

GENERAL NOTES

1. ALL REFERENCES TO "CONTRACTOR" SHALL INDICATE GENERAL CONTRACTOR AND THE SUBCONTRACTORS IN HIS EMPLOY. THEY SHALL BE ONE IN THE SAME.

2. THE STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS ARE SUPPLEMENTARY TO THE DESIGN DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE DESIGN DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE DESIGN DRAWINGS AND THE CONSULTANT'S DRAWINGS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE DESIGN DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.

3. PROVIDE ALL LABOR, MATERIAL AND SERVICES REQUIRED FOR THE SATISFACTORY COMPLETION OF WORK SHOWN IN THESE DRAWINGS. WORK SHALL BE OF SOUND AND QUALITY CONSTRUCTION AND CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE LABOR, MATERIALS AND EQUIPMENT TO COVER THE TIMELY INSTALLATION OF THE ITEMS INDICATED, DESCRIBED OR IMPLIED.

4. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:  
 (A) ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.  
 (B) THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.  
 (C) THESE GENERAL NOTES, UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.  
 (D) SEPARATE PLANS FOR ELECTRICAL, PLUMBING, HEATING AND AIR CONDITIONING SHALL BE SUBMITTED BY CONTRACTOR TO THE RESPECTIVE DEPARTMENTS FOR APPROVAL AND PERMIT. CONTRACTOR SHALL PAY FOR THE RESPECTIVE PERMIT FEES AND SUPPLY COPIES TO OWNER.

5. BEFORE SUBMITTING HIS BID, CONTRACTOR SHALL EXAMINE THE SITE TO COMPARE IT WITH THE PLANS AND NOTES, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THIS WORK WILL BE PERFORMED. CONTRACTOR SHALL AT THAT TIME ASCERTAIN THE LOCATION OF ANY EXISTING STRUCTURES OR CONDITIONS THAT MAY AFFECT THE WORK, AND ALLOWANCES SHALL SUBSEQUENTLY BE MADE FOR CONTRACTOR'S FAILURE OR NEGLECT TO MAKE SUCH EXAMINATIONS AND DETERMINATIONS. CONTRACTOR SHALL VERIFY ALL QUANTITIES BEFORE SUBMITTING HIS BID.

6. CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND AT ONCE REPORT ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER TO THE DESIGNER.

7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGE SCALE AND FULL SIZE DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SMALL SCALED MEASUREMENTS.

8. A COMPLETE SET OF PRINTS WILL BE PROVIDED WHICH SHALL BE MAINTAINED IN GOOD ORDER AT THE SITE. ALL DIFFERENCES BETWEEN THE LOCATIONS OR ARRANGEMENTS INDICATED ON THESE DRAWINGS AND THOSE OF THE ACTUAL INSTALLATION SHALL BE RECORDED IN RED PENCIL ON THAT SET. AT THE COMPLETION OF THE PROJECT AND PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL SIGN AND DATE EACH "AS BUILT" DRAWING AS BEING A CORRECT AND ACCURATE REPRESENTATION OF THE WORK, AND SHALL SUBMIT THE COMPLETE PACKAGE TO DESIGNER.

9. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.

10. ALL DIMENSIONS ARE TO FACE OF CONCRETE, COLUMN GRID LINES, FACE OF CONCRETE BLOCK, WALL FACE OF STUDS AND FACE OF FOAM BLOCK UNLESS OTHERWISE NOTED.

11. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ANY EXISTING UTILITY BOXES. ANY DAMAGED BOXES SHALL BE BROUGHT TO THE ATTENTION OF THE TOWN INSPECTOR PRIOR TO ANY WORK.

13. CONTRACTOR TO VERIFY WITH HOMEOWNERS ALL FINAL APPLIANCES, FINISHES AND AVAILABILITY PRIOR TO LOCATING ROUGH OPENINGS. PLUMBING AND ELECTRICAL CONTRACTOR TO COORDINATE APPLIANCE INSTALLATION WITH ALL APPLICABLE TRADES AS SPECIFIED BY THE MANUFACTURERS INSTALLATION INSTRUCTIONS.

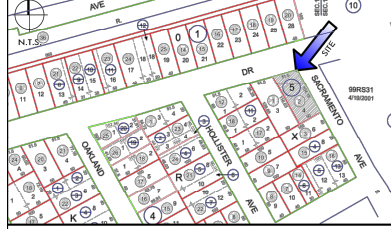
14. CONTRACTOR TO VERIFY WITH HOMEOWNERS ALL FINAL MATERIALS, FIXTURES AND EQUIPMENT PRIOR TO ORDERING.

DEFERRED SUBMITTALS

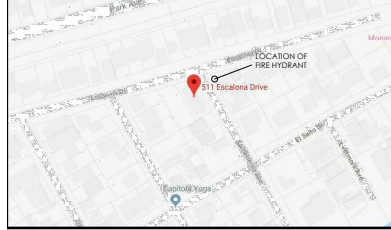
1. TRUSS DESIGN AND DOCUMENTATION TO SUBMITTED UNDER SEPARATE COVER PER TRUSS MANUFACTURER ALONG WITH A REVIEW LETTER STAMPED AND SIGNED BY ENGINEER OF RECORD.



PARCEL MAP



VICINITY MAP



STRUCTURAL DATA

SETBACKS	CORNER LOT	REQUIRED	EXISTING
FRONT YARD	1st STORY	15'-0"	21'-1 1/4"
	2nd STORY	20'-0"	33'-2 3/4"
SIDE YARD	1st STORY STREET SIDE	10'-0"	15'-0"
	1st STORY (WEST SIDE: 10% NEIGHBOR WIDTH)	5'-0"	9'-9"
	1st STORY (SOUTH SIDE: 10% LOT WIDTH)	5'-1"	11'-0"
	1st STORY - GARAGE (SIDEWALK EXEMPT AREA)	18'-0"	15'-0"
	2nd STORY - GARAGE (SIDEWALK EXEMPT AREA)	15'-0"	22'-3"
	2nd STORY - (WEST SIDE)	7'-4"	7'-9"
HEIGHT		25'-0"	23'-8"

FLOOR AREA RATIO	LOT SIZE		MAX (40%)		EXISTING (61.8%)		PROPOSED (59.9%)	
	HABITABLE SPACE	FIRST FLOOR COVERED DECK OR PORCH	OFFICE/ADU	GARAGE	WORKSHOP	TOTAL		
	5,513 sq.ft.	-	3,312 sq.ft.	-	3,411 sq.ft.	3,305 sq.ft.		
(E) 1st STORY	837 sq.ft.	454 sq.ft.*	430 sq.ft.	772 sq.ft.	-	2,343 sq.ft.		
(E) 2nd STORY	388 sq.ft.	<150 sq.ft.	-	680 sq.ft.	-	1,068 sq.ft.		
(E) TOTAL	1,225 sq.ft.	304 sq.ft.	430 sq.ft.	772 sq.ft.	680 sq.ft.	3,411 sq.ft.		
(P) 1st STORY	930 sq.ft.	<150 sq.ft.	761 sq.ft.	346 sq.ft.	-	2,037 sq.ft.		
(P) 2nd STORY	1,268 sq.ft.	-	-	-	-	1,268 sq.ft.		
(P) TOTAL	2,198 sq.ft.	0 sq.ft.	761 sq.ft.	346 sq.ft.	-	3,305 sq.ft.		

PARKING	REQUIRED		EXISTING (NO CHANGE)	
	3 SPACES, ONE OF WHICH MUST BE COVERED	3 SPACES, TWO OF WHICH ARE COVERED	3 SPACES	3 SPACES
PART OF GARAGE CONVERTED TO ADU. PARKING SPACE DOES NOT NEED TO BE REPLACED.				
TOTAL	3 SPACES		3 SPACES	

\* THERE IS A CREDIT OF 150 sq.ft. FOR FIRST FLOOR COVERED PORCHES AND UPSTAIRS DECKS

BUILDING INFORMATION SUMMARY

**PROJECT DESCRIPTION:** REMODEL AND 69 SF ADDITION TO (E) OFFICE, RESULTING IN A 1 BR/1 BA 499 SF ADU. CONVERSION OF (E) UNCONDITIONED 680 SF WORKSHOP INTO HABITABLE SPACE, ADDING A TOTAL OF 941 CONDITIONED SF TO (E) 1,225 SF 2BR 2 BA MAIN RESIDENCE RESULTING IN A 2,201 SF, 4BR, 3 BA WITH NEW LIVING ROOM AND BAR WITH 620 SF SQ. FT. OF GARAGE/STORAGE.

**DESIGN PERMIT MODIFICATION #1:** ADDITIONAL 262 SF PORTION OF GARAGE TO BE CONVERTED INTO ADU CREATING A 761 SF, 2 BR/1 BA ADU, REDUCED 3 SF OF STAIR TO MAIN RESIDENCE IN GARAGE AREA, RESULTING IN 2,198 MAIN RESIDENCE.

**DESIGN PERMIT MODIFICATION #2:** PLANNING: ADD ONE FOOT TO CHIMNEY AND USE STONE VENER. SING ON ELEVATIONS CHANGE FROM STUCCO AND BOARD AND BATT TO SHINGLES AND BOARD AND BATT. CHANGE STRAIGHT LOCATIONS, REPLACE (E) STUCCO FENCE IN R.O.W. TO 42" HIGH WOOD FENCE WITH 2 SLIDING GATES AT 42" HIGH. BUILDING: CHANGE HEAT SOURCE TO MINI SPLIT/HEAT PUMP SYSTEM. REVISE ELECTRICAL.

**PROJECT ADDRESS:** 511 ESCALONA DRIVE CAPITOLA, CA 95010

**PARCEL NUMBER:** 036-125-02

**ZONING DESIGNATION:** R-1

**OCCUPANCY CLASSIFICATION:** R-3/U TYPE V-B- NON-SPRINKLERED

**LOT AREA:** 5,513 sq.ft.

**EXISTING F.A.R.:** 3,411 sq.ft. (61.8%)

**PROPOSED F.A.R.:** 3,305 sq.ft. (59.9%)

**PARKING (PROVIDED):** 1 COVERED AND 2 UNCOVERED

**CODE NOTE:** ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES: 2014 CBC, CMC, CMC, CFC, CA ELECT CODE, CAL GREEN, CA ENERGY CODE. STRUCTURAL ENGINEERING SHALL CONFORM TO 2016 CALIFORNIA BUILDING CODE AS AMENDED BY THE STATE OF CALIFORNIA.

FIRE NOTES

- ADDRESS NUMBERS WILL BE POSTED AND MAINTAINED AND SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
  - A 30 FOOT CLEARANCE WILL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES.
  - THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDINGS AND FIRE CODES (2019) AND CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS.
- FIRE HYDRANT INFORMATION: FIRE FLOW REQUIRED: 1,000 GPM @ 120 MIN**
- LOCATION: CORNER OF ESCALONA DR AND SACRAMENTO AVE. IN FRONT OF 603 ESCALONA DRIVE (APPROX. 42 FT. FROM PROPERTY) HYDRANT #774
- STATIC PRESSURE (PSI): 42 PSI  
 RESIDUAL PRESSURE (PSI): 19 PSI  
 FLOW (GPM): 1,500 G.P.M.  
 FLOW @ 20 PSI (GPM): 1,489  
 HYDRANT NOT TESTED, SO MODELED FLOW INFORMATION IS PROVIDED.

CONTACTS

**OWNER:** CHRISTINE MESERVE  
 P.O. BOX 300793  
 LOS GATOS, CA 95032  
 PH: (408) 504-4412  
 cmeserve@meserve.net

**PROJECT DESIGNER:** VALERIE HART RESIDENTIAL DESIGN  
 VALERIE HART  
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 PH: (831) 239-1609  
 valerie95062@yahoo.com

**SURVEYOR:** ALPHA LAND SURVEYORS, INC.  
 SEAN PAUL WAPPEE  
 4444 SCOTTS VALLEY DRIVE #7  
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 PH: (831) 438-4453

**STRUCTURAL ENGINEER:** ASH ROAKE P.E.  
 POTRERO STREET #45-202  
 SANTA CRUZ, CA 95061  
 PH: (831) 234-4345  
 ashroake@gmail.com

**ENERGY COMPLIANCE:** LINDA BUTLER, CEPF  
 124 OTIS STREET  
 SANTA CRUZ, CA 95060  
 PH: (831) 345-1028  
 butler0838@gmail.com

**LANDSCAPE ARCHITECT:** ELLEN COOPER & ASSOCIATES  
 ELLEN COOPER  
 412 WINDSOR STREET  
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DRAWING INDEX

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  - T3: CONDITIONS OF APPROVAL & BMP'S
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  - A2: PROPOSED SITE PLAN
  - A3: EXISTING/DEMOLITION FIRST FLOOR PLAN
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TITLE SHEET

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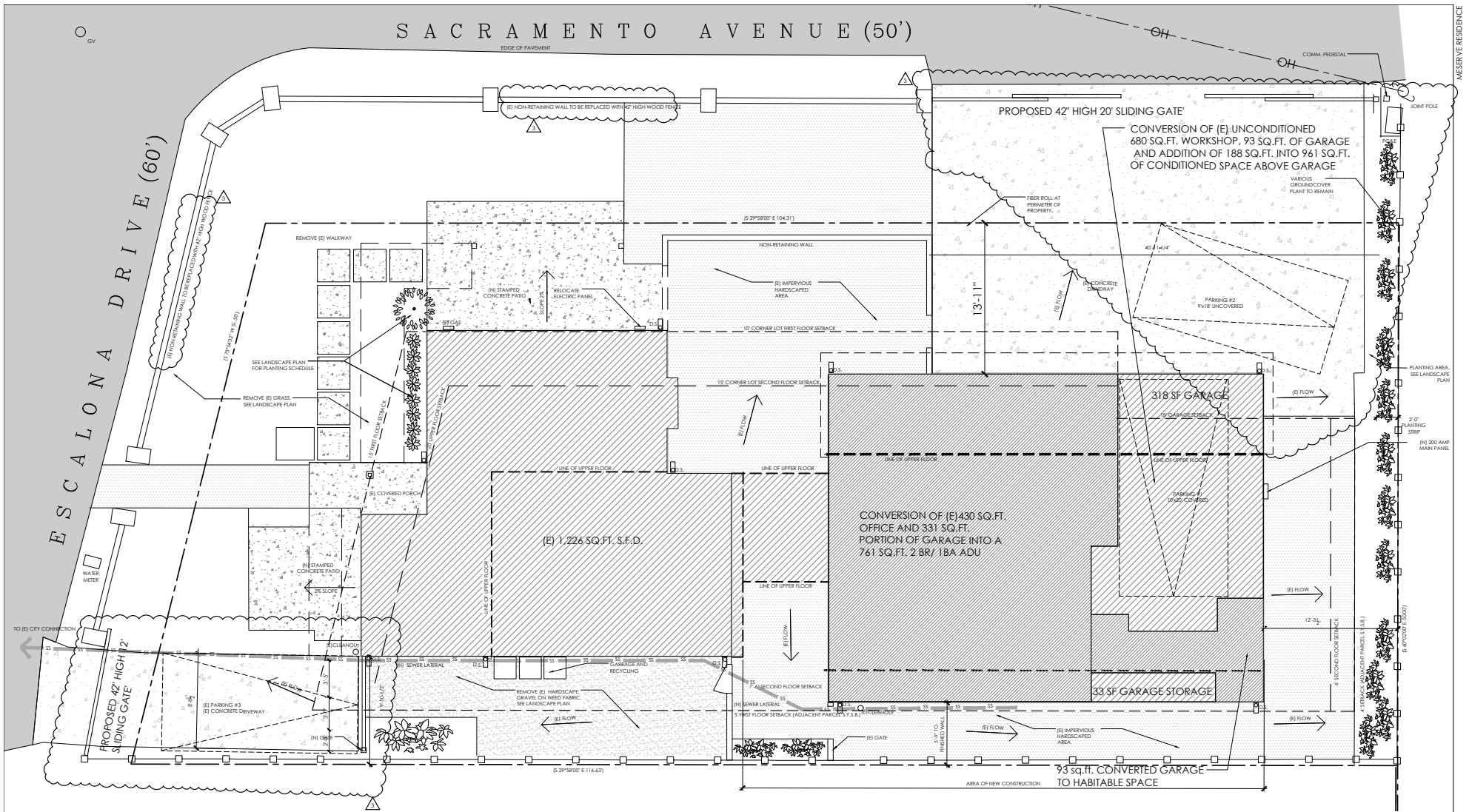
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meserve residence

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 apr: 036-125-02

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 plan check one: OCTOBER 24, 2019  
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SHEET: T1



**EROSION CONTROL NOTE:**  
 FIBER ROLL SHALL BE PLACED AROUND PERMETER AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION.  
 NOTE: PER DANIELLE UHARRET- FIBER ROLL DEEMED UNNECESSARY DUE TO SITE CONDITIONS

**DRAINAGE NOTES**  
 DOWNSPOUTS TO DISCHARGE ONTO CONCRETE SPLASH BLOCKS AND RETAIN THE EXISTING SURFACE FLOW PATTERN. ARROWS INDICATED DIRECTION OF FLOW. DRAINAGE DIRECTED TO THE ADJACENT PARCELS SHALL BE REDUCED TO THE MAXIMUM EXTENT POSSIBLE.

**IMPERVIOUS COVERAGE CALC**

(E) IMPERVIOUS COVERAGE:	
BUILDING:	2,037 S.F.
HARDSCAPE:	2,364 S.F.
TOTAL (E):	4,403 S.F.

**REPLACE IMPERVIOUS COVERAGE:**

HARDSCAPE:	440 S.F.
(E) IMPERVIOUS COVERAGE:	2,037 S.F.
BUILDING:	2,415 S.F.
HARDSCAPE:	440 S.F.
TOTAL (E):	4,403 S.F.
ADDED IMPERVIOUS COVERAGE:	-154 S.F.

**NOTE: PRIOR TO ANY WORK IN THE CITY ROAD RIGHT OF WAY, AN ENCROACHMENT PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR PERFORMING THE WORK. NO MATERIAL OR EQUIPMENT STORAGE MAP BE PLACED IN THE ROAD RIGHT OF WAY.**

**SEWER LATERAL NOTE**  
 LOCATION OF EXISTING SEWER LATERAL SHOWN ON SHEET A1.1  
 NEW SEWER LATERAL TO BE:  
 8" SDR PE 800 IN 12' SPACING  
 8" SDR PIPS MATERIAL  
 8" SLOPE OF EACH LINE SEGMENT (2% MINIMUM)  
 CONNECTION TO EXISTING PUBLIC SEWER MAIN IN THE STREET SHALL CONSIST OF TWO 45° TURNS, NO NEW CITY CONNECTION REQUIRED.

OWNER HAS AGREED TO FULL REPLACEMENT OF SEWER LATERAL AND CLEANOUT(S) WITHOUT SUBMITTING VIDEO TO THE COUNTY PER PERMIT #SS-191448

**PROPOSED SITE PLAN**

SCALE: 1/4" = 1'-0"



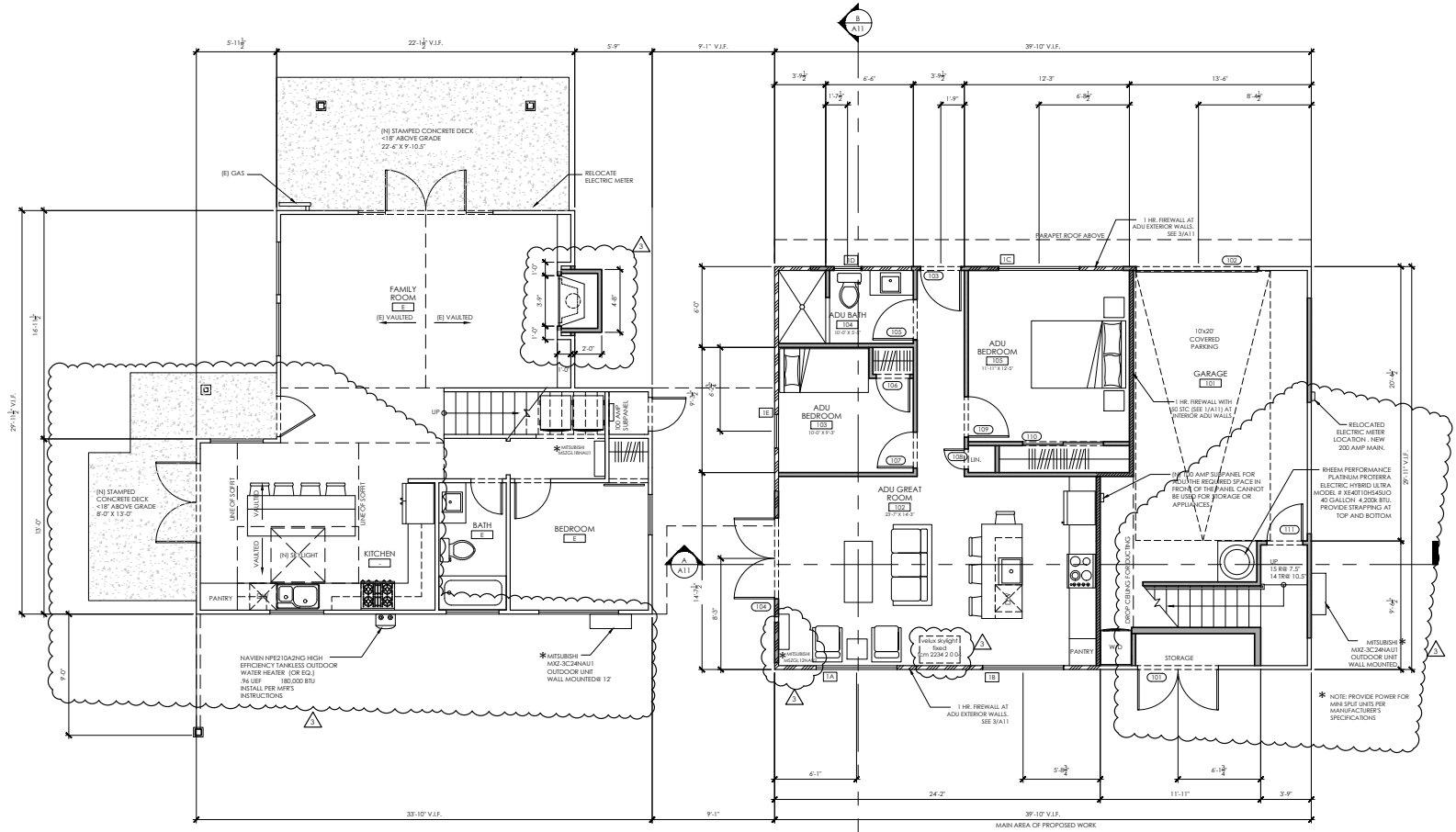
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SHEET: **A1.2**

MESERVE RESIDENCE



**PROPOSED LOWER FLOOR PLAN**

SCALE: 1/4" = 1'-0"

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WALL LEGEND	
	NEW 2 X 4 STUD WALL
	NEW 2 X 6 STUD WALL
	EXISTING STUD WALL

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SHEET: **A6**

MESERVE RESIDENCE





UNVENTED ROOF:  
RIB CLOSED CELL SPRAY FOAM INSULATION IN RAFTERS: NEXSEAL 2.0; 7.2R/ft  
OPEN CELL SPRAY FOAM IN EAVES: EASYSEAL 5

### SES TECHNICAL DATASHEET

#### EasySeal 5

Division 7: Thermal & Moisture Protection

**Product Description:**  
EasySeal 5 spray foam insulation is a spray applied, two component, open cell polyurethane foam insulation system. The product is formed by the reaction of a proprietary resin blend and polyisocyanate diisocyanate. The resin blend is comprised of polyols, additives, fire retardants and blowing agents.

**Product Uses:**  
Walls, Attics, Ceilings, Crawlspace\*, Ducts, Interior Applications  
\*Acoustical fire barrier assemblies

The spray applied nature of EasySeal 5 spray foam allows the material to flow into voids and seal cracks, expanding to form a seamless thermal envelope. EasySeal 5 is an air barrier, with high yield and high R value (resistance to heat flow).

**ASTM E-84:**  
EasySeal 5 spray foam is an ASTM E-84 (NFPA 255, UL273) Class 1 Class A1 spray foam insulation.  
Flame Spread Index <25  
Smoke Developed Index <50  
Thickness 6 inches

*These numerical flame spread values are not a true reflection of how the fire resistance will perform in actual fire conditions.*

Property	Test Method	EasySeal 5
Apparent Density	ASTM D-1622	0.5 lb./ft <sup>3</sup> (nominal)
R value (app)	ASTM C-518 (75°F mean)	3.8 R/in*
Compressive Strength	ASTM D-1621	< 5 lb./in <sup>2</sup>
Closed Cell Content	ASTM D-6226	< 10% (vol.)
Fungal Resistance	ASTM C-1338	No Growth
Air Permeance	ASTM E-2178	< 0.002 U/sq. ft
Water Vapor Permeance	ASTM E-96	23 perm-in
Dimensional Stability, -40°F	ASTM D-2126	< 0%
Dimensional Stability, -200°F	ASTM D-2126	< 0%
Dimensional Stability, +158°F & 1,000/psi	ASTM D-2126	< 0%
Ignition Barrier	ICC AC3077 Appendix X	Pass DC315 4 mils w/ft
Thermal Barrier	NFPA 286	Pass DC315 14 mils w/ft

\*Tabular R value is not RSI value  
\* These values are typical. However values will vary and should not be considered part of the product specifications. It is imperative that the correct application used and understand the technical limitations and RSI to process the material correctly and understand environmental and equipment limitations.



#### Nexseal™ 2.0

Spray Foam Insulation

Division 7: Thermal & Moisture Protection

**Product Description:**  
Nexseal™ 2.0 spray foam insulation is a spray applied, two component, closed cell polyurethane foam insulation system, compliant with ASTM C-1203 Type II foams. The product is formed by the reaction of proprietary resin blend and polyisocyanate diisocyanate. The resin blend is comprised of polyols, additives, fire retardants and additive (HFO) technology, which is based on hydrofluorocarbon (HFO) technology.

**ASTM E-84:**  
Nexseal™ 2.0 spray foam is an ASTM E-84 (NFPA 255, UL273) Class 1 (Class A) spray foam insulation.  
Flame Spread Index <25  
Smoke Developed Index <50  
Thickness 6 inches

*These numerical flame spread values are not a true reflection of how this or any material will perform in actual fire conditions.*

The spray applied nature of Nexseal™ 2.0 spray foam allows the material to flow into voids and seal cracks, expanding to form a monolithic structure with high R value (resistance to heat flow). Nexseal™ 2.0 spray foam can form various structural forms for buildings and structures: insulation, air barrier, moisture retarder and weather barrier.

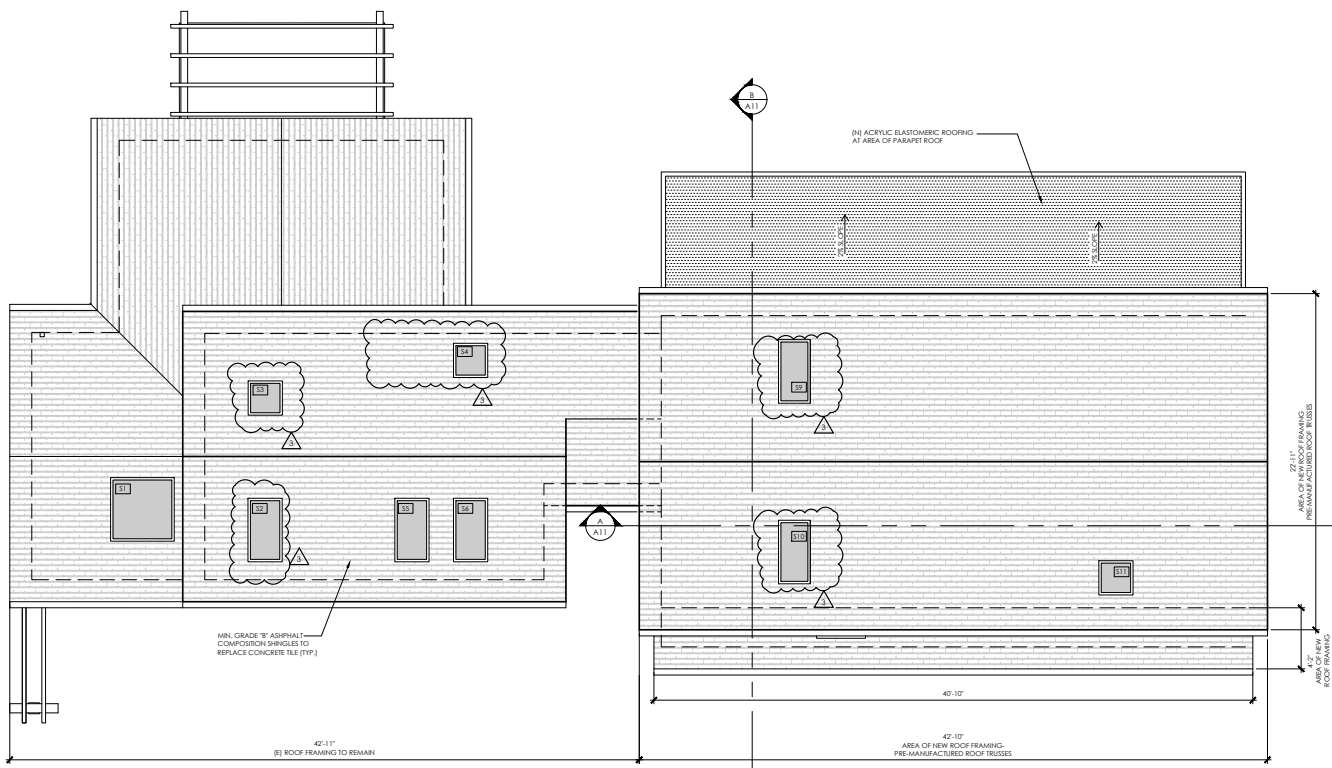
**Thermal Barriers:**  
Nexseal™ 2.0 spray foam must be separated from the interior of the building (occupied space) by an approved 15 minute thermal barrier such as 1/2" inch gypsum board or other equivalent material. Consult local building codes for requirements and restrictions.

**Product Uses:**  
Cold Storage, Walls, Attics, Ceilings, Ducts, Pipe Insulation, Foundations, Exterior Applications, Ducts, Foundations, Concrete Slab

**Chemical Attributes:**  
Component: Isocyanate, 200 cps, 10.3 lb/gal  
Resin: 700 cps, 10.3 lb/gal

Property	Test Method	Value
Apparent Density	ASTM D-1622	2 lb./ft <sup>3</sup> (nominal)
R-value (app)	ASTM C-518	7.2 R/in
Compressive Strength	ASTM D-1621	nom. 25 lb./in <sup>2</sup>
Tensile Strength	ASTM D-1623	nom. 50 lb./in <sup>2</sup>
Closed Cell Content	ASTM D-6226	> 90% (vol.)
Water Absorption	ASTM D-3842	< 2%
Water Vapor Permeance	ASTM E-96	< 2 perm-inches
Fungal Resistance	ASTM C-1338	No growth
Flame Spread Index	ASTM E-84	< 25
Smoke Developed Index	ASTM E-84	< 50
Dimensional Stability, -20°F	ASTM D-2126	< 5% Change
Dimensional Stability, -200°F	ASTM D-2126	< 10% Change
Dimensional Stability, +158°F & 1,000/psi	ASTM D-2126	< 10% Change
Ignition Barrier	ICC E5 AC3077 Appendix X	Pass no coating
Thermal Barrier	NFPA 286	Pass DC315 89 ft/gal
Global Warming Potential	GWP	< 1

\* These values are typical. However values will vary and should not be considered part of the product specifications. It is imperative that the correct application used and understand the technical limitations and RSI to process the material correctly and understand environmental and equipment limitations.



## PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

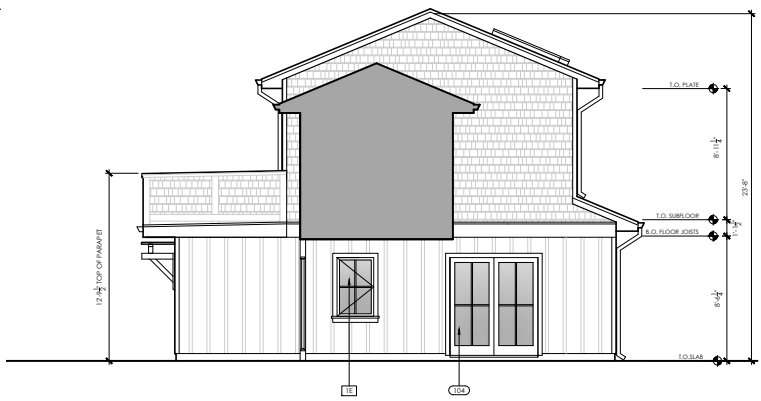
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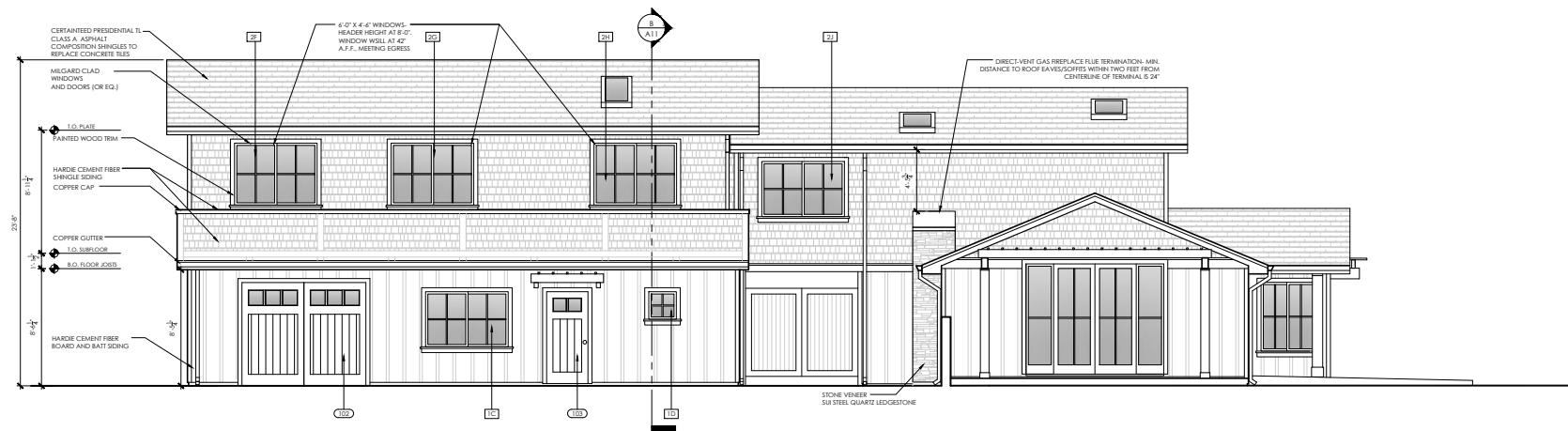
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PROPOSED NORTH ELEVATION AT CORRIDOR



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

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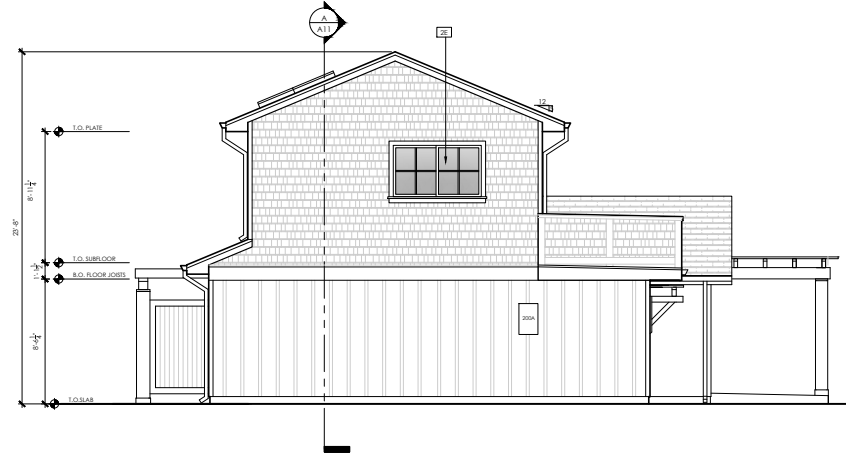
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STONE VENEER  
SUA STEEL QUARTZ LEDGESTONE

PROPOSED SOUTH ELEVATION AT CORRIDOR



PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION

PROPOSED ELEVATIONS

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