

DRVO LOT 14
APN# 034-064-24

ABBREVIATIONS

&	AND	H.B.	HOSE BIB
L, A	ANGLE	HDR.	HEADER
@	AT	HDWR.	HARDWARE
'	DEGREE	HORIZ.	HORIZONTAL
A.B.	ANCHOR BOLT	HT., H.	HEIGHT
(A)	ABOVE	I.D.	INSIDE DIAMETER
A.C.I.	AMERICAN CONCRETE INSTITUTE	IN.	INCH(ES)
ADJ.	ADJACENT	INSUL.	INSULATION
A.F.F.	ABOVE FINISH FLOOR	INT.	INTERIOR
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	JT.	JOINT
ALT.	ALTERNATE	K.P.	KING POST
ALUM.	ALUMINUM	L.	LENGTH
APPROX.	APPROXIMATELY	LIN.	LINEAR
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	M.B.	MACHINE BOLT
(B)	BELOW	MEMB.	MEMBRANE
BD.	BOARD	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
BLKG.	BLOCKING	MISC.	MISCELLANEOUS
BM.	BEAM	MTL.	METAL
B.N.	BOUNDARY NAILING	MW.	MICROWAVE
B.O.	BOTTOM OF	N.	NORTH
BOTT.	BOTTOM	[N]	NEW
BTWN.	BETWEEN	N.T.S.	NOT TO SCALE
CAB.	CABINET	O.	OVER
C.B.	CEILING BEAM	O.C.	ON CENTER
C.J.	CEILING JOIST	O.D.	OUTSIDE DIAMETER
CLG.	CEILING	O.H.	OPPOSITE HAND
CLR.	CLEAR	O.V.	OVEN
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	PL.	PLATE
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
CTR.	CENTER	PKG.	PARKING
CL	CENTERLINE	P.S.F.	POUNDS PER SQUARE FOOT
DØ	BAR DIAMETER	P.S.I.	POUNDS PER SQUARE INCH
DBL.	DOUBLE	QTY.	QUANTITY
DEG.	DEGREE	RAD.	RADIUS
DEMO.	DEMOLISH	R.B.	ROOF BEAM
DET., DTL.	DETAIL	RCP.	REFLECTED CEILING PLAN
D.W.	DISHWASHER	RE:	REFERENCE
DWG.	DRAWING	REF.	REFRIGERATOR
DWN.	DOWN	REINF.	REINFORCED
DN.		REQ'D.	REQUIRED
(E)	EXISTING	RM.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
E.N.	EDGE NAILING	R.R.	ROOF RAFTER
EL.	ELEVATION	SCHED.	SCHEDULE
ELEV.	ELEVATOR	SF.	SQUARE FOOT
ENG.	ENGINEER	SHT.	SHEATHING SHEET
EQ.	EQUAL	SHT.	SHEET
EXT.	EXTERIOR	SIM.	SIMILAR
E.W.	EACH WAY	SL.	SLOPED
F.B.	FLOOR BEAM	SPKL.	SPRINKLER
F.F.	FINISHED FLOOR	SQ.	SQUARE
FN.	FINISH(ED)	STAGG.	STAGGER
F.J.	FLOOR JOIST	STD.	STANDARD
FL.	FLUSH	STL.	STEEL
FLR.	FLOOR	STR.	STRUCTURAL
F.N.	FIELD NAILING	T&B	TOP & BOTTOM TONGUE & GROOVE
FND.	FOUNDATION	T&G	TONGUE & GROOVE
F.O.	FACE OF	THK.	THICK
FP.	FIREPLACE	T.O.	TOP OF
F.R.	FIRE RATED	T.P.	TOILET PAPER
FT.	FOOT OR FEET	TR.	TYPICAL
FTG.	FOOTING	U.B.C.	UNIFORM BUILDING CODE
FZR.	FREEZER	VERT.	VERTICAL
GA.	GAUGE	W.	WIDTH
GALV.	GALVANIZED	WD.	WOOD
G.B.	GRADE BEAM	WH.	WATER HEATER
GLB.	GLU-LAM BEAM		
GYP. BD.	GYPSUM WALL BOARD		
G.W.B.			

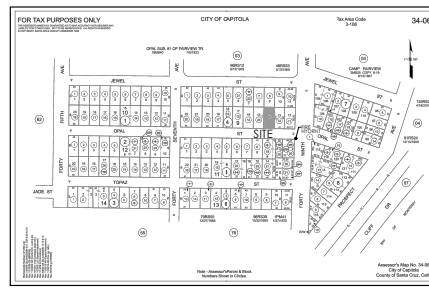
DRVO BUILDERS INC - LOT 14

NEW RESIDENCE

4855 OPAL STREET
CAPITOLA, CA 95010
APN 034-064-24



VICINITY MAP



PARCEL MAP

CODE COMPLIANCE

THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH TITLE 24 AND THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA ENERGY CODE (CenC)

FIRE NOTES

1. THESE PLANS SHALL COMPLY WITH 2022 CALIFORNIA BUILDING CODE AND 2022 CALIFORNIA FIRE CODE AND DISTRICT AMENDMENTS.
2. OCCUPANCY R-3 & U, TYPE V-B, FULLY SPRINKLER. APPROVED AUTOMATIC SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
3. THE DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS, AND CUT SHEETS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO THE CENTRAL FIRE PROTECTION DISTRICT.
4. ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
5. ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED.
6. THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST REMAIN ON-SITE DURING INSPECTIONS.
7. PUBLIC FIRE HYDRANT REQUIRED WITHIN 600 FT. OF ANY PORTION OF THE BUILDING WITH A MINIMUM 1000 GALLON FIRE FLOW, A AVAILABLE FIRE HYDRANT APPROXIMATELY 120' FROM BUILDING (49th & OPAL ST).
8. ONE HUNDRED (100) FOOT CLEARANCE TO BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS SHORTER DISTANCE.

PROJECT INFORMATION

OWNER: DRVO BUILDERS INC
1568 GLEN UNA CT
MOUNTAIN VIEW, CA 94040

A. P. N.: 034-064-24

ZONING: R-1

OCCUPANCY GROUP: R-3 & U (PER 2022 CRC)

CONSTRUCTION TYPE: VB (SPRINKLERED)

PROJECT DESCRIPTION:
THE DEMOLITION OF AN EXISTING 1,068 SF RESIDENCE AND 572 SF DETACHED GARAGE CURRENTLY RESIDING ON LOTS 14 AND 15; TO BE REPLACED WITH TWO RESIDENTIAL STRUCTURES.

LOT 14: A PROPOSED 1,796.5 SF TWO-STORY 2 BEDROOM, 2 BATHROOM RESIDENCE, AN ATTACHED TWO-STORY 792 SF ADU, AND WITH ATTACHED GARAGE; AND COVERED PORCH.

SEE LOT 15 PLANS PROJECT DESCRIPTION.

CONSULTANTS

ARCHITECTS:
MATSON BRITTON ARCHITECTS
728 N. BRANCIFFORTE
SANTA CRUZ, CA 95062
PHONE: 831-425-4544
FAX: 831-425-4795

CIVIL ENGINEERING AND SURVEYING:
NNR ENGINEERING SERVICES CO.
535 WEYBRIDGE DRIVE
SAN JOSE, CA 95123
PHONE: 408-348-7813
nrrengineering@yahoo.com

ENGINEERING:
R.I. ENGINEERING, INC.
303 POTRERO STREET, STE. 42-202
SANTA CRUZ, CA 95060
PHONE: 831-425-3901
FAX: 831-425-1522

GEOTECHNICAL:
ROCK SOLID ENGINEERING, INC
1100 MAIN ST. SUITE A
WATSONVILLE, CA 95076
PHONE: 831-724-5868

SHEET INDEX

ARCHITECTURAL DRAWINGS

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- P4 BUILDING ELEVATIONS

CIVIL DRAWINGS

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- C2 SECTIONS & DETAILS
- C3 COUNTY STANDARD DETAILS
- C4 STORMWATER POLLUTION CONTROL PLAN

SURVEY

- SU1 SURVEY PLAN

LANDSCAPE

- L1 LANDSCAPE PLAN

PROJECT CALCULATIONS

TOTAL LOT SIZE: 3,280 SQ. FT. (0.075 ACRE) NET

MAX FAR [56% OF NET LOT SIZE]: TABLE 17.16-3
3,280 X .56 = 1,836.8 S.F.

PROPOSED FIRST & SECOND FLOOR AREA: 1,796.5 S.F.
TOTAL FAR SQ FT: 1,796.5 S.F.
FAR RATIO: (1,796.5 / 3,280) = 54.7%

PROPOSED ATTACHED ADU FLOOR AREA: 792 S.F.
(800 SF MAX)

PARKING 1 COVERED, 1 UNCOVERED



FOR ALL BRANCIFFORTE
TANIA BRITTON
DANIEL BRITTON
E.B.A. 15-05-04

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REVISIONS

DRVO BUILDERS INC
NEW BUILDERS RESIDENCE
LOT 14 - 4855 OPAL STREET
CAPITOLA, CA 95010
APN: 034-064-24

LOT 14

TITLE SHEET



D	A	T	E				
0	9	/	0	4	/	2	4
D	R	A	W	N			
FK							
I							
O							
B							
DRVO LOT 14							
S							
H							
E							
E							
T							

P1



DRYVO BUILDERS INC
TANIA CERF
C.A. 95010
951-455-0544

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REVISIONS

DRYVO BUILDERS INC
NEW BUILDERS RESIDENCE
LOT 14 - 4855 OPAL STREET
CARTOIA, CA 95010
APN: 034-064-24

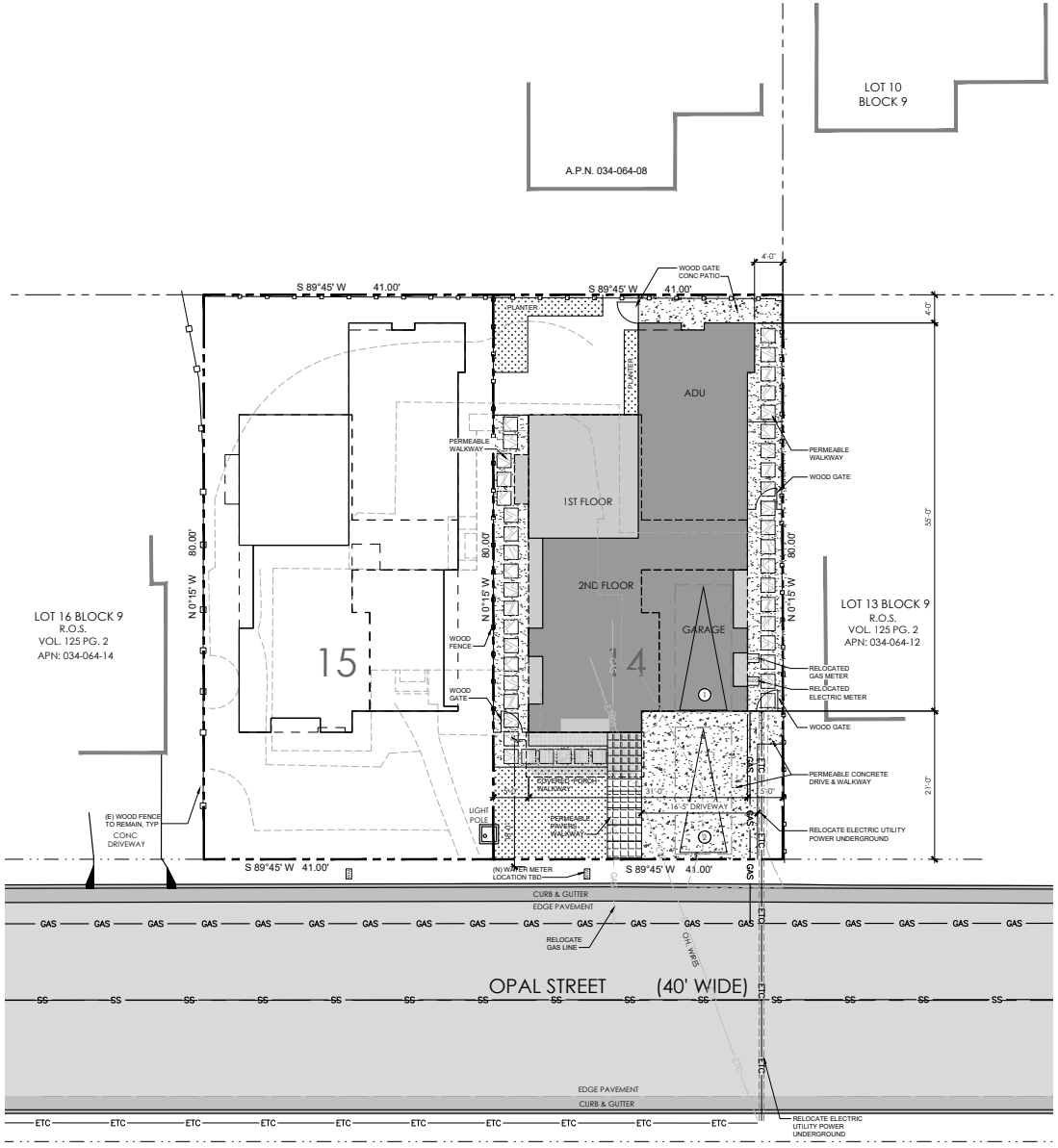
LOT 14

SITE PLAN



D	A	T	E	
09 / 04 / 24				
D	R	A	W	N
FK				
J	O	B		
DRYVO LOT 14				
S	H	E	E	T

P2



SITE LEGEND

	PROPERTY LINE
	PROPOSED BUILDING 1ST FLOOR
	PROPOSED BUILDING 2ND FLOOR
	PROPOSED COVERED PORCH
	LINE OF EXISTING WOOD FENCE AND GATES
	LINE OF EXISTING IRON FENCE AND GATES
	EXISTING TREES, LANDSCAPING, WALLS, RETAINING WALLS, LAWN & CURBED PLANTING AREAS TO REMAIN
	EXISTING BUILDING, UTILITIES, HARDSCAPE AND LANDSCAPE TO BE REMOVED/DEMOLISHED
	PERMEABLE PAVERS
	PERMEABLE CONCRETE DRIVE, PATIO & WALKWAY

SITE PLAN NOTES

1. PROJECT REQUIRES MINIMAL GRADING.
2. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
3. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
4. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
5. NO CHANGE TO EXISTING WATER AND SEWER SERVICE LINES.
6. ALL EXISTING TREES, LANDSCAPE AND HARDSCAPE TO REMAIN. ALL EXISTING SITE WALLS AND GATES TO REMAIN. NO NEW, OR DEMOLITION OF LANDSCAPE AND HARDSCAPE, OTHER THAN AT IMMEDIATE AREAS OF NEW CONSTRUCTION.

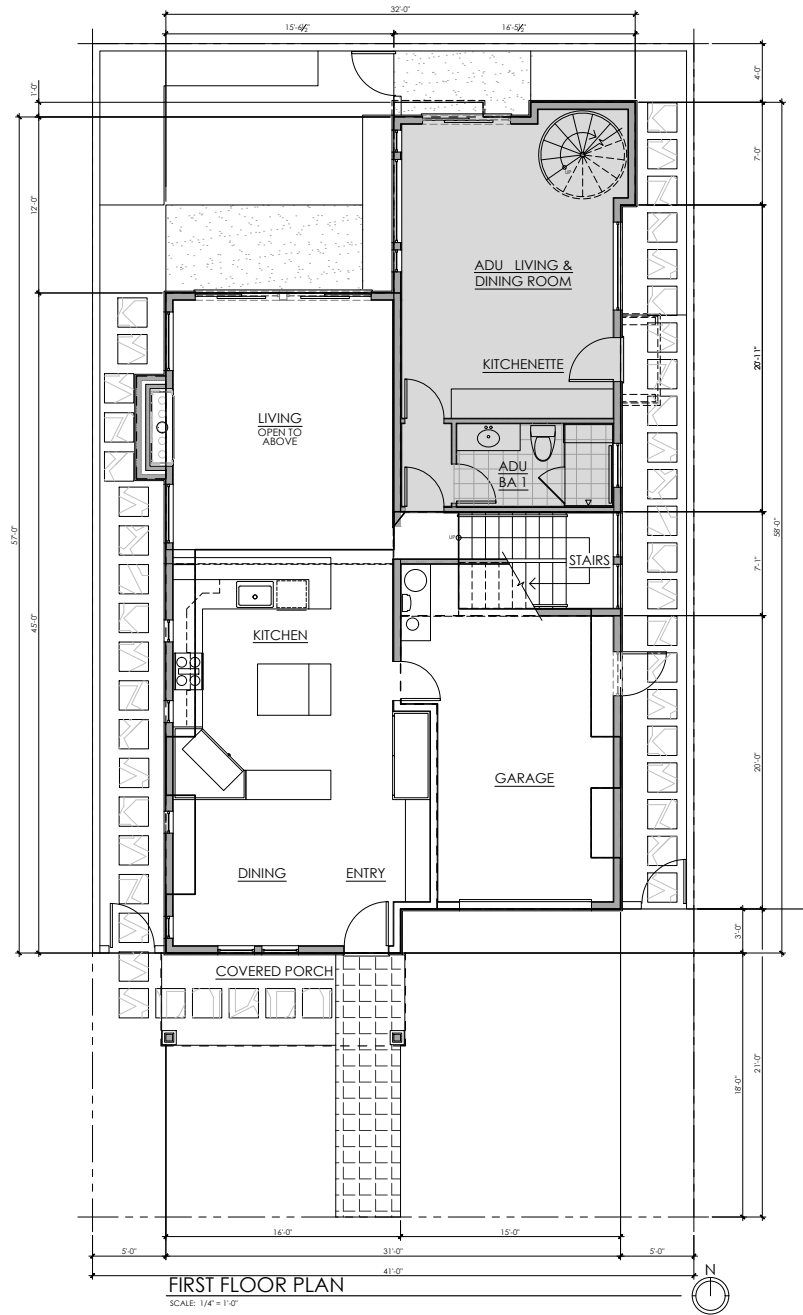
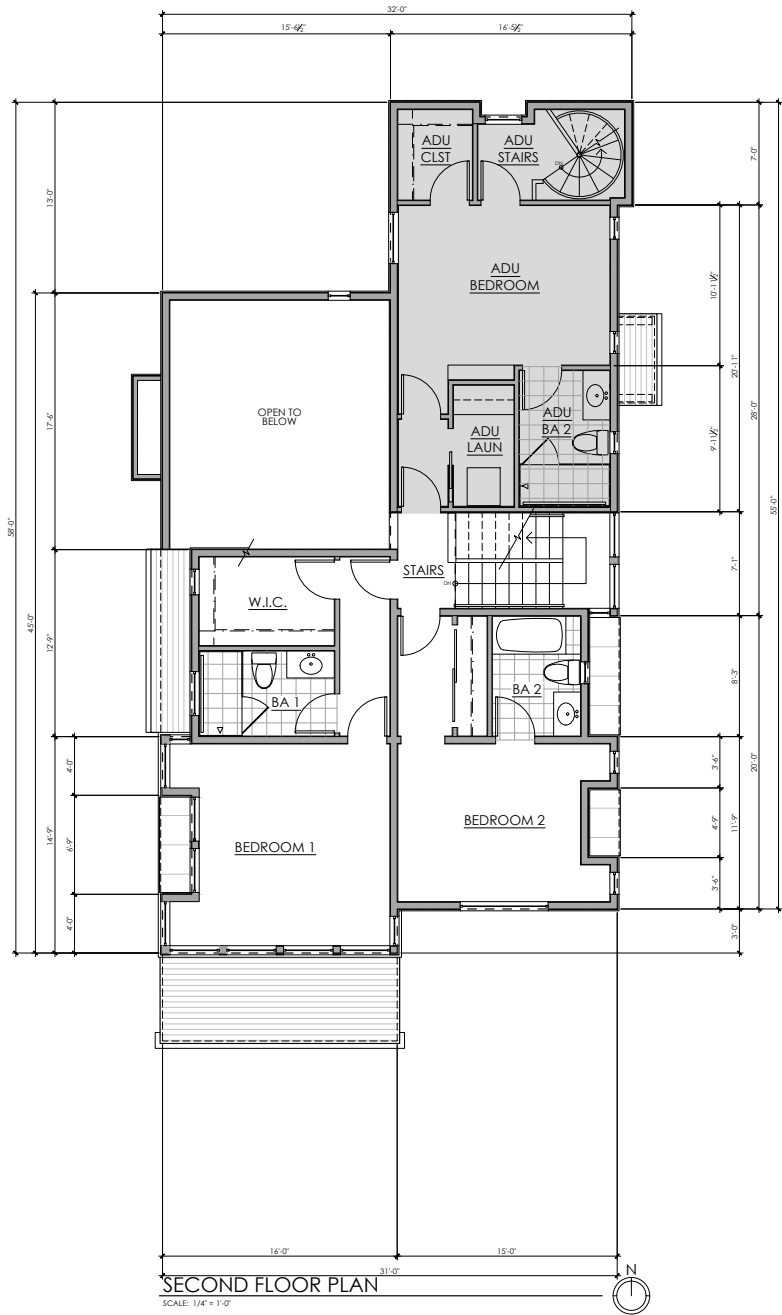
DRAINAGE NOTES

1. DOWNSPOUTS TO GO TO EXISTING DRAINS.
2. ARCHITECT TO FIELD VERIFY LOCATIONS OF DOWNSPOUTS.
3. PROJECT TO MAINTAIN EXISTING DRAINAGE PATTERNS.

SITE PLAN

SCALE: 1/8" = 1'-0"





DRVO ARCHITECTURE
TANIA CERF
C.A. 050802
951-455-0544

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REVISIONS

NO.	DATE	DESCRIPTION

DRVO BUILDERS INC
NEW BUILDERS RESIDENCE
LOT 14 - 4855 OPAL STREET
CARPINTERIA, CA 95010
APN: 034064-24

LOT 14

FLOOR PLANS



D A T E	09 / 04 / 24
D R A W N	FK
J O B	DRVO LOT 14
S H E E T	

P3



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



DRYD B BUILDERS INC
TANIA GERT
C.A. P. 0832
P.O. BOX 224
P.O. BOX 224

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NO.	DATE	DESCRIPTION

DRYD BUILDERS INC
NEW BUILDERS RESIDENCE
LOT 14 - 4855 OPAL STREET
CARTIOLA, CA 95010
APN: 034064-24

LOT 14

EXTERIOR ELEVATIONS



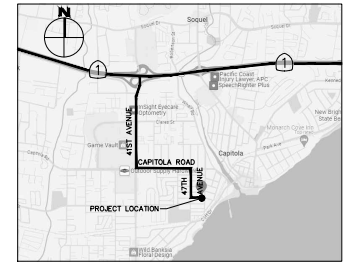
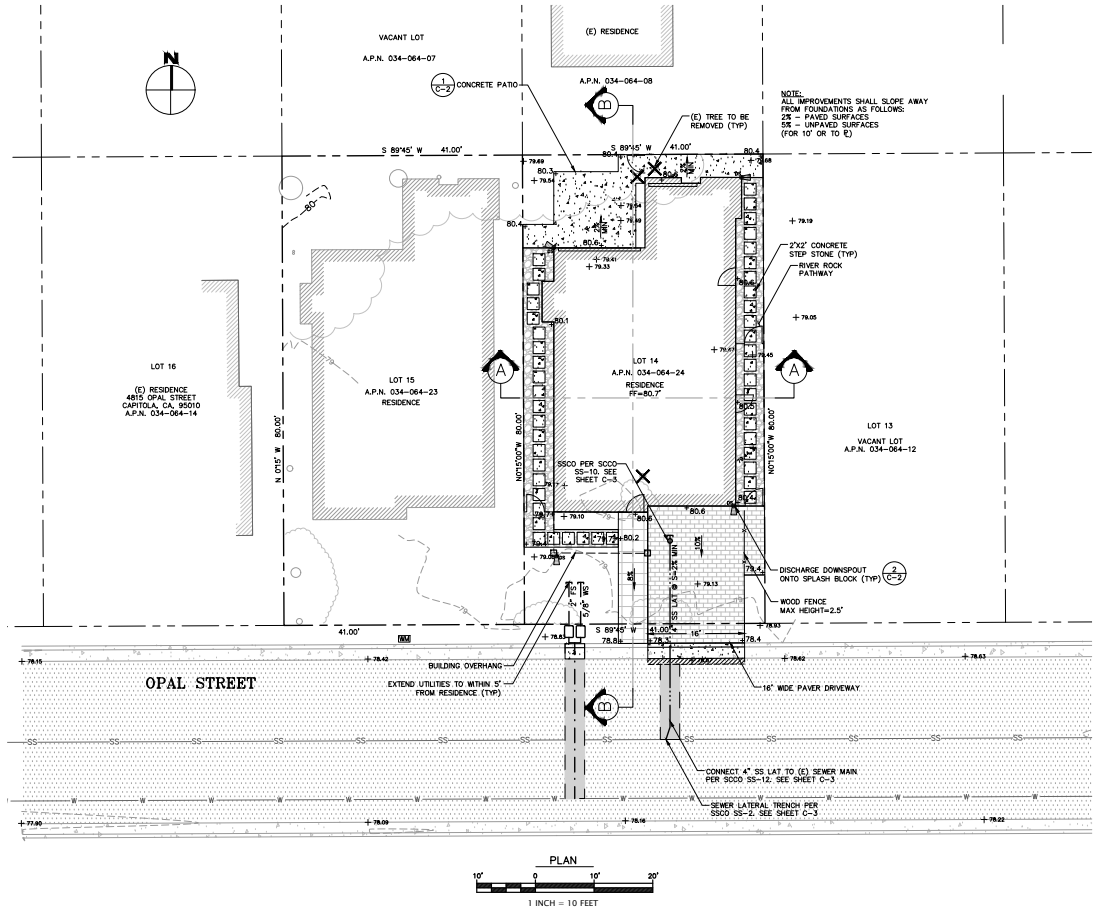
D	A	T	E	
09	/	04	/	24
D	R	A	W	N
FK				
J	O	B		
DRYO LOT 14				
S	H	E	E	T

P4

DRYO 14 RES.dwg
9/4/2024 1:32 PM
M&B, Inc.

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE CITY OF CAPITOLA DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
5. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE CITY OF CAPITOLA PRIOR TO THE START OF WORK.
6. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS RESPONSIBILITY SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
7. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE CITY OF CAPITOLA.
8. THE CONTRACTOR SHALL NOTIFY THE CITY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE CITY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
9. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
10. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
11. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
12. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
13. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TAPERS.
14. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC, ARCHAEOLOGICAL, RESIDUE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.41.010, SHALL BE OBSERVED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
16. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
17. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL DETECTED UTILITY LINES PRIOR TO ANY WENCHING OR EXCAVATING AND POTENTIAL THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-624-1444.
18. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.



LEGEND

- (E) AC
- (E) CONCRETE
- PROPOSED CONCRETE
- RIVER ROCK
- PROPOSED AC
- PERMEABLE DRIVEWAY (SEE L/S ARCH DETAILS)
- PERMEABLE WALKWAY (SEE L/S ARCH DETAILS)
- SAWCUT
- (E) SANITARY SEWER
- (E) WATER MAIN
- PROPERTY LINE
- SD
- SANITARY SEWER
- WATER SERVICE
- TREE REMOVAL
- SDCO
- CB

ABBREVIATIONS

- BW BOTTOM OF WALL
- CB CATCH BASIN
- CONSTR CONSTRUCTION
- CITY CITY OF CAPITOLA
- CONP CONCRETE
- DIAM DIAMETER
- DS DOWNSPOUT
- DETAL DETAIL
- DWY DRIVEWAY
- EXSTR EXISTING
- ELEV ELEVATION
- EQP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FG FINISH GRADE
- FRS FIRE SERVICE
- HP HIGH POINT
- INVERT INVERT
- LF LINEAR FEET
- MAX MAXIMUM
- MIN MINIMUM
- N.T.S. NOT TO SCALE
- RETAINING WALL RETAINING WALL
- RM ROOM
- ROW RIGHT OF WAY
- SCOD SANTA CRUZ COUNTY SOIL COVERED DISTRICT
- SCWD STORM DRAIN CLEANOUT
- SDCO SANITARY SEWER CLEANOUT
- SDCO TYPICAL
- TOP OF WALL TOP OF WALL
- TR TRENCH
- WS WATER SERVICE

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPILED BY HANAGAN LAND SURVEYING. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS BETWEEN FOUND MONUMENTS PER RECORD OF SURVEY FILED IN VOLUME 125 OF MAPS AT PAGE 2 IN THE SANTA CRUZ COUNTY RECORDS.

BASIS OF ELEVATION

SANTA CRUZ COUNTY BENCHMARK #62, A HOLE IN TOP OF A MANHOLE AT THE INTERSECTION OF 49TH AVENUE AND OPAL STREET. BM EL=79.47' NAAD 88

ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

APPROXIMATE EARTHWORK QUANTITIES

SITE GRADING	CUBIC YARDS	
	CUT	FILL
	20	20
	CUY	CUY/FLL

- NOTES:
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
 2. EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
 3. EXCESS SOIL SHALL BE HAULLED OR PLACED IN A COUNTY APPROVED LOCATION.

DRAINAGE CONDITIONS AND NOTES

RI ENGINEERING HAS REVIEWED THE EXISTING AND PROPOSED DRAINAGE PATTERS. EXISTING DRAINAGE CONDITIONS WILL REMAIN UNCHANGED. RUNOFF FROM THE PROPERTY FLOWS TOWARDS OPAL STREET WHICH RUNS ALONG THE SOUTHERN PROPERTY LINE. LEAVING THE PROPERTY, STORMWATER TRAVELS ALONG OPAL STREET, WITH ANE. AND DOWN CLIFF DRIVE, APPROX 0.4 MILES, PRIOR TO DISCHARGING INTO THE MONTEREY BAY. NO FORESEEN ADVERSE IMPACT TO THE PUBLIC RIGHT OF WAY OR NEIGHBORING PROPERTIES IS ANTICIPATED.

THE PROJECT WILL RESULT IN LOSS OF NEW/REPLACED IMPERVIOUS AREA. THE INCREASE IN STORMWATER RUNOFF WILL BE MITIGATED BY DISCHARGING DOWNSPOUTS ONTO SPLASH BLOCKS. THROUGH GRASS SWALES, INTO A CATCH BASIN THAT THEN DRAINS THROUGH THE CURB ONTO OPAL STREET.



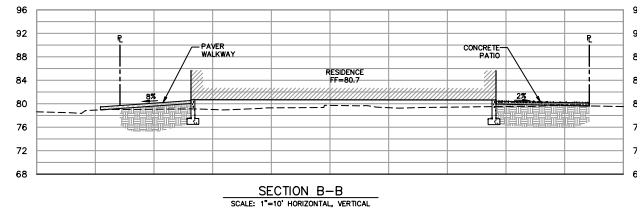
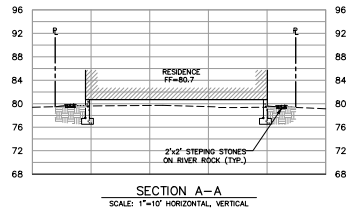
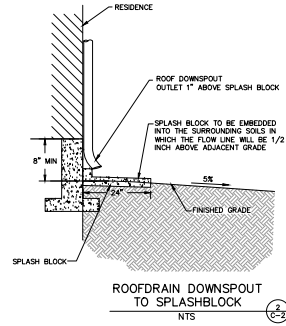
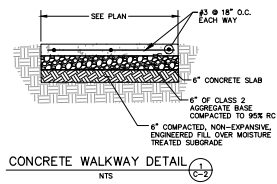
RI Engineering Inc.
 303 Palero St., Suite 42-202, Santa Cruz, CA 95060
 831-425-3901 www.riengineering.com

NEW RESIDENCE FOR STEPHEN DORRICH LOT 14, CAPITOLA, CA A.P.N. 034-064-24
GRADING & DRAINAGE PLAN

project no. 24-011-1
 date SEPTEMBER 2024
 scale AS SHOWN
 dwg name CIVIL3 - LOT14.DWG

C-1

PLANNING SUBMITTAL



RJI Engineering, Inc.
303 Palero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.rjengineering.com

NEW RESIDENCE FOR STEPHEN DORRICH LOT 14, CARTOLA, CA APN 034-064-21

project no. 24-011-1

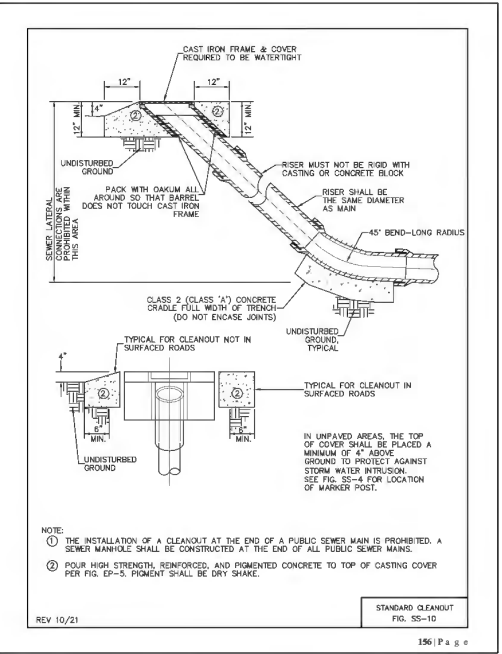
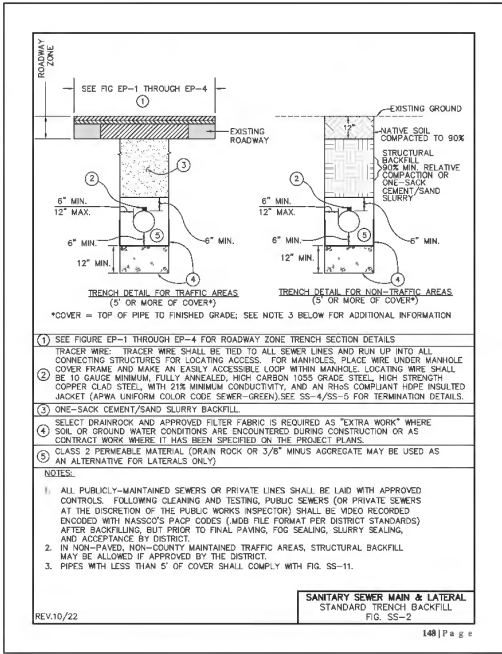
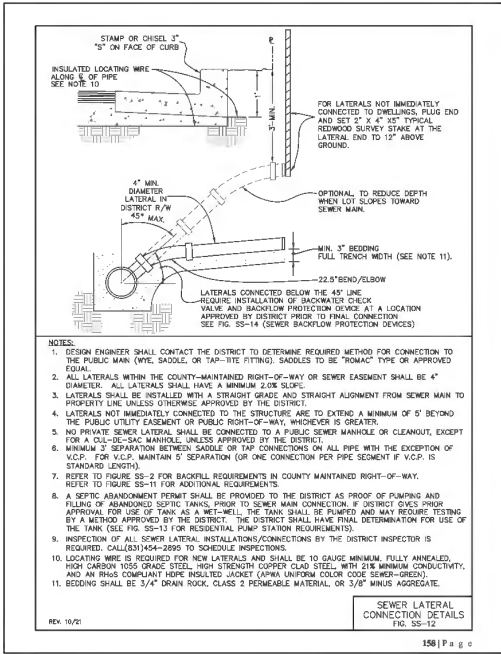
date SEPTEMBER 2024

scale AS SHOWN

dwg name CIVIL3 - LOT14.DWG

DETAILS

C-2



City of Capitola
Storm Water Permit Project Application

All projects must comply with the City's Storm Water Post Construction Requirements (CMC 15.16.090). Complete the following information in order for the Public Works Department to determine the applicable requirements for a project. Once this has been submitted the applicant will be notified and provided guidance on achieving compliance.

PROJECT ADDRESS: 4855 Opal Street, Capitola, CA 95010, APN 034-064-24

OWNER:	REPRESENTATIVE:
Contact Name: Steven Dorcich	Contact Name: Richard Irish, PE
Address: 1568 Glen Una Court	Address: 303 Potrero Street, Suite 42-202
City: Mountain View Zip: 95010	City: Santa Cruz Zip: 95060
Phone: 408-858-2240	Phone: 831-425-3801
Fax:	Fax:
Email: drvbbuilders@sbcglobal.net	Email: richard@riengineering.com

Project Type: Residential Commercial Industrial

Project is a: New Development Redevelopment

Project Description: Construct new single family residence.

Stormwater Project Information	
Parcel Size	3,280 sq. ft.
Amount of existing (pre-project) impervious surface area (e.g., existing buildings, parking, hardscape)	1,885 sq. ft.
Amount of replaced impervious surface area (e.g., parking lot replaced by a building)	1,885 sq. ft.
Amount of new impervious surface area created (e.g., new building addition and/or patio)	0 sq. ft.
Total proposed (post-project) impervious surface area	1,885 sq. ft.

I hereby affirm that this information is accurate and understand it will be used to determine compliance with the City's Storm Water Post Construction Requirements for this project.

Property Owner or Authorized Agent

Richard Irish, PE July 9, 2024

Print Name Signature Date

©Watermark Project/Patent Observations/Checklist/Storm Water Permit Application, ver 6.1.17.2024



R.I. Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3801 www.riengineering.com

NEW RESIDENCE
NEW PROJECT
STEPHEN DORCICH
LOT 14
CITY OF CAPITOLA, CA
CIVIL ENGINEER

project no.
24-011-1
date
SEPTEMBER 2024
scale
AS SHOWN
dwg name
CIVIL3 - LOT14.DWG

C-3

TOTAL AREA OF DISTURBANCE = 0.075 ACRES
= 3,280 SF

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BRIMED.
2. ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRIGGS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

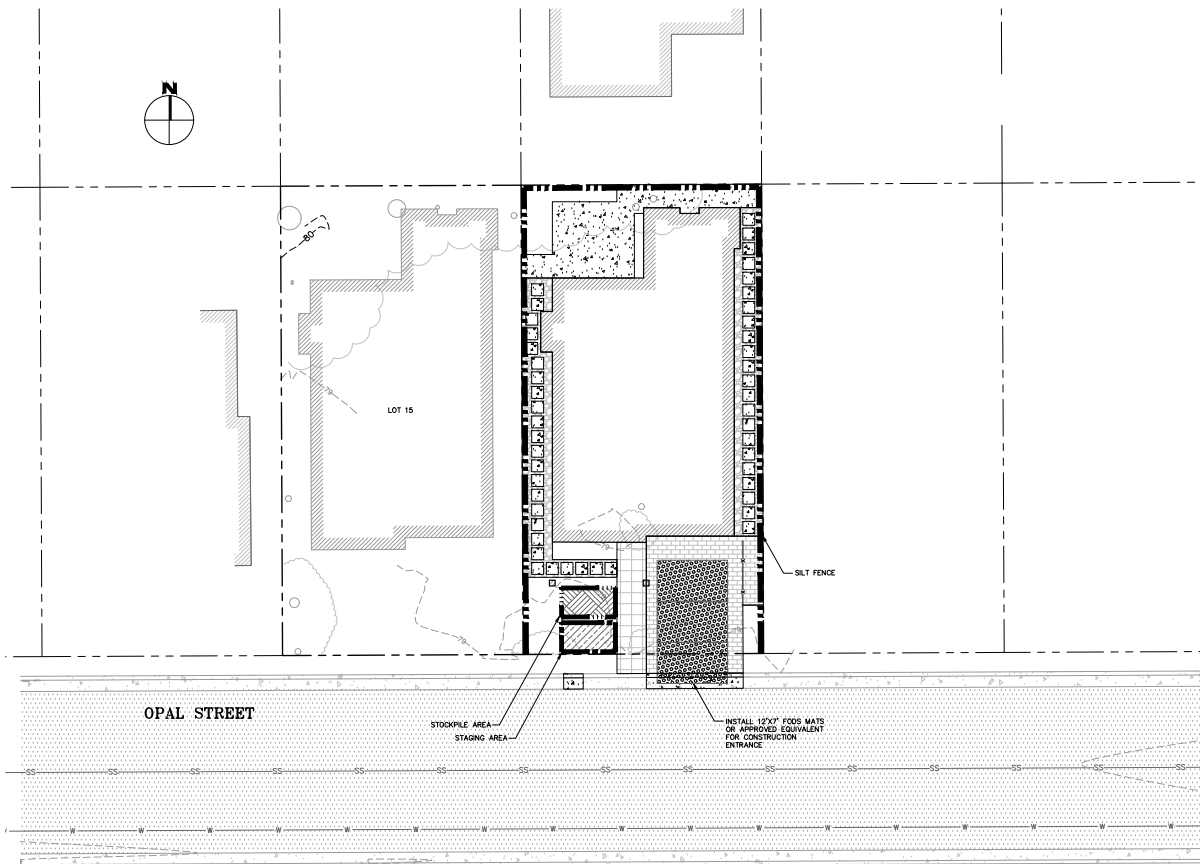
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
2. ALL EQUIPMENT OR VEHICLES WHICH ARE TO BE REPAIRED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE DUMPS.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

WASTE MANAGEMENT

1. DISPOSE OF ANY WASTE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET, OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SOLIDS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY, AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



EROSION CONTROL MEASURES

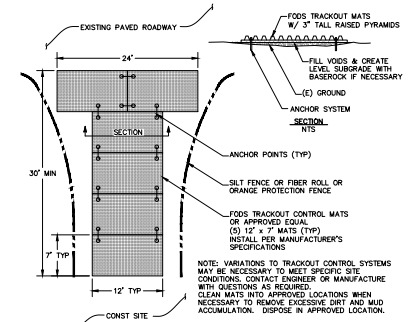
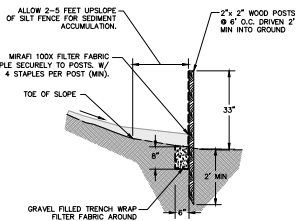
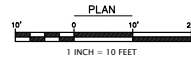
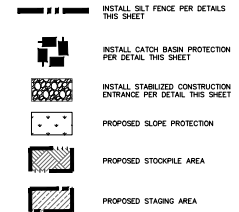
1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN UNID. CONDUIT. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. FIELD INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 0-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

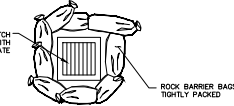
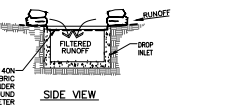
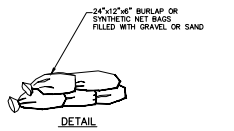
EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRIP 2 TONS/ACRE ON SLOPES ≤ 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES >20%

EROSION CONTROL LEGEND



CONSTRUCTION ENTRANCE DETAIL W/
FODS TRACKOUT CONTROL MATS
(OR APPROVED EQUAL)



GRAVEL BAG CATCH BASIN PROTECTION
NTS

SILT FENCE DETAIL
NTS

CONSTRUCTION ENTRANCE DETAIL W/
FODS TRACKOUT CONTROL MATS
(OR APPROVED EQUAL)
NTS

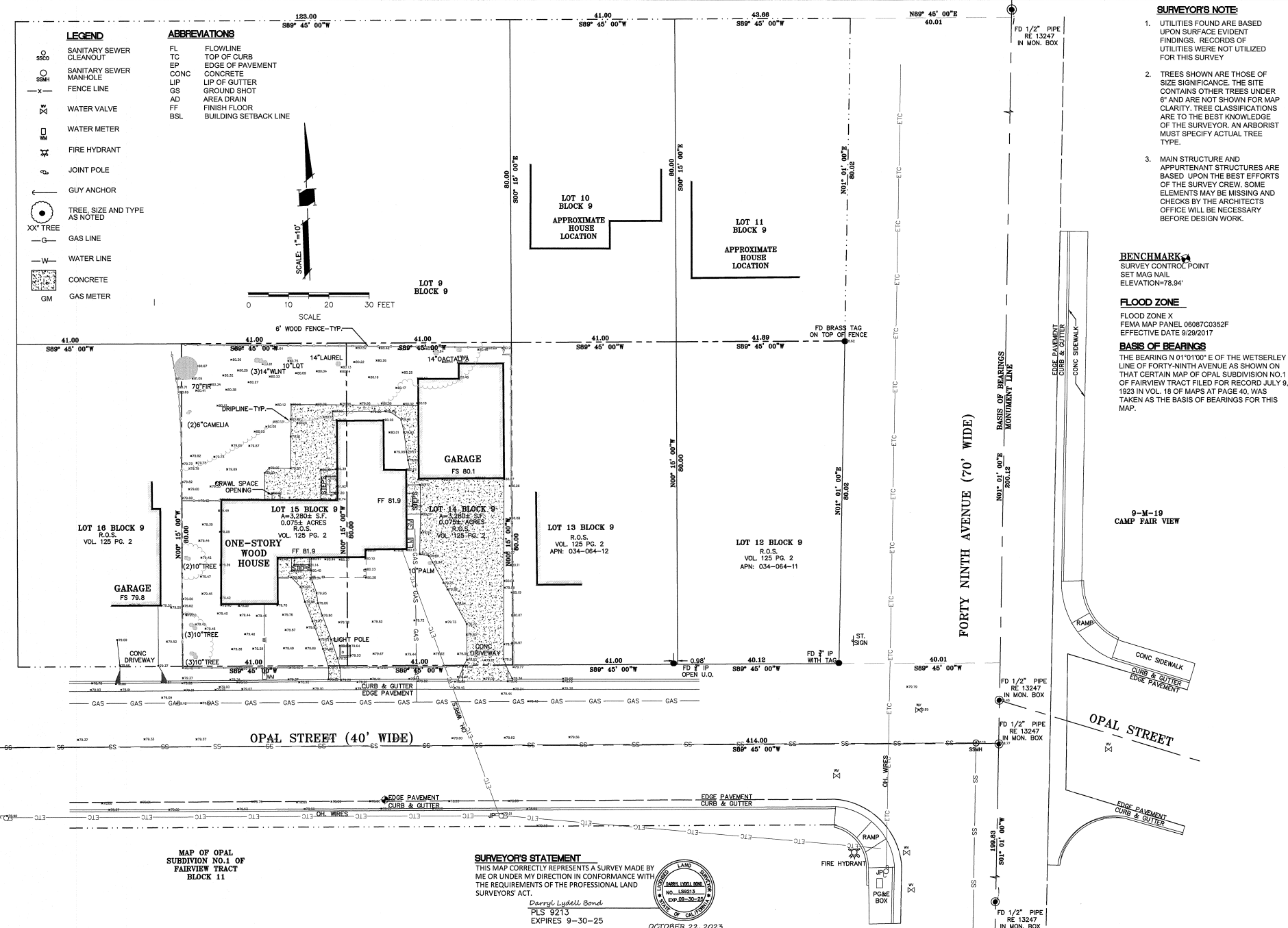


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NEW RESIDENCE
FOR
STEPHEN DORRICH
LOT 14, CANTON, CA
APN 034-054-024

project no.
24-011-1
date
SEPTEMBER 2024
scale
AS SHOWN
dwg name
CIVIL-3-LOT14.DWG

C-4



SURVEYOR'S NOTE

- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY.
- TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
- MAIN STRUCTURE AND APURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECT'S OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.

BENCHMARK
SURVEY CONTROL POINT
SET MAG NAIL
ELEVATION=78.94'

FLOOD ZONE
FLOOD ZONE X
FEMA MAP PANEL 06087C0352F
EFFECTIVE DATE 9/29/2017

BASIS OF BEARINGS
THE BEARING N 01°01'00" E OF THE WETSERLEY LINE OF FORTY-NINTH AVENUE AS SHOWN ON THAT CERTAIN MAP OF OPAL SUBDIVISION NO.1 OF FAIRVIEW TRACT FILED FOR RECORD JULY 9, 1923 IN VOL. 18 OF MAPS AT PAGE 40, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

SURVEYOR'S STATEMENT
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.

Darryl Lydell Bond
PLS 9213
EXPIRES 9-30-25

OCTOBER 22, 2023



NNR ENGINEERING SERVICES CO.
DARRYL LYDELL BOND, PLS 9213
555 WEBSTER AVENUE, SUITE 200, COSTA MESA, CA 92626
ANN ENGINEERING@YAHOO.COM

CALIFORNIA

TOPOGRAPHICAL SURVEY

4855 OPAL STREET

SANTA CRUZ COUNTY
APN 034-064-23
APN 034-064-24

REV.	DATE	BY	CHK	DESCRIPTION

SHEET NO. 1

OF 1 SHEETS

CAD FILE:



SITE ADDRESS: 4855 OPAL ST. CAPITOLA, CA 95010		
CLIENT: DRVO BUILDERS - STEPHEN DORCICH		
DRAWN BY:	CATHLEEN'S garden creations Owner: Cathleen Quinn 831-325-9137 www.cathleensgardencreations.com	
DRAWING # 1/1	DATE: REVISED: JUNE 2024	Produced on a 24"X36" size sheet Scale: 1/4" = 1'



UNIT #14 PLANT LIST

CODE	PLANT	#	SIZE
AC	ACACIA C. 'COUSIN ITT'	3	1'
AG	AGAVE 'BLUE FLAME VARIEGATED'	1	5'
CE	CERCIS C. 'FOREST PANSY' (STD. TREE)	1	10'
CH	CHRYSAETHRUM P. 'AUREUM'	2	1'
CO	CORBYLINE 'RED SENSATION'	2	1.5'
DI	DIANELLA TASMANICA	4	1'
BO	BOTHYERIA ASSORTED MIX	2	4"
JK	JUNGAS PATENS	3	1'
LE	LEUCOSPERMUM PATERSONII 'BROTHERS'	1	5'
LO	LOMANDRA C. 'INESCAP'	4	1'
PA	PANDORA JASMINOIDES 'VARIEGATA' - STAKED	1	5'
PI	PISTACIA C. KEITH DAVEY' (STD. TREE)	1	1.5'
SA	SALVIA M. 'KILLER ORANGE BERRY'	1	1'
SE	SENECIO 'BARBERTONICUS'	1	1'
SR	SEDUM E. 'ANGELINA'	4	1'

UNIT #15 PLANT LIST

CODE	PLANT	#	SIZE
CL	CLIVIA MINATA	4	1'
CA	CAMPIDENSIS S. 'TINY TOWERS'	1	1.5'
BO	BORGANVILLEA 'SAN DIEGO RED'	1	1.5'
ER	ERIGERON KARVINSKIANSKIUS	7	1'
BU	BUDNYMIUSJ. 'SILVER KING'	3	5'
GR	GREVILLEA 'MOONLIGHT'	1	5'
HE	HELLEBORUS ARGENTIFOLIUS	3	1'
LA	LAVANDULA 'GROSSO'	5	1'
LM	LANTANA MONTEVIDENSIS	3	1'
RI	ROSA 'CEBUJCA'	3	5'
TR	TRACHELOSPERMUM JASMINOIDES - STAKED	1	5'

NOTES AND SPECIFICATIONS

LOT #14

- NEW DRIVEWAY AND WALKWAYS**
 * NEW DRIVEWAY SHALL BE INSTALLED AT LOCATION INDICATED ON DESIGN. SUGGEST GREY COLOR PERMEABLE PAVERS.
 * A SLIGHTLY DIFFERENT SHADE AND/OR DESIGN OF PERMEABLE PAVERS SHALL BE INSTALLED AS WALKWAY TO FRONT DOOR AT LOCATION INDICATED ON DESIGN TO DELINEATE BETWEEN DRIVEWAY AND WALKWAY.
 * 2X2 CONCRETE STEP STONES WITH 2" RIVER ROCK EDGING SHALL BE INSTALLED AS WALKWAYS TO BACK YARD ON EITHER SIDE OF THE HOUSE AT LOCATIONS INDICATED ON DESIGN.

LOT #15

- NEW DRIVEWAY AND WALKWAYS**
 * NEW DRIVEWAY SHALL BE INSTALLED AT LOCATION INDICATED ON DESIGN. SUGGEST BEIGE COLOR PERMEABLE PAVERS.
 * A SLIGHTLY DIFFERENT SHADE AND/OR DESIGN OF PERMEABLE PAVERS SHALL BE INSTALLED AS WALKWAY TO FRONT DOOR AT LOCATION INDICATED ON DESIGN TO DELINEATE BETWEEN DRIVEWAY AND WALKWAY.
 * 2X2 BEIGE FLAGSTONES EMBEDDED INTO BEIGE DECOMPOSED GRANITE SHALL BE INSTALLED AS WALKWAYS TO BACK YARD ON EITHER SIDE OF THE HOUSE AT LOCATIONS INDICATED ON DESIGN.

BOTH LOT #14 & #15

- NEW FENCES AND GATES**
 * NEW 6' TALL FENCES AND GATES SHALL BE INSTALLED AT LOCATIONS INDICATED ON DESIGN.
 * NEW 30' TALL FENCES SHALL BE INSTALLED AT LOCATIONS INDICATED ON DESIGN. BOTH SHALL BE 20' IN LENGTH.

PLANTS

- * ALL EXISTING TREES SHOWN ON DESIGN SHALL REMAIN.
 * ALL NEW PLANTS SHALL BE INSTALLED IN Gopher BASKETS AT LOCATIONS INDICATED ON DESIGN.
 * 6X6' WOOD TRELLIS FOR VINES SHALL BE INSTALLED AGAINST FENCE AT LOCATIONS INDICATED ON DESIGN.

SOIL AND BARK MULCH

- * COMPOSTED SOIL AMENDMENT (SUGGEST 50/50 BLEND) SHALL BE FILLED IN WITH NATIVE SOIL AT ALL NEW PLANTING LOCATIONS.
 * DECORATIVE BARK MULCH SHALL BE INSTALLED IN ALL PLANTING AREAS AT A 3" DEPTH.

IRRIGATION

- * A NEW DRIP IRRIGATION SYSTEM INCLUDING IRRIGATION CONTROLLER SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR.

DECORATIVE POT FOR LOT #14

- * SUGGEST A DECORATIVE POT APPROXIMATELY 30" HIGH AND 24" WIDE BE PLACED AND PREPARED FOR PLANTING INCLUDING IRRIGATION AT LOCATION INDICATED ON DESIGN.