

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

March 21, 2022

Sean Sesanto, Assistant Planner
City of Capitola Planning Department
420 Capitola Ave.
Capitola, CA 95010

Re: 106 Cliff Ave., Capitola, CA – Final Secretary of the Interior’s Standards Compliance
Review; APN. 036-112-17

Dear Mr. Sesanto:

This letter evaluates the proposed alterations to the property located at 106 Cliff Avenue, in Capitola, California. The site contains a modified house (circa-1904) constructed in the Queen Anne style and two outbuildings.

Project Methodology

On December 6, 2021 PAST Consultants, LLC (PAST) visited the subject property with you to view the existing conditions of the buildings and discuss the proposed building alterations. Design drawings by Cove Britten, AIA, of Matson Architects and dated 7/30/2021 were discussed as the first iteration of the proposed building alterations. The initial design includes a two-story rear addition with the two existing outbuildings to be replaced by an Accessory Dwelling Unit (ADU).

On December 14, 2021, PAST submitted a preliminary review letter of the proposed drawings for conformance with the *Secretary of the Interior’s Standards for Rehabilitation* (the *Standards*). This letter provided recommendations to the initial drawing set, which included a relocation of the proposed south-elevation fireplace chimney to preserve existing Queen Anne-style wood-sash windows, to not install a standing seam metal roof on the existing southwest tower and to differentiate the cladding of the proposed rear addition from the cladding of the historic house.

PAST discussed these recommendations with you, the architect and the Client in our remote meeting held on January 12, 2022. The design team agreed to modify the design to address some of the preliminary concerns and to design a project that would meet the *Standards*. Project drawings of the modified design were submitted to the City of Capitola on March 11, 2022. The following letter report evaluates the proposed design as presented on the architectural drawings by Cove Britton of Mattson Architects, dated March 11, 2022.

Existing Site Conditions

The site contains a modified house (circa-1904) constructed in the Queen Anne style and two outbuildings. The house has a complex roof plan with a southwest corner tower, a front hipped-roof section and a rear, gable-roofed mass with cornice returns; shed-roofed dormers at the rear of the roof mass; a removed chimney converted to a metal attic vent; fenestration consisting of original upper-floor wood-sash windows with decorative diamond-pattern top sash and replaced aluminum sash windows on the lower floor. Exterior cladding consists of V-groove wood siding finishing the first story, with patterned wood shingles finishing the second story (**Figures 1 – 4**).



Figures 1 and 2. Left image shows the front (west) elevation, as viewed from the street. Right image details the front porch replacement on the west elevation.



Figures 3 and 4. Left image shows the rear (east) elevation, with arrows indicating a rear addition and circa-1960s aluminum sliding glass doors. The upper-story wood sash windows are original. Right image details the north elevation, with modified entrance beneath the shed roof (arrow).

The site contains two outbuildings on the eastern property line (**Figures 5 and 6**).



Figures 5 and 6. Left image shows the circa-1949 wood-clad shed outbuilding at the northwest property corner. Right image details the circa-1933 corrugated metal vehicle shed.

Construction Chronology

Based on the Sanborn maps, Assessor records and permits obtained from the City of Capitola Planning Department, the following is the estimated building chronology:

- Circa-1904. Construct original house (Assessor' records and 1905 Sanborn map).
- Circa-1930. Remove rear service porch and construct rear addition (1933 Sanborn map).
- Circa-1933. Construct corrugated metal garage (1933 Sanborn map).
- Circa-1949. Construct wood-framed shed (Assessed in 1949).
- Permit No. 750, 1952. Reroof part of building with composition shingles.
- Permit No. 1707, 1958. Reroof part of building with composition shingles.
- Estimated date, circa-1950s. Install second-floor deck on west elevation.
- Permit No. 4056, 1968. Reroof unspecified areas of building.
- Permit No. 7288, 1974. Demolish two structures at unspecified locations.
- Estimated date, circa-1970s: Replace front porch, relocate entrance to north elevation, construct shed roofed entrance porch on north elevation and construct rear wood deck (no permit located for this work).
- Permit No. 14803, 1993. Remove brick chimney and replace with a metal chimney.
- Permit No. 14865, 1993. Reroof unspecified areas of building.
- Permit No. BP1998-171, 1998. Repair termite damage at second floor deck.
- Permit No. BP2011-54, 2011. Repair furnace.
- Permit No. BP2012-56, 2012. Replace furnace and ductwork.
- Permit No. BP20160041, 2016. Replace exterior plumbing.

Remaining Character Defining Features

An early image of the house appears below (**Figure 9**).



Figure 9. Undated image of the subject property, showing the open porch and entrance on the west elevation.

The undated photograph indicates an open front porch and west-elevation entrance, the patterned upper-story wood shingles and second-floor decorative wood sash windows. The remaining character-defining features are:

- Complex roof massing with west-elevation hipped roof nested with a gable roof and southwest corner tower.
- Decorative wood detailing, including wide fasciae, cornice returns, cornice boards between the first and second stories and wood window surrounds.
- Second-floor wood-sash windows with decorative, diamond-pattern upper sash.
- Variation of exterior cladding, with horizontal V-groove siding (6" exposure) finishing the lower story and patterned wood shingles on the upper story.

Character Defining Features: Conclusions

The above list indicates the remaining character defining features that are original to the subject house and that communicate the Queen Anne Victorian style. While the two outbuildings appear to be over 50 years old, both outbuildings were constructed out of the period of significance (circa-

1904) of the subject house and in styles and materials that are not in keeping with the Queen Anne-style house. For these reasons, the two outbuildings are not considered to be character-defining features of the site.

While no permit exists that dates the modifications that enclosed the front porch and relocated the original entrance to the house's north elevation, inspection of the materials indicate the porch alterations to be of recent construction, possibly in the 1970s. The porch enclosure clearly is a recent alteration to the subject house and is not character defining.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, 1995, 62.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Summary of Proposed Alterations

The proposed project is an interior remodel and installation of a two-story rear addition to the existing historic house. A new fireplace chimney will be constructed behind the tower on the front elevation. Removal of the existing outbuildings and the construction of a combined ADU/garage are also proposed. Design Drawings by Cove Britton of Mattson Architects, dated March 11, 2022 were the design drawings reviewed for this historic evaluation.

Based on recommendations from the design meeting held on January 12, 2022, the following modifications were agreed upon by the Client's design team:

- Wood-shake roof cladding will be installed on the southwest tower, rather than a standing-seam metal roof.
- Size of proposed south-elevation chimney reduced. Chimney relocated to behind the southwest tower, to reduce its visibility and highlight the historic structure.
- Wood siding and wood shingles of the rear addition will be differentiated from the exterior wall cladding of the historic house.
- Original Queen Anne-style wood-sash windows with decorative diamond-pane top sash that will be removed for installation of the rear addition will be salvaged and used on the building.

Evaluation of Proposed Alterations

For the proposed alterations to the subject building, the following lists the ten *Standards* for rehabilitation, with an evaluation given below each standard.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations will allow the building to continue its residential building use, while retaining the existing character defining features that remain on the building, in keeping with this *Standard*.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed rear addition removes several original Queen Anne-style wood-sash windows from the rear elevation. While these original features are being removed, examples of the historic windows exist on the primary elevations. In addition, these windows will be salvaged and used on the proposed rear addition, which will preserve these examples of original craftsmanship. Since the *Standards* prioritize using the rear (and least primary) elevation as the location for additions, the relocation of these windows meets this *Standard*.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed rehabilitation design does not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the existing building, in keeping with this *Standard*.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The *Standard* does not apply, as no changes have acquired historic significance.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed alterations maintain the primary elevation's distinctive materials, features and finishes that characterize the property, including the corner tower's wood-shake cladding, the original Queen Anne-style wood-sash windows with diamond-pane top sash, the wood window surrounds, the existing wood cladding and the wood details in keeping with this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed alterations will repair the remaining character defining features listed above. Severely deteriorated features, such as decayed wood window surrounds and wood wall cladding

will be repaired, rather than replaced, using established rehabilitation techniques for a given substrate.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Physical treatments to repair deteriorated woodwork, including the removal of paint, will be undertaken using methods that will not damage the historic wood, in keeping with this *Standard*.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This *Standard* does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed additions are on the rear and non-primary elevation of the building as recommended by this *Standard*. Following our preliminary review and design meeting with the Client's design team, the current rehabilitation design has placed the proposed chimney addition further back from the southwest corner tower, allowing the tower to remain highlighted and to preserve existing south-elevation historic windows.

The proposed rear addition will be differentiated from the original house by using wood siding boards of a different exposure width and a wood shingle pattern of differing size or shape than the original house. The proposed rear addition is minimally visible from the street and is in scale and massing with the original house. Relocation of several original rear elevation windows preserves these examples of historic construction.

The design of the proposed garage/ADU is within scale and massing of the original residence. The use of board-and-batten wood siding and modern window technology will clearly differentiate this new structure as having been of recent construction.

For these reasons, the proposed rehabilitation design meets this *Standard*.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If desired, the proposed additions could be removed and the building reversed to its original configuration, as the remaining elevations are being minimally impacted by the proposed rehabilitation design. Since the remaining character defining features of the subject house will be maintained, the property will maintain adequate historic integrity and satisfy this *Standard*.

Conditions of Approval

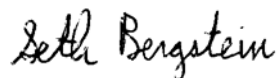
1. The details of the porch replacement and first-floor windows, such as the type/configuration of the windows and the type/style of the wood columns are not detailed on the drawings. It is recommended that the architect provide this information in a proposed porch detail, based on the photographic evidence that exists (see **Figure 9**).
2. Provide dimensions of the rear addition's existing and proposed wood wall cladding, including the proposed upper-floor shingle pattern and the proposed lower-floor wood siding exposure width to ensure it differentiates from the historic house.

Conclusion

In conclusion, the proposed design alterations to 106 Cliff Avenue, Capitola, meet the *Secretary of the Interior's Standards for Rehabilitation*, provided the conditions of approval are met. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me with any questions regarding this review letter.

Sincerely,



Seth A. Bergstein, Principal