROJECT MANAGEMENT CONSTRUCTION SUPPORT GSI AND QIP SERVICES 2905 KRISTIE COURT SANTA CRUZ, CA 95065 TEL (831) 462-2905 www.ramseycivilengineering.com	
	
DAVID RAMSEY RCE# 73735	DATE _____
APN# 036-132-09	
PLAN TYPE RESIDENTIAL	
GRADING & DRAINAGE PLAN <h1 style="text-align: center;">LUCK RESIDENCE</h1> 302 GRAND AVENUE, CAPITOLA, CA, 95010	
	DATE _____
	DESCRIPTION / REVISION BLOCK
	NUMBER BY
DRAWN BY:	HUGES
DESIGNED BY:	DMP
DATE:	06/03/2009
SCALE:	AS NOTED
PROJECT NO.	25-004
SHEET:	
<h1>C3.0</h1>	



C3.1

DAVID RAMSEY DATE
CE# 73735

APN# 036-132-09

PLAN TYPE
RESIDENTIAL

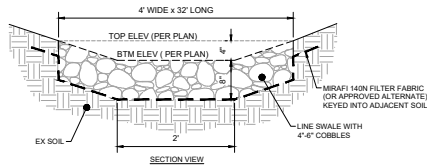
SECTIONS

LUCK RESIDENCE

302 GRAND AVENUE, CAPITOLA, CA, 95010

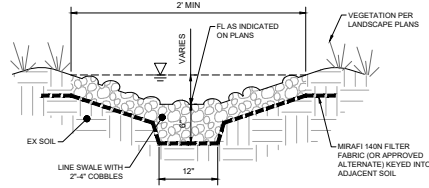
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DRAWN BY:	MG/GS
DESIGNED BY:	DMR
DATE:	06/02/2025
SCALE:	AS NOTED
PROJECT NO:	25-004
SHEET:	



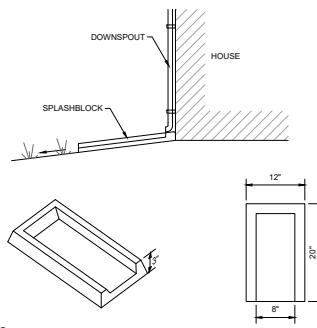
STONE DEPRESSION
NTS

4



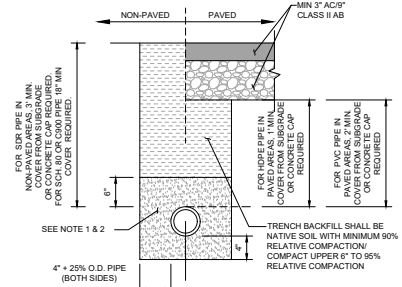
SWALE - GRADED
NTS

3



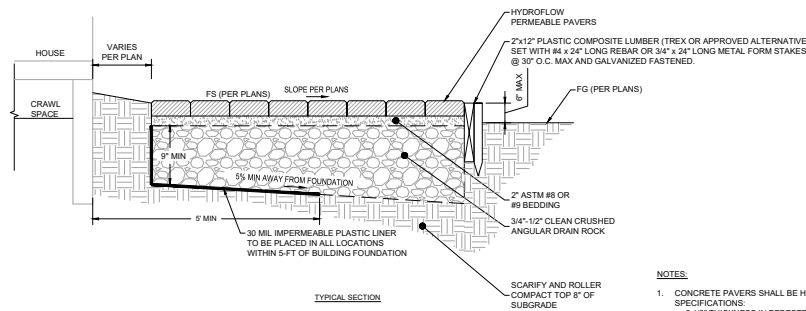
CONCRETE SPLASHBLOCK
NTS

2



TRENCH DETAIL
NTS

1



- NOTES:
1. CONCRETE PAVERS SHALL BE HYDROFLOW PERMEABLE PAVERS WITH THE FOLLOWING SPECIFICATIONS:
- 2 1/8" THICKNESS IN PEDESTRIAN APPLICATION (NOT FOR VEHICLE LOADING)
- 190 INCH PER HOUR INITIAL INFILTRATION RATE
- COLOR AND SPECIFICATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION
 2. ALTERNATE PAVES SYSTEMS MAY BE USED BUT ARE SUBJECT TO REVIEW & APPROVAL BY THE PROJECT CIVIL ENGINEER, SOILS ENGINEER & APPROPRIATE STORMWATER REVIEW AGENCY. ALTERNATE SYSTEM MUST MEET THE ABOVE PERFORMANCE SPECIFICATIONS.
 3. COMPACT AREA BENEATH CURBS AT 95% RELATIVE COMPACTION.
 4. ROLLER COMPACT DRAIN ROCK IN 6" LIFTS.

PERVIOUS PAVERS DETAIL
NTS

5

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NOT FOR CONSTRUCTION
DAVID RAMSEY
RCE# 73735

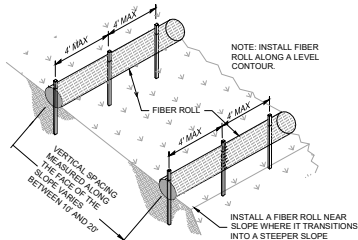
APN# 036-132-09
PLAN TYPE
RESIDENTIAL

DETAILS
LUCK RESIDENCE
302 GRAND AVENUE, CAPITOLA, CA. 95010

NO.	DATE	DESCRIPTION	BY	REVISION BLOCK

DRAWN BY: MGS
DESIGNED BY: DMH
DATE: 06/02/2023
SCALE: AS NOTED
PROJECT NO: 25-004
SHEET

C4.0



TYPICAL INSTALLATION

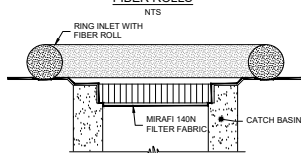
FIBER ROLLS CONSTRUCTION SPECIFICATIONS

- PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
- ROLLS OF FIBER SHOULD BE UNROLLED DOWN THE SLOPE. FIBER ROLLS IN THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL, WHEN THE SOIL IS LOOSE AND SOFT. IF THE SOIL IS FIRM, THE ROLLS SHOULD BE DEEP ENOUGH TO COVER THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE.
- ROLLS OF FIBER SHOULD BE UNROLLED PERPENDICULAR TO WATER FLOW, PARALLEL TO THE SLOPE CONTOUR.
- START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE TOP OF THE SLOPE DOWN TO THE BOTTOM OF THE TRENCH. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET, DEPENDING ON THE SLOPE. THE DEPTH OF THE TRENCH SHOULD BE THE SLOPE CLOSER TOGETHER THE TRENCHES.
- LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SLOPE. IF THE SLOPE IS VERY STEEP, THE FIBER ROLL MAY BE HELD IN PLACE BY A STAKE. IF THE SLOPE IS FLAT, THE FIBER ROLL, USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AT 12 INCHES APART. DRIVE THE STAKES THROUGH THE HOLES.
- DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER. IF THE SLOPE IS VERY STEEP, USE A STRAIGHT BAR TO DRIVE THE STAKE INTO THE SOIL. USE TECHNICAL, CODE, BIOENGINEERING, FOR GUIDELINES TO PREPARING SLOPES.
- INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSIDE SLOPE OF THE TRENCH.

INSTALLATION AND MAINTENANCE

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

FIBER ROLLS

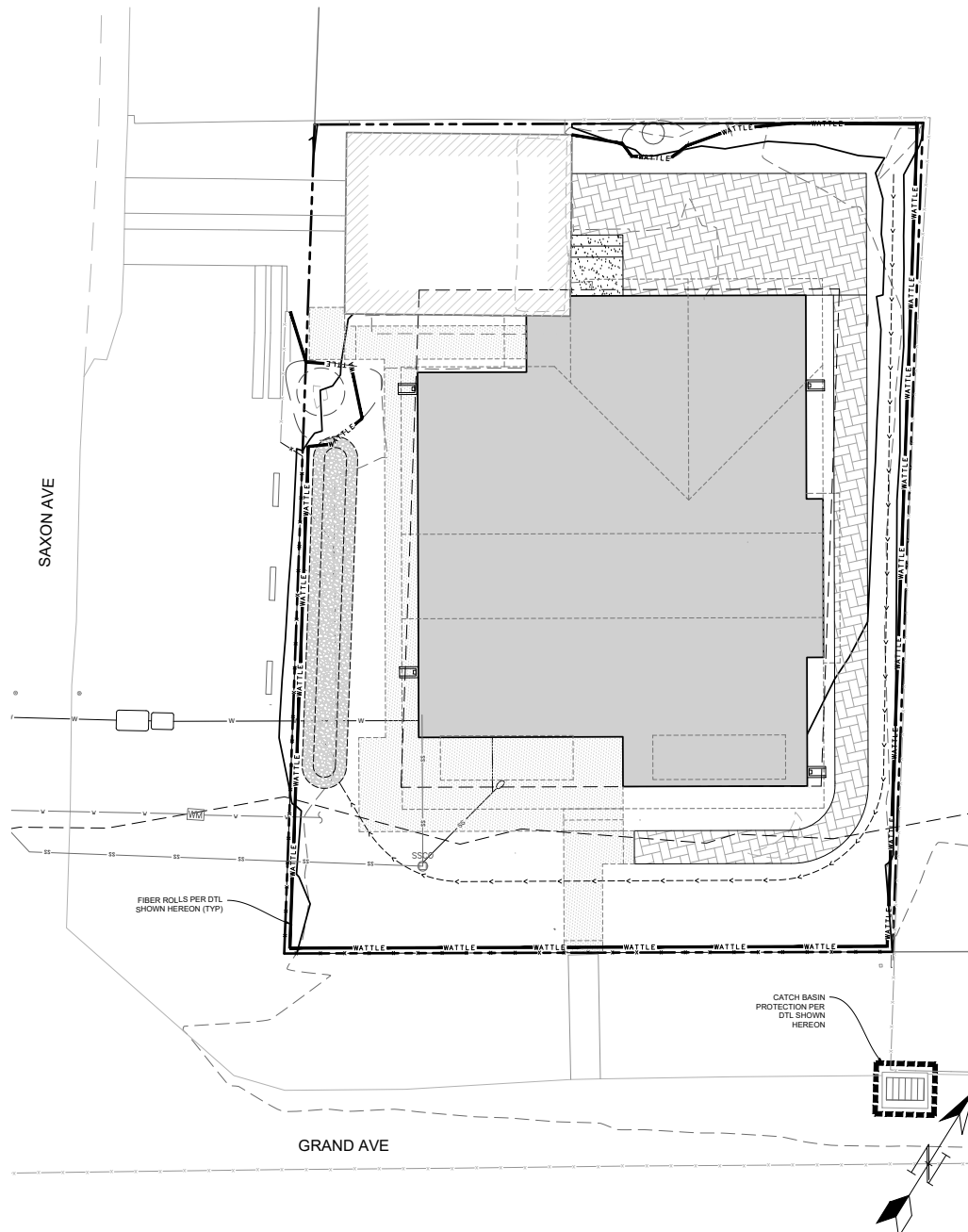


INSPECTION AND MAINTENANCE

1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH (25.4 MM) OR IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

CATCH BASIN PROTECTION

NTS



EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED UNTIL SLOPE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE WITHOUT EROSION CONTROL MEASURES IN PLACE. PRIOR TO THIS CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THIS CITY REGARDING REVIEW AND APPROVAL OF A SEPARATE WATER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WEEK, AND AT THE DEVELOPMENT OF ANY SIGNIFICANT WEATHER SYSTEMS, MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED, THESE MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO: (1) THE INSTALLATION OF STRAW BALE TERRACE, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE USE OF SILT AND GRAVEST TRAPS, FILTER BERMS, HAY BALE OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE. ALL EROSION AND SILTATION SHALL BE PREVENTED BY THE CONTRACTOR'S ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WATER BARRIER.
7. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
8. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
9. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOIL SHALL BE IMMEDIATELY REVEGETATED WITH SEEDING AND MULCHING. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
10. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, MULCHED, AND COVERED WITH A 2' MINIMUM DEPTH OF MULCH AND A BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
11. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED. (2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, MAINTENANCE AND MITIGATED PER THE CONTRACTOR'S OWN STANDARDS.

STORMWATER O&M PLAN

1. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP
2. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS. REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
3. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
4. STORMWATER MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
 - 4.1. ROOF DOWNSPOUTS:
 - 4.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILDUP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND TRASH SHALL BE PROPERLY DISPOSED.
 - 4.2. GRADE(S) SHALL BE PERVIOUS DRIVEWAY/PEDESTAL SLAB AREAS:
 - 4.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND SEDIMENT REMOVAL.
 - 4.2.2. TRASH AND SEDIMENT REMOVAL SHALL BE REQUIRED AFTER A FALL LEAF DROP.
 - 4.3. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
 - 4.3.1. INSPECTION OF INFLOW AND OUTFLOW AREAS ARE REQUIRED. NO EROSION HAS OCCURRED, AND ROCK DISPOSITION PADS OR OTHER MEASURES AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
 - 4.4. FISSILE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN FACILITY:
 - 4.4.1. IF SLAB(S) IS/ARE NOT BEING REMOVED TO EXPOSE PROPER FLOW THROUGH.
 - 4.4.2. IF EXCESSIVE PONDING OF WATER IS OCCURRING 90 DAYS AFTER COMPLETION OF A STORMWATER FACILITY, THE FACILITY SHALL BE REMOVED OR BUILT-UP IS NOT IMPEDING FLOW. REMOVE AS NECESSARY.
 - 4.4.3. IF VEGETATED AREAS ALL VEGETATION IS HEALTHY. REMOVE AND REVEGETATE ALL DIRT AREAS.

SOURCE CONTROL MEASURES

BELOW ARE THE MEANS AND M
ACTIVITIES:

- INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.
- LANDSCAPE MAINTENANCE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.
- OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR REMEDIATION SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.
- UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED IMMEDIATELY TO THE SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
- BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL COMPLY WITH ALL APPLICABLE REGULATIONS TO ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.

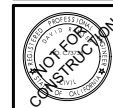


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DAVID RAMSEY DATE
RCE# 73735

APN# 036-132-09

PLAN TYPE
RESIDENTIAL

EROSION CONTROL PLAN AND DETAILS

LUCK RESIDENCE

WORK RESIDENCE
302 GRAND AVENUE, CAPITOLA, CA, 95010

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