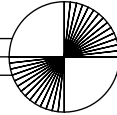


# GLUSOVICH RESIDENCE

GENERAL INFORMATION:	
<b>SITE AREA:</b> 4,000 SQ. FT.	<b>ZONE:</b> R1
<b>BUILDING:</b>	
EXISTING	
SINGLE STORY RESIDENCE	1,198 SQ. FT.
COVERED PORCH	34 SQ. FT.
<b>PROPOSED:</b>	
LIVING 1ST FLOOR	1,198 SQ. FT.
LIVING 2ND FLOOR	400 SQ. FT.
TOTAL	1,598 SQ. FT.
COVERED PORCH	34 SQ. FT.
2ND FLOOR DECK	88 SQ. FT.
DETACHED GARAGE	336 SQ. FT.

**CODE ANALYSIS:**  
 THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2019)  
 OCCUPANCY CLASSIFICATION: R-3/U  
 BUILDING CONSTRUCTION TYPE: VB  
 FIRE RATING: NON-SPRINKLERED



THE DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, FIELD CONDITIONS, OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR DIFFERS FROM THESE DOCUMENTS. THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE DESIGNER DISCLAIMS ANY RESPONSIBILITY RESULTING FROM THEIR UNAUTHORIZED USE. COPYRIGHT PROTECTION STARTS FROM THE EARLIEST DATE OF THE DESIGN CONTRACT, PRELIMINARY DESIGN WORK, OR THE CONSTRUCTION DOCUMENTS.

**PROJECT DESCRIPTION:**  
 NEW 2025 HOME ADDITION & NEW DETACHED GARAGE

**DEFERRED SUBMITTAL:**  
 SOLO PANELS  
 ROOF TRUSSES

**NOTE: TRUSSES DOCUMENTS:**  
 SUBMITTAL DOCUMENTS SHALL BE REVIEWED BY THE DESIGNER, ARCHITECT, OR ENGINEER OF RECORD, NOTED FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING, AND THEN FORWARDED TO THE BUILDING DEPARTMENT FOR PLAN CHECK REVIEW AND APPROVAL. IT IS A REQUIREMENT THAT THE DEFERRED SUBMITTAL BE RECEIVED AND APPROVED PRIOR TO THE ROOF SHEATHING INSPECTION OR PROGRESS OF THE CONSTRUCTION PROJECT COULD BE DELAYED.

LEGEND OF SHEETS	
PAGE	TITLE
1	COVER SHEET, PROJECT INFO
1A	GENERAL NOTES
2	SITE PLAN
3	EXISTING FLOORPLAN
4	PROPOSED FLOORPLAN
5	ELEVATIONS EXISTING
6	ELEVATIONS PROPOSED
8	ROOF PLAN
9	SITE PLANNING DETAILS
10	SECTIONS
BMP	BEST MANAGEMENT PRACTICES
0	PROPOSED DETACHED GARAGE PLANS
9	SURVEY

REVISIONS:	BY:

**OWNER:**  
 DANA GLUSOVICH  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 443-413-4434

**GLUSOVICH RESIDENCE**  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 APN 034-022-03

**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING

717 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PH: 408.688.8888  
 WEBSITE: www.dennisonortondesign.com

COVER SHEET  
 LEGEND OF SHEETS

**DRAWN:** GG

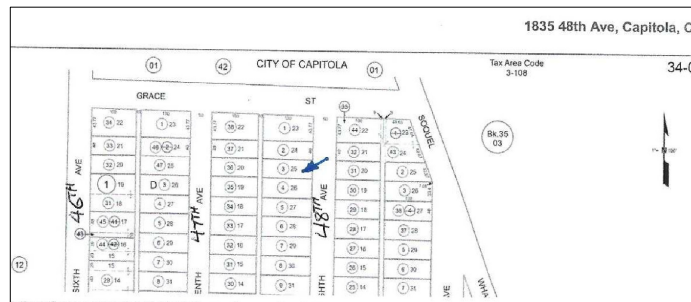
**CHECKED:**

**JOB NO.:** 48TH

**DATE:** 03/04/22

**SHEET**

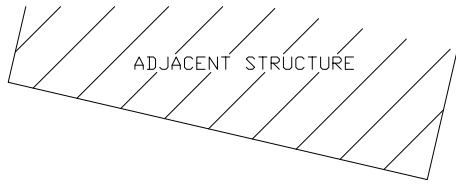
1  
 OF # SHEETS



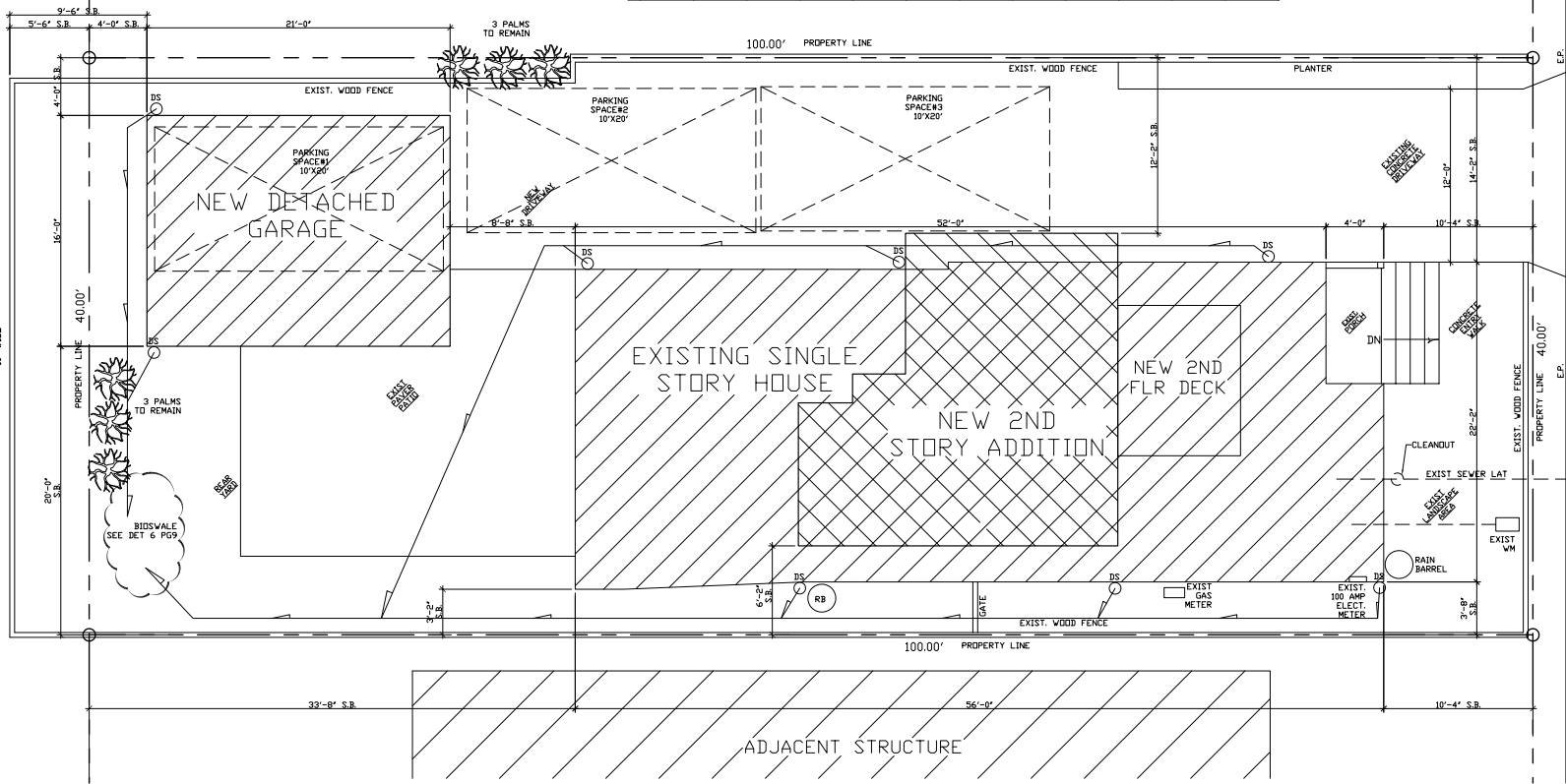
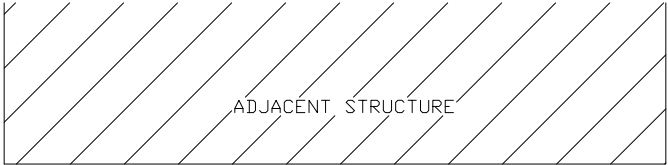
VICINITY MAP



### EASEMENT 10' WIDE



ADJACENT STRUCTURE



48TH AVE.  
50' WIDE

SITE PLAN  
SCALE: 1/4"=1'-0"

REVISIONS:	BY:

OWNER:  
**DANA GLUSOVICH**  
1835 48TH AVE  
CAPITOLA, CA 95010  
443-415-4434

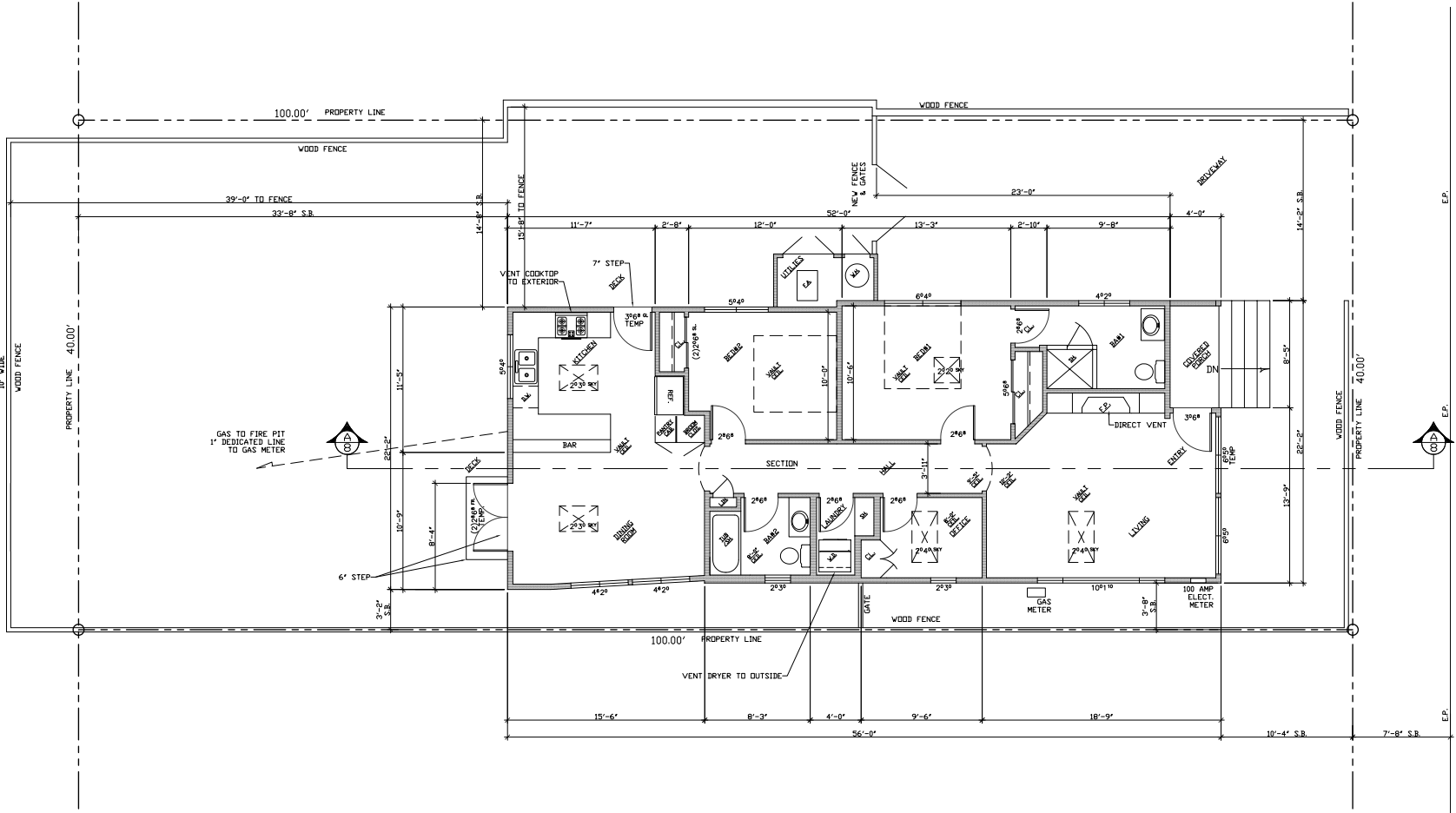
**GLUSOVICH RESIDENCE**  
1835 48TH AVE  
CAPITOLA, CA 95010  
APN 034-022-03

**DENNIS NORTON**  
HOME DESIGN AND PROJECT PLANNING  
717 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PH: 443-415-4434  
FAX: 443-415-4434  
WWW.DENNISNORTON.COM

### SITE PLAN

DRAWN: GG  
SCALE: 1/4"=1'-0"  
JOB NO. 48TH  
DATE: 03/04/22

EASEMENT  
18'-0" WIDE



FLOORPLAN  
SCALE: 1/4"=1'-0"

REVISIONS:	BY:

OWNER:  
DANA G. GUSOVICH  
1835 48TH AVE  
CAPITOLA, CA 95010  
443-415-4433

GLUSOVICH RESIDENCE  
1835 48TH AVE  
CAPITOLA, CA 95010  
APN 034-022-03

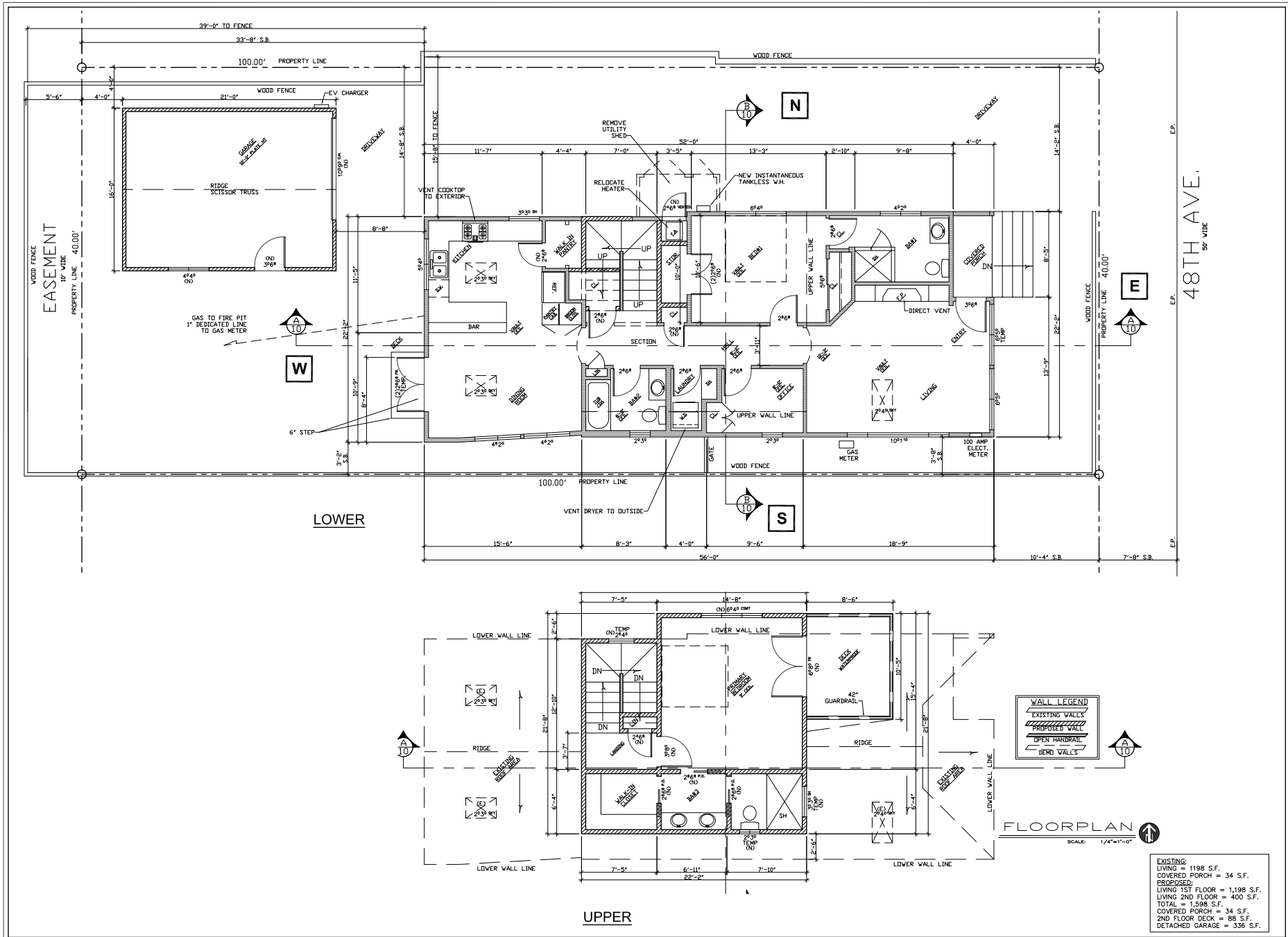
DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
1712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PH: 408.286.1234  
WWW.DENNISNORTON.COM



EXISTING  
FLOORPLAN

DRAWN: GG  
SCALE: 1/4"=1'-0"  
JOB NO. 48TH  
DATE: 06/07/21

SHEET  
3  
OF SHEETS



REVISIONS:	BY:

OWNER:  
 DANA GLUSOVICH  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 443-415-4433

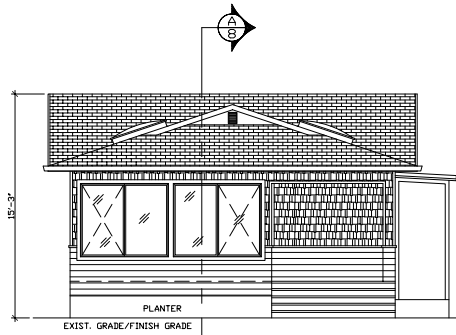
GLUSOVICH RESIDENCE  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 APN 034-022-03

**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PH: 408-438-1111 FAX: 408-438-1112  
 WWW.DENNISNORTON.COM

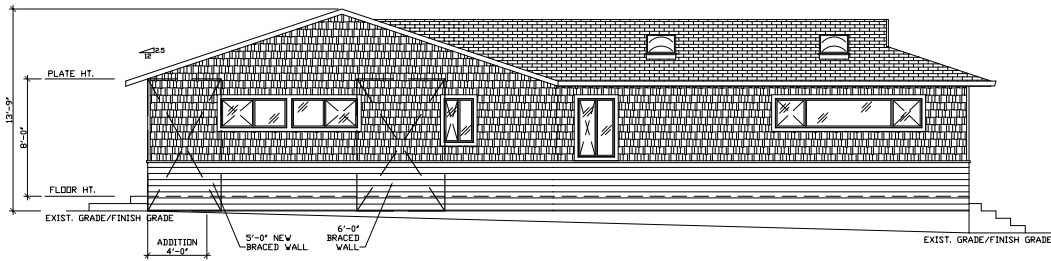
**PROPOSED FLOORPLAN**

DRAWN: GG  
 SCALE: 1/4"=1'-0"  
 JOB NO. 48TH  
 DATE: 03/04/22

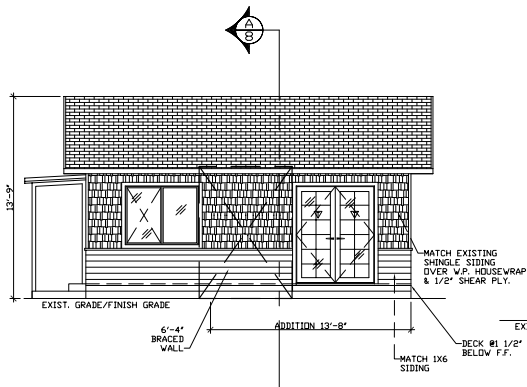
SHEET  
**4**  
 OF # SHEETS



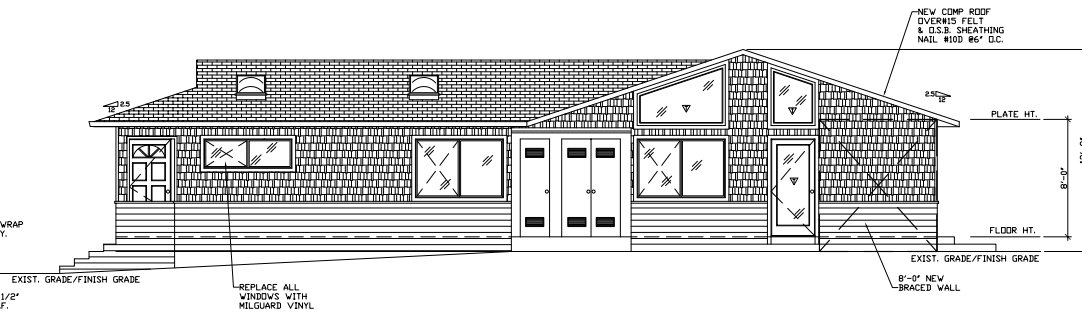
EAST (EXIST.)



SOUTH



WEST



NORTH (EXIST.)

**ELEVATIONS**

SCALE: 1/4"=1'-0"

NOTE: ▽ = TEMPERED GLASS

REVISIONS:	BY:

OWNER:  
 DANA GLUSOVICH  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 443-415-4434

GLUSOVICH RESIDENCE  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 APN 034-022-03

**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PHONE: 408-443-4434  
 WEBSITE: www.dennisonorton.com

ELEVATIONS  
 EXISTING

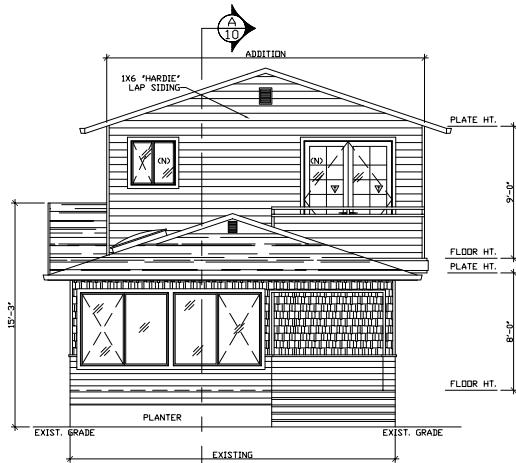
DRAWN: GG

SCALE: 1/4"=1'-0"

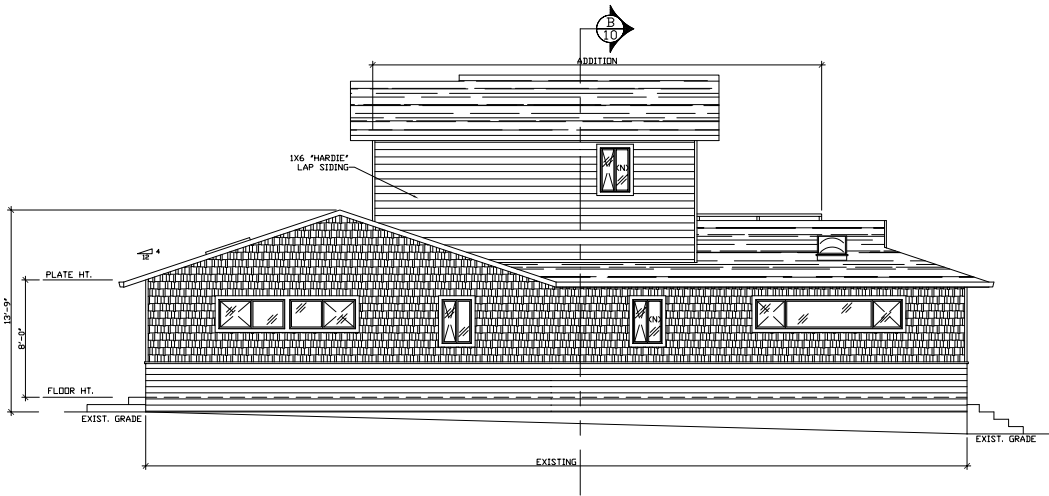
JOB: 48TH

DATE: 06/16/21

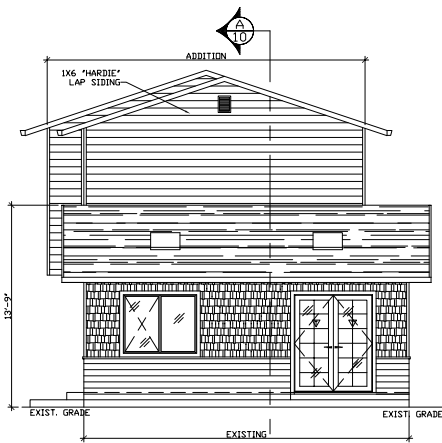
SHEET  
 5  
 OF # SHEETS



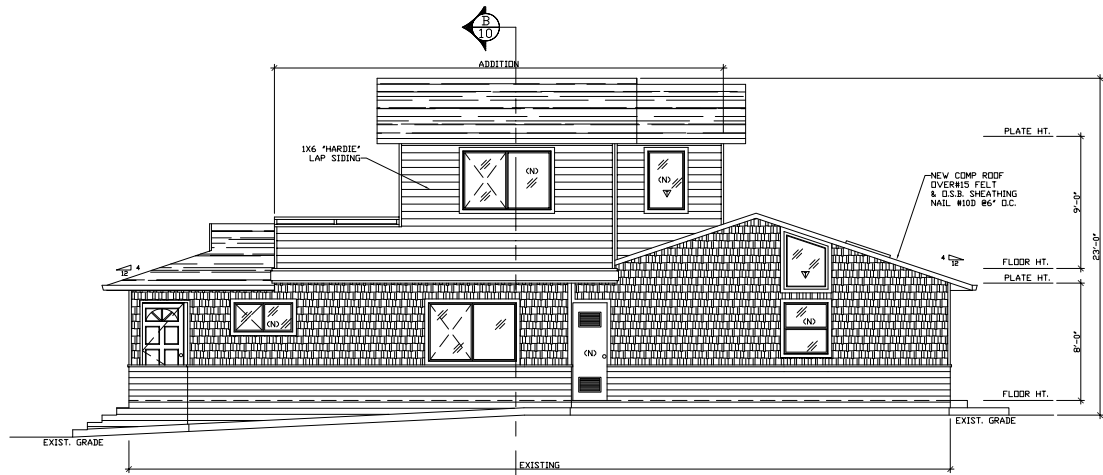
EAST



SOUTH



WEST



NORTH

ELEVATIONS

SCALE: 1/4"=1'-0"

NOTE: ▽ = TEMPERED GLASS

REVISIONS:	BY:

OWNER:  
 DANA GLUSOVICH  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 443-415-4434

GLUSOVICH RESIDENCE  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 APN 034-022-03

DENNIS NORTON  
 HOME DESIGN AND PROJECT PLANNING  
 112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PHONE: 408-438-1122  
 WEBSITE: www.dennisonorton.com

ELEVATIONS  
 PROPOSED

DRAWN: GG

SCALE: 1/4"=1'-0"

JOB: 48TH

DATE: 07/14/21

SHEET

6  
 OF # SHEETS

REVISIONS:	BY:

OWNER:  
 DANA GLUSOVICH  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 443-416-4433

GLUSOVICH RESIDENCE  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 APN 034-022-03

DENNIS NORTON  
 HOME DESIGN AND PROJECT PLANNING

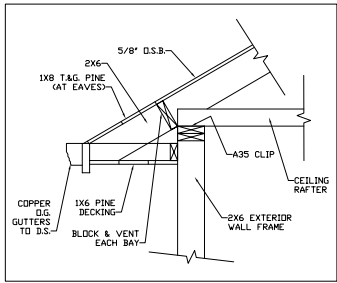
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 PH: 408.933.7957  
 WWW: www.dennisonnorton.com



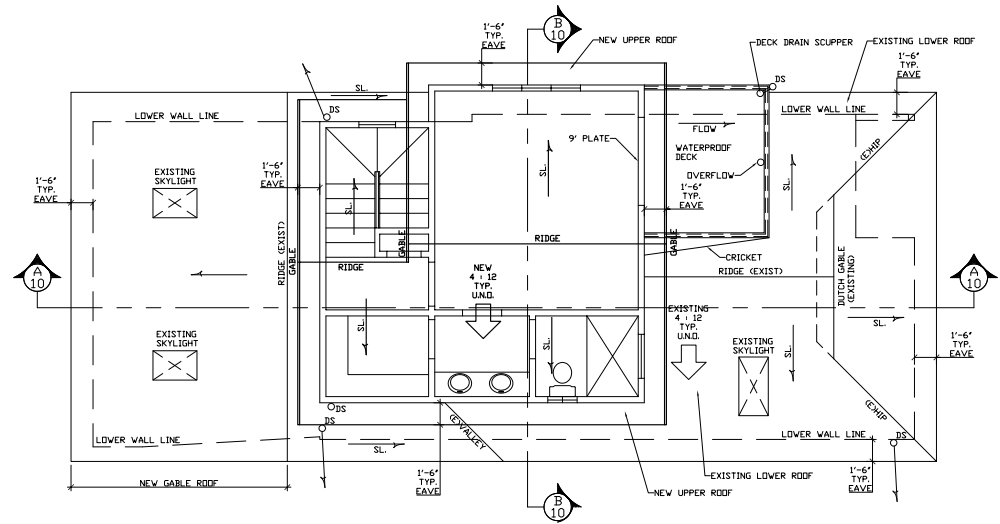
ROOF PLAN

DRAWN: GG  
 SCALE: 1/4"=1'-0"  
 SCALE: 48TH  
 DATE: 11/02/21

SHEET  
 8  
 OF # SHEETS



EAVE DETAIL  
 SCALE: NONE

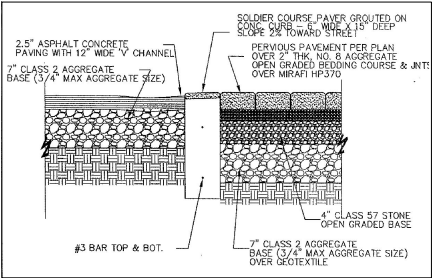


6/9 ALL ROOF DRAINAGE TO BIOSWALE

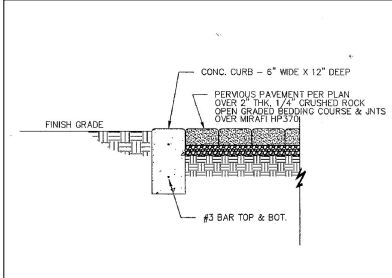
ROOF PLAN  
 SCALE: 1/4"=1'-0"



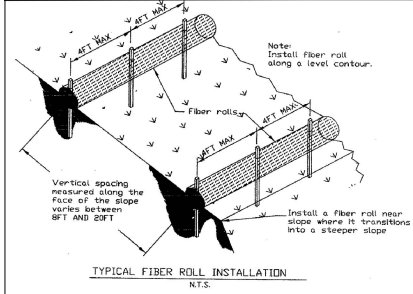
**1 SEMI-PERMEABLE PAVERS (DRIVEWAY)**



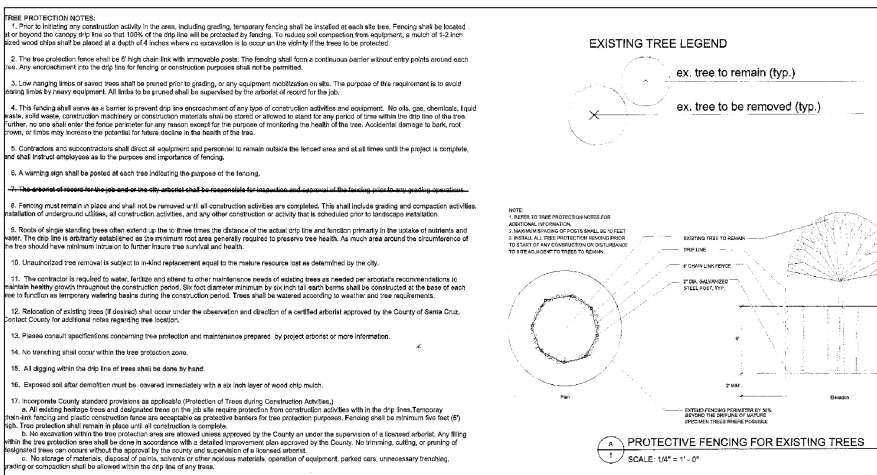
**2 SEMI-PERMEABLE PAVERS (PATIOS & WALKWAYS)**



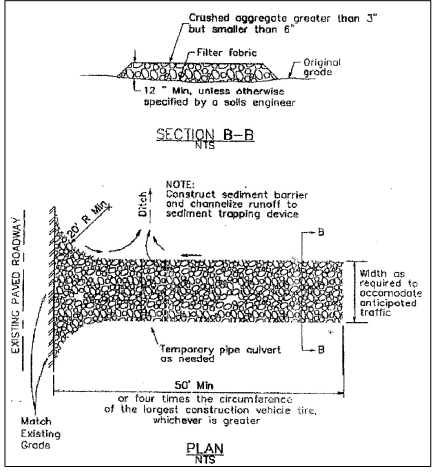
**3 FIBER ROLL**



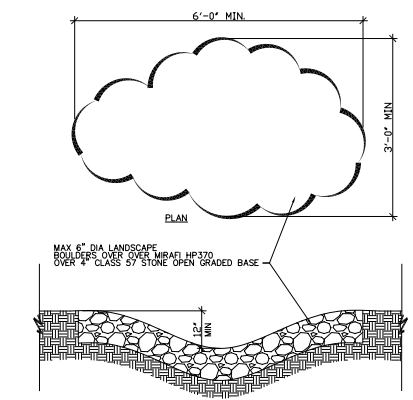
**5 TREE PROTECTION PLAN**



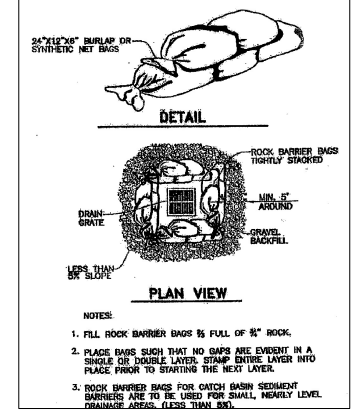
**4 CONSTRUCTION ENTRANCE**



**6 BIOSWALE**



**7 STORM DRAIN INLET PROTECTION**



**8 SITE HOUSEKEEPING REQUIREMENTS: CONSTRUCTION MATERIALS**

ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOILS, SPILLS, AGGREGATE, FL-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.

ALL CHEMICALS SHALL BE STORED IN WATER TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).

EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUITS, INSULATORS, BRIGGS, ETC.).

BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

**9 SITE HOUSEKEEPING REQUIREMENTS: WASTE MANAGEMENT**

DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.

SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.

SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.

COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.

DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.

STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.

EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.

CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

**10 SITE HOUSEKEEPING REQUIREMENTS: VEHICLE STORAGE & MAINTENANCE AND LANDSCAPE MATERIALS**

MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.

ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BUMPS.

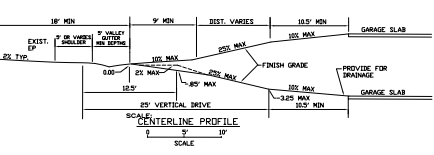
LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.

CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.

APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.

STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

**11 TYPICAL DRIVEWAY**



REVISIONS: \_\_\_\_\_ BY: \_\_\_\_\_

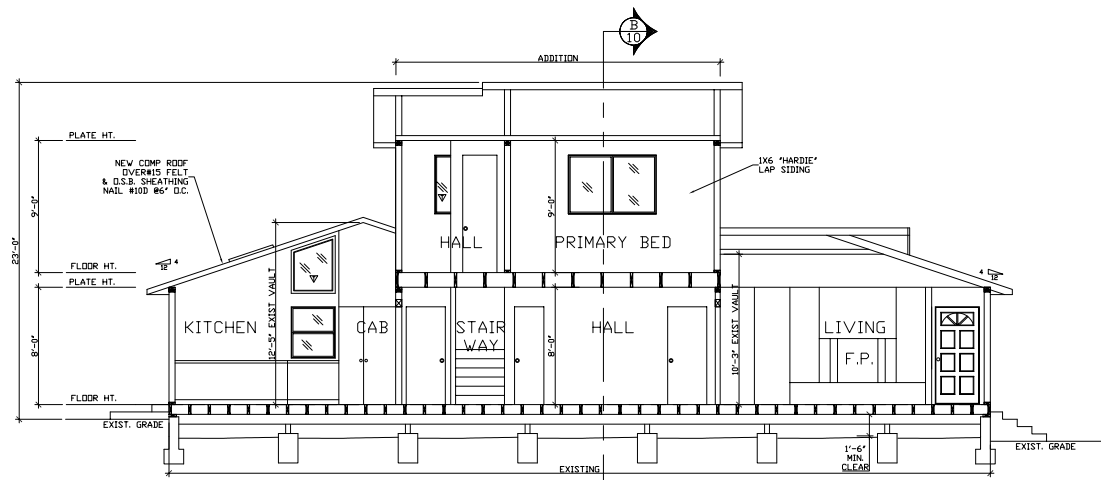
OWNER: DANA G. SOVICH  
1835 48TH AVE  
CAPITOLA, CA 95010  
443-415-4433

GLUSOVICH RESIDENCE  
1835 48TH AVE  
CAPITOLA, CA 95010  
APN 034-022-03

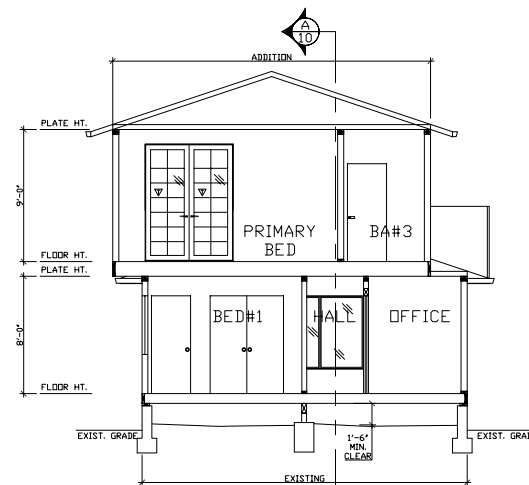
DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
1712 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PH: 831.426.1111  
WWW.DENNISNORTON.COM

SITE PLANNING  
DETAILS

DRAWN: GG  
SCALE: NONE  
JOB NO. 48TH  
DATE: 06/17/21  
SHEET 9 OF 9 SHEETS



**SECTION A**



**SECTION B**

SCALE:

NOTE:  
SEE EN1 & EN2 FOR INSULATION  
REQUIREMENTS

REVISIONS:	BY:

OWNER:  
DANA GLUSOVICH  
1835 48TH AVE  
CAPITOLA, CA 95010  
443-415-4433

GLUSOVICH RESIDENCE  
1835 48TH AVE  
CAPITOLA, CA 95010  
APN 034-022-03

DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
117 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PH: 408-688-1177  
WWW.DENNISNORTON.COM

SECTIONS

DRAWN: GG  
SCALE: 1/4" = 1'-0"  
SCALE: 48TH

DATE: 07/14/21

SHEET  
10  
OF # SHEETS

**Stormwater Pollution Prevention and Protection for Construction Projects**

In the City of Capitola, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get spilled, leaked or washed into the street or storm drain they can damage sensitive creek habitats and end up polluting our bay and ocean.

In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board), requires coverage under and adherence to the Construction Activities Storm Water General Permit, or CGP. To regulate storm water runoff from construction sites, in general, any construction or demolition activity, including, but not limited to, clearing, grading, grubbing, or excavation, or any other activity that results in a land disturbance of equal to or greater than one acre, requires coverage under the CGP. Construction activities associated with Linear Underground Projects (LUPs) also require coverage under the CGP. It should be noted that SWPPP development and implementation (inspections, tracking) associated with sites subject to the CGP (excluding water sites) must be done by a qualified SWPPP Developer (OSD), respectively. More information on the CGP and OSQ/OSPs may be found at [http://www.waterboards.ca.gov/water\\_issues/programs/stormwater/conspermits.htm](http://www.waterboards.ca.gov/water_issues/programs/stormwater/conspermits.htm)

**General Construction & Site Supervision**  
 All construction BMPs, sediment and erosion control must be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CGP and below BMPs is required year round.

**General Principles**

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, gutters, storm drains and drainage channels.
- Ensure dust control water does not leave the site or discharge to storm drains.
- Train your employees on these BMPs and familiarize them with storm water issues prior to beginning work. Inform your subcontractors about storm water requirements and be sure that they also abide by these BMPs.
- Refer to the following approved references for BMP selection, implementation, and on-site management (most recent versions unless otherwise noted):
  - Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002.
  - Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG)
  - Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA)
  - Construction Site Best Management Practices (BMPs) Manual, Storm Water Quality Handbooks, Caltrans

**Good Housekeeping Practices**

- Designate one area of the site located away from storm drains, drainage swales, and creeks for auto parking and heavy equipment storage, vehicle refueling and routine equipment maintenance.
- To prevent off-site tracking of dirt, provide site entrances with stabilized aggregate surfaces or provide a tire wash area on the site, but away from storm inlets or drainage channels. Mud, dirt, gravel, sand and other materials tracked or dropped on city streets must be cleaned up and prevent washing into the storm drainage system.
- Keep materials and soil stockpiles out of the rain and prevent runoff contamination from the site. Store materials, stockpiles and excavation soils under covered protection from wind, rain, and runoff. Cover exposed piles of construction materials or soil with plastic sheeting or temporary roofs. Before rainfall events, sweep and remove material from surfaces that drain to storm inlets and/or drainage channels.
- Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
- Keep dumpster lids closed and secured. For dumpsters or bins that don't have a lid, cover them with tarps or plastic sheeting, secured around the exterior of the dumpster or place them under temporary roofs. Never clean out a dumpster by hosing it down on the construction site.

NOT TO SCALE  
 DRAWN BY: M.P.  
 CHECKED BY: S.E.J.  
 CITY OF CAPITOLA  
 STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION FOR CONSTRUCTION PROJECTS  
 DRAWN 214 REV.  
 DRAWING No. STRM-BMP-1  
 STEVEN J. EBEL, PUBLIC WORKS DIRECTOR

**Effective filtration devices, barriers, and settling devices shall be selected, installed and maintained properly.**

- Site fences must be placed so that the drainage around each fence does not create additional erosion and fills down slope of the fence.
- If straw wattles are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just causing the water to travel around the bale) and that the straw pieces are not carried into the storm drain system.
- Whenever possible, use terracing, surface roughening (e.g. with a bulldozer), and erosion dissipaters (such as riprap, sand bags, or rock) on slopes to reduce runoff velocity and trap sediments. Do not use washed rubble or other demolition debris for this purpose.
- On-site erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety hazards.
- Effective erosion control practices require on-call on-site BMPs during each rainstorm and after a storm is over to ensure that the BMPs are functioning properly. For sites greater than one-acre, on-site inspections are required in accordance with the CGP.

**Earth Moving Activities & Heavy Equipment**  
 Soil excavation and grading operations across large areas of soil that can be transported into storm drains when handled improperly. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces. Other, earth moving activities require use and storage of heavy equipment. Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids onto the construction site are common sources of storm drain pollution.

**Site Planning**

- Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
- Perform major auto or vehicle equipment maintenance, repair jobs and vehicle or equipment washing off-site.
- If you must dump and replace motor oil, radiator coolant or other fluids on site, use drip pans, plastic sheeting or crop cloths to catch drips and spills. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste.
- Recycle whenever possible.
- Do not use diesel oil to lubricate equipment parts or clean equipment. Only use water for onsite cleaning.
- Cover exposed fifth wheel hitch and other oily or greasy equipment during all rain events.

**Practices During Construction**

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect down slope drainage courses, creeks and storm drains with wattles or temporary drainage wattles.
- Use check dams or ditches to divert runoff around excavations. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

**Spill Clean Up**

- Maintain a spill clean-up kit on site.
- Use spill kits immediately. Use dry cleanup methods if possible.
- Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent pads, spill pillows, absorbent rags) whenever possible and properly dispose of absorbent materials.
- Use as little water as possible for dust control. If water is used, ensure it does not leave site or discharge to storm drains.
- Call 911 for significant spills. If a spill poses a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.

NOT TO SCALE  
 DRAWN BY: M.P.  
 CHECKED BY: S.E.J.  
 CITY OF CAPITOLA  
 STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION  
 DRAWN 214 REV.  
 DRAWING No. STRM-BMP-3  
 STEVEN J. EBEL, PUBLIC WORKS DIRECTOR

**Concrete, Cement, & Masonry Products**

- Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
- Avoid mixing excess amount of fresh concrete or cement mortar on-site.
- During tile cutting, ensure that the slurry water does not run off into the street or storm drain system. The discharge of slurry to the storm drain system is prohibited. Dried slurry must be cleaned up and disposed of properly.
- Concrete, cement, and masonry mixing containers may not be washed or rinsed into the street or storm drain system. If a concrete laundry mixer is used, a suitable washout bucket, excavator or self-washing mixer able to contain waste material shall be provided on-site.
- Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditches or water body.
- For conducting sidewalk work, material stockpiles must be removed and cleaned up by the end of each day. Sweep or collect unused materials and debris that remain on pavement and dispose of properly.
- When the job is completed, collect all unused or waste material and dispose of properly. Never leave or abandon materials onsite. Ensure that nothing has drifted towards the street, gutter or catch basin.

**Site Clean Up**

- Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
- The street, sidewalk and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb all the water.
- For conducting road or sidewalk work, material stockpiles must be removed and cleaned up by the end of each work day.
- Discarded building materials and demolition wastes must never be left in a street, gully, or roadway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.

Signature and Agreed to by:  
 Project Owner or General Contractor  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Print Name: \_\_\_\_\_

NOT TO SCALE  
 DRAWN BY: M.P.  
 CHECKED BY: S.E.J.  
 CITY OF CAPITOLA  
 STANDARD DRAWINGS FOR STORMWATER POLLUTION PREVENTION AND PROTECTION  
 DRAWN 214 REV.  
 DRAWING No. STRM-BMP-5  
 STEVEN J. EBEL, PUBLIC WORKS DIRECTOR

**REVISIONS:**

NO.	BY	DATE	DESCRIPTION

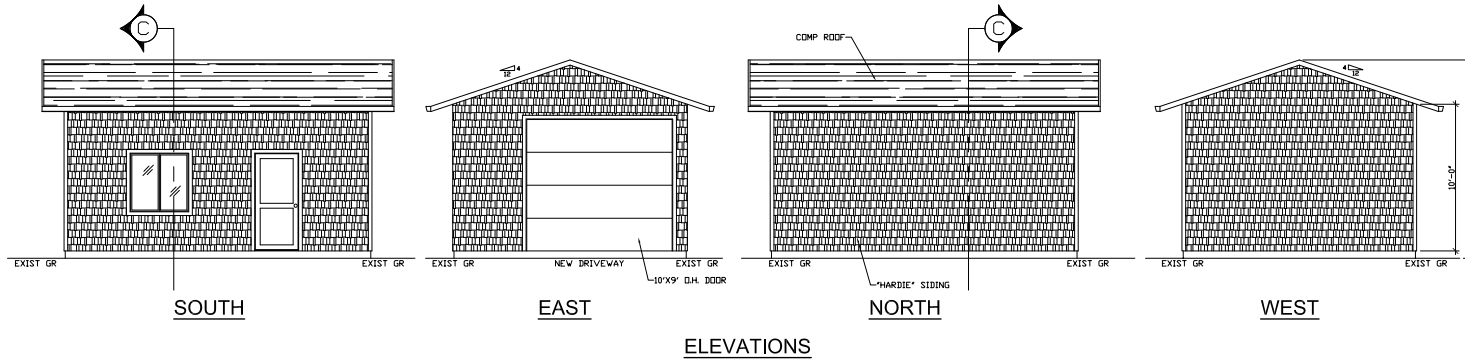
**OWNER:**  
 DANA G. GUSLOVICH  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 443-4151  
 443-4433

**GLUSOVICH RESIDENCE**  
 1835 48TH AVE  
 CAPITOLA, CA 95010  
 APN 034-022-03

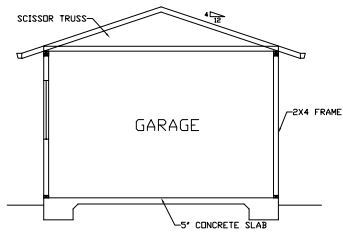
**DENNIS NORTON**  
 HOME DESIGN AND PROJECT PLANNING  
 1715-C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
 WWW.DENNISNORTON.COM  
 WWW.NORTONPRACTICES.COM

**BEST MANAGEMENT PRACTICES**

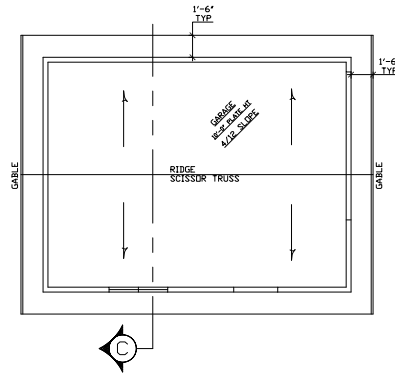
DRAWN: GG  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 48TH  
 DATE: 06/17/21  
 SHEET: BMP  
 OF SHEETS



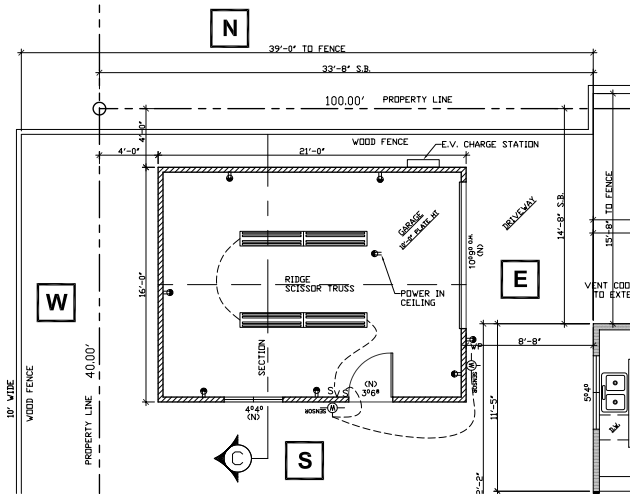
ELEVATIONS



SECTION



ROOF PLAN



FLOOR PLAN W/ELECTRICAL

ELECTRICAL SYMBOL LEGEND			
SYMBOL	CONTEXT	SYMBOL	CONTEXT
	LIGHT (WALL MOUNT) (L.E.D.)		LIGHT (OVERHEAD) (L.E.D.)
	CAN LIGHT (RECESSED) (ARTICULATED) (L.E.D.)		GF RECEPTACLE (GROUND FAULT)
	TUBE LIGHT (L.E.D.)		RECEPTACLE 1/2 (HALF SWITCHED) RECEPTACLE
	WALL LIGHT (L.E.D.)		RECEPTACLE 220V
	STEP LIGHT (L.E.D.)		FLOOR RECEPTACLE
	SWITCH		FAN-HEAT-LIGHT (60 CFM)
	SWITCH (3-WAY)		FAN-LIGHT COMBINATION (60 CFM)
	SWITCH (3-WAY) W/DIMMER		FAN VENT (60 CFM)
	SWITCH (4-WAY) W/DIMMER		WHOLE HOUSE FAN (46 CFM) 1 ZONE
	SWITCH W/DIMMER		GAS
	SW W/OCCUPANCY SENSOR		PHONE
	SWITCH W/VACANCY SENSOR		CABLE TV
			SMOKE DETECTOR W/CARBON MONOXIDE DETECTOR (ON LINE-BATTERY BACKUP)

NOTE:  
-NEW REQUIRED OUTLETS SHALL BE TAMPER RESISTANT (EFC 40M.11)  
-ALL LIGHTING TO BE L.E.D.

FLOORPLAN  
SCALE: 1/4"=1'-0"

PROPOSED:  
DETACHED GARAGE = 336 S.F.

REVISIONS:	BY:

OWNER:  
DANA GLUSOVICH  
1835 48TH AVE  
CAPITOLA, CA 95010  
443-4156-4433

GLUSOVICH GARAGE  
1835 48TH AVE  
CAPITOLA, CA 95010  
APN 034-022-03

DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
PH: 408.288.8888  
WWW.DENNISNORTONPP.COM

PROPOSED DETACHED  
GARAGE PLANS

DRAWN: GG

SCALE: 1/4"=1'-0"

JOB NO. 48TH

DATE: 07/06/21

SHEET

G

OF # SHEETS

BASIS OF BEARINGS: NORTH 0° 17' WEST  
 ESTABLISHED BETWEEN MONUMENTS FOUND AS NOTED AT POINTS "A", "B", AND "C"  
 ALONG THE EASTERN SIDE OF FORTY EIGHTH AVENUE AND AS THESE MONUMENTS  
 ARE SHOWN ON THE MAP RECORDED IN VOLUME 61 OF PARCEL MAPS AT PAGE 8  
 OF SANTA CRUZ COUNTY RECORDS, AND AS SAID BEARING IS GIVEN ON THE 1907  
 "CAPITOLA HEIGHTS" SUBDIVISION MAP RECORDED IN VOLUME 13 OF MAPS AT PAGE  
 31 OF SANTA CRUZ COUNTY RECORDS.  
 COURSE BETWEEN POINTS "A" AND "C" BASED ON 61-PM-B: N 0013° W, 455.00'  
 FIELD-MEASURED COURSE FROM "A" TO "C" BY THIS SURVEY: N 0017° W, 455.18'

ELEVATION REFERENCE  
 IS THE CENTER OF THE SANITARY SEWER MANHOLE IN FORTY EIGHTH AVENUE  
 AS SHOWN HEREON FOR ASSUMED RELATIVE ELEVATION = 70.0'.  
 A SECOND REFERENCE IS THE TOP OF THE FIRE HYDRANT ON THE WEST SIDE  
 OF FORTY EIGHTH AVENUE AT GRACE STREET FOR ELEVATION = 71.2'.

1"=8'

CAPITOLA  
 BLOCK C

HEIGHTS  
 13-M-31

HEIGHTS  
 13-M-31  
 BLOCK B

JACK SCOTT AHO  
 TRUSTEE  
 2015-0045327  
 A.P.N. 034-022-02  
 LOT 24, BLOCK C  
 13-M-31

SHARON R. OSTER  
 TRUSTEE  
 2020-0012310  
 A.P.N. 034-022-36  
 LOT 20, BLOCK C  
 13-M-31

1835 FORTY EIGHTH AVE.  
 SHEILA D. HUTCHINSON  
 DANA LEE GILGOSOVICH  
 2020-0042374  
 A.P.N. 034-022-03  
 LOT 25, BLOCK C  
 13-M-31

SANDRA JEANNE BUGSICH  
 TRUSTEE  
 2018-0002239  
 A.P.N. 034-022-04  
 LOT 26, BLOCK C  
 13-M-31

S 89°43' W, 100.00' (100')  
 TO A POINT ON THE EAST SIDE OF 47TH AVENUE  
 FROM WHICH A FD. 1/2" PIPE, OPEN, AT THE SW  
 CORNER OF LOT 20 BEARS N 017° W, 0.22'

SEE CORNER RECORD NO. 847

FD. 1/2" PIPE "RCE 20919" IN PVC  
 SLEEVE BEARS N 89°43' E, 0.78'

N 89°43' E, 0.78'

N 017° W, 40.00'

FD. 1/2" PIPE, OPEN (AT THE NW CORNER OF  
 LOT 13, BLK. B, POINT "C" FOR THIS MAP),  
 BEARS S 017° E, 239.69' (240')

FD. 1/2" PIPE, OPEN (AT THE SW CORNER OF  
 LOT 13, BLK. B), BEARS S 017° E, 278.74' (280')

FD. 1/2" PIPE "RCE 20919" (AT THE SW CORNER  
 OF LOT ONE, 61-PM-B, POINT "B" FOR THIS MAP),  
 BEARS S 017° E, 609.81' (610')

FD. 1/2" PIPE "RCE 20919" (AT THE SW CORNER  
 OF LOT THREE, 61-PM-B, POINT "A" FOR THIS MAP),  
 BEARS S 017° E, 694.87' (695')

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

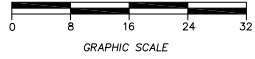
N 017° W, 40.00'

N 017° W, 40.00'

N 017° W, 40.00'

LEGEND

- Indicates survey monument found as noted hereon.
- Indicates survey reference point set as noted.
- Indicates nothing found or set.
- x Indicates spot elevation of existing surface.
- ( )' Indicates record data from subdivision map 13-M-31.
- All distances shown are in feet and decimals thereof.
- Indicates existing board fence.
- BBLR Indicates 'drainage system bubbler'.
- ⊕ Indicates 'electric meter'.
- FF Indicates 'finished floor'.
- FL Indicates 'flow line'.
- ⊙ Indicates 'gas meter'.
- LG Indicates 'lip of concrete gutter plate'.
- MB Indicates 'mail box'.
- SSMH Indicates 'sanitary sewer manhole'.
- TC Indicates 'top of curb'.
- TW Indicates 'top of wall'.
- WM Indicates 'water meter'.



FORTY EIGHTH AVENUE  
 (FORMERLY SECOND AVENUE)

REGISTERED PROFESSIONAL SURVEYOR  
 MICHAEL F. BEAUTZ  
 No. 24266  
 CIVIL  
 STATE OF CALIFORNIA  
 M. F. Beautz  
 3-III-22

**SURVEYOR'S MAP**  
 SHOWING BOUNDARY & TOPOGRAPHY ON  
 LOT 25 IN BLOCK C, 13-M-31  
 "CAPITOLA HEIGHTS"  
 WITHIN THE CITY OF  
 CAPITOLA, CALIFORNIA  
 SCALE: 1"=8' MARCH 2022  
 BY: MICHAEL F. BEAUTZ, C.E.  
 A.P.N. 034-022-03 SHEET 1 OF 1