



CAPITOLA COMMUNITY CENTER REMODEL

4400 JADE STREET, CAPITOLA, CA 95010



*** PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION ***

THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCY IN DIMENSIONS, FIELD CONDITIONS OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR DIFFERS FROM THESE DOCUMENTS.

THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE ARCHITECT DISCLAIMS ANY RESPONSIBILITY RESULTING FROM UNAUTHORIZED USE.

COPYRIGHT STARTS FROM THE DATE OF THE EARLIEST CONTRACT THROUGH CONSTRUCTION DOCUMENTS.

GENERAL NOTES

1. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO ISSUANCE OF THE BUILDING PERMIT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION.
2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, PRESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.
3. THE ARCHITECT'S APPROVAL OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS UNLESS HE OR SHE HAS (IN WRITING) CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSIONS, NOR SHALL IT RELIEVE HIM OR HER OF RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
4. ARCHITECT OR DESIGNER AS USED IN THESE DOCUMENTS REFERS TO BOONE LOW RATLIFF ARCHITECTS, 191 VAN NESS AVENUE, SANTA CRUZ, CA 95060. (831) 423-1316.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
6. CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT OR TENANT CONSTRUCTION COORDINATOR BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
7. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE, IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.
8. DIMENSIONS ON DRAWINGS ARE SHOWN TO FACES OF WALLS AND PARTITIONS OR FINISHED FACE OF EXISTING WALLS UNLESS NOTED OTHERWISE.
9. ALL VERTICAL DIMENSIONS SHOWN ARE TO FLOOR SLABS, UNLESS OTHERWISE INDICATED.
10. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ANY WORK.
11. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATIONS OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOORS, ETC.
12. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
13. 'ALIGN' AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
14. 'TYPICAL' OR 'TYP.' AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
15. DETAILS ARE USUALLY KEYED AND NOTED 'TYPICAL' ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
16. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF A JOB AFTER ITS COMPLETION. UNUSED MATERIALS TO BE DONATED.
18. ALL REQUESTS FOR SUBSTITUTIONS OR ITEMS SPECIFIED SHALL BE APPROVED BY ARCHITECT.
19. GLASS DOORS, ADJACENT PANELS, AND ALL GLAZED OPENINGS, WITHIN 18 INCHES OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
20. CENTER OF SWITCHES SHALL BE NO MORE THAN 48" ABOVE FLOOR.
21. CENTERLINE OF 15, 20 AND 30 AMP RECEPTACLES SHALL EXCEPT PERMANENTLY INSTALLED BASEBOARD HEATERS) NOT TO BE LESS THAN 18" ABOVE FLOOR. FLOOR OUTLETS ACCEPTABLE NEXT TO SIDING PANELS OR WALLS AND OTHER SPECIAL CONVENIENCE LOCATIONS. BASEBOARD OUTLETS ACCEPTABLE IN RELOCATABLE PARTITIONS, WINDOW WALLS.
22. FOUNDATION CONSTRUCTION SHALL INCORPORATE RECYCLED FLY ASH IN CONCRETE UP TO 15%-20%. RETAIN CONCRETE MIX TAG FOR INSPECTOR.
23. FORM BOARDS SHALL BE REUSED. V.O.C. FREE PLANT BASED RELEASE AGENT TO BE APPLIED (KRAPESEED, SOYBEAN OR VEGETABLE OIL) WHEN POSSIBLE. METAL FORMS TO BE PROVIDED BY A SPECIALTY CONTRACTOR AND REUSED ON OTHER PROJECTS.
24. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
25. INSTALL INSULATION AFTER BUILDING IS WEATHERTIGHT AND OUTSIDE OF RAINY SEASON. INSTALL INSULATION TO COMPLY WITH CALIFORNIA STATE REQUIREMENTS (SEE FORM CFR-ENV-23-10). CONTRACTOR TO CHECK MOISTURE CONTENT OF MATERIALS FOR WALLS AND FLOORS BEFORE ENCLOSURE, FOR COMPLIANCE WITH CALGREEN 4.505.3.
26. USE EXTERIOR GRADE PLYWOOD FOR ALL INTERIOR APPLICATIONS.
27. DOCUMENTS FOR DEFERRED SUBMITTAL SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING DEPARTMENT WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING DEPARTMENT.
28. AT TIME OF FINAL INSPECTION, CONTRACTOR TO PLACE IN BUILDING AN OPERATION AND MAINTENANCE MANUAL IN THE FORMAT OF A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY, COVERING 10 SPECIFIC SUBJECT AREAS.
29. DONATE UNUSED MATERIALS TO THE HABITAT FOR HUMANITY RESTORE.
30. MINIMIZE DISRUPTION OF EXISTING PLANTS AND TREES.
31. PROTECT ANNULAR SPACES AROUND OPENINGS IN FLATES AT EXTERIOR WALL WITH CEMENT MORTAR, CONCRETE, OR SIMILAR MATERIAL.
32. A MINIMUM OF 10% OF CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED.
33. WASTE DISPOSAL: RETAIN ALL WASTE HAULING RECEIPTS FOR INSPECTOR. RECEIPTS MUST INDICATE 10% SEPARATED, RECYCLABLE MATERIALS.

ABBREVIATIONS

ABBREVIATIONS	ABBREVIATIONS CONT.	ABBREVIATIONS CONT.			
A.F.F.	ABOVE FINISH FLOOR	F.G.	FINISH GRADE	T.O.S.	TOP OF SUBFLOOR
AFG	ABOVE FINISH GRADE	F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
BD.	BOARD	F.F.L.	FINISH FLOOR LEVEL	TYP.	TYPICAL
BTM	BOTTOM	FL	FLOOR	TYP. MTG.	TYPICAL MOUNTING HEIGHT
C.B.C.	CALIFORNIA BLDG. CODE	GA	GUAGE	VERT.	VERTICAL
CL	CENTER LINE	GC	GENERAL CONTRACTOR	WH	WATER HEATER
CLG	CEILING	GYP. BD.	GYP. BOARD	WTR	WATER
CLR.	CLEARANCE	HGT.	HEIGHT		
CONC.	CONCRETE	HM	HYDRONIC MANFOLD		
CONT.	CONTINUOUS	HORIZ.	HORIZONTAL		
DBL	DOUBLE	KIT	KITCHEN		
DM	DIMENSION	MFG	MANUFACTURED		
DM PT	DIMENSION POINT	MTL	METAL		
DN	DOWN	MTD	MOUNTED		
DS	DOWNSPOUT	NFPA	NATIONAL FIRE PROTECTION ASS.		
DW	DISHWASHER	OPP. HAND	OPPOSITE		
EA	EACH	PL	PLATE		
ELEV.	ELEVATION	REF	REFRIGERATOR		
EQ.	EQUAL	SIM	SIMILAR		
F.F.	FINISH FLOOR	STL	STEEL		

PROJECT DATA

OCCUPANCY:
A-3 WITH B OCCUPANCY OFFICES, KITCHEN & SUPPORT AREA
CONSTRUCTION TYPE: VB
ZONING: CF COMMUNITY FACILITY
TOTAL LOT AREA: 419,483 SQ.FT.

AREA (E) BUILDING: 5,192 SQ.FT.
AREA (E) COVERED PORCHES: 1,446 SQ.FT.

PROPOSED BUILDING AREA: 5,192 SQ.FT. (NO PROPOSED CHANGE)
PROPOSED AREA COVERED PORCHES: 2,125 SQ.FT.

TOTAL LOT COVERAGE = 3.3 % OF LOT

SCOPE OF WORK

PROPOSED REMODEL OF AN EXISTING 5,192 SQ.FT. SINGLE-STORY COMMUNITY CENTER BUILDING (BUILT IN 1985). SCOPE OF PROPOSED WORK IS DIVIDED INTO SCOPE A, SCOPE B AND INCLUDES ONE DEDUCT ALTERNATE.

SCOPE A: INCLUDES REPLACEMENT & REPAIR OF BUILDING'S EXTERIOR ENVELOPE INCLUDING (N) ROOF, (N) SIDING AND REPAIRS AND/ OR REPLACEMENT OF EXTERIOR RAFTERS CONCRETE PIERS AND STUCCO WALLS, ADDITION OF 3 NEW WINDOWS, REPLACEMENT OF ALL (E) EXTERIOR DOORS AND WINDOWS AND A (N) SHED ROOF AT THE ENTRY. SCOPE A WORK IS NOTED ON THE DRAWINGS.

SCOPE B: INCLUDES ALL REMAINING WORK TO THE BUILDING AND ACCESSIBILITY IMPROVEMENTS AT THE EXTERIOR. INTERIOR IMPROVEMENTS INCLUDE AN ADDITION OF A SINGLE USER NON-GENDER ACCESSIBLE RESTROOM, ADDITION OF A NEW OFFICE, PERMANENT SEPARATION BETWEEN TWO MEETING AREAS, UPGRADES TO (E) OFFICES, RECEPTION, RESTROOMS AND KITCHEN AND NEW FINISHES THROUGHOUT. THERE IS A (N) HVAC SYSTEM, WATER HEATER AND (N) ELECTRICAL, LIGHTING & OUTLETS INCLUDING A PROPOSED ELECTRICAL SERVICE UPGRADE TO THE BUILDING. ACCESSIBILITY UPGRADES ARE PROPOSED THROUGHOUT THE BUILDING AND AT THE EXTERIOR, INCLUDING ACCESSIBLE PARKING AND PATH OF TRAVEL IMPROVEMENTS TO MEET CURRENT CODE.

DEDUCT ALTERNATE: INCLUDES CIVIL & LANDSCAPING IMPROVEMENTS AT THE THREE (E) PATIOS, ENTRY AND SURROUNDING LANDSCAPED AREA. DEDUCT ALTERNATE WORK IS INDICATED BY A 'D' AT THE END OF THE SHEET NUMBER.

ADDITIONAL NOTES:
THERE IS NO PROPOSED INCREASE IN THE HEATED AREA OR FOOTPRINT OF THE CENTER.

HAZARDOUS MATERIALS ASBESTOS ABATEMENT TO BE CARRIED OUT PER RECOMMENDATIONS IN REPORTS: BENCHMARK ENVIRONMENTAL ENGINEERING #E23-2476-ASU.

APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE, PART 6

THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022 EDITION) AND SANTA CRUZ COUNTY AMENDMENTS

PROJECT TEAM

CLIENT: CITY OF CAPITOLA
CITY OF CAPITOLA PUBLIC WORKS DEPARTMENT
PROJECT MANAGER: JESSICA KAHN, JKAHN@CITY.CAPITOLA.CA.US
420 CAPITOLA AVENUE, CAPITOLA CA 95010
(831) 415 1300

CITY OF CAPITOLA RECREATIONS DEPARTMENT
NIKKI BRYANT, NBRYANT@CITY.CAPITOLA.CA.US
420 CAPITOLA AVENUE, CAPITOLA CA 95010
(831) 415 1300

ARCHITECT: BOONE LOW RATLIFF ARCHITECTS, INC.
JACQUELYN LOW, AIA: JL@SANTACRUZGREENARCHITECTS.COM
KATE RHEIN, AIA: KR@SANTACRUZGREENARCHITECTS.COM
2837 MISSION STREET, SANTA CRUZ CA 95060
(831) 423 1316

ELECTRICAL ENGINEER: AURUM CONSULTING ENGINEERS MONTEREY BAY, INC.
ELDRIDGE O BELL, P.E.: ELDRIDGE@ACEMB.COM
404 W. FRANKLIN ST., SUITE 100, MONTEREY, CA 93940
(831) 646 3330

MECHANICAL ENGINEER: COLEBRET + AXOM ENGINEERS
SEAN L. RING, P.E.: SEAN@AXOMENGINEERS.COM
393 FOTREERO ST, SUITE 4310B, SANTA CRUZ CA 95060
(831) 464 4320

STRUCTURAL ENGINEER: ANDREW RADOVAN CIVIL ENGINEERING, INC.
ANDREW RADOVAN: ANDREW@RADOVAN.US
2815 MISSION STREET, SANTA CRUZ CA 95060
(831) 459 7256

LANDSCAPE ARCHITECT: JON L JANECKI & ASSOCIATES
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ERICA DREW: EDREW@LJA.COM (PROJECT MANAGER)
915 SUIT ST, SANTA CRUZ CA 95060
(831) 423 0040

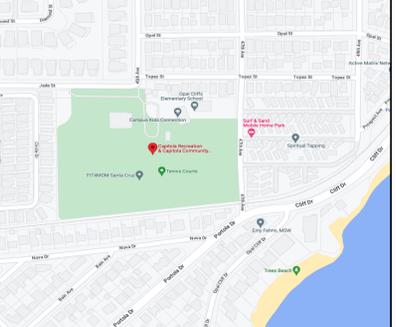
CIVIL ENGINEER: FLAND ENGINEERS
JON FLAND: JONFLAND@FLANDENGINEERS.COM
1509 SEABRIGHT AVE, SUITE 101, SANTA CRUZ CA 95062
O (831) 426 9313 X206
D (831) 316 3573

ACOUSTIC CONSULTANT: SONICS ESD
JIM BARATH, PH.D., INCE: JIM@SONICSESD.COM
440 RAINDALE DRIVE SUITE 130, MONTEREY CA 93940
(831) 646 9711

COST ESTIMATOR: LELAND SAYLOR ASSOCIATES
JEFF SAYLOR: JSAYLOR@LELANDSAYLOR.COM
1171 OAKLAND BLVD, SUITE 103, WALNUT CREEK CA 94596
(925) 330 2642

KITCHEN DESIGNER: EAST BAY RESTAURANT SUPPLY, INC.
KEVIN MANLEY: KEVIN@EBS.NET
49 4TH STREET, OAKLAND CA 94601
(916) 716 4621

VICINITY MAP



SHEET INDEX

SHEET INDEX	TITLE SHEET / PROJECT DATA
CAI	CALGREEN NONRESIDENTIAL MANDATORY MEASURES 2022 11
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CA3	CALGREEN NONRESIDENTIAL MANDATORY MEASURES 1 3
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C0-0	COVER SHEET
C1-0	NOTES
C2-0	DETAILS
C21	DETAILS
C3-0	DRAINAGE & GRADING PLAN (SD)
C31	DRAINAGE & GRADING PLAN (ND)
C32	DRAINAGE & GRADING PLAN (SE)
C33	DRAINAGE & GRADING PLAN (NE)
C4-0	EROSION CONTROL NOTES & DETAILS
CA1	EROSION CONTROL PLAN
C5-0	STORMWATER CONTROL PLAN
C0-00	COVER SHEET
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C3-00	GRADING & DRAINAGE PLAN
C31D	GRADING & DRAINAGE PLAN
C4-00	UTILITY PLAN
C5-00	EROSION CONTROL NOTES & DETAILS
C51D	EROSION CONTROL PLAN
C6-00	STORMWATER CONTROL PLAN
L0-0	LANDSCAPE TITLE SHEET
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L1-0	LANDSCAPE MATERIALS PLAN
L11	LANDSCAPE MATERIALS DETAILS
L0-00	LANDSCAPE TITLE SHEET
L01D	TREE REMOVAL & PROTECTION PLAN
L1-00	LANDSCAPE MATERIALS PLAN
L11D	LANDSCAPE MATERIALS DETAILS
L12D	STAGE ELEVATIONS & SECTIONS
L13D	LANDSCAPE MATERIALS DETAILS
L14D	LANDSCAPE MATERIALS DETAILS
L15D	LANDSCAPE MATERIALS DETAILS
L2-00	IRRIGATION PLAN
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L32D	PLANTING DETAILS
A1-0	AS-BUILT & DEMO FLOOR PLAN
A11	AS-BUILT & DEMO ATTIC & ROOF PLAN
A12	AS-BUILT & DEMO ELEVATIONS
A2-0	SITE PLAN
A21	ENLARGED SITE PLAN
A22	EXITING AND FIRE PROTECTION PLAN
A23	ACCESSIBILITY & SIGNAGE
A24	ACCESSIBILITY & SIGNAGE DETAILS
A25	ACCESSIBILITY & SIGNAGE DETAILS
A3-0	PROPOSED FIRST FLOOR PLAN
A31	PROPOSED ATTIC PLAN
A32	PROPOSED ROOF PLAN
A33	REFLECTED CEILING PLAN
A34	ENLARGED PLANS KITCHEN, OFFICES & RESTROOMS
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A4-0	PROPOSED BUILDING ELEVATIONS
A41	PROPOSED BUILDING ELEVATIONS (CONT)
A5-0	PROPOSED BUILDING SECTIONS
A51	PROPOSED BUILDING SECTIONS
A52	PROPOSED BUILDING SECTIONS
A53	WALL & ROOF ENLARGED SECTIONS
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A61	INTERIOR ELEVATIONS
A62	INTERIOR ELEVATIONS

A63	INTERIOR ELEVATIONS
A64	INTERIOR ELEVATIONS & RESTROOMS & RESTROOM EQUIPMENT SCHEDULE
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A8-0	FINISH PLAN
A81	EXTERIOR COLORS & FINISHES
A82	INTERIOR COLORS & FINISHES
A9-0	ARCHITECTURAL INTERIOR DETAILS
A91	ARCHITECTURAL INTERIOR DETAILS
A10-0	EXTERIOR STOREFRONT DETAILS
A101	EXTERIOR WINDOW PANEL FIN & STOREFRONT DETAILS
A102	TYPICAL EXTERIOR ROOF DETAILS
A103	TYPICAL TPO RE-ROOF DETAILS
A104	TYPICAL METAL EXTERIOR ROOF DETAILS
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S2	ROOF & CEILING FRAMING PLAN
03	DETAILS
S4	DETAILS
M0-01	LEGENDS, NOTES & SCHEDULES - MECHANICAL
M0-02	LEGENDS, NOTES & SCHEDULES - MECHANICAL
M0-03	TITLE 24 - MECHANICAL
M1-01	ROOF PLAN - MECHANICAL DEMOLITION
M1-02	ROOF PLAN - MECHANICAL
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P0-01	LEGENDS, NOTES & SCHEDULES - PLUMBING
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P2-01	FLOOR PLAN - PLUMBING DEMOLITION
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E01	ELECTRICAL TITLE SHEET
E02	CALIFORNIA ENERGY COMPLIANCE T24 BUILDING INTERIOR
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E11	ELECTRICAL SINGLE LINE DIAGRAM & DETAILS
E12	ELECTRICAL PANEL SCHEDULES
E21	ELECTRICAL SITE PLAN
E31	ELECTRICAL DEMOLITION - FIRST FLOOR
E32	ELECTRICAL DEMOLITION PLAN - ROOF PLAN
E41	POWER & SYSTEMS PLAN - FIRST FLOOR
E42	POWER & SYSTEMS PLAN - ATTIC
E43	POWER & SYSTEMS PLAN - ROOF
E51	LIGHTING PLAN - FIRST FLOOR
E52	LIGHTING PLAN - ATTIC
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E61	ELECTRICAL DETAILS
E62	ELECTRICAL DETAILS
E63	ELECTRICAL DETAILS
E11	ELECTRICAL SPECIFICATIONS
AC-1	GENERAL NOTES, LEGEND, ABBR. & COVER SHEET
AC-2	1ST FLOOR ACOUSTICAL PLAN
AC-3	1ST FLOOR REFLECTIVE CEILING PLAN & SECTIONS
AC-41	1ST FLOOR MEETING RM B & C ELEVATIONS
AC-42	1ST FLOOR MEETING RM A & RECEPTION ELEVATIONS
AC-5	CEILING ACOUSTICAL TREATMENT DETAIL
AC-6	PRODUCT SPECIFICATION SHEETS

CAPITOLA COMMUNITY CENTER REMODEL

4400 JADE STREET
CAPITOLA, CA 95010

BY REVISIONS DATE	
CONCEPTUAL DESIGN SET	7/31/23
MINOR DESIGN PERMIT SET	10/03/23
50% CD SET	10/30/23
95% CD SET	01/31/24

Date: 2/7/24
Scale: AS NOTED
Drawn:
Job:
Sheet

Plotted On: 2/7/24

TITLE SHEET / PROJECT DATA

CONSTRUCTION NOTES:

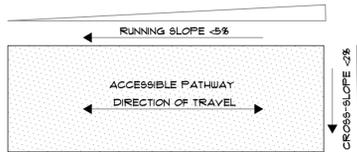
CONTRACTOR TO COORDINATE DELIVERIES TO SITE, SITE ACCESS AND STORAGE LOCATIONS WITH CLIENT.

- A. CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)-PROJECT CONSTRUCTION AND DEMOLITION ACTIVITIES SHALL COMPLY WITH THE CITY'S STORM WATER BEST MANAGEMENT PRACTICES FOR CONSTRUCTION. SEE THE CITY WEBSITE AT: [HTTPS://WWW.CITYOFSANTACRUZ.COM/GOVERNMENT/CITY-DEPARTMENTS/PUBLIC-WORKS/STORMWATER/BEST-MANAGEMENT-PRACTICES](https://www.cityofsantacruz.com/government/city-departments/public-works/stormwater/best-management-practices)
- B. MATERIALS STORAGE: OPEN BAGS OF PARTICULATE, GRANULAR OR POWDER MATERIALS (SUCH AS PLASTER OR CONCRETE) SHOULD BE STORED INSIDE IF POSSIBLE. IF STORED OUTSIDE, THEY MUST BE COVERED OR CLOSED, AND DURING THE RAINY SEASON KEPT WITHIN SECONDARY CONTAINMENT.
- C. PAINT & CHEMICAL STORAGE: PAINTS, CHEMICALS, AND SOLVENTS MUST BE PROPERLY STORED INSIDE OR WITHIN A SHED WITH DOUBLE CONTAINMENT.
- D. REFUSE DUMPSTERS LIDS MUST BE KEPT CLOSED AND SECURED WHEN NOT IN USE.
- E. CHECK THE SIDEWALK AND STREET DAILY DURING THE DEMOLITION AND CONSTRUCTION PHASES FOR SOIL OR SEDIMENT DRAG-OUT, AND SWEEP IF NEEDED.
- F. REGULARLY MAINTAIN PROJECT EROSION CONTROL MEASURES. CHECK REGULARLY FOR DAMAGE DURING CONSTRUCTION WORK. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH SIGNIFICANT RAIN EVENT AND NEEDED REPAIRS MADE IMMEDIATELY UPON DETECTION.
- G. THE CALGREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET CA1

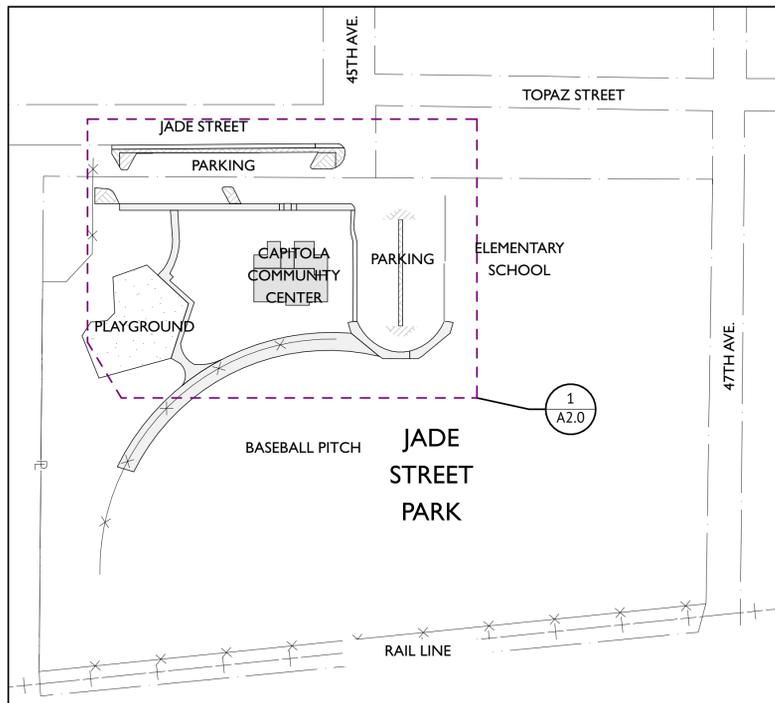
PATH OF TRAVEL GENERAL COMPLIANCE NOTES:

(E) ACCESSIBLE PATH OF TRAVEL IS PROVIDED ON SITE. IF THERE IS ANY NON-COMPLIANCE IN (E) P.O.T, IT MUST BE UPGRADED AS NEEDED TO COMPLY:

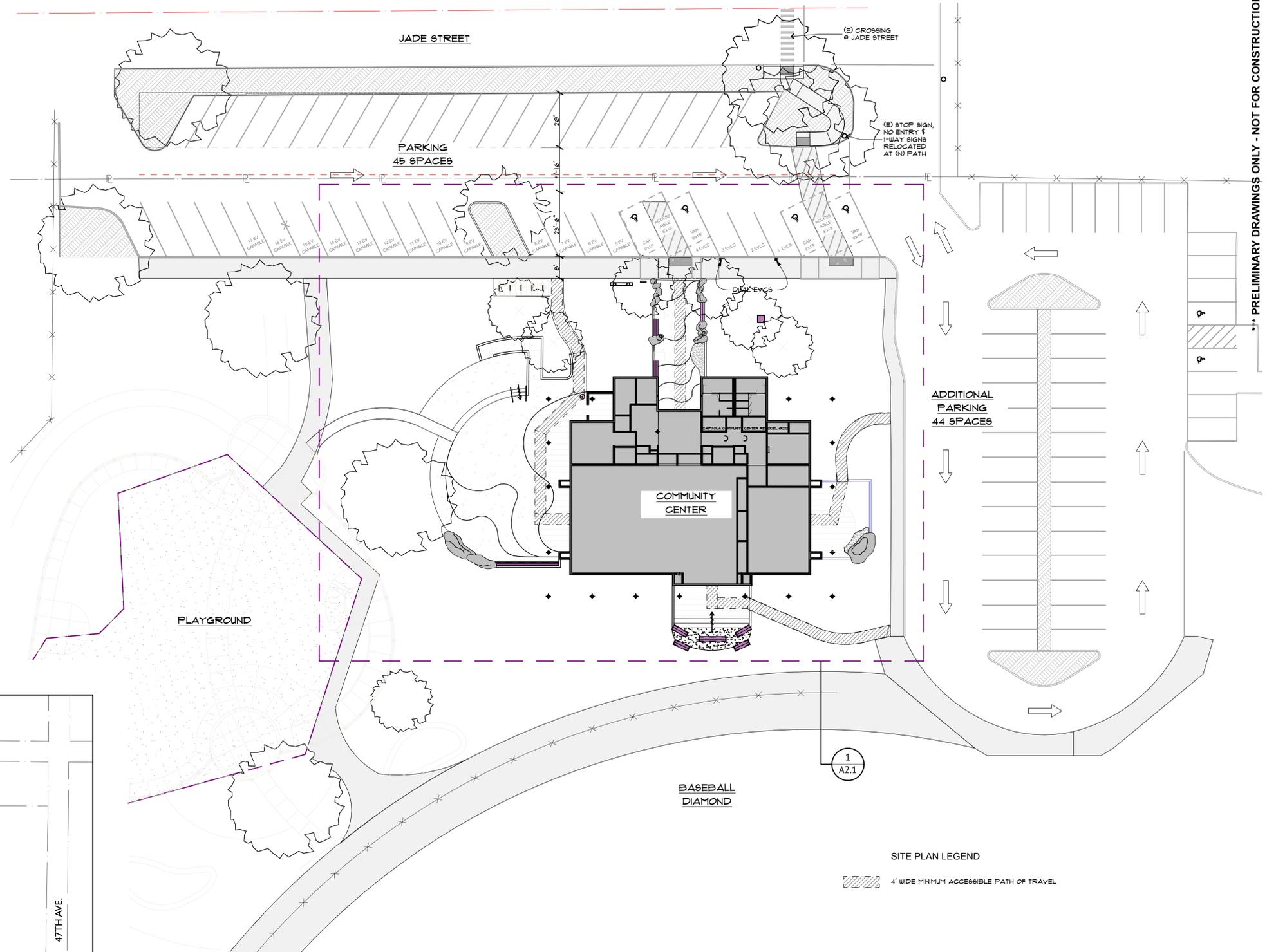
ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48 AND SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT BE STEEPER THAN 1:20. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 90". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL



DETAIL D: ACCESSIBLE PATH OF TRAVEL MAX. SLOPE



2 PROPERTY MAP
SCALE: 1" = 100'



1 SITE PLAN
SCALE: 1" = 20'

SITE PLAN NOTE:
FOR LANDSCAPE & PATIO AREAS, PLEASE SEE LANDSCAPE & CIVIL SHEETS

SITE PLAN LEGEND

4' WIDE MINIMUM ACCESSIBLE PATH OF TRAVEL

SITE PARKING REQUIREMENTS:

ASSEMBLY AREA TOTAL = 3231 SQ.FT. REQUIRED PARKING 1/40 = 81 SPACES
BUSINESS AREA TOTAL = 2165 SQ.FT. REQUIRED PARKING 1/300 = 8 SPACES
TOTAL REQUIRED PARKING = 89 SPACES
TOTAL AVAILABLE ON-SITE PARKING = 89 SPACES

NUMBER OF ACCESSIBLE PARKING SPACES PER CBC 2022 TABLE 11B-209.2 = 4
NUMBER OF VAN ACCESSIBLE SPACES REQUIRED = 1. NUMBER PROVIDED = 2

BICYCLE PARKING
SHORT TERM SPACES = 10% OF REQUIRED PARKING SPACES = 9
LONG TERM SPACES NOT REQUIRED (40,000 SQ.FT.)

BOONE
LOW
RATLIFF

ARCHITECTS, INC.

2837 MISSION ST | SANTA CRUZ CA 95060

SEAL

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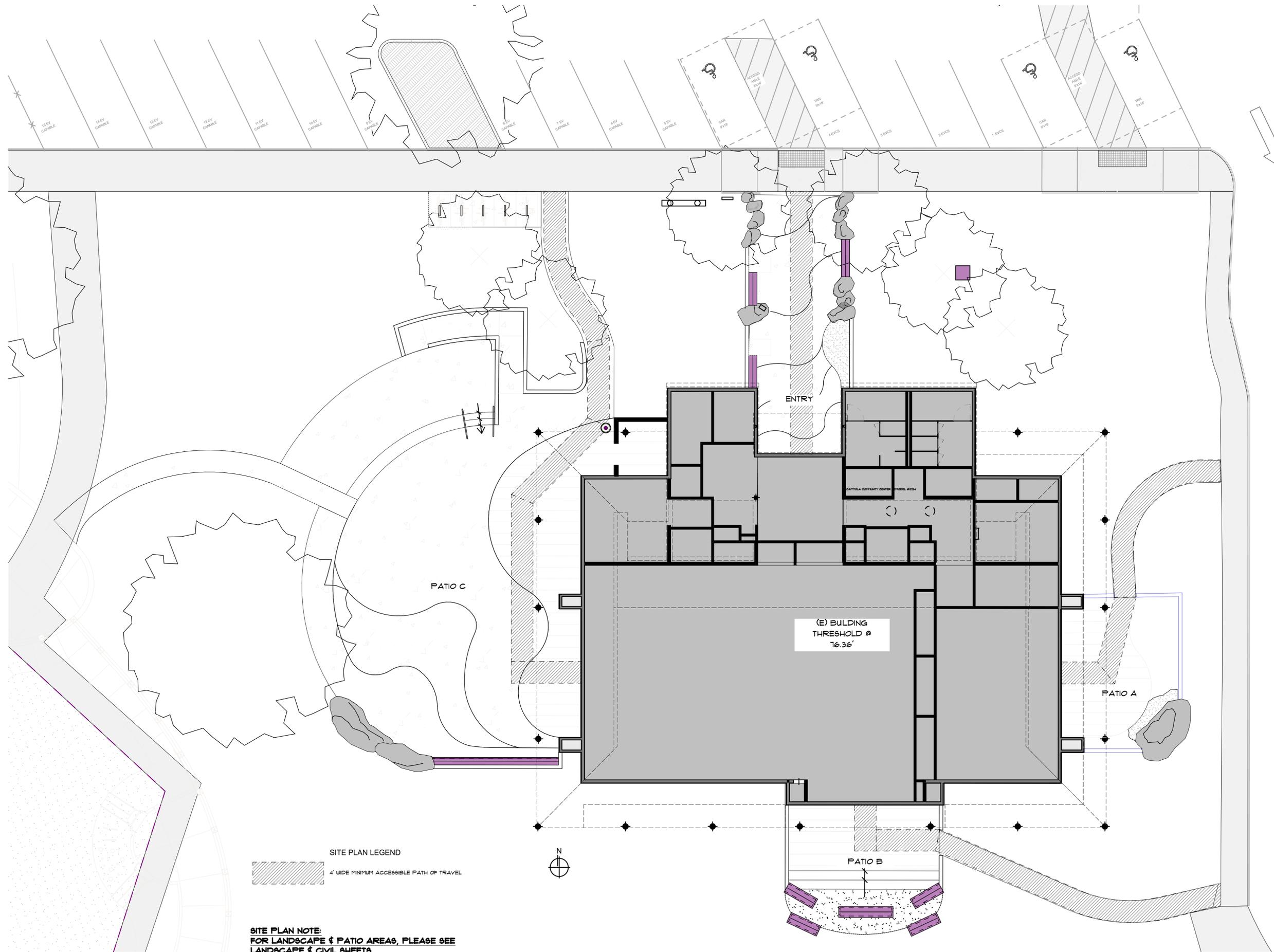
BY	REVISIONS	DATE
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MINOR DESIGN PERMIT SET		10/03/23
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A2.0

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SITE PLAN



SITE PLAN LEGEND
 4' WIDE MINIMUM ACCESSIBLE PATH OF TRAVEL

SITE PLAN NOTE:
 FOR LANDSCAPE & PATIO AREAS, PLEASE SEE
 LANDSCAPE & CIVIL SHEETS

1 ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"

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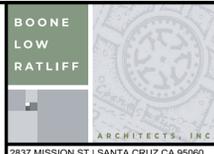
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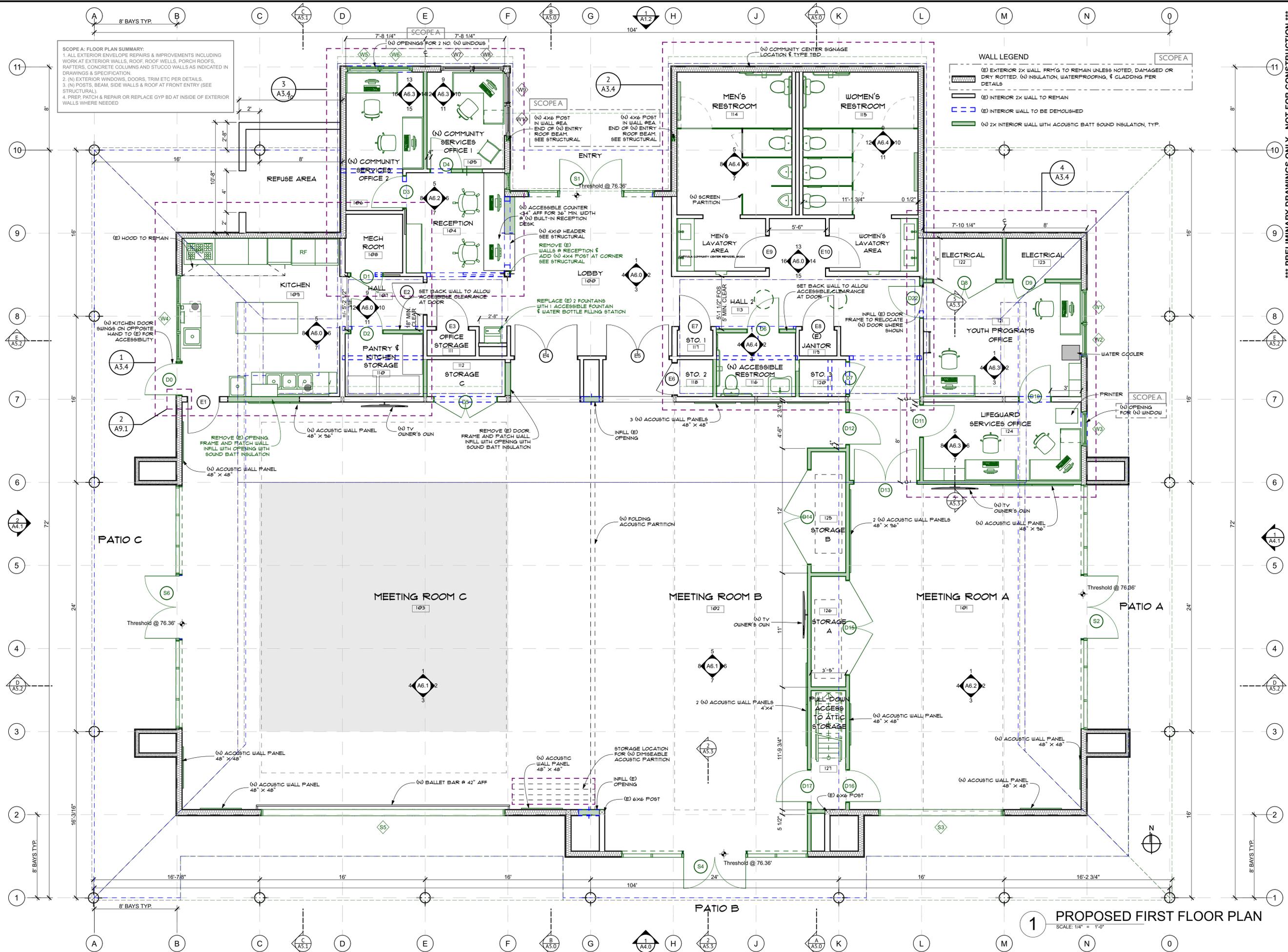
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PROPOSED FIRST FLOOR PLAN



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SEAL

OVER | BLUFFS | COMMUNITY | CONNECTION

AT | WHARF & BEACH | ACTIVITY & MOVEMENT

UNDER | OCEAN | CONTEMPLATION



BOONE
LOW
RATLIFF
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INTERIOR COLORS & FINISHES

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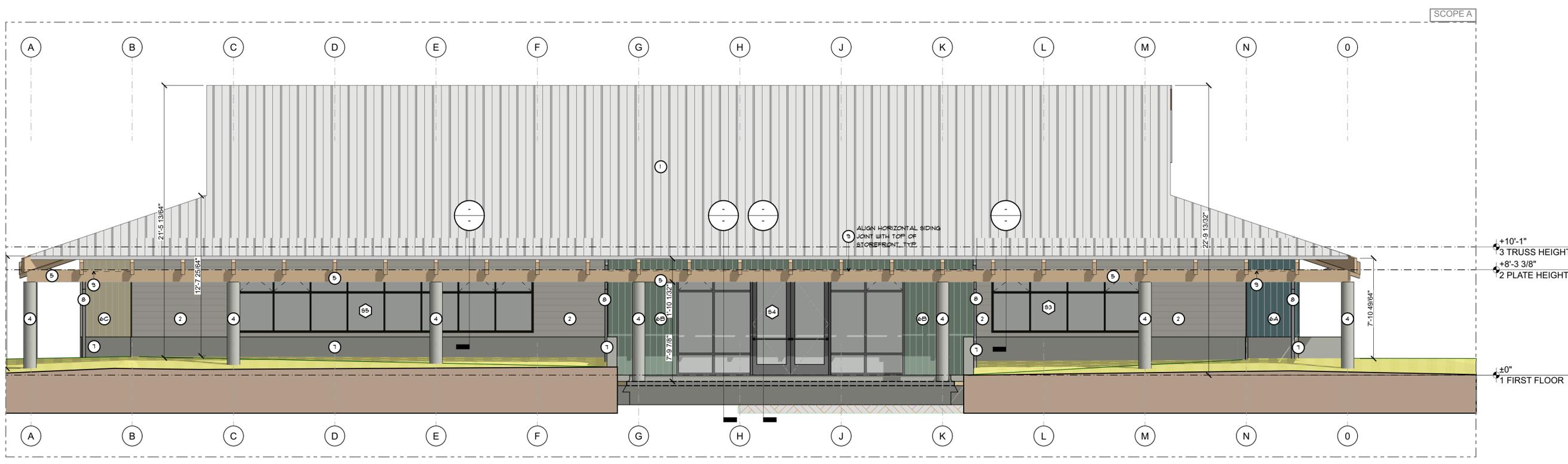
A4.0

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- EXTERIOR ELEVATION LEGEND**
- 1 STANDING SEAM METAL ROOF
 - 2 FIBER CEMENT 6" HORIZONTAL SIDING MODULE PANEL WHITE/ WARM GREY COLOR
 - 3 FIBER CEMENT 6" HORIZONTAL SIDING MODULE PANEL 'WOOD' FINISH, TBD, OR EQUAL
 - 4 EXPOSED CONCRETE COLUMNS, SANDBLAST (E) TO EXPOSE
 - 5 WOOD RAFTERS AND BEAMS WITH METAL CAPS
 - 6 FIBER CEMENT 6" VERTICAL SIDING, PAINT FINISH, COLORS SHOWN ON A8.3: COLOR 6A AT EXTERIOR PATIO A, COLOR 6B AT EXTERIOR PATIO B AND ENTRY WALL, COLOR 6C AT EXTERIOR PATIO C.
 - 7 (E) STUCCO WALL TO BE REPAIRED AND REPAINTED
 - 8 (N) 2" DIAMETER GALVANIZED STAINLESS STEEL DOWNSPOUTS AT FACE OF BUILDING, PAINT TO MATCH ADJACENT SIDING COLOR.
 - 9 (N) HORIZONTAL SIDING JOINT LOCATION ALIGN WITH TOP OF STOREFRONT, TYP. UNLESS NOTED



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

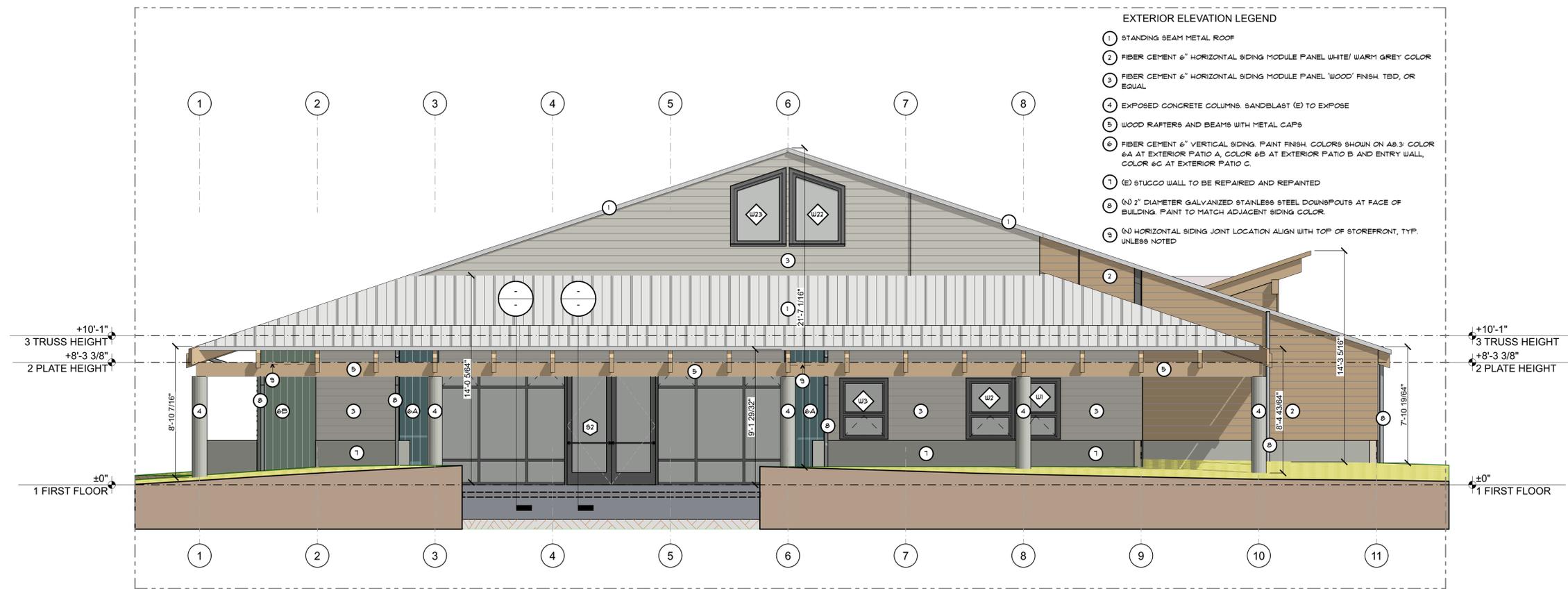


1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SCOPE A: EXTERIOR ELEVATIONS SUMMARY:
 *ALL WORK SHOWN IS INCLUDED IN SCOPE A
 1. ALL EXTERIOR ENVELOPE REPAIRS & IMPROVEMENTS INCLUDING WORK AT EXTERIOR WALLS, ROOF, ROOF WELLS, PORCH ROOFS, RAFTERS, CONCRETE COLUMNS AND STUCCO WALLS AS INDICATED IN DRAWINGS & SPECIFICATION.
 2. (N) EXTERIOR WINDOWS, DOORS, TRIM ETC PER DETAILS.
 3. (N) POSTS, BEAM, SIDE WALLS & ROOF AT FRONT ENTRY (SEE STRUCTURAL).
 4. REPLACE (E) BUILT-UP FLAT ROOFS AT WELLS WITH (N) SINGLE-PLY MEMBRANE COOL ROOF PER DETAILS.
 5. EXTEND EAVES TO COVER RAFTER ENDS, TYP. WHERE SHOWN PER DETAILS.
 6. (N) STANDING SEAM ROOF, UNDERLAYMENTS, FLASHING, INSULATION, GUTTERS & DOWNSPOUTS PER DRAWINGS.

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PROPOSED EXTERIOR VIEWS



VIEW FROM SW CORNER



VIEW FROM SE CORNER

SCOPE A: EXTERIOR COLOR & FINISHES SUMMARY:
*COLORS AND FINISHES SHOWN ON THIS SHEET RELATE TO WORK INCLUDED IN SCOPE A

PROPOSED EXTERIOR FINISHES



(N) STANDING SEAM ROOF

CLEAN LIGHT GREY HORIZONTAL SIDING

WOOD RAFTERS & BEAMS

'WOOD' FIBER-CEMENT SIDING AT ENTRY

BLACK FRAME WINDOWS & DOORS

CONCRETE PIERS

COLOR ACCENTS AT ENTRIES



VIEW OF SOUTH PATIO B



VIEW OF NORTH ENTRY

EXISTING EXTERIOR VIEWS



COLOR BOARD & MATERIALS

STANDING SEAM METAL ROOF:
OCEAN



"SPRUCE"
VINTAGE WOOD SERIES- NICHIIHA
FIBER CEMENT SIDING
CAPITOLA WHARF



GREY FIBER CEMENT SIDING
CAPITOLA WHARF

SAND BLASTED CONCRETE COLUMNS
CAPITOLA WHARF

HIGHLIGHT PAINT COLORS AT PATIO DOORS

PATIO A
(PAINT COLOR 6A)
OCEAN/
CONTEMPLATION

PATIO B & ENTRY WALL
(PAINT COLOR 6B)
WHARF/ BEACH

PATIO C
(PAINT COLOR 6C)
BLUFFS/ COMMUNITY

MILGARD, OR EQUAL ALUMINIUM WINDOWS
BRONZE ANODIZED



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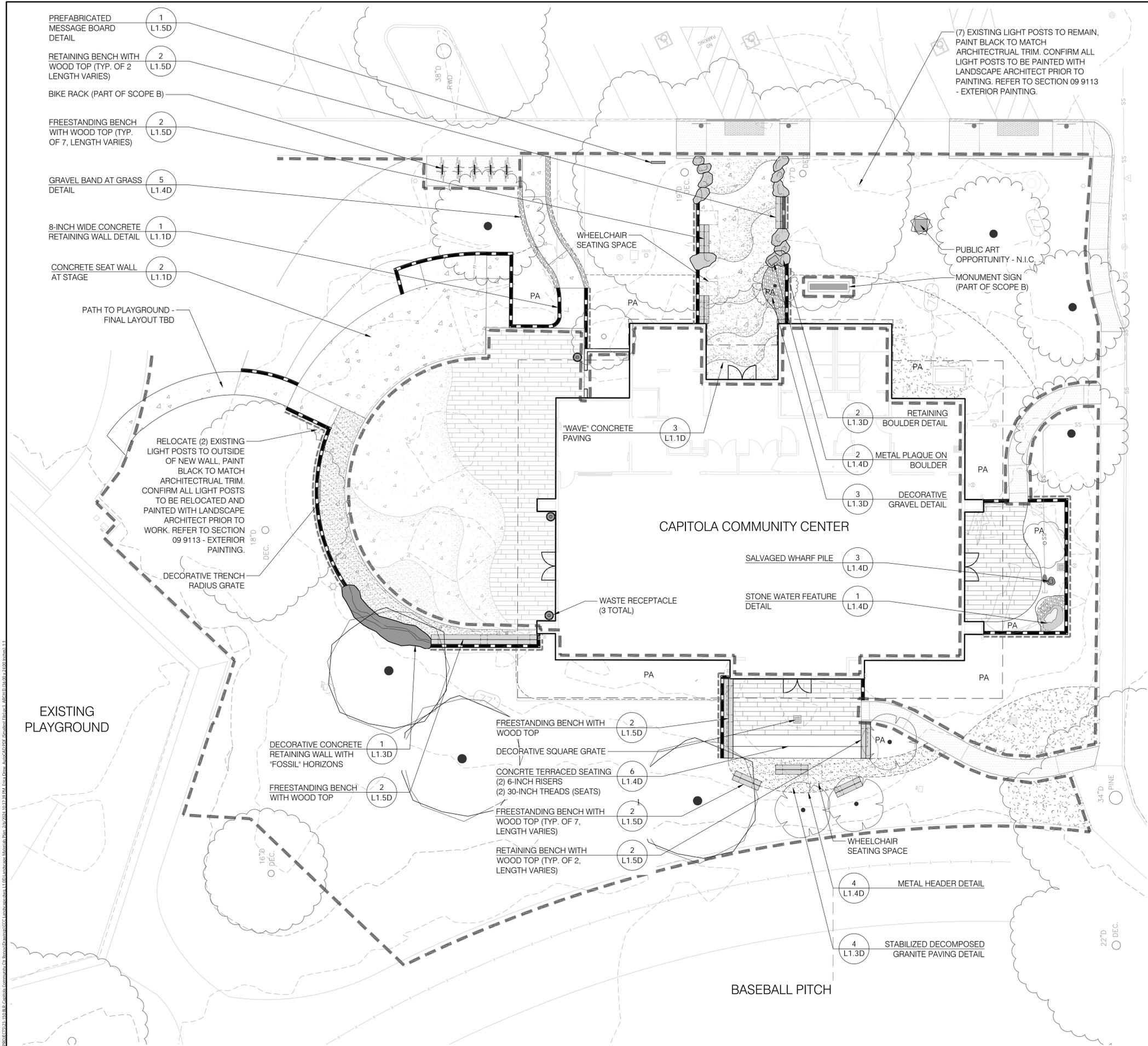
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EXTERIOR COLORS & FINISHES



LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF WORK
	EXISTING TREE TO REMAIN
	MAJOR CONTOUR, EXISTING
	MINOR CONTOUR, EXISTING
	ROOF OVERHANG, REFER TO ARCHITECTURAL DRAWINGS
	METAL HEADER
	TREE, REFER TO PLANTING PLAN
	PLANTING AREA, REFER TO PLANTING PLAN
	8-INCH WIDE RETAINING WALL, HEIGHTS VARY
	RETAINING BOULDERS, 2'-0" TO 5'-0" DIA.
	DECORATIVE CONCRETE RETAINING WALL WITH "FOSSIL" HORIZONS
	BIKE RACKS (PART OF SCOPE B)
	WASTE RECEPTACLE (3 TOTAL)
	LIGHT POST
	DECORATIVE IRON DRAIN GRATES (2 TOTAL), REFER TO CIVIL PLANS (1) RADIUS (1) SQUARE LINEAR (PART OF SCOPE B)
	CONCRETE PAVING, SEE NOTE 4, THIS SHEET • SAWCUT JOINTS • MEDIUM BROOM FINISH
	"WAVE" CONCRETE PAVING • INTEGRAL COLOR • CURVED COLD JOINTS • SALT FINISH
	"PLANK" CONCRETE PAVING • LINEAR TOOLED JOINTS AT 12" W X 48" TO 60" L • RUNNING BOND RANDOM PATTERN • INTEGRAL COLOR, BROWN, TBD • MEDIUM BROOM FINISH
	DECORATIVE GRAVEL
	3-INCH LAYER WOOD CHIP MULCH, SECTION 32 9300 - PLANTING MATERIALS
	STABILIZED DECOMPOSED GRANITE
	GRAVEL BAND AT GRASS

NOTES:
 1. REFER TO CIVIL DRAWINGS FOR CONCRETE, BASE, REINFORCING, AND JOINT DETAILS, AND SECTION 32 1313 - CONCRETE PAVING.



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE		
NO.	DATE	DESCRIPTION
1	10/03/2023	MINOR DESIGN PERMIT
2	10/27/2023	50% CD
3	01/31/2024	90% CD - REDUCTAL TERRACE
4		
5		
6		

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California Landscape Architect License 3163	

PROJECT:	CAPITOLA COMMUNITY CENTER 4400 JADE STREET, CAPITOLA CA
SHEET TITLE:	LANDSCAPE MATERIALS PLAN

SCALE:	1" = 10'-0"
DRAWN BY:	ND/ED
DATE:	01/31/2024

L1.0D