

City Of Capitola Zoning Code Amendments



Planning Commission Work Session
February 15, 2024

Work Session Topics

1. Missing Middle Housing
2. Alternative Housing Types
3. Parking
4. Lot Consolidation
5. Building Massing

Missing Middle Housing

Housing Element Programs:

- **Program 1.1:** Develop strategies to provide for missing middle housing.
- **Program 1.6:** Allow corner lots in single-family neighborhoods to accommodate duplex units.

Missing Middle Housing

House-scale buildings with multiple units in walkable neighborhoods



Duplex



Detached Sidecourt



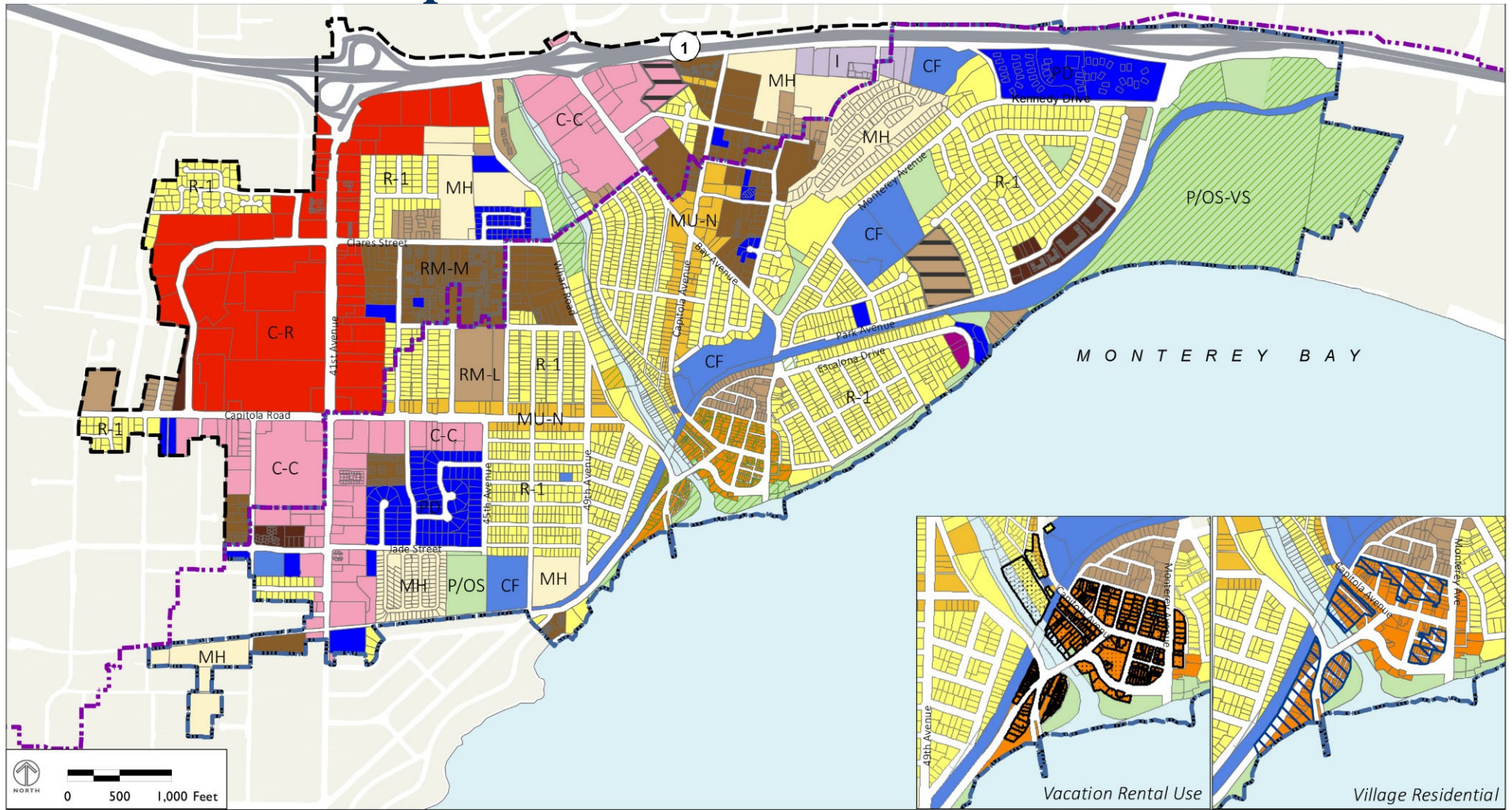
Attached Sidecourt



Detached Motorcourt



Is missing middle housing currently allowed in Capitola?



Residential Zoning Districts

- R-1 - Single-Family Residential
- RM-L - Multi-Family Residential, Low Density
- RM-M - Multi-Family Residential, Medium Density
- RM-H - Multi-Family Residential, High Density
- MH - Mobile Home Park

Mixed-Use Zoning Districts

- MU-V - Mixed Use Village
- MU-N - Mixed Use Neighborhood

Commercial and Industrial Zoning Districts

- C-R - Regional Commercial
- C-C - Community Commercial

I - Industrial

- ### Other Zoning Districts
- P/OS - Parks and Open Space
 - CF - Community Facility
 - PD - Planned Development
 - VS - Visitor Serving

Overlay Zones*

- AHO - Affordable Housing Overlay
- CZ - Coastal Zone
- VRU - Vacation Rental Use
- VR - Village Residential
- VS - Visitor Serving

City Limit

- Santa Cruz Coastal Zone Boundary

Source: ESRI, 2017; PlaceWorks, 2017.

Zoning Map Certified
 June 9, 2021
 by CA Coastal Commission

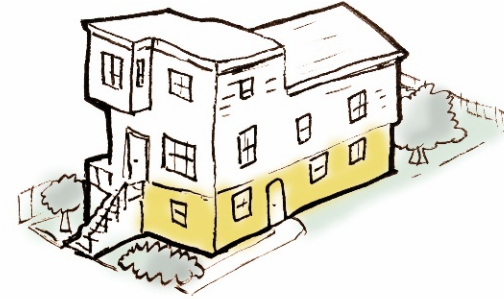
*See Local Coastal Program Habitats Map for boundaries of Environmentally Sensitive Habitats Area Overlay Zone.

R-1 Zone

Currently Allowed:

- One primary dwelling
- One primary dwelling and ADU
- Two primary dwellings per lot under SB 9

ADU Configurations



Raised Basement



Garage Conversion

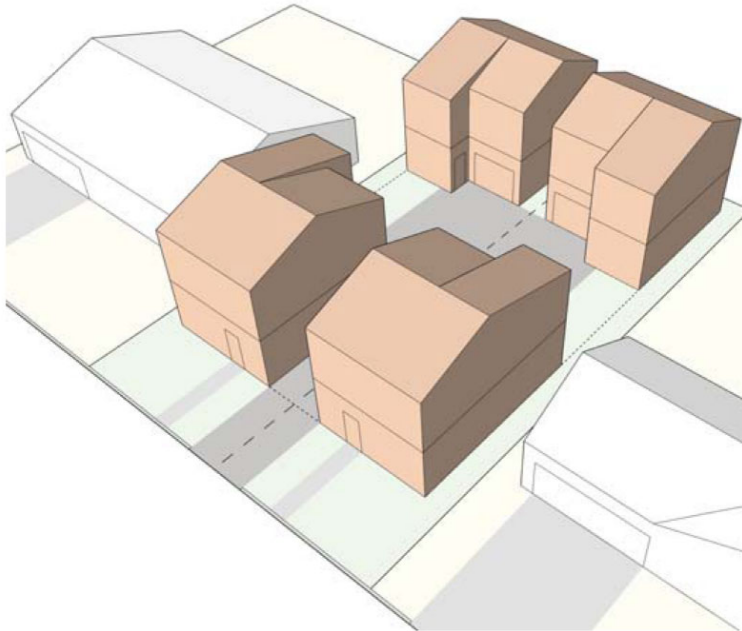


Backyard Cottage

R-1 Zone

Allowed SB 9 Projects

Lots 5,500 Sq Ft. or More

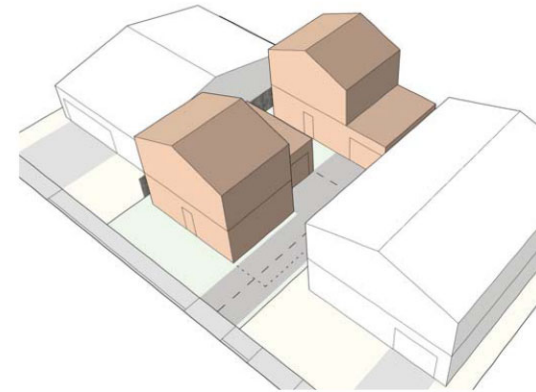


4 units on 5,500 sq. ft.

32 du/ac

1,375 sq. ft. per unit

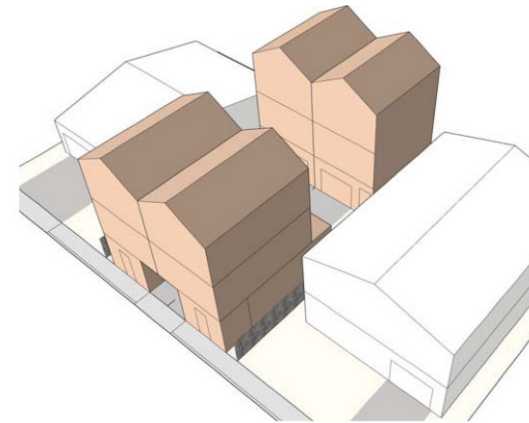
Lots Less than 5,500 Sq Ft.



2 units on 2,800 sq. ft.

31 du/ac

1,400 sq. ft. per unit



4 units on 2,800 sq. ft.

62 du/ac

700 sq. ft. per unit

Multifamily (RM) Zones

Existing Development Standards

	RM-L	RM-M	RM-H
Building Coverage	40%	40%	40%
Parcel Area Per Unit	4,400 sq. ft.	2,900 sq. ft.	2,200 sq. ft.
Density	10 du/ac	15 du/ac	20 du/ac
Setbacks			
Front	15 ft.*	15 ft.*	15 ft.*
Rear	15% parcel depth	15% parcel depth	15% parcel depth
Interior Side	10% parcel width	10% parcel width	10% parcel width
Street Side	10 ft.	10 ft.	10 ft.
Height	30 ft.	30 ft.	35 ft.

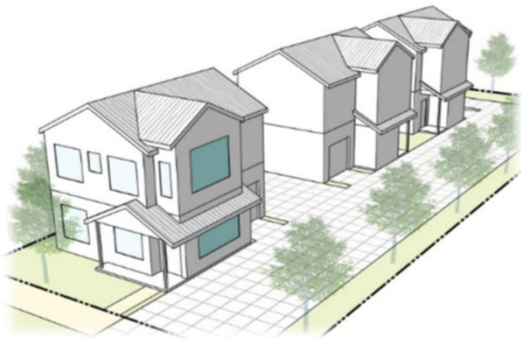
*20 ft. for garage

RM Zones



Duplex:

Allowed in RM-H
Not allowed in RM-L
and RM-M



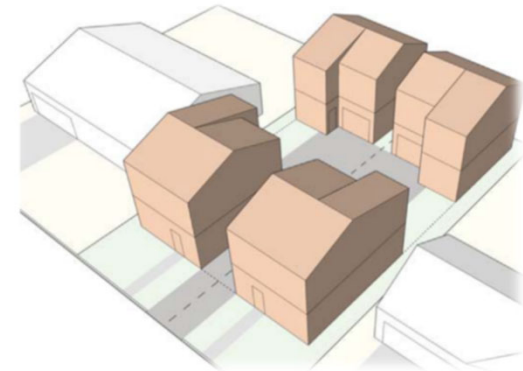
Detached Sidecourt:

Allowed in RM-H
Not allowed in RM-L
and RM-M



Detached Motorcourt

Allowed in all RM-M
and RM-H
Not allowed in RM-L



Four Detached Units:

Not allowed in all RM zones



Attached Sidecourt:

Not allowed in all RM zones

Missing Middle Housing: R-1 Zone

Requested Planning Commission Input:

- **Option 1:** Allow 2+ units only for SB 9 projects
- **Option 2:** Allow duplex on all corner lots subject to same development standards as a single-family home.
- **Option 3:** Allow duplex on corner lots 5,000 sq. ft. or more subject to same development standards as a single-family home. Rely on SB 9 on smaller lots.

Missing Middle Housing: R-M Zone

Requested Planning Commission Input on Potential Zoning Code Amendments:

- Modify RM development standards to allow missing middle housing projects

	RM-L	RM-M	RM-H
Increase — ● Building Coverage	40%	40%	40%
Reduce — ● Parcel Area Per Unit	4,400 sq. ft.	2,900 sq. ft.	2,200 sq. ft.
Increase — ● Density	10 du/ac	15 du/ac	20 du/ac

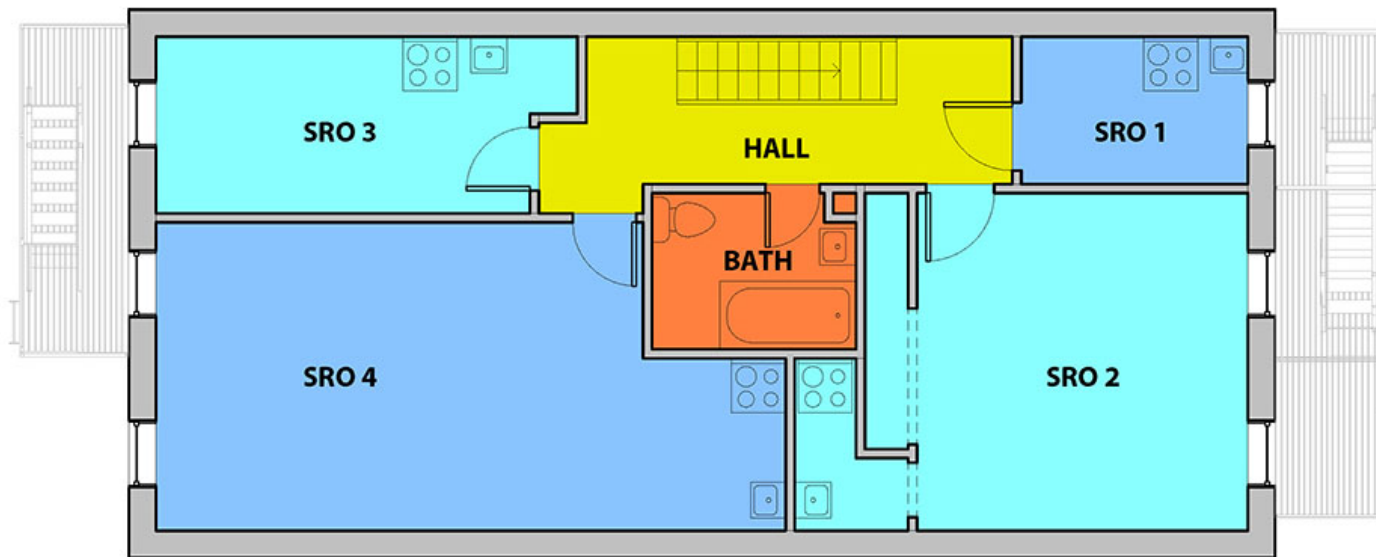
Alternative Housing Types

Housing Element Program 1.5: Review and revise as appropriate, the Zoning Code to facilitate alternative housing types.

- Single Room Occupancy Units
- Live/Work Units
- Micro Units
- Co-housing

Single-Room Occupancy (SRO)

A single-room dwelling unit with limited food preparation or sanitary facilities, typically 400 sq. ft. or less.



Single-Room Occupancy



El Centro, Santa Cruz



Willow Glen Studios, San Jose

Cohousing

An intentional, collaborative neighborhood that combines private homes with shared indoor and outdoor spaces designed to support an active and interdependent community life.



Cohousing



Coyote Crossing, Santa Cruz



New Brighton Co-housing

Micro Units

A small studio apartment, typically less than 350 square feet, with a fully functioning kitchen and bathroom.



Micro Units



2711 Shattuck, Berkeley



130 Center Street, Santa Cruz

Live Work

A space that is both a residence and the place of work of the occupant.



Live Work



Tannery Santa Cruz



Swift Street Santa Cruz

Alternative Housing Types

Existing Zoning Code:

- **SRO:** classified as “group housing, permitted in RM, requires CUP in MU-N and MU-V
- **Cohousing:** silent
- **Micro units:** No min. unit size (220 sq. ft. in building code)
- **Live-work:** silent

Alternative Housing Types

Requested Planning Commission Input on Potential SRO Amendments:

- **Existing:** Classified as group housing, permitted in RM, requires CUP in MU-N and MU-V
- **New:** Define separate from group housing, allow as Permitted Use in MU-N and MU-V subject to objective standards as needed.

Alternative Housing Types

Requested Planning Commission Input on Potential Cohousing Amendments:

- **Existing:** Silent
- **New:** Define co-housing development and include as Permitted Use in R-1 and RM zones

Alternative Housing Types

Requested Planning Commission Input on Potential Micro Unit Amendments:

- **Existing:** Silent (220 sq. ft. minimum unit size in building code)
- **New:** Define and list as allowed us in C-R around Metro. Relax development standards. Allow in RM?

Alternative Housing Types

Requested Planning Commission Input on Potential Live/Work Amendments:

- **Existing:** Silent
- **New:** Allow as Permitted Use in MU-N, MU-V, C-C, and C-R, waive parking for non-residential uses, relax other development standards as needed

Employee/Workforce Housing

Example: Affordable housing reserved for Soquel Unified Elementary School District employees

Requested Planning Commission Input on Potential Amendments:

- **Existing:** Silent (but allowed)
- **Potential New:** Identify as community benefit

Parking – Housing Element

Page 30-14: “Parking standards have the potential to constrain development or limit density on a site due to the cost of constructing parking facilities and space limitations.”

Existing Parking Requirement

Single-family Dwelling	
1,500 sq. ft. or less	2 per unit
1,501 – 2,000 sq. ft.	2 per unit, 1 covered
2,001 – 2,600 sq. ft.	3 per unit, 1 covered
2,601 sq. ft. or more	4 per unit, 1 covered
Accessory Dwelling Unit	1 per unit*
SB 9 Unit	1 per unit*
Duplex homes	2 per unit, 1 covered
Multifamily Dwellings	2.5 per unit, 1 covered

* Pursuant to State law

Parking – Housing Element

Program 1.6:

- “The City’s parking requirements for multifamily housing do not vary by size of the unit, potentially constraining the development of smaller units and discouraging higher density.
- The City will revise the multifamily residential parking requirements based on the unit size or number of bedrooms and will also revise the current covered parking requirement for multifamily development.”

Parking – Housing Element Programs

Program 1.6 Development Regulations

- Review, and revise as appropriate, parking requirements to ensure they are necessary and pertinent and do not pose constraints on the development of housing.
- Include reduced parking standards for senior and special needs housing.

Parking – New State Law

2023 State Law

- **AB 1308:** No increased minimum parking requirements on single-family home additions and renovations
- **AB 894:** Qualifying shared parking must be allowed

Parking Requirement Comparison

	Resident Parking	Guest Parking
Santa Cruz		
Studio, 1 bdrm	1 per unit*	10% of required resident spaces for 5+ units
2+ bdrm	2 per unit*	
Scotts Valley		
All multifamily	2 per unit	1 per every five units^
Santa Cruz County		
Townhomes, 1 bdrm	1 per unit	20% of required resident parking
Townhomes, 2+ bdrm	2 per unit	
Multifamily, <750 sf	1 per unit	20-30% required resident parking (none in transit priority area)
Multifamily, >750 sf	2 per unit, 1.5 in transit priority area	
Watsonville		
1-3 bdrm	2 per unit	1 per 4-8 bedrooms depending on project size
4 bdrm	3 per unit	
5+ bdrm	4 per unit	

*Housing Element policy to eliminate parking minimums citywide by January 2028.”

^ HE program to reduce to no greater than 2 spaces per unit.

Parking

Requested Planning Commission Input on Potential Zoning Code Amendments:

	Existing	Potential
Single-family Dwelling		
1,500 sq. ft. or less	2 per unit	No change
1,501 – 2,000 sq. ft.	2 per unit, 1 covered	No change
2,001 – 2,600 sq. ft.	3 per unit, 1 covered	2 per unit, 1 covered
2,601 sq. ft. or more	4 per unit, 1 covered	2 per unit, 1 covered
Accessory Dwelling Unit	1 per unit	No change
SB 9 Unit	1 per unit	No change
Duplex homes	2 per unit, 1 covered	No change
Multifamily Dwellings	2.5 per unit, 1 covered	1.0 per unit <500 sf 1.5 per unit 500-750 sf 2.0 per unit ≥750 sf No covered or additional guest parking required

Requested Planning Commission Input on Potential Zoning Code Amendments:

	Existing	Potential
Senior Housing		
Independent Living	Same as unit type with no age restriction	1.5 per unit
Elderly and Long-Term Care	1 per 6 beds plus 1 per 300 sq. ft. of office	No change
Group Housing (includes SROs)	1 per unit plus 1 guest space per 6 units	1 per unit
Residential Care Facilities	0.5 per bed plus 1 per 300 sq. ft. of office	1 per 3 beds plus 1 per 300 sq. ft. of office
Emergency shelter	1 per staff member plus 1 per 6 occupants allowed at the maximum capacity	1 per staff member when the greatest number of employees are on duty (AB 139)
Transitional and supportive housing	0.5 per bed plus 1 per 300 sq. ft. of office	If within one-half mile of a public transit stop, none required for residents. (Gov't Code 65654)
Religious Institutional Uses	1 per 3 fixed seats, or 1 per 40 sq. ft. of assembly area for uses without fixed seats	50% reduction to accommodate affordable housing. Remaining religious use parking spaces may count toward the housing project's parking requirements (AB 1851)

Parking

Other proposed changes required by new State law:

- No additional parking required for remodel or addition to a single-family home if project does not require variance or minor modification (AB 1308)
- The City must allow proposed shared parking that meets requirements in Government Code Section 65863.1 (AB 894)

Lot Consolidation

Definition:

Combining existing lots to reduce the total number of lots, often to achieve single ownership of a development site and reduce development barriers from fragmented property ownership.

Example Lot Consolidation: 4401 Capitola Road

44th Avenue

Parcel 1

Parcel 2

Capitola Road



Proposed Project with Merged Parcels

FORTY FOURTH AVE



LEGEND

- residential
- interior circulation
- building services
- amenities
- management
- landscape
- parking
- walkway

CAPITOLA RD

16' 0 16' 32'



Housing Element Program

- **Program 1.1:** Develop incentives to encourage lot consolidation. Typical strategies include ministerial approval of lot line adjustments and flexible development standards (such as reduced or alternative parking arrangements) for large sites.

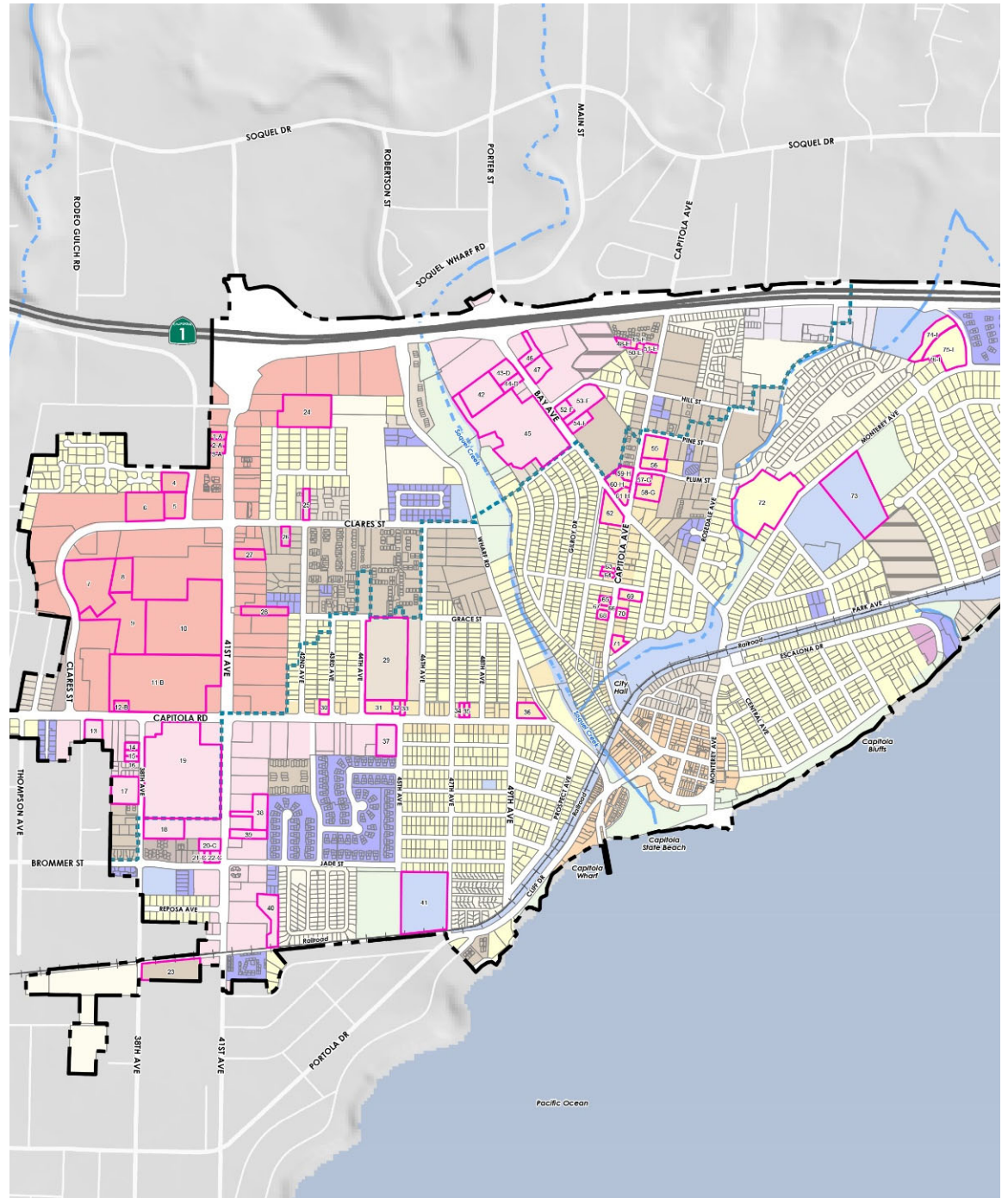
Housing Element Program

Page 4-24:

- “Several of the non-vacant sites identified consist of multiple smaller parcels with different owners, and their development within the planning period will depend on whether they can be consolidated.”
- “All parcels identified [in the sites inventory] as affordable that are less than 0.5 acres in size are assumed to be consolidated into clustered sites that are a minimum 0.5 acres in size.”

Table 4-3: Consolidated Sites Analysis

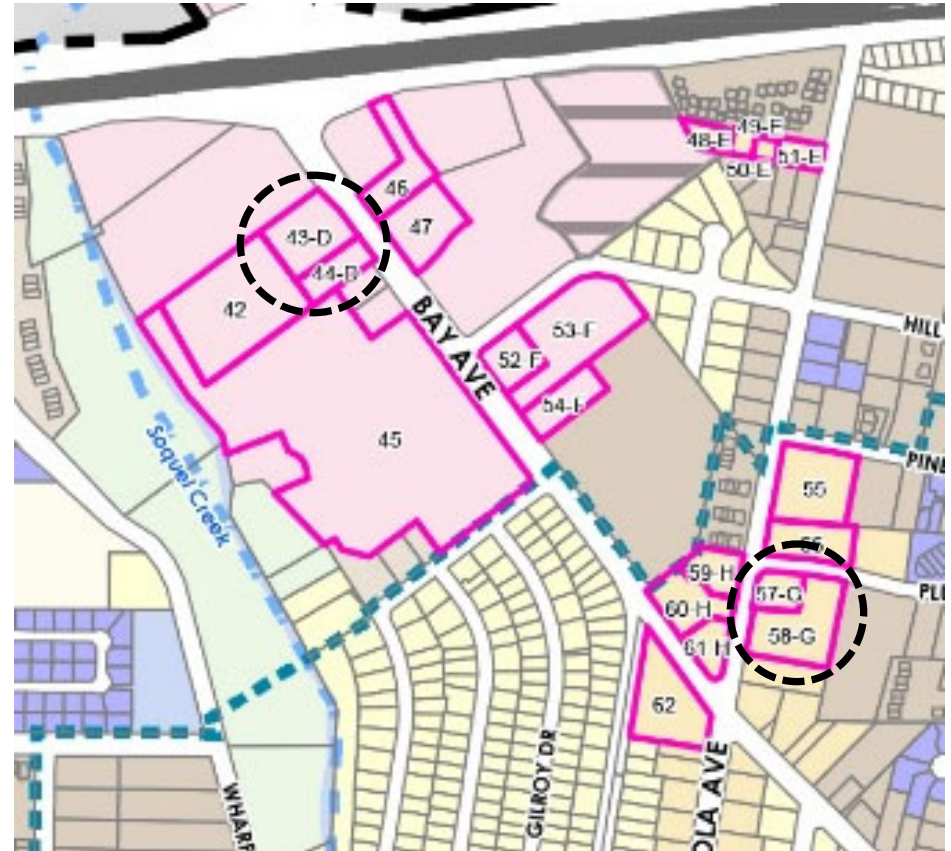
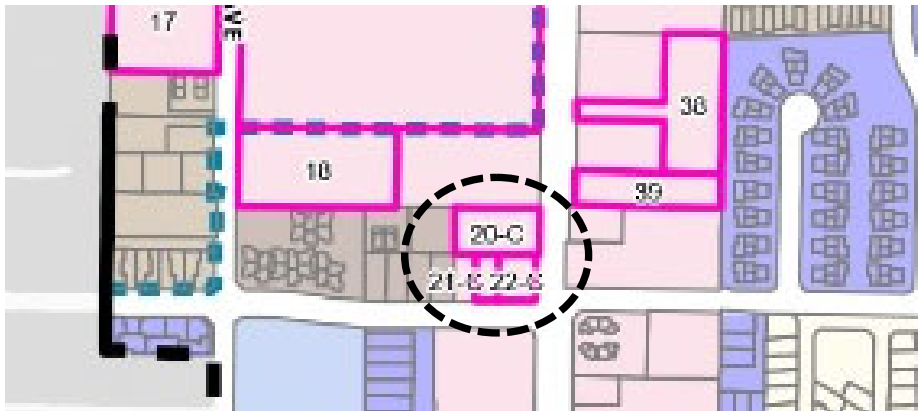
Site Address	Site #	APN	Consolidated Sites	Single Owner	Shared Access
2175 41ST AVE	1	034-192-07	A	Yes	Yes
2165 41ST AVE	2	034-192-08	A	Yes	Yes
2155 41ST AVE	3	034-192-09	A	Yes	Yes
4015 CAPITOLA RD	11	034-261-40	B	Yes	Yes
3775 CAPITOLA RD	12	034-261-39	B	Yes	Yes
1395 41ST AVE	20	034-164-12	C	No	Potential
4055 BROMMER ST A	21	034-164-09	C	No	Potential
1355 41ST AVE	22	034-164-13	C	No	Potential
831 BAY AVE	43	035-381-03	D	No	Yes
827 BAY AVE	44	035-381-04	D	No	Yes
911 CAPITOLA AVE	48	036-011-13	E	Yes	Yes
911 CAPITOLA AVE	49	036-011-14	E	Yes	Yes
911 CAPITOLA AVE	50	036-011-12	E	Yes	Yes
911 CAPITOLA AVE A	51	036-011-11	E	Yes	Yes
816 BAY AVE	52	036-051-26	F	Yes	Potential
816 BAY AVE A	53	036-051-29	F	Yes	Potential
800 BAY AVE	54	036-051-30	F	Yes	Potential
712 CAPITOLA AVE	57	036-062-14	G	No	Potential
706 CAPITOLA AVE	58	036-062-15	G	No	Potential
715 CAPITOLA AVE	59	036-051-34	H	Yes	No
700 BAY AVE	60	036-051-35	H	Yes	No
600 BAY AVE	61	036-051-12	H	Yes	No
875 MONTEREY AVE	74	036-041-28	I	Yes	Yes
875 MONTEREY AVE	75	036-041-26	I	Yes	Yes
837 MONTEREY AVE	76	036-195-02	I	Yes	Yes



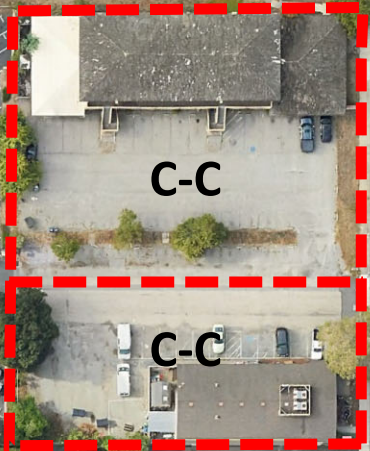
Consolidation Sites with Multiple Owners

1395 41ST AVE	20	034-164-12	C	No	Potential
4055 BROMMER ST A	21	034-164-09	C	No	Potential
1355 41ST AVE	22	034-164-13	C	No	Potential
831 BAY AVE	43	035-381-03	D	No	Yes
827 BAY AVE	44	035-381-04	D	No	Yes

712 CAPITOLA AVE	57	036-062-14	G	No	Potential
706 CAPITOLA AVE	58	036-062-15	G	No	Potential



Adjacent opportunity site parcels
with different owners



Bay Street



Adjacent opportunity site parcels
with different owners



41st Avenue

Jade Street

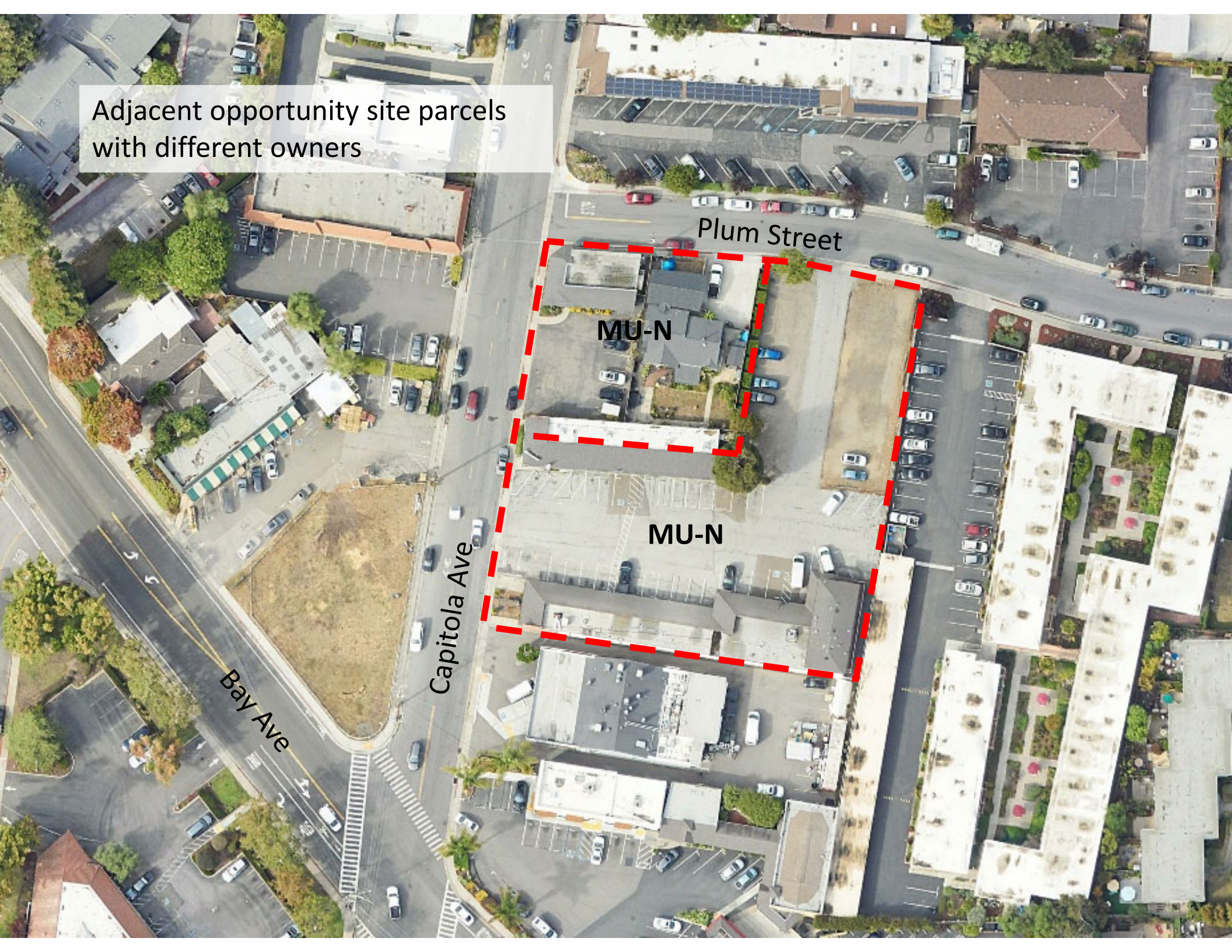
Brommer Street

C-C

C-C

C-C

Adjacent opportunity site parcels
with different owners



Plum Street

MU-N

MU-N

Capitol Ave

Bay Ave

Lot Consolidation

HCD Housing Element Guide. “Examples of program incentives for lot consolidation include:

- Deferring fees
- Expediting permit processing
- Providing flexible development standards such as setback requirements, reduced parking or increased heights
- Committing resources for development of affordable housing on small sites
- Increasing allowable density, lot coverage or floor area ratio”

Lot Consolidation

Other Ideas:

- Designate areas where lot consolidation is encouraged or required
- Additional financial incentives, such as tax breaks, grants, and subsidies
- Invest in infrastructure improvements to support consolidated developments

Lot Consolidation

Requested Planning Commission Input on Potential Approach:

- On adjacent opportunity sites under separate ownership, allow higher FAR for projects that consolidate lots and provide community benefits
- No other incentives at this time

Lot Consolidation

MU-N Site on Capitola Ave and Plum Street



Without lot consolidation:

- FAR: 1.0
- Height: 27 ft.

With Lot Consolidation and Community Benefits:

- FAR: 1.5
- Height: 35 ft.

Lot Consolidation

C-C Sites on 41st Avenue/Brommer and Bay Street



Without lot consolidation:

- FAR: 1.0
- Height: 40 ft.

With Lot Consolidation and Community Benefits:

- FAR: 1.5
- Height: 50 ft.



Massing

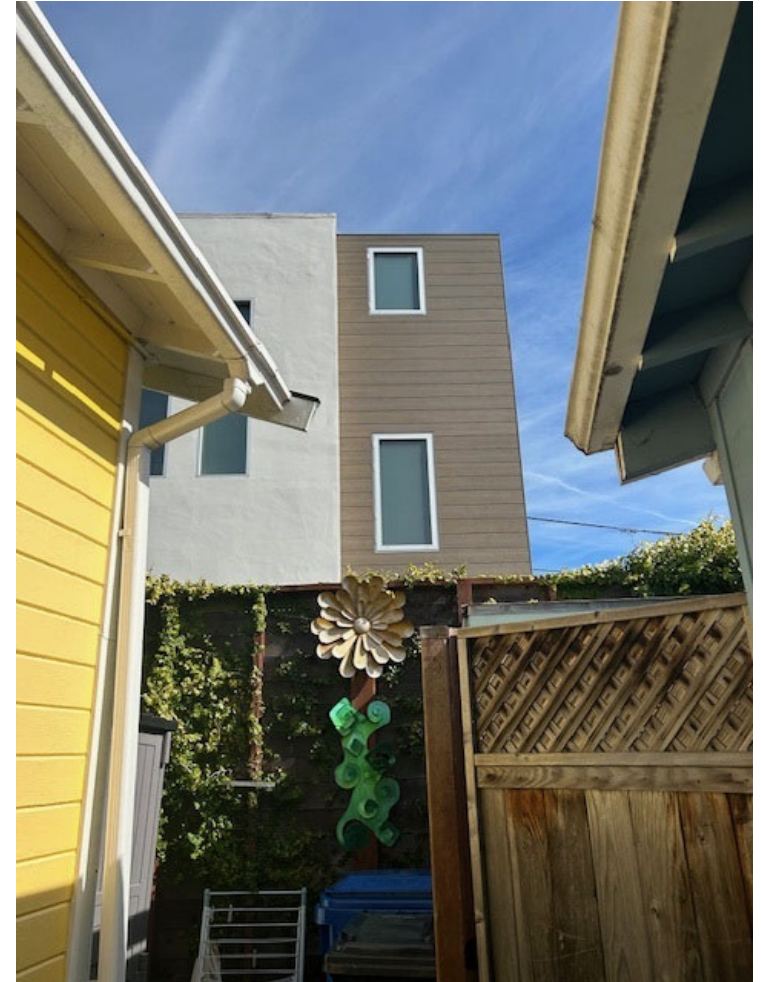
- **Pre-2020 Zoning Code:** All covered open space and areas below roof eaves over 2 feet count toward the FAR
- **Since 2020:** These areas excluded from FAR calculation

Massing

- **Concern:** This FAR rule change plus floodplain requirements will encourage top-heavy building massing



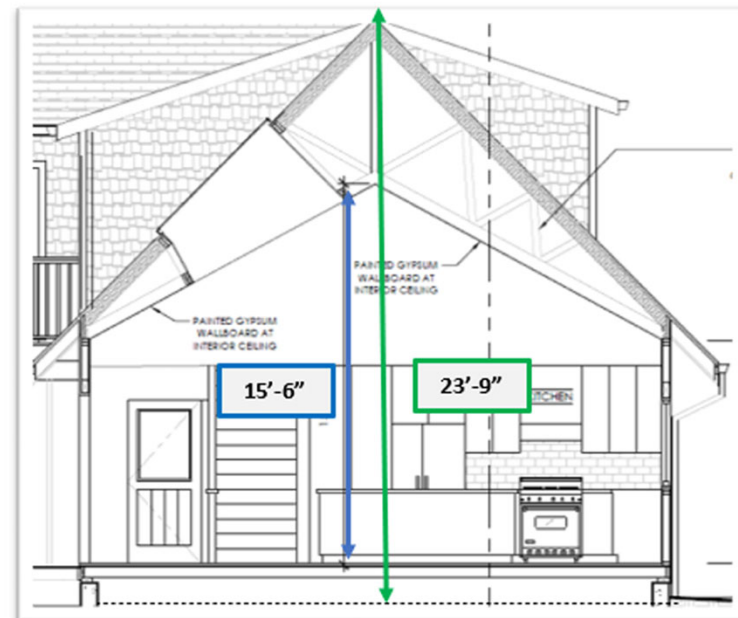
Massing Photographs from Commissioner Wilk



Massing

17.48.040.B.4: “Interior area of a building with a floor-to-ceiling height of greater than 16 feet is counted twice in the floor area calculation.”

Concern: Enclosed ceiling spaces that circumvent rule intent



605 Escalona

Massing

Requested Planning Commission Input:

- Include all covered open space and roof eaves over 2 feet count in the FAR calculation?
- Include in FAR calculation areas with floor to rooftop height of greater than 16 feet?