

EXTERIOR RENDERING (FOR REFERENCE ONLY)



GENERAL NOTES & REQUIREMENTS

- THE ARCHITECT DISCLAIMS RESPONSIBILITY FOR ANY EXISTING CONDITIONS, INCLUDING THE EXISTING STRUCTURE, SITE CONDITIONS OR OTHER EXISTING CONSTRUCTION ELEMENTS (WHEN AVAILABLE) AND FOR ANY DRAWINGS OR OTHER DOCUMENTS RELATED TO THIS PROJECT WHICH DO NOT BEAR THE ARCHITECT'S SEAL AND SIGNATURE. SERVICES ARE PROHIBITED SOLELY FOR THE ARCHITECT'S CLIENT - NO OBLIGATION OR RESPONSIBILITY IS ASSUMED FOR THE BENEFIT OF ANY OTHER ENTITY INVOLVED IN THE CONSTRUCTION WORK.
- PROVIDE (FURNISH & INSTALL) ALL PRODUCTS, MATERIALS, EQUIPMENT OR ACCESSORIES REQUIRED FOR PROPER OPERATION AND USE, IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS, EXCEPT AS NOTED. OTHER RELATED DOCUMENTS AFFECTING THE WORK DESCRIBED IN THESE DRAWINGS MAY INCLUDE: GEOTECHNICAL RECOMMENDATIONS, MANUFACTURER'S PRODUCT DATA AND INSTALLATION DRAWINGS.
- STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND OTHER RELATED DOCUMENTS WITH THE EXISTING CONDITIONS AND FIELD VERIFY EXISTING DIMENSIONS BEFORE STARTING CONSTRUCTION WORK. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED FOR CLARIFICATION. WHILE PREPARATION WITH CARE AND DILIGENCE, PERFECTION IS NOT POSSIBLE AS EVERY POSSIBLE CONDITION OR CONTINGENCY CANNOT BE ANTICIPATED OR FULLY SHOWN WITHIN THE CONSTRUCTION DOCUMENTS. FAILURE TO REVIEW OTHER DOCUMENTS DOES NOT RELIEVE ANY CONTRACTUAL OBLIGATION TO PROVIDE COMPLETE OR OTHERWISE FUNCTIONAL AND OPERABLE BUILDING COMPONENTS OR A USEABLE BUILDING FACILITY.
- COMPLY WITH LAWS, CODES & ORDINANCES OF AUTHORITY HAVING JURISDICTION AND WITH REQUIREMENTS OF THE CLIENT, OWNER, DEVELOPER OR LANDLORD AS APPLICABLE.
- DO NOT SCALE THESE DRAWINGS.
- APPLICATION OF A MATERIAL OR EQUIPMENT ITEM TO WORK INSTALLED BY OTHERS CONSTITUTES ACCEPTANCE OF THAT WORK AND ASSUMPTION OF RESPONSIBILITY FOR SATISFACTORY INSTALL.
- PROVIDE EACH SUB-CONTRACTOR WITH A COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR THEIR USE AND REFERENCE AND VERIFY THEIR RECEIPT UPON REQUEST.
- FILL AND PATCH EXPOSED HOLES OR CRACKS IN FLOOR OR WALL SURFACES AND FINISH LEVEL, SMOOTH AND FLUSH WITH ADJACENT SURFACES.
- COORDINATE AND VERIFY CLEARANCES REQUIRED OF PRODUCTS AND EQUIPMENT FOR DELIVERY, INSTALL, USE AND OPERATION.
- MAINTAIN DIMENSIONS INDICATED AS "HOLD" OR "CLEAR" ACCURATELY AS NOTED.
- BRACE PARTITIONS, CEILING, SOFFITS, PLATFORMS, SUSPENDED CONSTRUCTION AND SIMILAR ELEMENTS TO STRUCTURAL ELEMENTS - EVEN IF NOT INDICATED. DO NOT BRACE TO THE ROOF DECK, PLUMBING OR SPRINKLER PIPES, DUCTWORK, ELECTRICAL CONDUITS OR SIMILAR ELEMENTS.
- INSTALL FRAMING AND FURRING TO AVOID CONFLICTS OR INTERFERENCES WITH CONCEALED OR RECESSED MEP OR CONTROL COMPONENTS.
- TROWEL FINISH TOP & SIDES, CHASE INSIDE CORNERS, AND CHASE OUTSIDE CORNERS OF CONCRETE PADS OR EQUIPMENT BASES UNLESS NOTED OTHERWISE.
- REFERENCE FINISH / MATERIAL / COLOR SCHEDULE FOR EXPOSED FINISH OF BUILDING MATERIALS, WALLS, FLOORS, CEILING, DOORS, TRIM, CASEWORK, COUNTERTOPS AND SIMILAR CONSTRUCTION ELEMENTS.
- PROVIDE CONCEALED 2x6 MINIMUM WOOD BLOCKING WITH DRYWALL CONSTRUCTION FOR SECURE ANCHORAGE OF CASEWORK CABINETS, WALL-MOUNTED SHELVES, GRAB-BARS, DOOR STOPS, WOOD FRAMES, HANDRAILS / GUARDRAILS, TOILET ACCESSORIES AND SIMILAR ELEMENTS.
- PROVIDE PRESERVATIVE-TREATED WOOD BLOCKING WHEN IN CONTACT WITH MASONRY OR CONCRETE OR WHEN ASSOCIATED WITH ROOFING OR FLASHING WORK.
- PROVIDE MINIMUM 3/4" THICK FIRE-RESISTANT TREATED PLYWOOD AT ELECTRICAL OR PHONE/DATA PANELS.
- PROVIDE JOINT SEALS TO MAINTAIN A PERMANENT AIR-TIGHT, VERMIN AND WATERPROOF BUILDING ENCLOSURE THROUGHOUT THE PROJECT. PROVIDE ACOUSTICAL SEALANTS AT SOUND-RATED PARTITIONS, AS APPLICABLE.
- PROVIDE DOOR HANDLARS AT EACH SWINGING DOOR TO INCLUDE 3 INCHES LEVER LOCKSET, 3 FRAME SILencers HOLLOW METAL FRAME ONLY AND A WALL STOP MINIMUM IF NOT OTHERWISE SCHEDULED.
- LOCATE FUR IN CHANGES AND TRANSITIONS UNDER CENTERS OF DOORS, TYP.
- PAINT FINISH ALL EXPOSED SURFACES THROUGHOUT THE BUILDING UNLESS PRE-FINISHED OR INTEGRALLY FINISHED OR WHERE A NATURAL FINISH IS INDICATED.
- PAINT FINISH ELECTRICAL & CONTROL PANELS WHEN NOT LOCATED WITH ELECTRICAL, MECHANICAL ROOMS OR GARAGE SPACES.
- PROTECT CONCRETE SLAB AT GROUND LEVEL FROM PAINT, DRYWALL TEXTURE AND ALL CONSTRUCTION DEBRIS WITH RAM BOARD OR SIMILAR PRODUCT - TAPE ALL JOINTS. DRYWALL AND PAINTERS SHOULD CLEAN OFF ANY EXCESS (TYP.)
- PROVIDE PERMANENTLY WIRED IN-SMoke DETECTORS WITH BATTERY BACKUP POWER IN EACH SLEEPING ROOM, IN A CENTRAL LOCATION TO PROTECT SLEEPING AREAS, AND ON EACH STORY IN BASEMENTS (SEE 310.9)
- GLAZING ADJACENT TO DOORS OR ADJACENT TO A WALKING SURFACE OR A STAIR LANDING MUST BE OF SAFETY GLAZING MATERIAL (SEE 246 AND BNL 24-1).
- PROVIDE HANDRAILS PER CRC SECTION R311.7.8 AND GUARDRAILS PER CRC SECTION R312.
- REQUIRED EXIT DOORWAYS SHOULD BE NOT LESS THAN 36" IN WIDTH CLEAR AND NOT LESS THAN 6'-6" IN HEIGHT CLEAR. NO DOOR LEAF SHOULD EXCEED 4" IN WIDTH. (SEE: 1004.4, 1004.7, 1004.8)
- PROVIDE MIXING VALVES AT SHOWERS PER UPC (SEE: 410.7)
- WATER HEATERS / BOILERS TO COMPLY WITH SEC. 508.5 UPC 34 FOR THERMAL EXPANSION
- PROVIDE 30 INCHES CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24 INCHES CLEARANCE IN FRONT OF WATER CLOSETS (SEE: 2409)
- DOORS IN THE MEANS OF EGRESS SYSTEM TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER PULVES, PULL BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOP UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- BATHUBS AND SHOWER FLOORS, WALLS ABOVE BATHUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE (R308)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED ON ACCORDANCE WITH UL 308.
- SMoke DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONAL, EXCEEDING ONE THOUSAND DOLLARS (\$1,000) (R314.6.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R301.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AVERAGE ILLUMINATION OF FLOOR CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R301.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- ADDITIONAL NOTES:**
- APPROVED PLANS ARE REQUIRED ON JOB SITE. A COPY OF THE STAMPED SET OF BLUE PLANS AND THE STAMPED PLANS WILL BE REQUIRED TO BE ON THE JOB SITE FOR ALL INSPECTIONS. PARTIAL SETS ARE NOT ACCEPTABLE. FAILURE TO PROVIDE THE STAMPED PLANS ON THE JOB SITE FOR THE INSPECTOR'S USE MAY RESULT IN A DISAPPROVED INSPECTION AND ASSESSMENT OF REVISION FEES.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFR, CR22, AND CFR FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR TO REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

GEOTECHNICAL REPORT
ALL WORK TO COMPLY WITH RECOMMENDATIONS OF GEOTECHNICAL REPORT PERFORMED BY DEES & ASSOCIATES, INC. PROJECT # SCR-1888, AUGUST 2024.

VICINITY MAP (NOT TO SCALE)



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PROJECT DATA & SCOPE OF WORK

SCOPE OF WORK:	COMPLETE DEMOLITION OF EXISTING SFR. PROPOSED NEW CONSTRUCTION OF 1,881 SF 2-STORY SFR W/ ATTACHED 1-CAR GARAGE (3,042.63) EXISTING SFR W/ ATTACHED GARAGE (110 BE DEMOLISHED) EXISTING FIRE SPRINKLERS: 569 SF PROPOSED FIRE SPRINKLERS: NO QUANTITIES TSD BY GRADING PLAN, PER GEOTECH REPORT	
PROJECT DATA		
ZONING	R-1	
LOT DIMENSIONS		
LENGTH	80'	
WIDTH	41.99' (42')	
AREA	3,360 SF (0.08 ACRE)	
FLOOR AREA RATIO		
MAX FAR	1,881.6 SF (0.56 x 3,360) [1,881 SF PROPOSED]	
SETBACKS		
FRONT YARD (GARAGE)	20'	
FRONT YARD (GROUND FLR)	15'	
FRONT YARD (2ND STORY)	20'	
REAR YARD	16' (20% DEPTH: 80' x 0.20)	
INTERIOR SIDE YARD (GROUND FLR)	4.2' (10% WIDTH: 42' x 0.10)	
INTERIOR SIDE YARD (2ND STORY)	6.3' (15% WIDTH: 42' x 0.15)	
NOTE:	20% OF 2ND STORY WALL MAY BE @ SAME SETBACK AS FIRST IF MINIMUM 4' FROM PROPERTY LINE	
2ND STORY DECKS + BALCONIES		
FAR	COUNTS IF GREATER THAN 150 SF	
FRONT YARD SETBACK	20'	
REAR YARD SETBACK	20' (25% DEPTH: 80' x 0.25)	
INTERIOR YARD SETBACK	10'	
NOTE:	MAY NOT PROJECT MORE THAN 6'	
NOTE:	ROOF DECKS PROHIBITED IN R-1 ZONE	
PARKING		
REQUIRED PARKING	2 TOTAL, 1 COVERED (1,501 SF - 2,000 SF)	
DRIVEWAY WIDTH (MAX)	16.8' (40% WIDTH: 42' x 0.40)	
COVERED PARKING DIMENSIONS	MIN. 10' x 20' (MEASURED FROM INT. WALLS)	
HEIGHT		
MAXIMUM ALLOWABLE HEIGHT	25' (22'-6" PROPOSED)	
PROJECT DIRECTORY		
OWNER: DEAN BARKER PHONE: 658-239-8782 EMAIL: DEAN.BARKER@GMAIL.COM	STRUCTURAL ENGINEER: RADOVAN CIVIL ENGINEERING, INC. CONTACT: ANDREW RADOVAN, P.E. PHONE: 831-459-7296 EMAIL: ANDREW@RADOVAN.US	GENERAL CONTRACTOR: SANTA CRUZ GREEN BUILDERS CONTACT: TAYLOR BODE PHONE: 831-419-0514 EMAIL: TAYLOR@SANTACRUZGREENBUILDERS.COM
ARCHITECT: TAYLOR BODE ARCHITECT, INC. CONTACT: TAYLOR BODE PHONE: 831-818-7681 EMAIL: TAYLORBODE@GMAIL.COM	ENERGY CONSULTANT: A PLUS GREEN ENERGY SERVICES CONTACT: JIM BLOMQUIST PHONE: 831-728-5503 EMAIL: FLETCHER.WAGGONER@GMAIL.COM	GEOTECHNICAL ENGINEER: DEES & ASSOCIATES, INC. CONTACT: BECCY DEES PHONE: 831-427-1770 E- OFFICE: DEESANDASSOCIATES.COM
DEFERRED SUBMITTALS		
1. SOLAR PHOTOVOLTAIC SYSTEM 2. FIRE SPRINKLER SYSTEM		
DEFERRED SUBMITTAL NOTES: A. PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL. B. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. C. THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL, WITH ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.		
BUILDING CODE DATA		
2022 CALIFORNIA BUILDING CODE (CBC) AND/OR CALIFORNIA RESIDENTIAL CODE (CRC) AS APPLICABLE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CEEES) Section R106.1 CITY OF CARPINTERIA ZONING ORDINANCE, MUNICIPAL CODE, AND AMENDMENTS		



Prepared by Taylor Bode

Signd

Date 09/04/2024

Rev. No. **Date**

01 11/05/2024



BARKER RESIDENCE
4750 JEWELL ST. CARPINTERIA, CA 94906
DEAN BARKER

TITLE SHEET

APN 034-064-03

G-001

SURVEYOR NOTES

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT WITH REGARD TO ANY RECORDED EASEMENTS OR RIGHTS OF WAY AFFECTING THE SUBJECT PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR. EASEMENTS SHOWN HEREON ARE BASED ON THE RECORDED MAPS AND DEEDS SHOWN ON THIS SURVEY. ONLY THE IMPROVEMENTS THAT WERE EVIDENT FROM A VISUAL INSPECTION OF THE PROPERTY ARE SHOWN ON THIS SURVEY. THE UTILITY LINE, SIZE, DIRECTIONS AND TYPES SHOWN HEREON ARE BASED UPON ABOVE GROUND SURFACE EVIDENCE. THE SURVEYOR CAN NOT ATTEST TO THE EXACT LOCATION, SIZE, TYPE OR DIRECTION OF UNDERGROUND LINES SHOWN HEREON. OTHER UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST. THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOULD BE INDEPENDENTLY VERIFIED PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION.

ABBREVIATIONS

AC	ASPHALT CONCRETE	MON	MONUMENT
APN	ASSESSOR'S PARCEL NUMBER	MTR	METER
BLDG	BUILDING	NL	NAIL
BRS	BRASS	NT	NO TAG
CALC	CALCULATED	OH	OVERHEAD
CALC	CALCULATED	PL	PLUS OR MINUS
CNC	CENTERLINE	PLA	PLANTING AREA
CNC	CONCRETE	PM	PARCEL MAP
DOC#	DOCUMENT NUMBER	PLA	PLANTING AREA
DWY	DRAINWAY	PM	PARCEL MAP
ELEC	ELECTRIC	RCE	REGISTERED CIVIL ENGINEER
EP	EDGE OF PAVEMENT	RSE	ROSE
FC	FACE OF CURB	S/O	SHUT-OFF
FD	FOUND	SLOD	SLOD
FS	FINISH SLAB	SPK	SPRING
FW	FACE OF WALL	ST	STREET
GAR	GARAGE	TC	TOP OF CURB
IB	IRON PIPE	THRS	THRESHOLD
IP	IRON PIPE	TP	TOP OF STEP
JP	JOINT POLE	TM	TOP OF WALL
LS	LAND SURVEYOR	W	WITH
M	MAGNETIC	WM	WATER METER
MAG	MAGNETIC	WTR	WATER

LEGEND

	BENCHMARK
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	FENCE LINE
	HOSE BIBB
	JOINT POLE
	MONUMENT - BASIS OF BEARINGS
	OVERHEAD LINE
	PROPERTY LINE
	SET RANDOM NAIL
	SPOT ELEVATION
	TREE AS NOTED

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF
OVERHEAD ELECTRIC LINES PER GOOGLE MAP OBSERVATIONS

RECORD DATA

(100') RECORD DATA PER 18-PM-40
(100') RECORD DATA PER 48-PM-53
(100') RECORD DATA PER 66-M-12

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS SANTA CRUZ COUNTY BENCHMARK 62A DESCRIPTION: LOCATED IN THE JEWEL BOY AREA OF CAPITOLA IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF 49TH AVE AND OPAL STREET, 5003 BRASS CAP SET ATOP THE WESTERN CURB METERS, FROM WHICH A WATER VALVE BEARS NORTHERLY, 8.10 FEET; AND A FIRE HYDRANT BEARS SOUTHEASTERLY, 12.10 FEET.

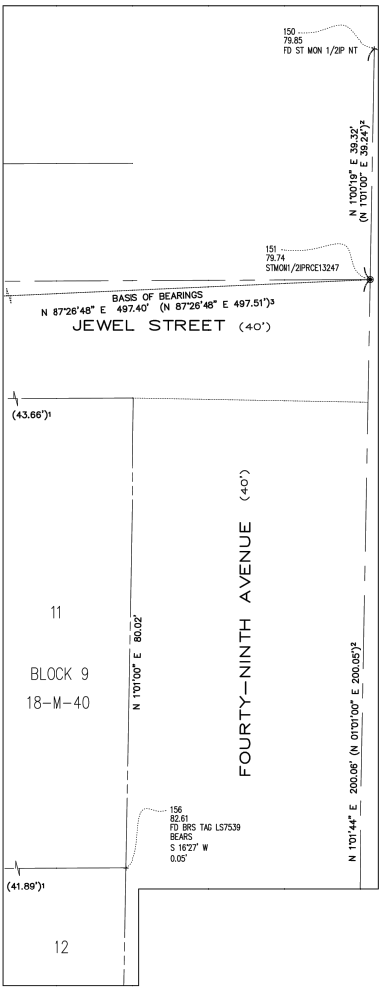
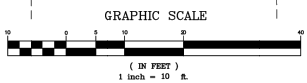
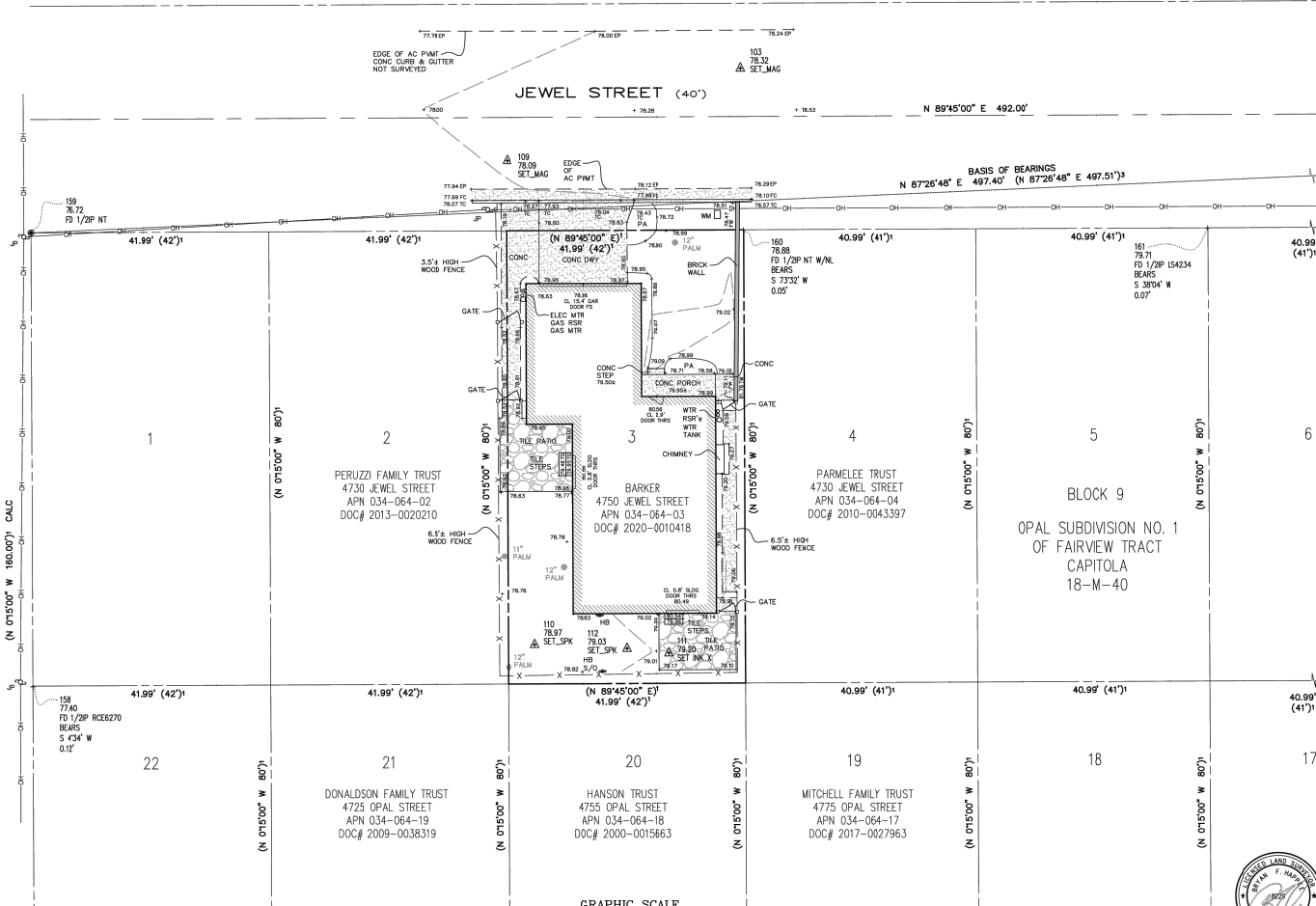
ELEV = 78.87 (NAV088)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A 1/2" IP, NO TAG FOUND AT THE NORTHWESTERN CORNER OF BLOCK 9, 18-M-40, AND A 1/2" IP, RISE 1324.7, FOUND IN A MONUMENT WELL AT THE INTERSECTION OF FORTY-NINTH AVENUE AND JEWEL STREET, AS SHOWN ON THE MAP ENTITLED "RECORD OF SURVEY OF LOTS 6, 7, 8," FILED IN VOLUME 86 OF MAPS AT PAGE 12, SANTA CRUZ COUNTY RECORDS, = N 87°46'28" E

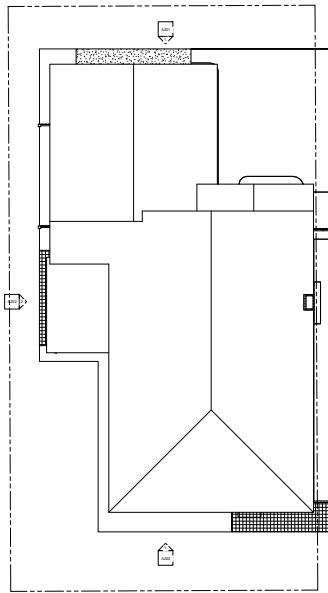


FOURTY-SEVENTH AVENUE (40')

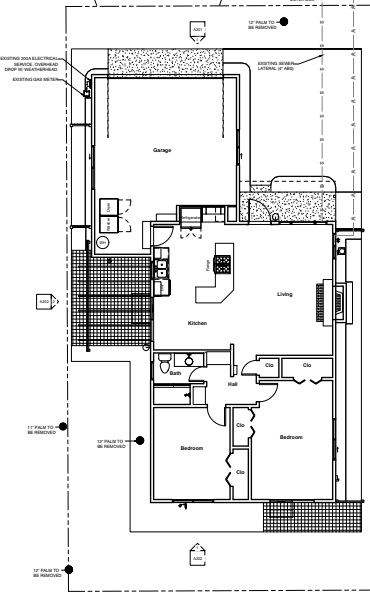


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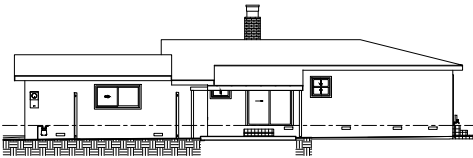
APN 034-064-03		REVISIONS	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SQUILLA, CA 95073 (925) 458-2960		TOPOGRAPHIC MAP & BOUNDARY SURVEY DEAN BARKER 4740 JEWEL STREET CASTILLA, CALIFORNIA DOC# 2020-0010418	
SCALE 1" = 10'	DRAWN DLN	JOB NO. 29214	SHEET
DATE SEPTEMBER 25, 2023	CHECKED BFH	INDEX ROBEO RANCHO 3D	TP-1
DESIGN	DWG NAME 29214TPO	FILE NO. 29214	OF 1



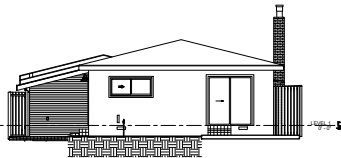
1 | SITE PLAN [AS-BUILT]
SCALE: 1/16"=1'-0"



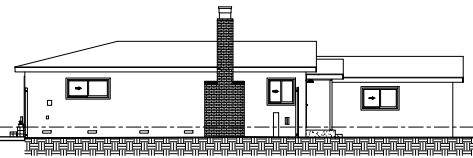
2 | FLOOR PLAN [AS-BUILT]
SCALE: 1/16"=1'-0"



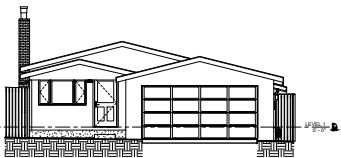
3 | WEST ELEVATION [AS-BUILT]
SCALE: 1/8"=1'-0"



4 | SOUTH ELEVATION [AS-BUILT]
SCALE: 1/8"=1'-0"



5 | EAST ELEVATION [AS-BUILT]
SCALE: 1/8"=1'-0"



6 | NORTH ELEVATION [AS-BUILT]
SCALE: 1/8"=1'-0"

DEMOLITION NOTES

- EXISTING STRUCTURE, COVERED PATIO, AND ALL HARDSCAPE TO BE ENTIRELY DEMOLISHED.
- EXISTING GAS SERVICE TO BE RELOCATED PER PROPOSED SITE PLAN.

SITE DATA	AREA (SQ. FT.)
LOT DIMENSIONS	
LENGTH	87'
WIDTH	41.59' (42')
AREA	3,596 SF (8.08 ACRES)
FLOOR AREA RATIO	
MAX FIVE	181.8 SF (0.56 X 3,386)
EXISTING DRIVEWAY (CONCRETE)	148
EXISTING PATIO (CONCRETE)	342
IMPERVIOUS AREA (EXISTING)	1,759
LANDSCAPE AREA (EXISTING)	1,981 (48%)

SITE PLAN GENERAL NOTES

- PROJECT PROPOSES COMPLETE DEMOLITION OF EXISTING SFRI AND ATTACHED GARAGE.
- NO VARIANCE APPROVALS ARE REQUIRED FOR THIS SCOPE OF WORK. ALL NEW WORK FALLS WITHIN THE PARAMETERS OF ESTABLISHED SETBACKS.
- NO LANDSCAPE LIGHTING IS PROPOSED. EXTERIOR LIGHTING IS LIMITED TO THAT WHICH IS CODE REQUIRED AT EXTERIOR DOOR LOCATIONS. SEE ILLUSTRATIONS.
- VERIFY ALL GRADES/ TOPOGRAPHY W/ DESIGN INTENT AND NOTIFY ARCHITECT OF ANY ISSUES THAT MAY REQUIRE ADDITIONAL STAIRS, RETAINING WALLS, ETC.
- THE LOCATION OF UTILITIES, LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.
- A NATURAL DRAINAGE WAY DOES NOT CROSS THE PROPERTY AT THE LOCATION OF THE NEWLY PROPOSED CONST.
- THERE ARE NO STRUCTURES CLOSER THAN EXCAVATION DEPTH ON THE ADJACENT NORTH AND SOUTH PROPERTIES.
- FIELD VERIFY (FV) DIMENSIONS FOR EXISTING CONDITIONS.
- FIELD VERIFY (FV) ALL GRADING POINTS CALLED OUT ON THE GRADING PLAN. ALL GRADING POINTS ARE APPROXIMATIONS BASED ON SITE SURVEY. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO GRADING OF SITE. EXISTING EARTH TO SLOPE OUT AND AWAY FROM BUILDING PERIMETER. THE IN NEW DRIVEWAY PAVERS TO EXISTING SLOPE OF ALLEY AS REQUIRED FOR FLUSH AND SMOOTH TRANSITION TO ALLEY.
- NO PROPOSED WORK IN RIGHT OF WAY.

STORMWATER GENERAL NOTES

CONCRETE WASHOUT

CONTRACTOR SHALL ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS ILLEGAL TO WASH CONCRETE, SLURRY MORTAR, STUCCO, PLASTER AND THE LIKE INTO THE STORMWATER CONVEYANCE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION.

CONSTRUCTION SITE ACCESS
A STABILIZED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES EGRESS AND INGRESS TO PREVENT TRACKING DIRT OFF SITE. THIS SHALL INCLUDE USING MATERIAL SUCH AS GRAVEL AND/OR CORRUGATED STEEL PANELS/PLATES.

CONSTRUCTION VEHICLES
A SPECIFIC AREA AWAY FROM GUTTERS AND STORM DRAIN SHALL BE DESIGNATED FOR CONSTRUCTION VEHICLES PARKING. VEHICLE REFUELING, AND ROUTINE EQUIPMENT MAINTENANCE. ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.

EROSION CONTROL
EROSION CONTROL MUST BE PROVIDED FOR ALL EXPOSED SURFACES. SLOPED SURFACES ESPECIALLY SHALL BE PROTECTED AGAINST EROSION BY INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ADEQUATE GRASS COVER, VEGETATION, AND BONDED FIBER MATRIX.

NOTES:
1. NO EXCAVATION AND GRADING ACTIVITIES ARE ALLOWED DURING WET WEATHER.
2. DIVERSION DICES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES.
3. REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE PROJECTS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GROUND COVER. DO NOT REMOVE TREES OR SHRUBS UNNECESSARILY. THEY HELP DECREASE EROSION.

4. TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL PURPOSES. EROSION SHALL BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES TO SHIELD AND BIND THE SOIL.
5. PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE. ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE.
6. WATER USAGE FOR SOIL CONTROL SHALL BE MINIMIZED.

ON-SITE CONSTRUCTION MATERIAL STORAGE
STORED MATERIALS SHALL BE CONTAINED IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT FOR ALL FUEL STORED ON-SITE. ELIMINATE OR REDUCE POLLUTION OF STORMWATER FROM STOCKPILES KEPT ON-SITE. STOCKPILES MAY INCLUDE SOIL, FILLING MATERIALS, ASPHALT, CONCRETE, AGGREGATE BASE, ETC. STOCKPILES SHALL BE LOCATED AWAY FROM CONCENTRATED STORMWATER FLOWS AND STORM DRAIN INLETS. STOCKPILES SHALL BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND PROVIDED WITH A TEMPORARY SEDIMENT BARRIER AROUND THE PERIMETER AT ALL TIMES.

TRAINING
CONTRACTORS' EMPLOYEES WHO PERFORM CONSTRUCTION IN THE CITY OF SAN DIEGO SHALL BE TRAINED TO BE FAMILIAR WITH THE CITY OF SAN DIEGO STORMWATER POLLUTION CONTROL REQUIREMENTS. THESE BMP NOTES SHALL BE AVAILABLE TO EVERYONE WORKING ON SITE. THE PROPERTY OWNERS' AND THE PRIME CONTRACTOR MUST INFORM SUBCONTRACTORS ABOUT STORMWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.

WASTE MANAGEMENT
CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY DISPOSING OF ALL WASTE AND UNUSED CONSTRUCTION MATERIALS. DUMPING OF UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM INTO THE CONVEYANCE SYSTEM IS STRICTLY PROHIBITED. NO SEEPAGE FROM DUMPISTERS SHALL BE DISCHARGED INTO STORMWATER. BEANSHEDS SHALL BE PLACED AROUND DUMPISTERS TO DIVERT THE NATURAL STORM RUNOFF. DUMPISTERS SHALL BE CHECKED FREQUENTLY FOR LEAKS. DUMPISTER LIDS SHALL REMAIN CLOSED AT ALL TIMES. DUMPISTERS WITHOUT LIDS SHALL BE PLACED WITHIN STRUCTURES WITH IMPERVIOUS ROOFING OR COVERED WITH TARPIS IN ORDER TO AVOID RAIN CONTACT WITH ANY TRASH MATERIAL. MANY CONSTRUCTION MATERIALS, INCLUDING SOLVENTS, WATER-BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEARED VEGETATION CAN BE RECYCLED. NON-RECYCLABLE MATERIALS MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. POLLUTANTS SHALL BE KEPT OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE. PORTABLE TOILETS MUST BE IN GOOD WORKING ORDER AND CHECKED FREQUENTLY FOR LEAKS. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT AND LOCATE PORTABLE TOILETS AWAY FROM STORM DRAIN INLETS ON IMPERVIOUS SURFACES. ALL CONSTRUCTION DEBRIS SHALL BE KEPT AWAY FROM THE STREET, GUTTER, AND STORM DRAIN. CONTRACTOR MUST ROUTINELY CHECK AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM CONSTRUCTION SITE.

ENGINEERING NOTES

SITE PREPARATION:
OVER EXCAVATION AND RECOMPACTION TO BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS FROM GEOTECHNICAL REPORT & STRUCTURAL ENGINEERING DOCUMENTS.

DRAINAGE:
SURFACE DRAINAGE: POSITIVE DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE STRUCTURES AT A MINIMUM GRADIENT OF 3 PERCENT FOR 10 FEET (OR TO PROPERTY LINE), PER GEOTECHNICAL REPORT.

UTILITY:
CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) EROSION CONTROL MEASURES (E.G. BONDED FIBER MATRIX, VEGETATIVE COVER, JUTE MATTING) MUST BE IMPLEMENTED WHERE APPLICABLE TO PREVENT SOIL EROSION ON SITE. SEDIMENT CONTROL MEASURES (E.G. SILT FENON, FIBER ROLLS, FIBER ROLLS) SHALL BE PLACED TO PREVENT EROSION OF EXPOSED SOIL FROM LEAVING SITE. MATERIALS MANAGEMENT BMP MUST ALSO BE FOLLOWED TO ENSURE NO CONTACT OF RAINWATER WITH MATERIALS THAT MAY CONTRIBUTE TO WATER QUALITY DEGRADATION DOWNSTREAM (E.G. CONCRETE OR STUCCO WASHOUT AREAS, COVERED STORAGE AREAS FOR HAZARDOUS MATERIALS, PLACEMENT OF PORTABLE TOILETS OVER A PERVIOUS SURFACE).

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP): NO DIRECTLY CONNECTED IMPERVIOUS AREAS (DCA) SHALL BE ALLOWED. DCA MEANS STORM RUNOFF GENERATED AND CONVEYED VIA IMPERVIOUS AREAS, SUCH AS ROOF, ROOF DRAIN, DRIVEWAY, AND STREET. BMP MEASURES SHALL BE IDENTIFIED ON THE SITE PLAN.

MOST COMMON MEASURES ARE DESIGNATED TURF AREAS, WHICH RECEIVE ROOF DRAINS AND RUNOFF FROM IMPERVIOUS AREAS. TURF AND LANDSCAPE AREAS THAT ARE DESIGNED FOR BMPs SHALL BE DELINEATED ON PLANS AND A NOTE PLACED ON PLANS PROHIBITING MODIFICATION OR REMOVAL OF THE BMP LANDSCAPE AREAS WITHOUT A COUNTY PERMIT.

GRADING/IMPROVEMENT PLANS/PERMITS: IF A GRADING/IMPROVEMENT (E.G. LANDSCAPE OR STUCCO WASHOUT) AREAS, COVERED STORAGE AREAS FOR HAZARDOUS MATERIALS, PLACEMENT OF PORTABLE TOILETS OVER A PERVIOUS SURFACE). GRADING/IMPROVEMENT PLANS/PERMITS IF A GRADING/IMPROVEMENT (E.G. LANDSCAPE OR STUCCO WASHOUT) AREAS, COVERED STORAGE AREAS FOR HAZARDOUS MATERIALS, PLACEMENT OF PORTABLE TOILETS OVER A PERVIOUS SURFACE). IT SHALL SUPERSEDE ALL GRADING, DRAINAGE, ON-SITE, OFF-SITE, AND STORM WATER BEST MANAGEMENT PRACTICE IMPROVEMENTS CONTAINED IN THESE PLANS IN THE EVENT OF CONFLICT.

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1



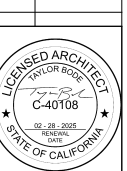
Prepared by Taylor Boie

Sign

Date 08/04/2024

Rev. No. 01

Date 11/05/2024



BARKER BINDER
4750 JEWEL ST. CARPENTERS, CA 95009
DEAN BARKER

DEMOLITION PLAN

APN 034-064-03

D-100

STANDING SEAM METAL ROOF
W/ EXPOSED RAFTER TAILS

REDWOOD SIDING:
1x6 T&G, LIGHT STAIN



METAL GUTTERS & DOWNSPOUTS TO MATCH ROOF

PALM TO BE REPLACED WITH STRAWBERRY TREE (OR SIMILAR)

ROOF: STANDING SEAM METAL

EXPOSED RAFTER TAILS

DOWN-FACING WALL-MOUNTED EXTERIOR LIGHTING

6' REDWOOD PERIMETER FENCING

GARAGE DOOR: WOOD, COLOR TO MATCH RAFTER TAILS

DRIVEWAY: APPROACH & DRIVEWAY PER CITY STANDARDS

STUCCO:
LIGHT COLORED
@ FIRST FLOOR

WINDOWS/DOORS:
LIGHT ALUMINUM
FRAMES

FENCING:
30" REDWOOD
FENCE @ STREET

Prepared by Taylor Boon

Signed

Date 09/04/2024

Rev. No.	Date
01	11/05/2024
-	-



BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

RENDERINGS:
MATERIAL BOARD

APH 034-004-03

R-001

Prepared by Taylor Boob

Signed

Date 08/04/2024

Rev. No. 01 Date 11/05/2024

Rev. No. 01 Date 11/05/2024

Rev. No. 01 Date 11/05/2024

Rev. No. 01 Date 11/05/2024

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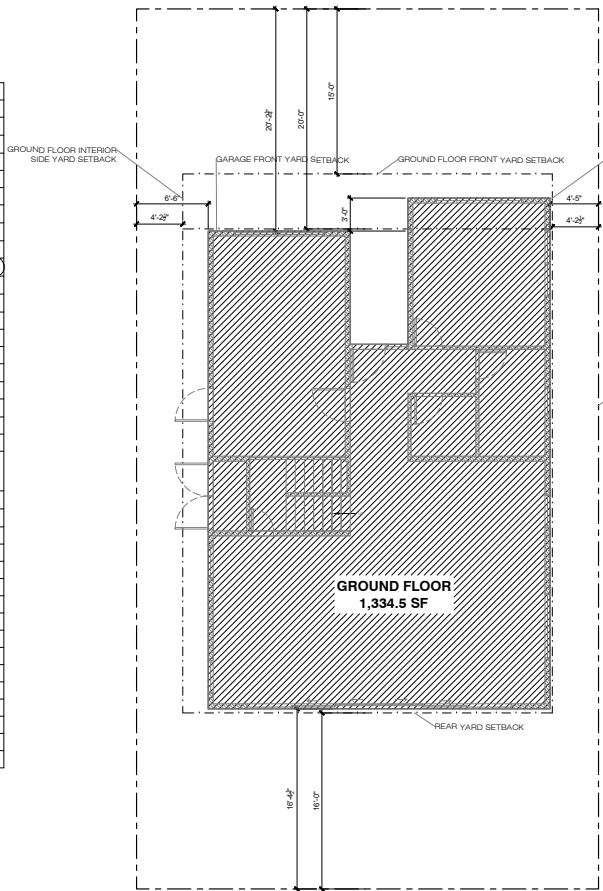
Rev. No. 01 Date 11/05/2024

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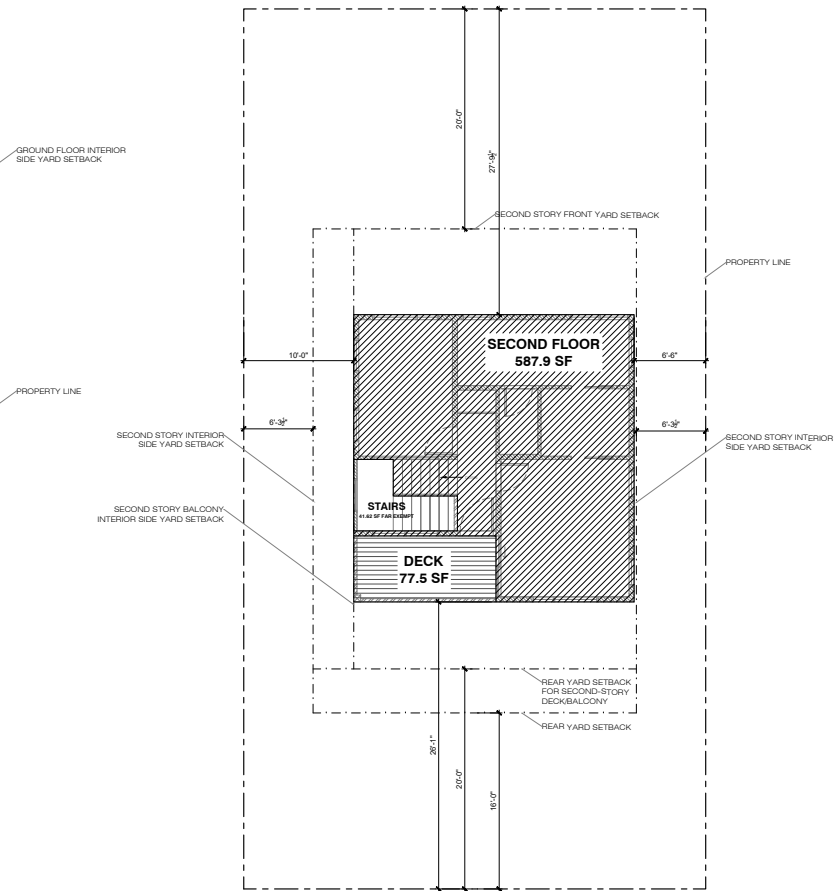
Rev. No. 01 Date 11/05/2024

Rev. No. 01 Date 11/05/2024

PROJECT DATA	
ZONING	R-1
LOT DIMENSIONS	
LENGTH	80'
WIDTH	41.99' (42')
AREA	3,360 SF (0.08 ACRE)
FLOOR AREA RATIO	
MAX ALLOWABLE FAR	1.8816 SF (0.56 x 3.360)
PROPOSED FAR	1.881 SF (1,334.5 + 546.28 SF)
SETBACKS	
FRONT YARD (GARAGE)	20'
FRONT YARD (GROUND FLR)	15'
FRONT YARD (2ND STORY)	20'
REAR YARD	16' (20% DEPTH: 80' x 0.20)
INTERIOR SIDE YARD (GROUND FLR)	4.2' (10% WIDTH: 42' x 0.10)
INTERIOR SIDE YARD (2ND STORY)	6.3' (15% WIDTH: 42' x 0.15)
NOTE:	20% OF 2ND STORY WALL MAY BE @ SAME SETBACK AS FIRST IF MINIMUM 4' FROM PROPERTY LINE
2ND STORY DECKS + BALCONIES	
FAR	COUNTS IF MORE THAN 150 SF (123 SF PROPOSED)
FRONT YARD SETBACK	20'
REAR YARD SETBACK	20' (25% DEPTH: 80' x 0.25)
INTERIOR YARD SETBACK	10'
NOTE:	MAY NOT PROJECT MORE THAN 6'
NOTE:	ROOF DECKS PROHIBITED IN R-1 ZONE
PARKING	
REQUIRED PARKING	2 TOTAL, 1 COVERED (1,501 SF - 2,000 SF)
DRIVEWAY WIDTH (MAX)	16.8' (40% WIDTH: 42' x 0.40)
COVERED PARKING DIMENSIONS	MIN. 10' x 20' (MEASURED FROM INT. WALLS)
HEIGHT	
MAXIMUM ALLOWABLE HEIGHT	25' (22'-6" PROPOSED)



1 | GROUND FLOOR
SCALE: 3/16"=1'-0"



2 | SECOND FLOOR
SCALE: 3/16"=1'-0"

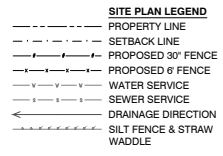
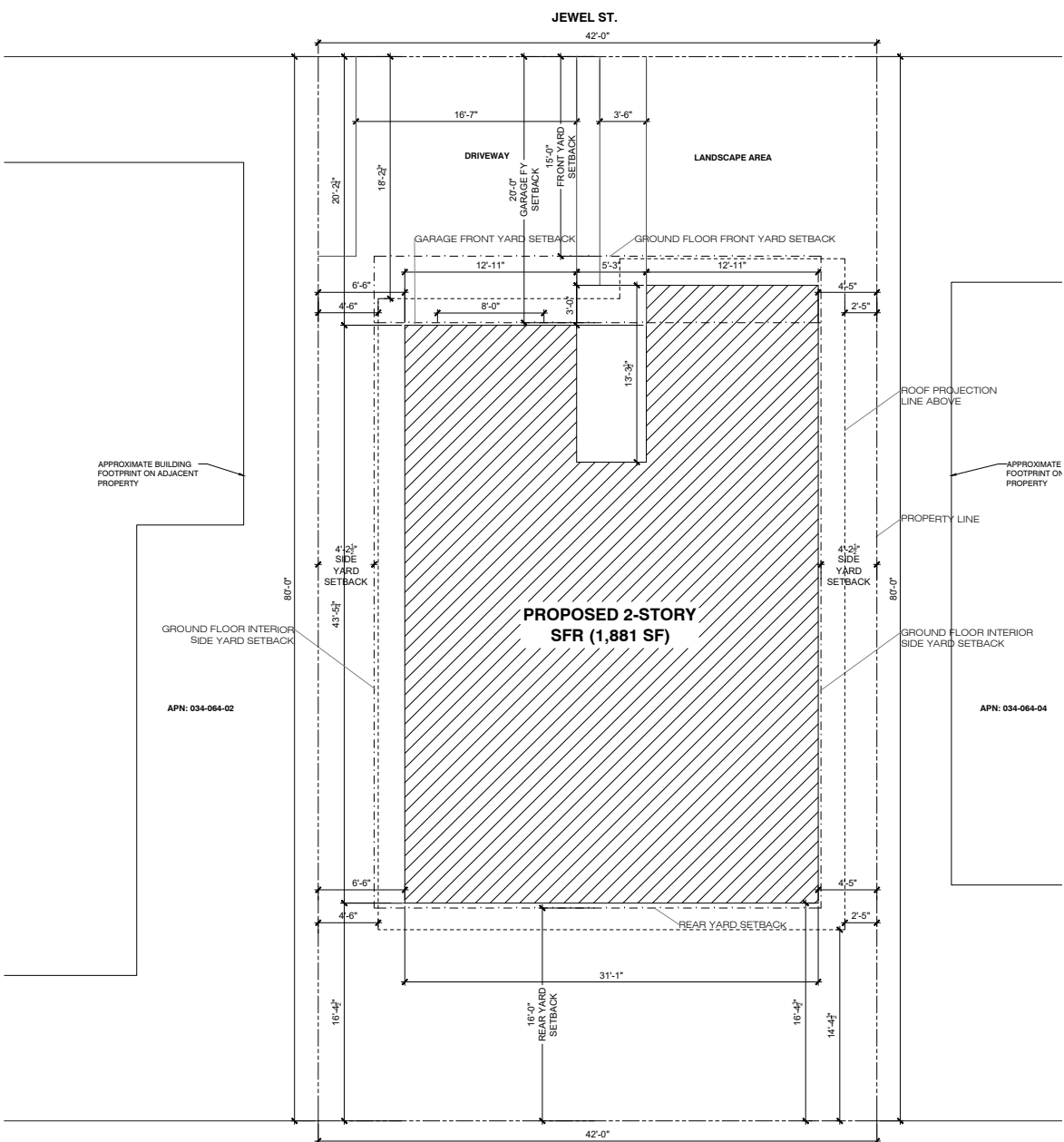


BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

**FAR & SETBACK
DIAGRAM**

APH 034-064-03

R-002



SITE PLAN GENERAL NOTES

- PROJECT PROPOSES COMPLETE DEMOLITION OF EXISTING SFR AND ATTACHED GARAGE.
- NO VARIANCE APPROVALS ARE REQUIRED FOR THIS SCOPE OF WORK. ALL NEW WORK FALLS WITHIN THE PARAMETERS OF ESTABLISHED SETBACKS.
- NO LANDSCAPE LIGHTING IS PROVIDED. EXTERIOR LIGHTING IS LIMITED TO THAT WHICH IS CODE REQUIRED AT EXTERIOR DOOR LOCATIONS. SEE ELEVATIONS.
- VERIFY ALL GRADES/ TOPOGRAPHY W/ DESIGN INTENT AND NOTIFY ARCHITECT OF ANY ISSUES THAT MAY REQUIRE ADDITIONAL STAIRS, RETAINING WALLS, ETC.
- THE LOCATION OF UTILITIES, LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.
- A NATURAL DRAINAGE WAY DOES NOT CROSS THE PROPERTY AT THE LOCATION OF THE NEWLY PROPOSED CONST.
- THERE ARE NO STRUCTURES CLOSER THAN EXCAVATION DEPTH ON THE ADJACENT NORTH AND SOUTH PROPERTIES.
- FIELD VERIFY (FV) DIMENSIONS FOR EXISTING CONDITIONS.
- FIELD VERIFY (FV) ALL GRADING POINTS CALLED OUT ON THE GRADING PLAN. ALL GRADING POINTS ARE APPROXIMATIONS BASED ON SITE SURVEY. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO GRADING OF SITE. EXISTING EARTH TO BE LOOSE OUT AND AWAY FROM BUILDING PERIMETER. THE IN NEW DRIVEWAY PAVERS TO EXISTING SLOPE OF ALLEY AS REQUIRED FOR FLUSH AND SMOOTH TRANSITION TO ALLEY.
- NO PROPOSED WORK IN RIGHT OF WAY.

STORMWATER GENERAL NOTES

CONCRETE WASHOUT
CONTRACTOR SHALL ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS LEGAL TO WASH CONCRETE, SLURRY, MORTAR, STUCCO, PLASTER AND THE LIKE INTO THE STORMWATER CONVEYANCE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION.

CONSTRUCTION SITE ACCESS
A STABILIZED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES EGRESS AND INGRESS TO PREVENT TRACKING DIRT OFF SITE. THIS SHALL INCLUDE USING MATERIAL SUCH AS GRAVEL AND/OR CORRUGATED STEEL PANELS/PLATES.

CONSTRUCTION VEHICLES
A SPECIFIC AREA AWAY FROM GUTTERS AND STORM DRAIN SHALL BE DESIGNATED FOR CONSTRUCTION VEHICLES PARKING, VEHICLE REFUELING, AND ROUTINE EQUIPMENT MAINTENANCE. ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.

EROSION CONTROL
EROSION CONTROL MUST BE PROVIDED FOR ALL ERODIBLE SURFACES. SLOPED SURFACES ESPECIALLY SHALL BE PROTECTED AGAINST EROSION BY INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ADEQUATE GRASS COVER, COVER VEGETATION, AND BONDED FIBER MATRIX.

NOTES:

- NO EXCAVATION AND GRADING ACTIVITIES ARE ALLOWED DURING WET WEATHER.
- DIVERSION DICES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES.
- REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE PROJECTS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GROUND COVER. DO NOT REMOVE TREES OR SHRUBS UNNECESSARILY. THEY HELP DECREASE EROSION.
- TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL. PURPOSES EROSION SHALL BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES TO SHIELD AND BIND THE SOIL.
- PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE. ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE.
- WATER USAGE FOR EROSION CONTROL SHALL BE MINIMIZED.

ON-SITE CONSTRUCTION MATERIAL STORAGE
STORED MATERIALS SHALL BE CONTAINED IN A SECURE PLACE TO PREVENT BEING AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT FOR ALL FUEL STORED ON-SITE. ELIMINATE OR REDUCE POLLUTION OF STORMWATER FROM STOCKPILES KEPT ON-SITE. STOCKPILES MAY INCLUDE SOIL, FERTILIZERS, ASPHALT, CONCRETE, AGGREGATE BASE, ETC. STOCKPILES SHALL BE LOCATED AWAY FROM CONCENTRATED STORMWATER FLOWS AND STORM DRAIN INLETS. STOCKPILES SHALL BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND PROVIDED WITH A TEMPORARY SEDIMENT BARRIER AROUND THE PERIMETER AT ALL TIMES.

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WASTE MANAGEMENT
CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY DISPOSING OF ALL WASTE AND UNUSED CONSTRUCTION MATERIALS. DUMPING OF UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM INTO THE CONVEYANCE SYSTEM IS STRICTLY PROHIBITED. NO REFUSE FROM DUMPSTER SHALL BE DISCHARGED INTO DUMPSTER. BEANSHEDS SHALL BE PLACED AROUND DUMPSTERS TO DIVERT THE NATURAL STORM RUNOFF. DUMPSTERS SHALL BE CHECKED FREQUENTLY FOR LEAKS. DUMPSTER LIDS SHALL REMAIN CLOSED AT ALL TIMES. DUMPSTERS WITHOUT LIDS SHALL BE PLACED WITHIN STRUCTURES WITH IMPERVIOUS ROOFING OR COVERED WITH TARPIS IN ORDER TO AVOID RAIN CONTACT WITH ANY TRASH MATERIAL. MANY CONSTRUCTION MATERIALS, INCLUDING SOLVENTS, WATER-BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEANED VEGETATION CAN BE RECYCLED. NON-RECYCLABLE MATERIALS MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. POLLUTANTS SHALL BE KEPT OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE. PORTABLE TOILETS MUST BE IN GOOD WORKING ORDER AND CHECKED FREQUENTLY FOR LEAKS. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT AND LOCATE PORTABLE TOILETS AWAY FROM STORMDRAIN INLETS ON PERVIOUS SURFACES. ALL CONSTRUCTION DEBRIS SHALL BE KEPT AWAY FROM THE STREET, GUTTER, AND STORMDRAIN. CONTRACTOR MUST ROUTINELY CHECK AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM CONSTRUCTION SITE.

ENGINEERING NOTES

SITE PREPARATION:
OVER-EXCAVATION AND RECOMPACTION TO BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS FROM GEOTECHNICAL REPORT & STRUCTURAL ENGINEERING DOCUMENTS.

DRAINAGE:
SURFACE DRAINAGE: POSITIVE DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE STRUCTURES AT A MINIMUM GRADIENT OF 3 PERCENT FOR 10 FEET (OR TO PROPERTY LINE), PER GEOTECHNICAL REPORT.

UTILITY:
CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) EROSION CONTROL MEASURES (E.G. BONDED FIBER MATRIX, VEGETATIVE COVER, JUTE MATTING) MUST BE IMPLEMENTED WHERE APPLICABLE TO PREVENT SOIL EROSION ON SITE. SEDIMENT CONTROL MEASURES (E.G. SILT FENCES, FIBER ROLLS, DETENTION BASINS) MUST BE PLACED TO PREVENT ERODED SOIL FROM LEAVING SITE. MATERIALS MANAGEMENT BMP MUST ALSO BE FOLLOWED TO ENSURE NO CONTACT OF RAINWATER WITH MATERIALS THAT MAY CONTRIBUTE TO WATER QUALITY DEGRADATION DOWNSTREAM (E.G. CONCRETE OR STUCCO WASHOUT AREAS, COVERED STORAGE AREAS FOR HAZARDOUS MATERIALS, PLACEMENT OF PORTABLE TOILETS OVER A PERVIOUS SURFACE).

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP): NO DIRECTLY CONNECTED IMPERVIOUS AREAS (DCIA) SHALL BE ALLOWED. DCIA MEANS STORM RUNOFF GENERATED AND CONVEYED VIA IMPERVIOUS AREAS, SUCH AS ROOF, ROOF DRAIN, DRIVEWAY, AND STREET. BMP MEASURES SHALL BE IDENTIFIED ON THE SITE PLAN.

MOST COMMON MEASURES ARE DESIGNATED TURF AREAS, WHICH RECEIVE ROOF DRAINS AND RUNOFF FROM IMPERVIOUS AREAS. TURF AND LANDSCAPED AREAS THAT ARE DESIGNATED FOR BMPs SHALL BE DELINEATED ON PLANS AND A NOTE PLACED ON PLANS PROHIBITING MODIFICATION OR REMOVAL OF THE BMP LANDSCAPE AREAS WITHOUT A COUNTY PERMIT. GRASS/IMPROVEMENT PLANTS/SPRINTS IF A GRADING/IMPROVEMENT PLAN/PERMIT IS APPROVED FOR THE PROJECT SITE, IT SHALL SUPERSEDE ALL GRADING, CHANNEL, ON-SITE, OFF-SITE, AND STORM WATER BEST MANAGEMENT PRACTICE IMPROVEMENTS CONTAINED IN THESE PLANS IN THE EVENT OF CONFLICT.

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1

santacruz GREEN BUILDERS
Taylor Boie
1800 CAMDEN AVE. SUITE 100
SAN DIEGO, CALIFORNIA 92108
TEL: 619.261.1434

Prepared by Taylor Boie

Sign
Date: 09/04/2024

Rev. No.	Date
01	11/05/2024
-	-

LICENSED ARCHITECT
TAYLOR BOIE
C-40108
02-28-2005
RENEWAL DATE
STATE OF CALIFORNIA

BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

PLOT PLAN

APN: 034-064-03

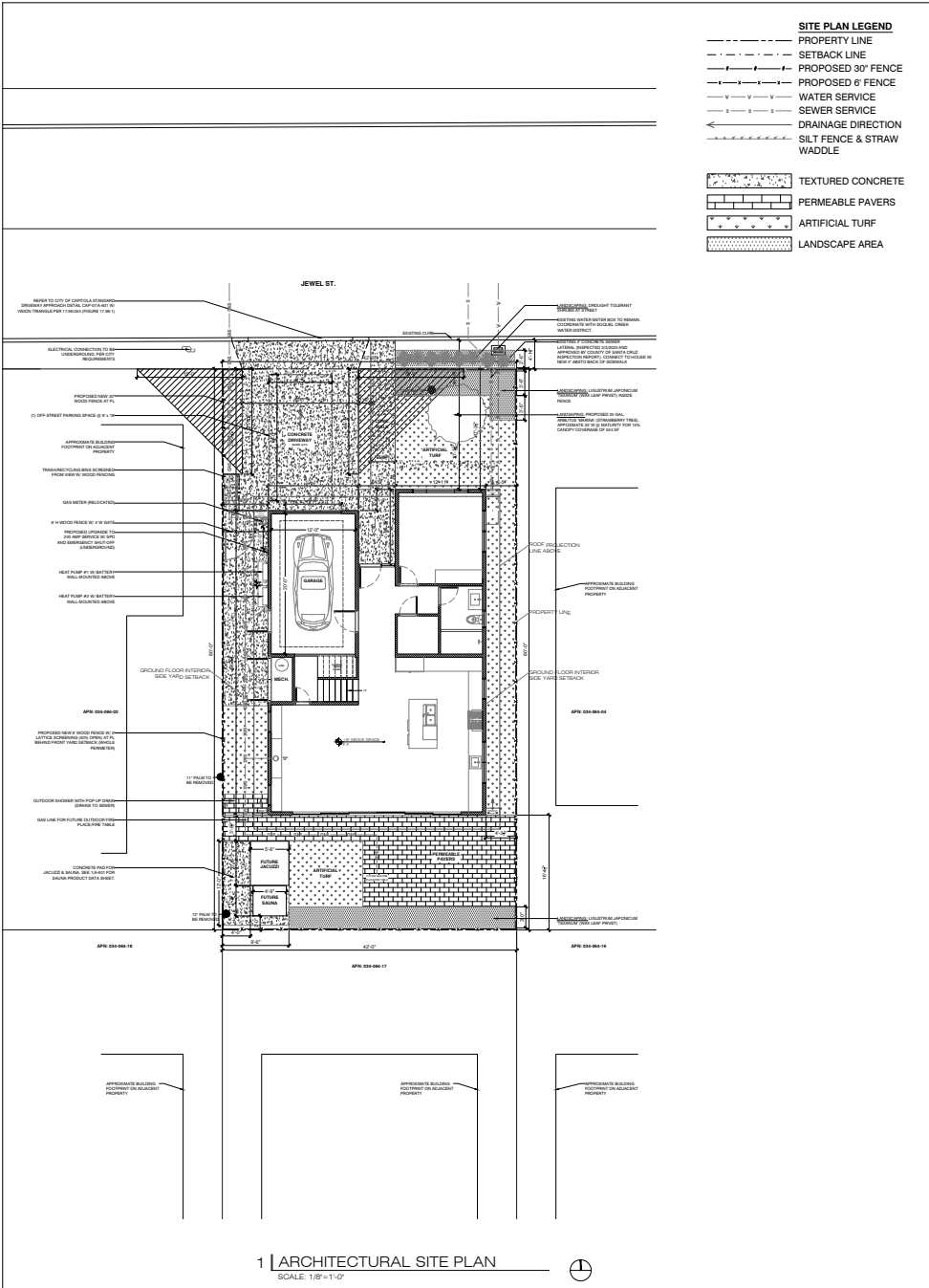
A-001

1 | PLOT PLAN
SCALE: 1/4"=1'-0"

APN: 034-064-18

APN: 034-064-17

APN: 034-064-16



1 | ARCHITECTURAL SITE PLAN
SCALE: 1/8"=1'-0"

PROJECT DATA	
ZONING	R-1
LOT DIMENSIONS	
LENGTH	80'
WIDTH	41.99' (42')
AREA	3,360 SF (0.08 ACRES)
FLOOR AREA RATIO	
MAX FAR	1,881.6 SF (0.56 x 3,360)
SETBACKS	
FRONT YARD (GARAGE)	20'
FRONT YARD (GROUND FLR)	15'
FRONT YARD (2ND STORY)	20'
REAR YARD	16' (20% DEPTH: 80' x 0.20)
INTERIOR SIDE YARD (GROUND FLR)	4.2' (10% WIDTH: 42' x 0.10)
INTERIOR SIDE YARD (2ND STORY)	6.3' (15% WIDTH: 42' x 0.15)
NOTE:	20% OF 2ND STORY WALL MAY BE @ SAME SETBACK AS FIRST IF MINIMUM 4' FROM PROPERTY LINE
2ND STORY DECKS + BALCONIES	
FAR	COUNTS IF GREATER THAN 150 SF
FRONT YARD SETBACK	20'
REAR YARD SETBACK	20' (25% DEPTH: 80' x 0.25)
INTERIOR YARD SETBACK	10'
NOTE:	MAY NOT PROJECT MORE THAN 6' ROOF DECKS PROHIBITED IN R-1 ZONE
PARKING	
REQUIRED PARKING	2 TOTAL, 1 COVERED (1,501 SF - 2,000 SF)
DRIVEWAY WIDTH (MAX)	16.8' (40% WIDTH: 42' x 0.40)
COVERED PARKING DIMENSIONS	MIN. 10' x 20' (MEASURED FROM INT. WALLS)
HEIGHT	
MAXIMUM ALLOWABLE HEIGHT	25' (22'-6" PROPOSED)
PROPOSED	
FIRST FLOOR AREA	1310 SF (ATTACHED GARAGE 270 SF) [69.6%]
SECOND FLOOR AREA	571 [30.4%]
TOTAL FLOOR AREA	1881 (1881.6 ALLOWED)
SECOND FLOOR DECK	123 SF (FAR EXEMPT)
DRIVEWAY	306 SF
PATIOS (CONCRETE)	163 SF (47 SIDE, 116 FRONT)
PROPOSED PERMEABLE PATIO	489 SF
IMPERVIOUS	
PROPOSED IMPERVIOUS AREA	1779 SF (1310 + 306 + 163)
PERCENTAGE IMPERVIOUS	52.9%
PROPOSED PERMEABLE PATIO	489 SF
PROPOSED LANDSCAPE AREA	1092 SF (32.5%)
CAPITOLA DESIGN REVIEW NOTES	
DRAINAGE AND EROSION CONTROL PLAN: PER CITY OF CAPITOLA REQUIREMENTS, DRAINAGE AND GRADING PLANS DRAWN BY A LICENSED CIVIL ENGINEER WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION. THOSE PLANS WILL BE INFORMED BY THE SOILS REPORT AND GEOTECHNICAL ANALYSIS, WHICH HAS ALREADY BEEN PERFORMED.	
THIS SITE PLAN FOR THE DESIGN REVIEW LEVEL, SUBMITTAL, PROPOSES STANDARD BMP AND EROSION CONTROL MEASURES, SUCH AS SILT FENCE, STRAW WADDLE, AND STABILIZED CONSTRUCTION ENTRANCES. THE SITE IS EFFECTIVELY FLAT. THE DESIGN TEAM INTENDS TO ELABORATE ON STORMWATER, DRAINAGE, AND BMP PLANS WITH CIVIL DRAWINGS, STUDIES, AND REPORTS UPON APPROVAL OF THE DESIGN REVIEW PHASE.	
LANDSCAPE NOTES: EXISTING PLANTS INTERFERE WITH OVERHEAD POWER LINES AND THEREFORE REMOVAL IS PROPOSED. SITE PLAN SHOWS PROPOSED STRAWBERRY TREE (25 GAL) IN FRONT YARD LANDSCAPE AREA, WAS LEAF PRIVET HEDGING AT NOTED PERIMETER LOCATIONS, AND ADDITIONAL DROUGHT-TOLERANT PLANTS ALONG THE STREET.	
IRRIGATION NOTES: SUITABLE IRRIGATION FOR FRONT YARD LANDSCAPING SHALL BE DESIGNED AND INSTALLED BY LANDSCAPE PROFESSIONAL. TOTAL LANDSCAPE AREA FOR THE SITE IS 1,092 SF.	
ENGINEERING NOTES	
SITE PREPARATION: OVER-EXCAVATION AND RECOMPACTION TO BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS FROM GEOTECHNICAL REPORT & STRUCTURAL ENGINEERING DOCUMENTS.	
DRAINAGE: SURFACE DRAINAGE: POSITIVE DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE STRUCTURES AT A MINIMUM GRADIENT OF 3 PERCENT FOR 10 FEET (OR TO PROPERTY LINE), PER GEOTECHNICAL REPORT.	
UTILITY: CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP), EROSION CONTROL MEASURES (E.G. BONDED FIBER MATRIX, VEGETATIVE COVER, JUTE MATTING) MUST BE IMPLEMENTED WHERE APPLICABLE TO PREVENT SOIL EROSION ON SITE. SEDIMENT CONTROL MEASURES (E.G. SILT FENCE, STRAW WADDLE, DETENTION BASINS) MUST BE PLACED TO PREVENT EROSION FROM LEAVING THE SITE. MATERIALS MANAGEMENT BMP MUST ALSO BE FOLLOWED TO ENSURE NO CONTACT OF RAINWATER WITH MATERIALS THAT MAY CONTRIBUTE TO WATER QUALITY DEGRADATION DOWNSTREAM (E.G. CONCRETE, ASPHALT, PAINTS, OILS, GREASE, WASTEWATER). COVERED STORAGE AREAS FOR HAZARDOUS MATERIALS, PLACEMENT OF PORTABLE TOILETS OVER A PERVIOUS SURFACE.	
POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) NO DIRECTLY CONNECTED IMPERVIOUS AREAS (DCA) SHALL BE ALLOWED. DCA MEANS STORM RUNOFF GENERATED AND CONVEYED VIA IMPERVIOUS AREAS, SUCH AS ROOF, ROOF DRAIN, DRIVEWAY, AND STREET. BMP MEASURES SHALL BE IDENTIFIED ON THE SITE PLAN.	
MOST COMMON MEASURES ARE DESIGNATED TURF AREAS, WHICH RECEIVE ROOF DRAINS AND RUNOFF FROM IMPERVIOUS AREAS. TURF AND LANDSCAPE AREAS THAT ARE DESIGNATED FOR BMPs SHALL BE DELINEATED ON PLANS AND A NOTE PLACED ON PLANS PROHIBITING MODIFICATION OR REMOVAL OF THE BMP LANDSCAPE AREAS WITHOUT A COUNTY PERMIT. GRASSING/IMPROVEMENT PLANS PERMITTED IF A GRADING/IMPROVEMENT (E.G. LAWNS) IS APPROVED FOR THE PROJECT SITE. IT SHALL SUPERSEDE ALL GRADING, DRAINAGE, ON-SITE, OFF-SITE, AND STORM WATER BEST MANAGEMENT PRACTICE IMPROVEMENTS CONTAINED IN THESE PLANS IN THE EVENT OF CONFLICT.	
NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1	

SITE PLAN GENERAL NOTES

- PROJECT PROPOSES COMPLETE DEMOLITION OF EXISTING SFRI AND ATTACHED GARAGE.
- NO VARIANCE APPROVALS ARE REQUIRED FOR THIS SCOPE OF WORK. ALL NEW WORK FALLS WITHIN THE PARAMETERS OF ESTABLISHED TRACKS.
- NO LANDSCAPE LIGHTING IS PROPOSED. EXTERIOR LIGHTING IS LIMITED TO THAT WHICH IS CODE REQUIRED AT EXTERIOR DOOR LOCATIONS. SEE ELEVATIONS.
- VERIFY ALL GRADES/TOPOGRAPHY W/ DESIGN INTENT AND NOTIFY ARCHITECT OF ANY ISSUES THAT MAY REQUIRE ADDITIONAL STAIRS, RETAINING WALLS, ETC.
- THE LOCATION OF UTILITIES, LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.
- A NATURAL DRAINAGE WAY DOES NOT CROSS THE PROPERTY AT THE LOCATION OF THE NEWLY PROPOSED CONST.
- THERE ARE NO STRUCTURES CLOSER THAN EXCAVATION DEPTH ON THE ADJACENT NORTH AND SOUTH PROPERTIES.
- FIELD VERIFY (FV) DIMENSIONS FOR EXISTING CONDITIONS.
- FIELD VERIFY (FV) ALL GRADING POINTS CALLED OUT ON THE GRADING PLAN. ALL GRADING POINTS ARE APPROXIMATIONS BASED ON SITE SURVEY. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO GRADING OF SITE. EXISTING EARTH TO BE BROKE OUT AND AWAY FROM BUILDING PERIMETER. THE IN NEW DRIVEWAY PAVERS TO EXISTING SLOPE OF ALLEY AS REQUIRED FOR FLUSH AND SMOOTH TRANSITION TO ALLEY.
- NO PROPOSED WORK IN RIGHT OF WAY.

STORMWATER GENERAL NOTES

CONCRETE WASHOUT
CONTRACTOR SHALL ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS LEGAL TO WASH CONCRETE, SLURRY, MORTAR, STUCCO, PLASTER AND THE LIKE INTO THE STORMWATER CONVEYANCE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION.

CONSTRUCTION SITE ACCESS
A ESTABLISHED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES EGRESS AND INGRESS TO PREVENT TRACKING DIRT OFF SITE. THIS SHALL INCLUDE USING MATERIAL SUCH AS GRAVEL AND/OR CORRUGATED STEEL PANELS/PLATES.

CONSTRUCTION VEHICLES
A SPECIFIC AREA AWAY FROM GUTTERS AND STORM DRAIN SHALL BE DESIGNATED FOR CONSTRUCTION VEHICLES PARKING, VEHICLE REFUELING, AND ROUTINE EQUIPMENT MAINTENANCE. ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.

EROSION CONTROL
EROSION CONTROL MUST BE PROVIDED FOR ALL EROSION SURFACES. SLOPED SURFACES ESPECIALLY SHALL BE PROTECTED AGAINST EROSION BY INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ADEQUATE GROUND COVER VEGETATION, AND BONDED FIBER MATRIX.

NOTES:

- EXCAVATION AND GRADING ACTIVITIES ARE ALLOWED DURING WET WEATHER.
- DIVERSION DIKES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES.
- REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE PROJECTS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GROUND COVER. DO NOT REMOVE TREES OR SHRUBS UNNECESSARILY. THEY HELP DECREASE EROSION.
- TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL. PURPOSES EROSION SHALL BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES TO STRENGTHEN AND BIND THE SOIL.
- PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE. ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE, WATER USAGE FOR SOIL CONTROL SHALL BE MINIMIZED.

ON-SITE CONSTRUCTION MATERIAL STORAGE
STORED MATERIALS SHALL BE CONTAINED IN A SECURE PLACE TO PREVENT BEING AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT FOR ALL FUEL STORED ON-SITE. ELIMINATE OR REDUCE POLLUTION OF STORMWATER FROM STOCKPILES KEPT ON-SITE. STOCKPILES MAY INCLUDE SOIL, PAINTING MATERIALS, ASPHALT CONCRETE, AGGREGATE BASE, ETC. STOCKPILES SHALL BE LOCATED AWAY FROM CONCENTRATED STORMWATER FLOWS AND STORM DRAIN INLETS. STOCKPILES SHALL BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND PROVIDED WITH A TEMPORARY SEDIMENT BARRIER AROUND THE PERIMETER AT ALL TIMES.

TRAINING
CONTRACTORS' EMPLOYEES WHO PERFORM CONSTRUCTION SHALL BE TRAINED TO BE FAMILIAR WITH THE CITY OF CAPITOLA POLLUTION CONTROL REQUIREMENTS. THESE BMP NOTES SHALL BE AVAILABLE TO EVERYONE WORKING ON SITE. THE PROPERTY OWNER AND THE PRIME CONTRACTOR MUST INFORM SUBCONTRACTORS ABOUT STORMWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.

WASTE MANAGEMENT
CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY DISPOSING OF ALL WASTE AND UNUSED CONSTRUCTION MATERIALS. DUMPING OF UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM INTO THE CONVEYANCE SYSTEM IS STRICTLY PROHIBITED. NO REFUSE FROM DUMPSTER SHALL BE DISCHARGED INTO STORMWATER. BEANS/ONES SHALL BE PLACED AROUND DUMPSTERS TO DIVERT THE NATURAL STORM RUNOFF. DUMPSTERS SHALL BE CHECKED FREQUENTLY FOR LEAKS. DUMPSTER LIDS SHALL REMAIN CLOSED AT ALL TIMES. DUMPSTERS WITHOUT LIDS SHALL BE PLACED WITHIN STRUCTURES WITH IMPERVIOUS ROOFING OR COVERED WITH TARP IN ORDER TO AVOID RAIN CONTACT WITH ANY TRASH MATERIAL. MANY CONSTRUCTION MATERIALS, INCLUDING SOLVENTS, WATER-BASED PAINTS, VEHICLES, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEANED VEGETATION CAN BE RECYCLED. NON-RECYCLABLE MATERIALS MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. POLLUTANTS SHALL BE KEPT OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE. PORTABLE TOILETS MUST BE IN GOOD WORKING ORDER AND CHECKED FREQUENTLY FOR LEAKS. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT AND LOCATE PORTABLE TOILETS AWAY FROM STORMDRAIN INLETS ON BERKLY SURFACES. ALL CONSTRUCTION DEBRIS SHALL BE KEPT AWAY FROM THE STREET, GUTTER, AND STORMDRAIN. CONTRACTOR MUST ROUTINELY CHECK AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM CONSTRUCTION SITE.

santacruz GREEN BUILDERS
1800 SHERWOOD AVE. SUITE 100
SAN JOSE, CALIFORNIA 95128
TEL: 408.261.8444

Prepared by Taylor Boke

Sign
Date 08/04/2024

Rev. No.	Date
01	11/05/2024

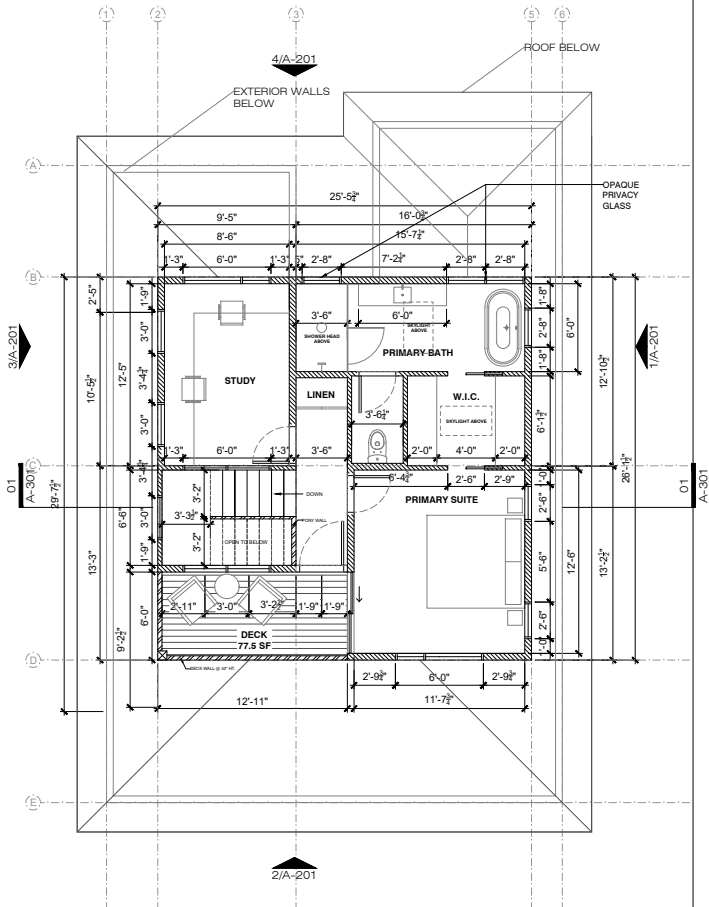
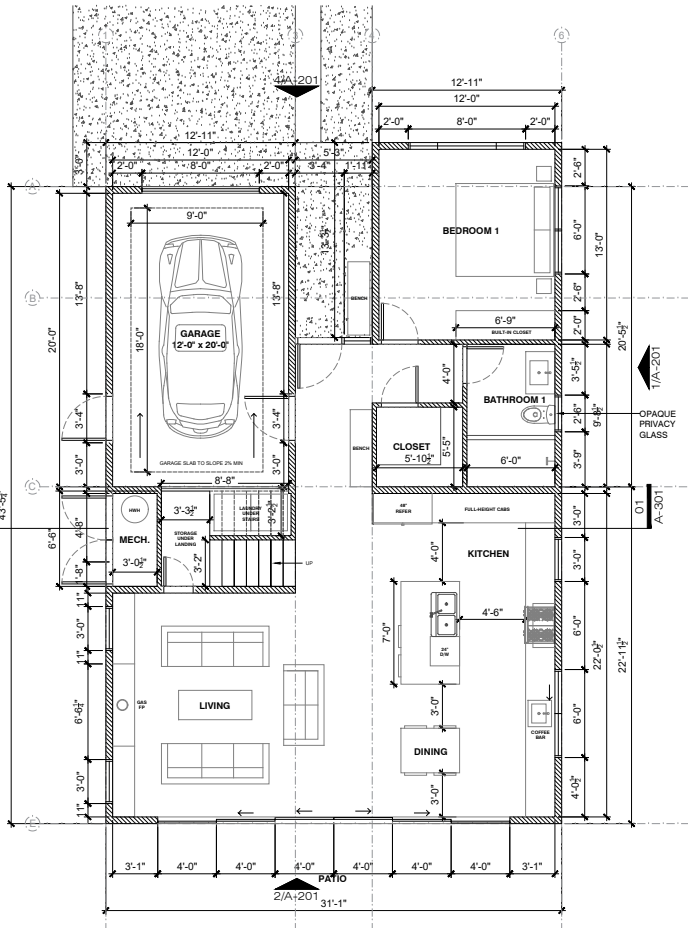
LICENSED ARCHITECT
TAYLOR BOKE
17-108
02-28-2005
RENEWED
DATE

BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

ARCHITECTURAL SITE PLAN

APN 034-064-03

A-100



FLOOR PLAN GENERAL NOTES

- DURING BIDDING / PRICING PHASE, GC SHALL DETERMINE AVAILABILITY OF ALL MATERIALS, ANY DELIVERY SCHEDULE THAT MAY CAUSE COORDINATION PROBLEMS SHALL BE REVIEWED BY ARCHITECT PRIOR TO ORDER AND INSTALL.
- COORDINATE SECURITY, IT & AV REQUIREMENTS W/ OWNER, PROVIDE CONDUIT AND PULL STRING AS NEEDED.
- COORDINATE UTILITY ENTRANCES W/ SURVEY & FIELD VERIFICATIONS, PAINT UTILITY CABINETS, METERS & ASSOCIATED PIPING PER ARCHITECT'S DIRECTION.
- DASHED LINES INDICATE OVERHEAD ITEMS ABOVE, REFERENCE RCP AND ROOF PLANS.
- COORDINATE SLAB EDGES AND ALL BRACING LOCATIONS W/ STRUCTURAL DWGS, NOTIFY ARCHITECT OF ANY ISSUES.
- DIMENSIONS ARE FROM FINISH FACE OF FRAMING OR FINISH FACE OF CONCRETE UNDO, ALL FRAMING SHALL BE WOOD STUDS, UNDO, REFERENCE STRUCTURAL DWGS.
- VERIFY ALL DIMENSIONS INDICATED AS "FIELD VERIFY" OR "F.V." ON THE DWGS PRIOR TO CONSTRUCTION, REPORT ANY ISSUES TO ARCHITECT.
- AT ALL WINDOW LOCATIONS PROVIDE BLOCKING AND SHIMS AS REQUIRED, PROVIDE SEALANT AND BACKER ROD, BOTH SIDES, ALL AROUND, UNDO SEALANT COLOR PER ARCHITECT.
- ALL COLORS AND LOCATIONS OF WALL MOUNTED ELECTRICAL DEVICES, COVER PLATES, ETC. SHALL BE REVIEWED BY ARCHITECT PRIOR TO ORDER AND INSTALL.
- COORDINATE ALL PRIMARY AND OVERFLOW STORM DRAIN DROPS W/ ARCHITECT PRIOR TO INSTALL.
- PROVIDE FULL HEIGHT PERIMETER AND ROOF INSULATION TO MEET REQUIRED IRC R-VALUE THROUGHOUT.
- ALL APPLIANCES ARE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR, UNDO.
- ALL FINISHES (TILE, CEILING, CARPET, ETC.) STARTING & STOPPING POINTS TO BE DETERMINED BY ARCHITECT IN FIELD.
- PROVIDE LEVEL 4 FIN ON ALL WALLS THROUGHOUT, ALL GYPSUM BOARD WALLS SCHEDULED TO BE PAINTED IN RESTROOMS OR OTHER WET LOCATIONS SHALL USE EPOXY TYPE PAINT.
- AT TILE LOCATIONS PROVIDE 1/8" GROUT LINES MAX, UNDO, PROVIDE MOCK-UP FOR REVIEW PRIOR TO INSTALL.
- EXTEND ALL FINISHES (INCLUDING PAINT) BENEATH, BEHIND AND AROUND FURNITURE, CASEWORK, EQUIPMENT, ETC. WHETHER SPECIFICALLY INDICATED OR NOT.
- PROVIDE CEMENT BOARD IN LIEU OF GYPSUM BOARD WHERE WALL TILE IS SPECIFIED, UNDO.
- ALL DOOR TRANSITIONS & THRESHOLDS AS INDICATED, UNDO.
- ALL BASEBOARD CORNERS SHALL BE MITER CUT AND ALL RUNS SHALL BE KERF CUT, PATCH, SAND & PAINT ALL FASTENER HOLES IN BASEBOARDS.
- REFERENCE FINISH SCHEDULE FOR ALL FLOOR, CEILING & WALL FINISHES.
- REFERENCE PLUMBING SCHEDULE FOR ALL FIXTURE SPECS, UNDO, ALL PLUMB FIXTURES AND FITTINGS WILL BE WATER CONSERVING.
- PROVIDE THE FOLLOWING:
A. LAVATORY FAUCETS WITH MAXIMUM FLOW OF 1.2 GPM
B. SHOWER HEADS WITH MAXIMUM FLOW OF 1.8 GPM
C. WATER CLOSETS WITH MAXIMUM FLOW OF 1.28 GPF
- PROVIDE 5/8" TYPE-X GYPSUM WALL BOARD ON ALL INTERIOR WALLS OF GARAGE AND GARAGE CEILING PROVIDING FIRE-RESISTIVE SEPARATION FROM HABITABLE / RESIDENTIAL SPACE ABOVE.
- OUTDOOR SHOWER DRAINS AND SINKS ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER, HOT AND COLD WATER CONNECTIONS ALLOWED.
- SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR.

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1



Prepared by Taylor Boke

Signed

Date 09/04/2024

Rev. No. 01 Date 11/05/2024

Rev. No. 01 Date 11/05/2024

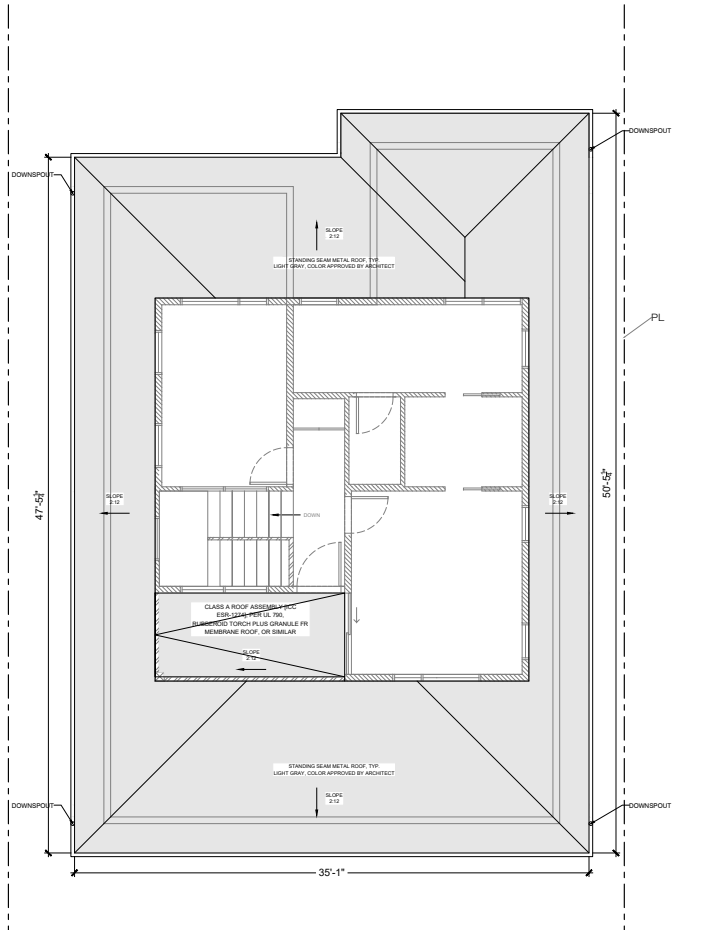


BARKER RESIDENCE
4750 JEWEL ST. CARPENTIA, CA 95010
DEAN BARKER

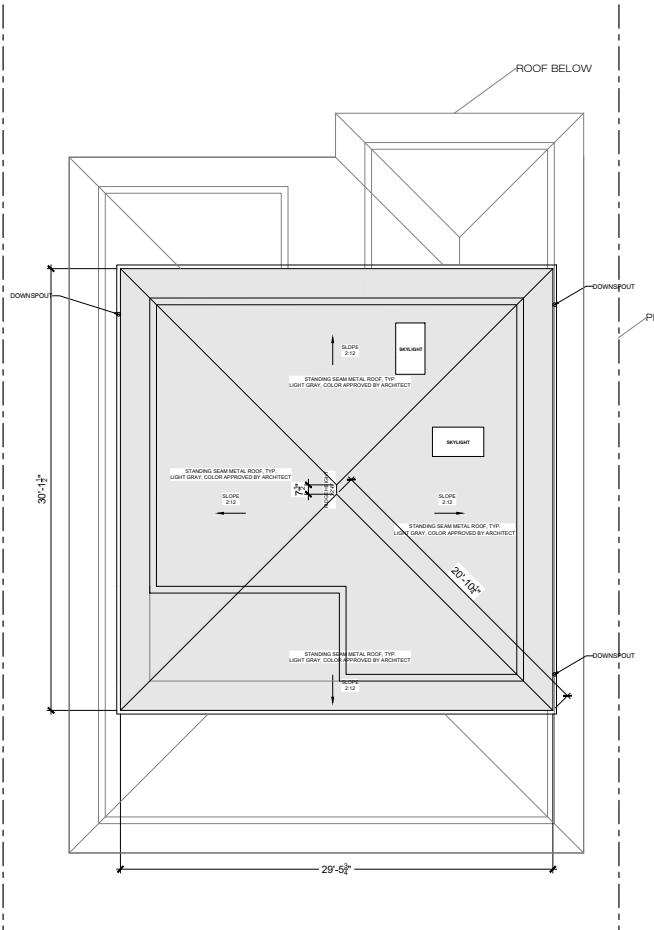
FLOOR PLAN

APH 034-004-03

A-101



1 | GROUND FLOOR ROOF PLAN
SCALE: 1/4"=1'-0"



2 | SECOND FLOOR ROOF PLAN
SCALE: 1/4"=1'-0"

FLOOR PLAN GENERAL NOTES

- DURING BIDDING / PRICING PHASE, GC SHALL DETERMINE AVAILABILITY OF ALL MATERIALS. ANY DELIVERY SCHEDULE THAT MAY CAUSE COORDINATION PROBLEMS SHALL BE REVIEWED BY ARCHITECT PRIOR TO ORDER AND INSTALL.
- COORDINATE SECURITY, IT & AV REQUIREMENTS W/ OWNER. PROVIDE CONDUIT AND PULL STRING AS NEEDED.
- COORDINATE UTILITY ENTRANCES W/ SURVEY & FIELD VERIFICATIONS. PAINT UTILITY CABINETS, METERS & ASSOCIATED PIPING PER ARCHITECT'S DIRECTION.
- DASHED LINES INDICATE OVERHEAD ITEMS ABOVE. REFERENCE RCP AND ROOF PLANS.
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- AT ALL WINDOW LOCATIONS PROVIDE BLOCKING AND SHIMS AS REQUIRED. PROVIDE SEALANT AND BACKER ROD, BOTH SIDES, ALL AROUND UNDO SEALANT COLOR PER ARCHITECT.
- ALL COLORS AND LOCATIONS OF WALL MOUNTED ELECTRICAL DEVICES, COVER PLATES, ETC. SHALL BE REVIEWED BY ARCHITECT PRIOR TO ORDER AND INSTALL.
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- PROVIDE LEVEL 4 FIN ON ALL WALLS THROUGHOUT. ALL GYPSUM BOARD WALLS SCHEDULED TO BE PAINTED IN RESTROOMS OR OTHER WET LOCATIONS SHALL USE EPOXY TYPE PAINT.
- AT TILE LOCATIONS PROVIDE 1/8" GROUT LINES MAX. UNDO. PROVIDE MOCK-UP FOR REVIEW PRIOR TO INSTALL.
- EXTEND ALL FINISHES (INCLUDING PAINT) BENEATH, BEHIND AND AROUND FURNITURE, CASEWORK, EQUIPMENT, ETC. WHETHER SPECIFICALLY INDICATED OR NOT.
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NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1



Prepared by Taylor Boke

Signed

Date 09/04/2024

Rev. No. 01 Date 11/05/2024

Rev. No. - Date -

Rev. No. - Date -

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BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

ROOF PLAN

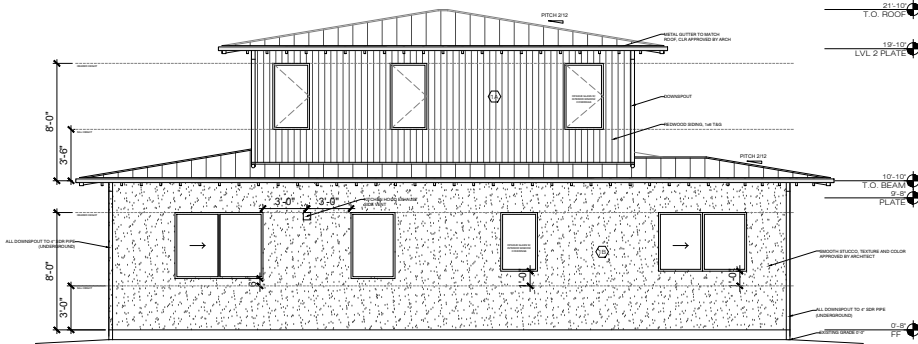
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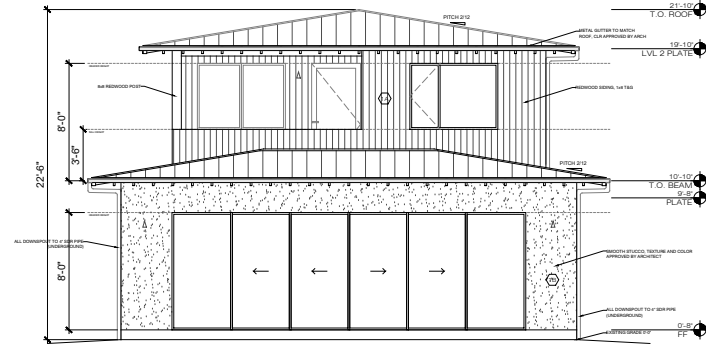
EXTERIOR ELEVATION NOTES

1. DURING BIDDING / PRICING PHASE, GC SHALL DETERMINE AVAILABILITY OF ALL MATERIALS, ANY DELIVERY SCHEDULE THAT MAY CAUSE COORDINATION PROBLEMS SHALL BE REVIEWED BY ARCHITECT PRIOR TO ORDER AND INSTALL.
2. NOTIFY ARCHITECT OF ALL SITE RELATED PILING AND GRADING REQUIREMENTS.
3. COORDINATE UTILITY ENTRANCES W/ SURVEY, CIVIL, AND FIELD VERIFICATIONS. PAINT UTILITY CABINETS, METERS & ASSOCIATED PIPING PER ARCHITECT'S DIRECTION.
4. VERIFY ALL DIMENSIONS INDICATED AS "YIELD VERIFY" OR "Y/V" ON THE DRAWINGS PRIOR TO CONSTRUCTION. REPORT ANY ISSUES TO ARCHITECT.
5. COORDINATE ALL FOUNDATION DEPTHS AND LOCATIONS W/ STRUCTURAL DRAWINGS.
6. PROVIDE WATERPROOFING AT ALL AREAS WHERE INTERIOR SLAB IS BELOW GRADE. COORDINATE W/ ARCHITECTURAL DETAILS, STRUCTURAL DRAWINGS AND SPICES.
7. ALL LIGHT FIXTURES LOCATED AT EXTERIOR OPENINGS WILL BE CENTERED OVER THAT OPENING, UNO.
8. ALL LOCATIONS & ALIGNMENTS OF WALL MOUNTED DEVICES / ELEMENTS NEEDS TO BE REVIEWED BY ARCHITECT PRIOR TO INSTALL.
9. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
10. ALL EXTERIOR LIGHTING SHALL COMPLY WITH ALL RELEVANT STANDARDS PURSUANT TO CAPITOLA MUNICIPAL CODE (CMC) SECTION 17.36.110, INCLUDING THAT ALL OUTDOOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD SUCH THAT THE LIGHTING IS NOT DIRECTLY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY OR ADJOINING PROPERTIES.

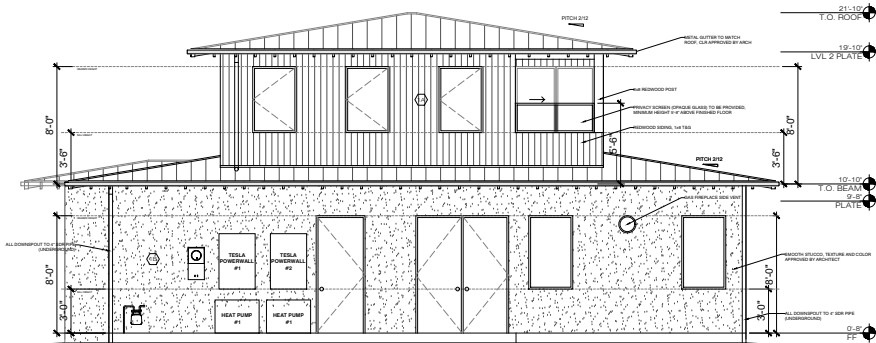
- REDWOOD SIDING (1/4" TAG, STAIN APPROVED BY ARCHITECT)
- STUCCO (COLOR AND TEXTURE APPROVED BY ARCHITECT)



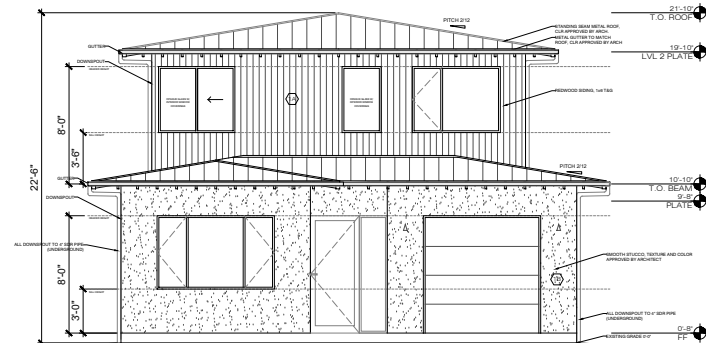
1 | EAST ELEVATION
SCALE: 1/4"=1'-0"



2 | SOUTH ELEVATION
SCALE: 1/4"=1'-0"



3 | WEST ELEVATION
SCALE: 1/4"=1'-0"



4 | NORTH ELEVATION
SCALE: 1/4"=1'-0"

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1



Prepared by Taylor Boke

Signed

Date 09/04/2024

Rev. No.	Date
01	11/05/2024



BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

ELEVATIONS

APH 034-004-03

A-201



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

Prepared by Taylor Boon

Signed

Date 08/04/2024

Rev. No. Date

01 11/05/2024

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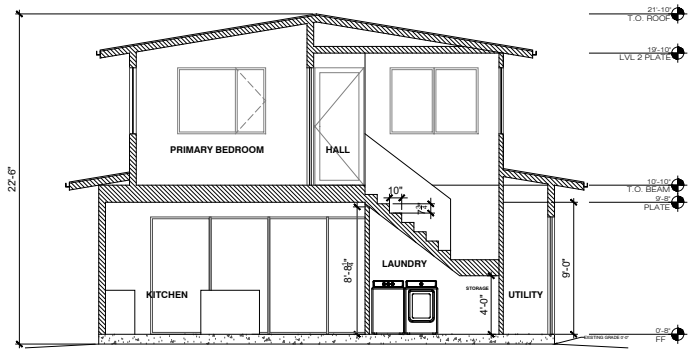
- -

LICENSED ARCHITECT
TAYLOR BOON
C-40108
02-28-2005
RENEWAL
DATE
STATE OF CALIFORNIA

BARKER RESIDENCE
4750 JEWEL ST. CAPITOLA, CA 95010
DEAN BARKER

APN 034-064-03

A-211



1 | SHORT SECTION
SCALE: 1/4"=1'-0"

santacruz
GREEN BUILDERS
1800 W. CALIF. ST. #101
 SANTA CRUZ, CALIFORNIA 95060
 TEL: 520.261.1414

Prepared by Taylor Boek
 Signed _____
 Date 09/04/2024

Rev. No.	Date
01	11/05/2024
-	-

LICENSED ARCHITECT
 TAYLOR BOEK
 C-40108
 02-28-2005
 EXPIRES
 DATE
 STATE OF CALIFORNIA

BARKER RESIDENCE
 4750 JEWEL ST. CAPITOLA, CA 95010
 DEAN BARKER

SECTIONS

APN 034-064-03

A-301

NOTE: THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1

Stormwater Pollution Prevention and Protection for Construction Projects

In the City of Capitola, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction projects get spilled, leaked or washed into the street or storm drain they can damage sensitive creek habitats and air and polluting our bay and ocean.

In order to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following BMPs. These BMPs apply to both new and extended residential, commercial, retail, and industrial projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board) requires coverage under and adherence to the Construction Activities Storm Water General Permit, or CGP. It regulates storm water runoff from construction sites. In general, any construction or demolition activity, including but not limited to, clearing, grading, grubbing, or excavation, or any other activity that results in a land disturbance of one acre or greater than one acre, requires coverage under the CGP. Construction activities associated with Low Impact Projects (LIPs) also require coverage under the CGP. It should be noted that SWPPP development and implementation (inspection, tracking) associated with sites subject to the CGP (excluding water sites) must be done by a qualified SWPPP developer (QSD), respectively. More information on the CGP and QSD/QSPs may be found at http://www.waterboards.ca.gov/Water_Lesions/Programs/Stormwater/centralpermit.html

General Principles

- **General Construction & Site Supervision**
All construction BMPs, sediment and erosion control must be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CGP and below BMPs is required year round.
- **General Principles**
 - Keep an orderly site and ensure good housekeeping practices are used.
 - Maintain equipment properly.
 - Cover materials when they are not in use.
 - Remove materials away from streets, gutters, storm drains and drainage channels.
 - Ensure dust control water does not leave the site or discharge to storm drains.
 - Train your employees on these BMPs and familiarize them with storm water issues prior to beginning work. Inform your subcontractors about storm water requirements and be sure they also abide by these BMPs.
 - Refer to the following approved references for BMPs, sediment, implementation, and on-site management (most recent versions unless otherwise noted):
 - Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002.
 - Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG)
 - Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA)
 - Construction Site Best Management Practices (BMPs) Manual, Storm Water Quality Handbooks, Caltrans

Good Housekeeping Practices

- Develop one level of the site located away from storm drains, drainage ways, and creeks for auto parking and heavy equipment storage, vehicle refueling and routine equipment maintenance.
- Conduct site tracking of dirt, provide aggregate surfaces or provide a fine wash area on the site, but away from storm inlets or drainage channels. Mud, dirt, gravel, sand and other materials tracked or dropped on soil will be cleaned or removed.
- Keep materials and soil stockpiles out of the rain and prevent runoff contamination from the site. Store materials, stockpiles and excavation soils under cover and protected from wind, rain, and runoff. Cover exposed piles of construction materials or soil with clean tarps or other protective covers. Before rainfall events, sweep and remove material from surfaces that drain to storm inlets and/or drainage channels.
- Place tires around the site perimeter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
- Never dump or reuse soil, mulch, or other landscape products in the street, gutter, or storm drain.

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1. Clean up leaks, drips and other spills immediately so that they do not contaminate the soil or runoff to leave residue on paved surfaces. Use dry cleanup methods whenever possible. Water may only be used in minimum quantities to prevent dust.

2. Portable toilets are used. Ensure that the leasing company properly maintains the toilets and promptly makes repairs. Conduct visual inspections for leaks.

3. Protect vegetation and trees from accidental damage from construction activities by surrounding them with fencing or tree wrapping.

Advanced Planning

- Site development shall be filed to the topography and soil in order to minimize the potential for erosion.
- Soil grading/clearing lines, easements, setbacks, sensitive or critical areas, trees, drainage courses, and buffer zones must be delineated on site to prevent excessive or unnecessary disturbances and exposure prior to construction.
- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins.
- Control grading operations or phases in order to reduce the amount of disturbed areas and exposed soil at any one time. Issues specifically applicable on the project's drainage plan, grading, sediment and erosion control plan, clearing, excavation and grading shall be conducted during rainy weather. All rainy season grading shall be in accordance with Capitola Municipal Code Chapter 15-28.
- Control the amount of runoff creating your site especially during excavation by using berms or temporary drainage ditches or tie-in to existing drain flow around the site. Reduce stormwater runoff velocities by controlling temporary check dams or berms when appropriate.

Materials & Waste Handling

- **Reduce contaminants "Source Reduction"** by estimating carefully and minimizing waste when ordering materials.
- Recycle excess materials such as concrete, asphalt, scrap metal, stones, degreasers, paper, and vehicle maintenance materials whenever possible.
- Dispose of all hazardous waste by ensuring that materials that cannot be recycled are taken to an appropriate land fill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or drainage channel.

Landscaping, Gardening & Ponds/Fountains/Pool/Spa Maintenance

- Many landscaping activities and practices expose soils and increase the likelihood of water runoff that will transport earth, sediments and garden chemicals to the storm drains during rain events. Other exterior emulsions such as paints, poisons and areas require regular maintenance using organic and/or copper based approaches. Water treated with these chemicals is toxic to aquatic life and should never be discharged to the storm drain.

Landscaping & Garden Maintenance


- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Schedule grading and excavation during dry weather.
- Use temporary check dams or ditches to direct runoff away from storm drains or drainage channels.
- Protect storm drain inlets with sandbags, gravel filled bags, straw wattles, filter fabric or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.
- Never dump or reuse soil, mulch, or other landscape products in the street, gutter, or storm drain.

Ponds/Fountains/Pool/Spa Maintenance

- When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Capitola Public Works Department. The City will provide guidance on handling special draining issues, flow rate restrictions and backflow prevention.

Preventing Water & Sediment Runoff

Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent or net increase of sediment in the site's storm water discharge relative to pre-construction levels. During the rainy season, erosion control measures must also be located at all appropriate locations along the site's perimeter and at all sites to the storm drain system. Effective methods to protect storm drain inlets include sand bag barriers, heavy rubber mats to cover and seal the inlet, and sediment traps or basins. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002; and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).

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- Effective filtration devices, barriers, and settling devices shall be selected, installed and maintained properly.
- ERT boxes must be installed so that the drainage around each fence does not create additional erosion and fills down slope of the fence.
- If straw wattles are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just causing the water to travel around the bales) and that the straw pieces are not carried into the storm drain system.
- Whenever possible, use terracing, surface roughening (e.g. with a bulldozer), and energy dissipaters (such as riprap, sand bags and rocks) on slopes to reduce runoff velocity and soil settlements. Do not use silttrap tubs or other demarcation devices for this purpose.
- All on-site erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety hazards.
- A qualified person should conduct inspections of all on-site BMPs during each rainstorm and after a storm to ensure that the BMPs are functioning properly. For sites greater than one-acre, on-site inspections are required in accordance with the CGP.

Earth Moving Activities & Heavy Equipment

Soil excavation and grading operations loosen large amounts of soil that can be transported into storm drains when handled improperly. Effective erosion control practices reduce the amount of runoff creating a site and slow the flow with check dams or roughened ground surfaces. Often, earth moving activities require use and storage of heavy equipment. Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids onto the construction site are common sources of storm drain pollution.

Site Planning

- Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
- Perform major auto or heavy equipment maintenance, repair jobs and vehicle or equipment washing off-site.
- If you must drain and replace motor oil, radiator coolant or other fluids on site, use drip pans, plastic sheeting or drip cloths to catch dirt and spills. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste. Recycle whenever possible.
- Do not use diesel oil to lubricate equipment parts or clean equipment. Only use water for onsite cleaning.
- Cover exposed fifth wheel hitch(es) and other city or greasy equipment during all rain events.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
- Use check dams or ditches to divert runoff around excavations. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002; and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CASQA).
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

Spill Clean Up

- Maintain a spill clean-up kit on site.
- Clean up spills immediately. Use dry cleanup methods if possible.
- Sweep up spilled dry materials or insusceptible surfaces where hails have spilled. Use dry cleanup methods (absorbent materials, cat litter and/or rags) whenever possible and properly dispose of absorbent materials.
- Never hose dried dry materials immediately. Never attempt to wash them away with water or bury them.
- Use as little water as possible for dust control. If water is used, ensure it does not leave soil or discharge to storm drains. Call 911 for significant spills. If the spill poses a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.

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Painting, Varnish & Application of Solvents & Adhesives

Paints, varnish, solvents and adhesives contain chemicals that are harmful to wildlife and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or cans. Paint materials and waste, adhesives and cleaning fluid should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and watercourses.

Handling of Surface Coatings

Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system. When there is a risk of a spill reaching the storm drain, nearby storm drain inlets must be protected prior to starting painting, staining and watercourses.

Removal of Surface Coatings

- Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint or varnish stripping residue, chips and dust from marine paints or varnishes, or paints containing lead, mercury or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state certified contractor. Paint may be tested for lead by taking paint scrapings to a local, state-certified laboratory.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains to prevent flow to creeks and the Monterey Bay.
- Wash water from painted buildings containing pre-1979 can contain high amounts of lead even if paint chips are not present. Before stripping paint or cleaning a pre-1979 building's exterior with water under high pressure, test paint for lead by taking paint scrapings to a local, state-certified laboratory.

Clean Up of Surface Coatings

- Never clean brushes or trim paint or varnish containers into a gutter, street storm drain, French drain or creek.
- For water based paints, paint out brushes to the extent possible and drop into an interior sink drain that goes to the sanitary sewer.
- For oil based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Dispose of excess liquids and residue as hazardous waste.
- When thoroughly dry, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.

Disposal of Surface Coatings

Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glues and cleaning fluids must be disposed of as hazardous waste. When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials outside, and ensure that nothing has drifted toward the street, gutter, or catch basin.

Roofwork & Paving

- Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
- The discharge of saw cut slurry to the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.
- Dried, saw cut slurry must be cleaned up and properly disposed so that it will not be carried into the storm drain system by wind, traffic, or rainfall.
- After breaking up old pavement, sweep up materials and recycle as much as possible. Property dispose of non-recyclable materials.
- Cover and seal nearby storm drain inlets and manholes before applying seal coat, slurry seal, etc. Leave covers in place until the oil sealer is dry.
- In the event of rain during construction, divert runoff around work areas and cover materials.
- Paving machines over drip pans or absorbent materials.
- Never wash sweepings from asphalt aggregate concrete into a street or a storm drain inlet. Collect and return to aggregate base stockpile or dispose of in the trash.
- Remove and clean up material stockpiles (i.e. asphalt and sand) by the end of each week or, if during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

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Concrete, Cement, & Masonry Products

- Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
- Avoid mixing excess amount of fresh concrete or cement mortar on-site.
- During the curing, ensure that the slurry water does not run off into the street or storm drain system. The discharge of slurry to the storm drain system is prohibited. Dried slurry must be cleaned up and disposed of properly.
- Concrete, cement, and masonry mixing containers may not be washed or rinsed into the street or storm drain systems, if a concrete transit mixer is used, a suitable washout box, recirculation or self-washing mixer able to contain wash material shall be provided on-site.
- Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditch or water body.
- If conducting sidewalk work, material stockpiles must be removed and cleaned up by the end of each day. Sweep or collect unused materials and debris that remain on pavement and dispose of properly.
- When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials outside. Ensure that nothing has drifted towards the street, gutter or catch basin.

Site Clean Up

- Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
- The street, sidewalks and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb all the water.
- If conducting road or sidewalk work, materials stockpiles must be removed and cleaned up by the end of each work day.
- Discarded building materials and demolition materials must not be left in a street, gully, or waterway. Dispose of all wastes properly including leftover paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.

Signed and Agreed to by
Project Owner or General Contractor
Signed: Taylor Bode Date: 11/08/2024
Print Name: Taylor Bode

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Signet

Date 08/04/2024

Rev. No.	Date
01	11/05/2024
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REFERENCES

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