

# SUCHOMEL RESIDENCE

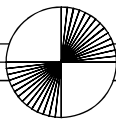
GENERAL INFORMATION:	
<b>SITE AREA:</b>	<b>ZONE:</b>
5,367 SQ. FT.	R-1
<b>BUILDING:</b>	
<b>EXISTING:</b>	
HOUSE	1,205 SQ. FT.
<b>PROPOSED:</b>	
1ST FLOOR LIVING	1,102 SQ. FT.
2ND FLOOR LIVING	1,005 SQ. FT.
GARAGE	401 SQ. FT.
<b>TOTAL:</b>	<b>2,508 SQ. FT.</b>
ATTACHED ADU	363 SQ. FT.
2ND FLOOR DECK	74 SQ. FT.
LOT=5,367 SF X495'-2,629 MAX SF	

**CODE ANALYSIS:**  
 THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2022).  
 OCCUPANCY CLASSIFICATION: B-3/A  
 BUILDING CONSTRUCTION TYPE: III  
 FIRE RATING: SPRINKLERED

**THE FOLLOWING CODES APPLY:**  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA GREEN BUILDING CODE  
 2022 CALIFORNIA RESIDENTIAL CODE AND SANTA CRUZ COUNTY AMENDMENTS.

THE DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS, FIELD CONDITIONS, OR OTHER INFORMATION THAT IS CONTAINED IN AND/OR DIFFERS FROM THESE DOCUMENTS. THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. THE DESIGNER DISCLAIMS ANY RESPONSIBILITY RESULTING FROM THEIR UNAUTHORIZED USE. COPYRIGHT PROTECTION STARTS FROM THE EARLIEST DATE OF THE DESIGN CONTRACT, PRELIMINARY DESIGN WORK, OR THE CONSTRUCTION DOCUMENTS.

**PROJECT DESCRIPTION:**  
 REMOVE EXISTING HOUSE & TREE, BUILD NEW 2 STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.



LEGEND OF SHEETS	
PAGE	TITLE
1	COVER SHEET, PROJECT INFO
1A	GENERAL NOTES
2	25% PLAN
3	PROPOSED LOWER FLOORPLAN
4	PROPOSED UPPER FLOORPLAN
5	ELEVATIONS PROPOSED
6	ROOF PLAN PROPOSED
9	25% PLANNING DETAILS
10	SECTIONS
11	ELECTRICAL PLAN
BMP	BEST MANAGEMENT PRACTICES
S	SURVEY

REVISIONS:	BY:

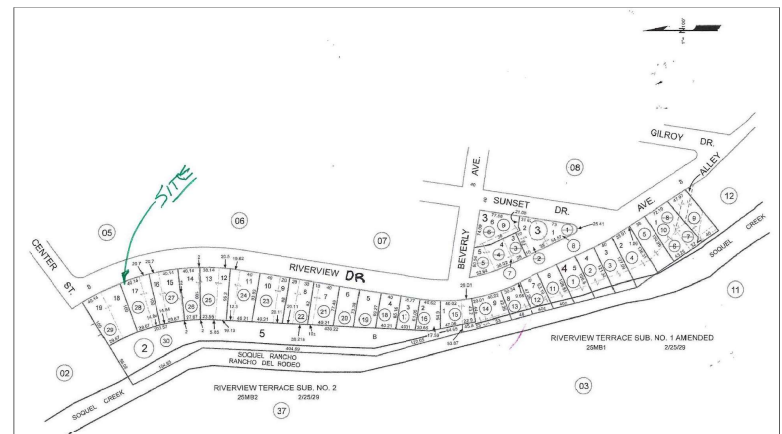
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 ERAD SUCHOMEL  
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 CAPITOLA, CA 95010  
 316-416-6279

SUCHOMEL RESIDENCE  
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 APN 035-042-28

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COVER SHEET  
 LEGEND OF SHEETS

<b>DRAWN:</b>	GG
<b>CHECKED:</b>	
<b>JOB NO.:</b>	709RIV
<b>DATE:</b>	11/22/24
<b>SHEET</b>	1
<b>OF # SHEETS</b>	



VICINITY MAP



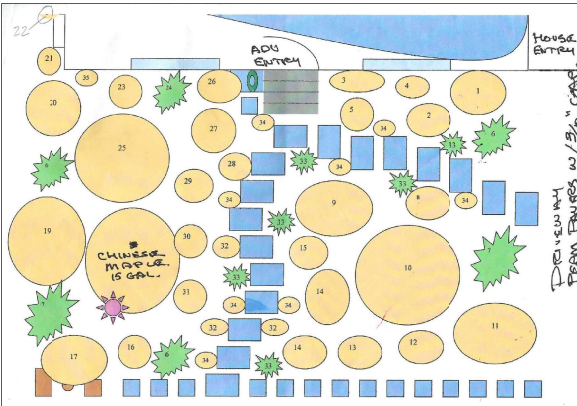
# Quinn Essential Gardens

by Cateleen Quinn  
 cateleen75@gmail.com  
 831-430-9852

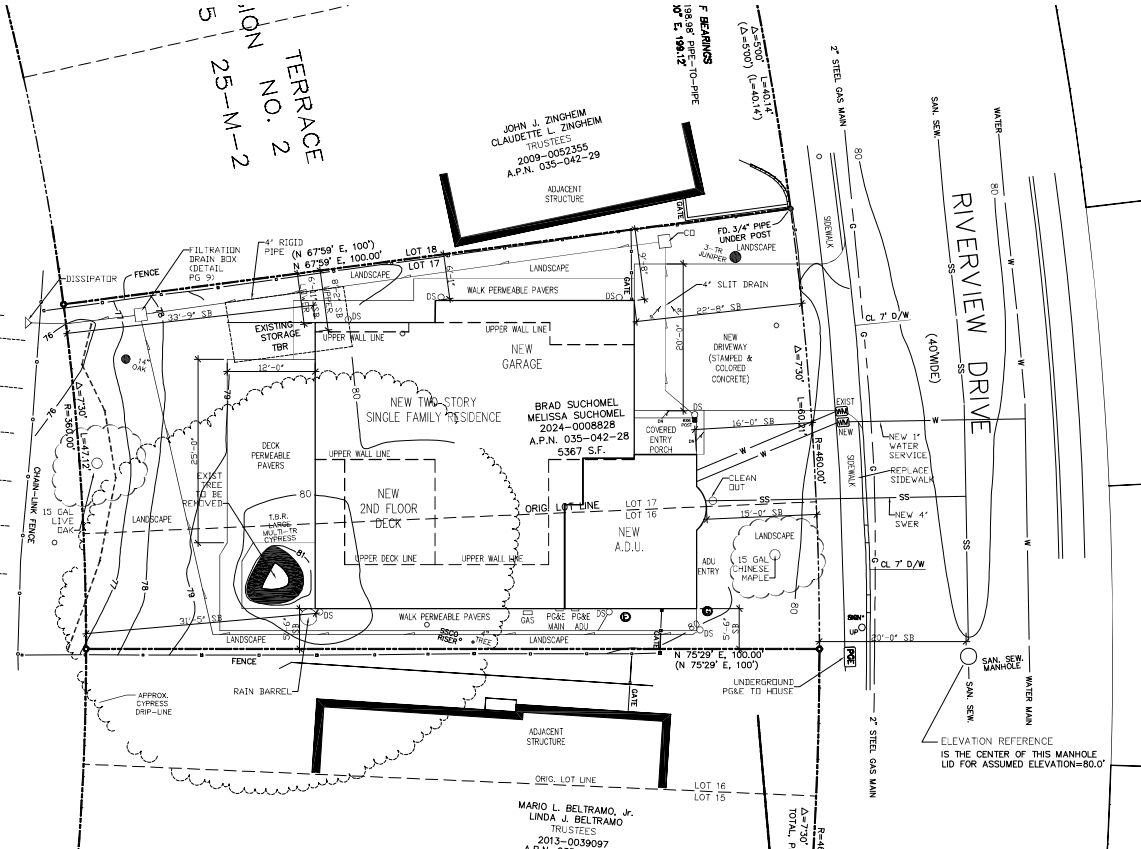
This landscape is designed for low water use and has incorporated many varieties of California native plants (some of them specifically native to coastal areas) that will require low maintenance and give a "natural beach garden" look. You will also notice a number of plants from South Africa such as the Leucadendrons, Leucospermums, and Chondropetalums. These plants, I feel, add a bold statement to the garden while keeping with the theme of drought tolerant landscapes.

Below is a list with the botanical names of the plant with correlating numbers on the design. Please feel free to take a copy of this list and learn more about these plants on the internet (I recommend doing a Google Image search).....or feel free to email me with any questions. I offer a free 1 hour garden consultation, just call or email to set up an appointment. You too can grow a more interesting and unique garden while helping to conserve our water!

- |                                      |   |
|--------------------------------------|---|
| 1- Isocoma menziesii                 | 19- Lessingia fraginifolia                |
| 2- Eriogonum latifolium              | 20- Lupinus artozeus                      |
| 3- Mimulus puniceus                  | 21- Trichostema lanatum                   |
| 4- Euphorbia amygdaloides 'Purpurea' | 22- Heterotheca villosa 'San Bruno Mt.'   |
| 5- Salvia 'Gracias'                  | 23- Solanum umbelliferum                  |
| 6- Juncus patens                     | 24- Festuca idahoensis                    |
| 7- Chondropetalum tectorum           | 25- Leucadendron 'Red Gem'                |
| 8- Erigeron 'Eistead Pink'           | 26- Mimulus aurantiacus                   |
| 9- Leucospermum 'Veldfire'           | 27- Salvia clevelandii 'Winnifred Gilman' |
| 10- Artostaphylos 'John Dourley'     | 28- Sedum 'Tricolor'                      |
| 11- Ceanothus cheiranthifolia        | 29- Achillea millefolium                  |
| 12- Sedum 'Purple Emperor'           | 30- Erigeron 'Seabreeze'                  |
| 13- Artemisia 'Silver Mound'         | 31- Rudbeckia occidentalis                |
| 14- Galvesia speciosa                | 32- Sedum reflexum 'Blue Spruce'          |
| 15- Eriogonum grande rubescens       | 33- Carex pansa                           |
| 16- Verbena lilacina 'De La Mina'    | 34- Frageria chionensis                   |
| 17- Epilobium canum                  | 35- Erigeron karvinskianus                |



LOT B  
 25-M-2  
 STEEP SLOPE DOWN TO SMOUL CREEK



NOTE: ALL UTILITIES TO BE UNDERGROUND

NOTE: SLOPE ALL GRADE AWAY FROM STRUCTURE @5% FOR 10'-0"

LOT TO ACHIEVE OVER 30% TREE CANOPY OVER LIFE OF 4 YEARS

**SITE PLAN**  
 SCALE: 1/8"=1'-0"

REVISIONS	BY

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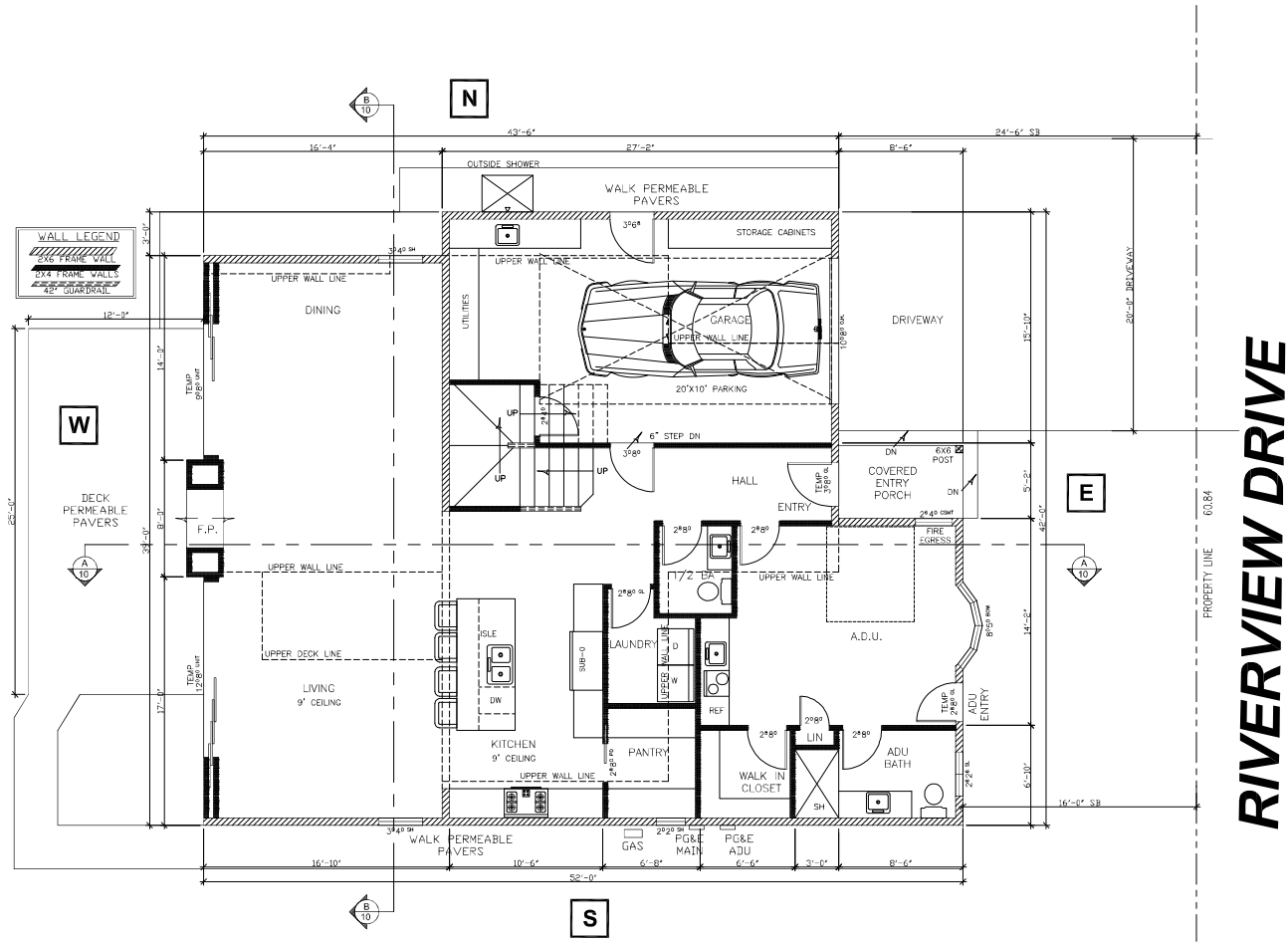
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SITE PLAN

DRAWN: GG  
 SCALE: 1/8"=1'-0"  
 JOB NO. 709RIV  
 DATE: 11/22/24

SHEET  
 2  
 OF 2 SHEETS



**WALL LEGEND**  
 3/4" FRAME WALL  
 4" GUARDRAIL

**LOWER FLOOR**

**RIVERVIEW DRIVE**

**PROPOSED S.F.**  
 1ST FLOOR GARAGE = 401 S.F.  
 1ST FLOOR LIVING = 1,102 S.F.  
 2ND FLOOR LIVING = 1,005 S.F.  
 TOTAL = 2,508 S.F.  
 ATTACHED ADU = 303 S.F.  
 2ND FLOOR DECK = 74 S.F.

**NOTE:**  
 THE CAL GREEN MANDATORY REQUIREMENTS  
 ARE LOCATED ON SHEET 00.1

**FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

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**PROPOSED LOWER FLOOR PLAN**

**DRAWN:** GG

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 709RIV

**DATE:** 11/22/24

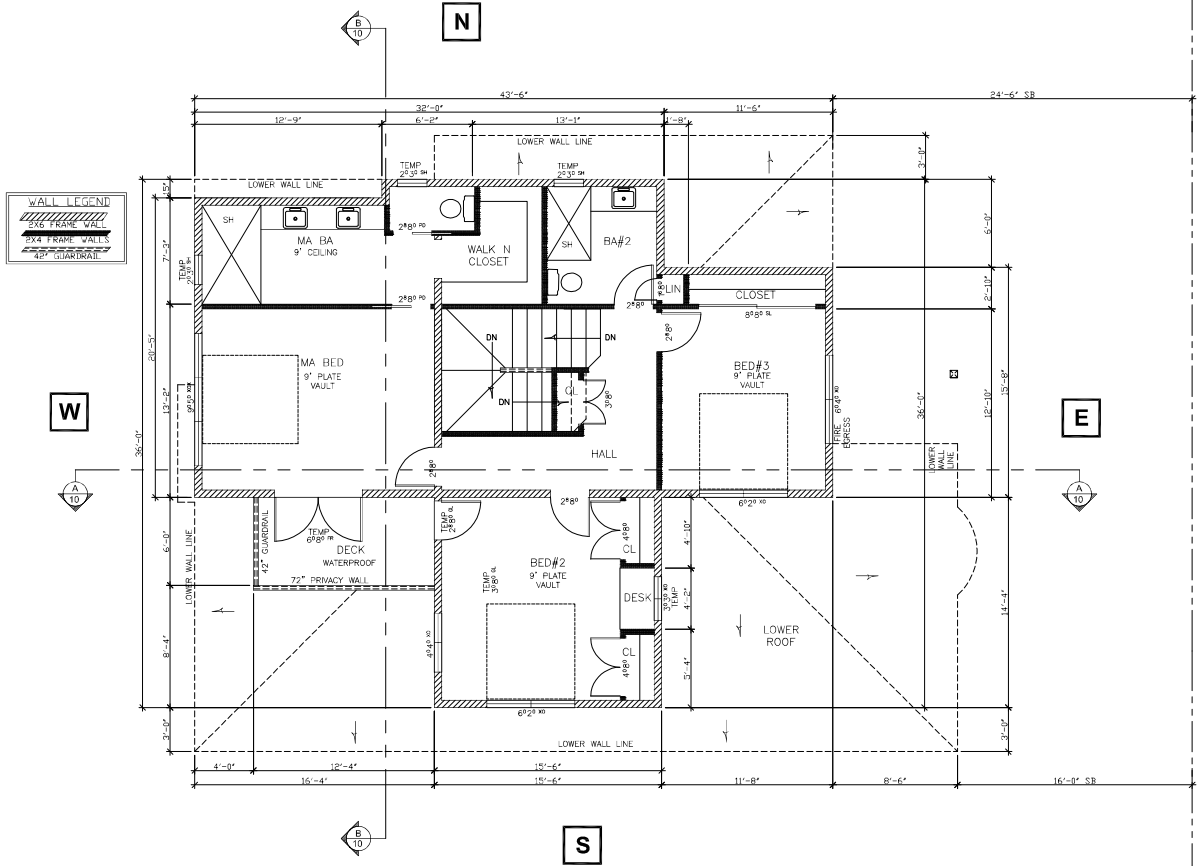
**SHEET**

3

**OF # SHEETS**



WALL LEGEND	
	3/4" FRAM. WALL
	5/4" FRAM. WALL
	4" CB. GARDBAL



**RIVERVIEW DRIVE**

PROPERTY LINE 60.84

**PROPOSED S.F.**  
 1ST FLOOR GARAGE = 401 S.F.  
 1ST FLOOR LIVING = 1,102 S.F.  
 2ND FLOOR LIVING = 1,005 S.F.  
 TOTAL = 2,508 S.F.  
 ATTACHED HOU = 83 S.F.  
 2ND FLOOR DECK = 74 S.F.

**FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

REVISIONS	BY

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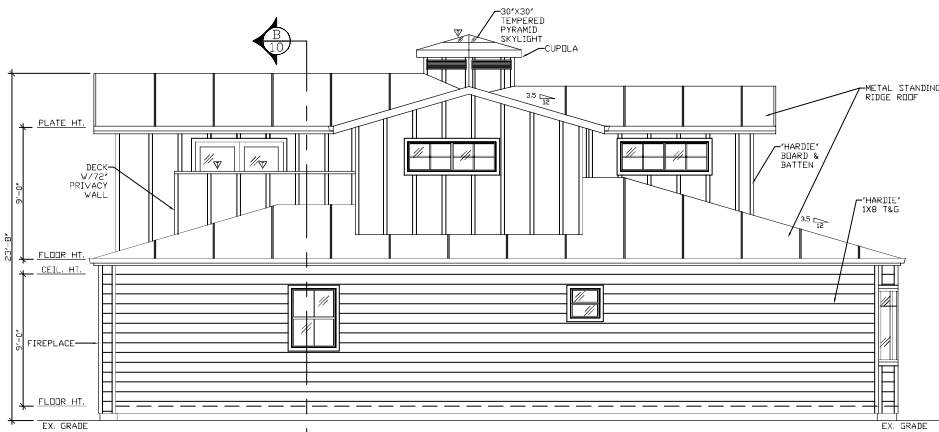
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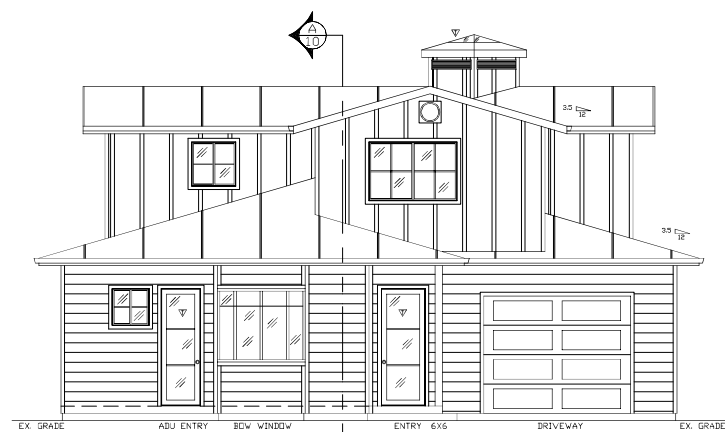
**PROPOSED UPPER FLOOR PLAN**

**DRAWN:** GC  
**SCALE:** 1/4"=1'-0"  
**JOB NO.:** 709RIV  
**DATE:** 11/22/24

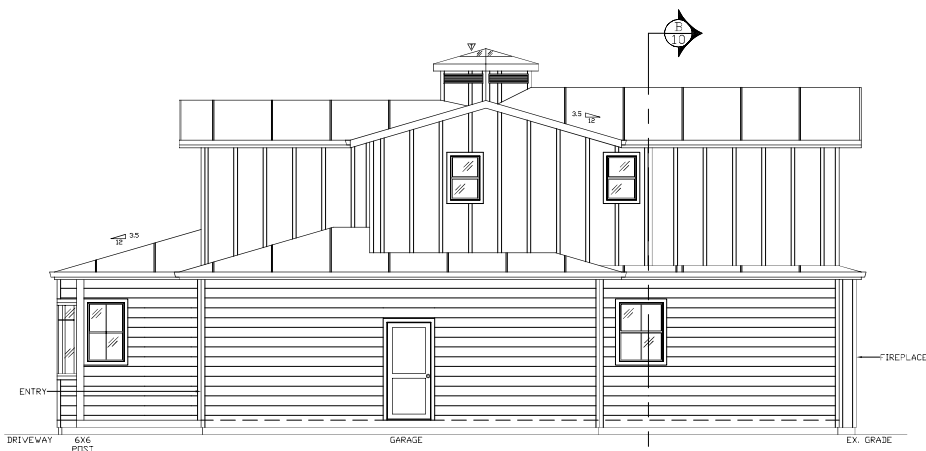
**SHEET**  
 4  
 OF # SHEETS



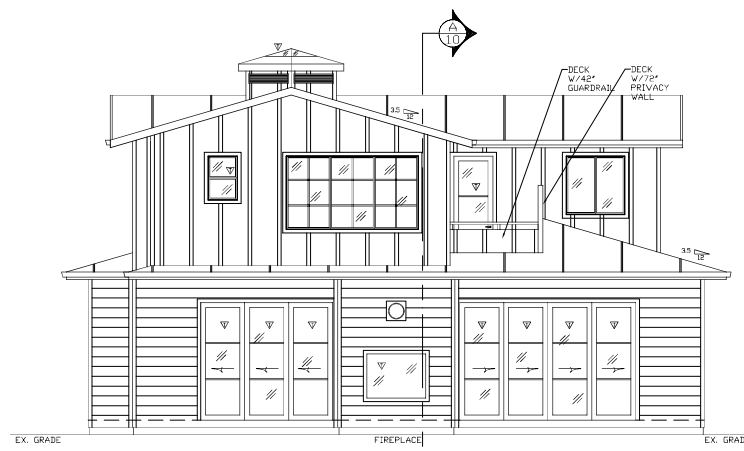
SOUTH



EAST



NORTH



WEST

NOTE: ▽ = TEMPERED GLASS

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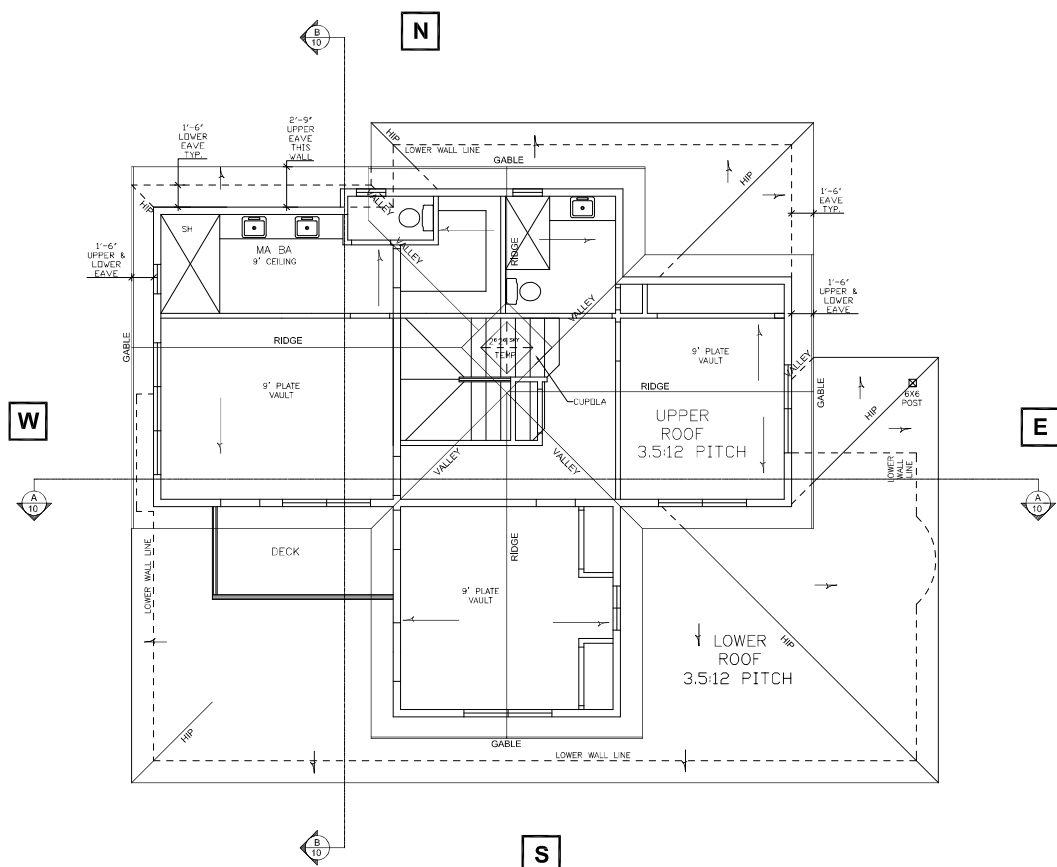
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ELEVATIONS

DRAWN: GG  
SCALE: 1/4" = 1'-0"  
JOB: 709RIV  
DATE: 11/22/24

SHEET  
5  
OF # SHEETS



NOTE:  
ALL ROOF DRAINAGE  
DOWNSPOUTS TO SPASHBLOCKS  
TO VEGETATED AREAS

**ROOF PLAN**  
SCALE: 1/4"=1'-0"

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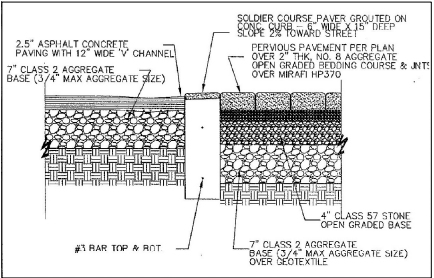
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**ROOF PLAN**

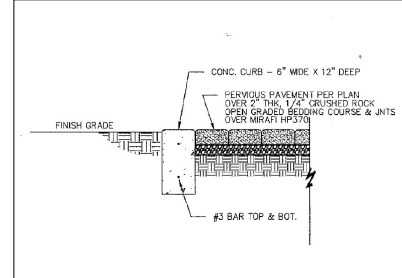
**DRAWN:** GG  
**SCALE:** 1/4"=1'-0"  
**JOB NO.:** 709RIV  
**DATE:** 11/22/24

**SHEET**  
OF # SHEETS

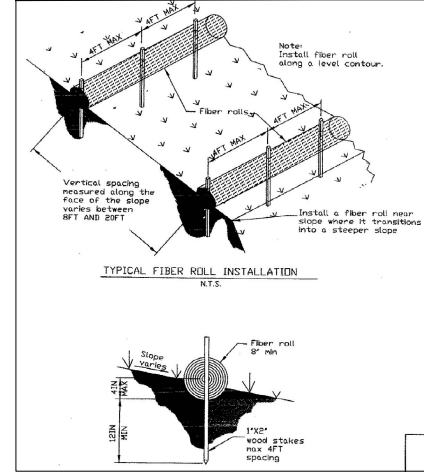
**1 SEMI-PERMEABLE PAVERS (DRIVEWAY)**



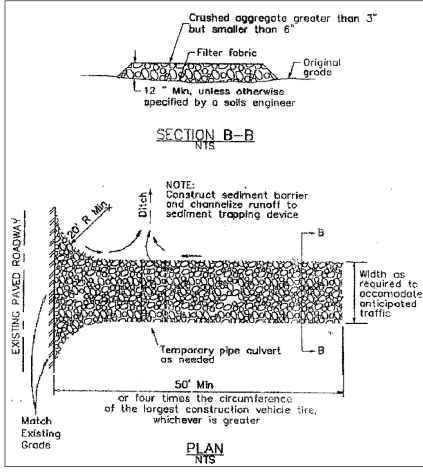
**2 SEMI-PERMEABLE PAVERS (PATIOS & WALKWAYS)**



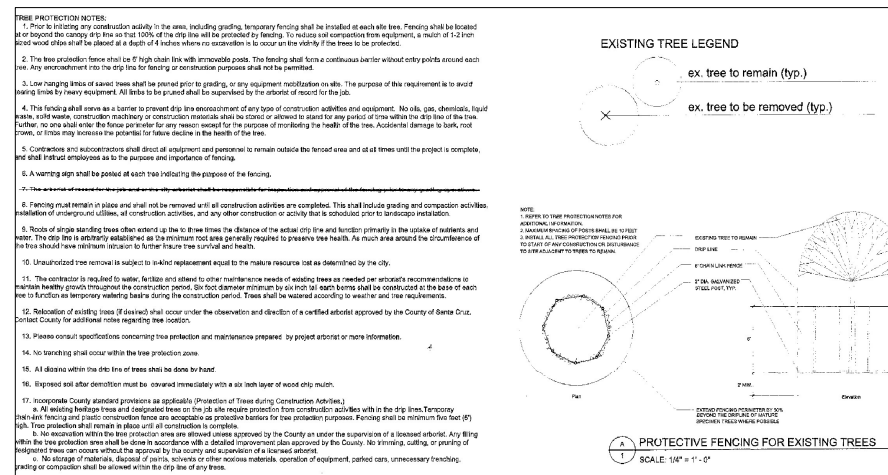
**3 FIBER ROLL**



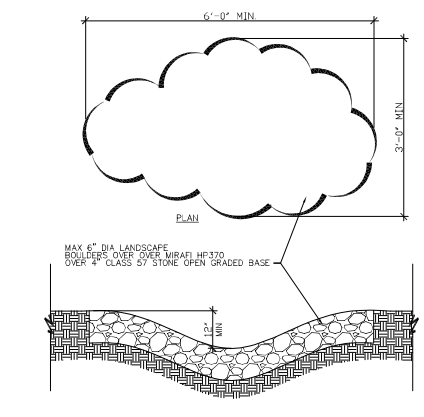
**4 CONSTRUCTION ENTRANCE**



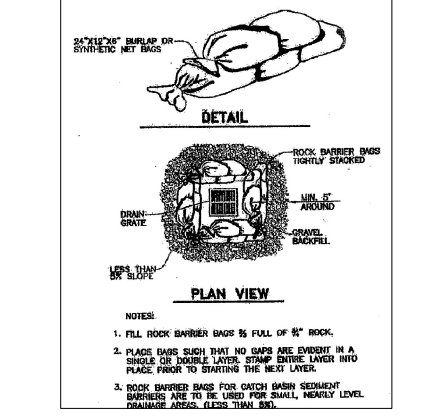
**5 TREE PROTECTION PLAN**



**6 BIOSWALE**



**7 STORM DRAIN INLET PROTECTION**



**8 SITE HOUSEKEEPING REQUIREMENTS: CONSTRUCTION MATERIALS**

ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOILS, SPOILS, AGGREGATE, FL-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERNED.

ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).

EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUITS, INSULATORS, BRICKS, ETC.).

BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

**9 SITE HOUSEKEEPING REQUIREMENTS: WASTE MANAGEMENT**

DISPOSAL OF ANY RINSE OR WASH WATER OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.

SAFETY FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.

SAFETY FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.

COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.

DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.

STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.

EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.

CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

**10 SITE HOUSEKEEPING REQUIREMENTS: VEHICLE STORAGE & MAINTENANCE AND LANDSCAPE MATERIALS**

MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.

ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.

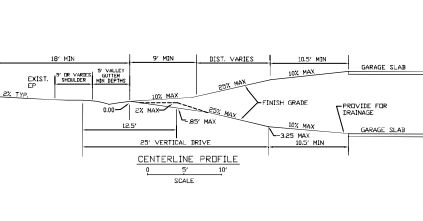
LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY, CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.

CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.

APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.

STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

**11 TYPICAL DRIVEWAY**



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SITE PLANNING  
DETAILS

DRAWN:	GG
SCALE:	N/A
JOB NO.:	709RIV
DATE:	10/28/24
SHEET:	9
OF # SHEETS:	9

**Stormwater Pollution Prevention and Protection for Construction Projects**

In the City of **Capitola**, water in streets, gutters, and storm drains flows directly to local creeks and Monterey Bay without any treatment. When debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get spilled, leaked or washed into the streets or storm drain they can damage sensitive creek habitats and end up polluting our bay and ocean.

In order to reduce the amount of pollutants loading local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and remodeled residential, commercial, retail, and industrial projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board) requires coverage under and adherence to the Construction Fertilizer Storm Water General Permit, or CGP, to regulate storm water runoff from construction sites. In general, any construction or demolition activity, including but not limited to clearing, grading, grubbing, or excavation, or any other activity that results in a land disturbance of equal to or greater than one acre, requires coverage under the CGP. Construction activities associated with Linear Underdrain Filtration (LUFs) also require coverage under the CGP. It should be noted that SWPPP development and implementation (inspections, tracking) associated with sites subject to the CGP (excluding waterways) must be done by a qualified SWPPP developer (QSD), respectively. More information on the CGP and QSD/QSPs may be found at [http://www.waterboards.ca.gov/water\\_issues/titles/constructionstormwaterpermits.shtml](http://www.waterboards.ca.gov/water_issues/titles/constructionstormwaterpermits.shtml)

**◆ General Construction & Site Supervision**  
The rainy season referred to herein applies to the dates October 1 to April 30, the dry season spans May 1 to September 30. Compliance with the CGP and below BMPs is required year round however, different requirements may be needed for the rainy and non-rainy seasons.

- General Principles**
- ◆ Keep an orderly site and engage good housekeeping practices are used.
  - ◆ Maintain equipment properly.
  - ◆ Cover materials when they are not in use.
  - ◆ Keep materials away from streets, gutters, storm drains and drainage channels.
  - ◆ Ensure that control water does not leave the site or discharge to storm drains.
  - ◆ Train your employees on these BMPs and familiarize them with storm water issues prior to beginning work. Inform your subcontractors about storm water requirements and let them know they also abide by these BMPs.
  - ◆ Refer to the following approved references for BMP selection, implementation, and on-site management (most recent versions unless otherwise noted):
    - *Erosion & Sediment Control Field Manual*, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002
    - *Manual of Standards for Erosion and Sediment Control Measures*, Association of Bay Area Governments (ABAG)
    - *Construction Best Management Practices (BMP) Handbook*, California Stormwater Quality Association (CSQA)
    - *Constructor Site Best Management Practices (BMP) Manual*, Storm Water Quality Handbook, Caltrans.

- Good Housekeeping Practices**
- ◆ Designate the area of the site located away from storm drains, drainage swales, and creeks for auto parking and heavy equipment storage, vehicle refueling and routine equipment maintenance.
  - ◆ To prevent off-site tracking of dirt, provide site entrances with a stabilized aggregate surface or provide a tire wash area on the site, but away from storm inlets or drainage channels. Mud, dirt, gravel, sand and other materials tracked or dropped on city streets must be cleaned up to prevent washing into the storm drains.
  - ◆ Keep materials and soil stockpiles out of the rain and prevent runoff conformation from the site. Store materials, stockpiles and excavation soils under cover and protect them from wind erosion and prevent exposed piles of soil with plastic sheeting or temporary roofs. Before rainfall events, sweep and remove material from surfaces that drain to storm inlets and/or drainage channels.
  - ◆ Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling facilities.
  - ◆ Keep dumpsters lids closed and secured. For dumpsters or bins that don't have a lid, cover them with tarps or plastic sheeting, secured around the exterior of the dumpster or place them under temporary roofs. Never open up a dumpster by heaving it down on the construction site.

NOT TO SCALE	STANDARD DRAWINGS FOR <b>STORMWATER POLLUTION PREVENTION AND PROTECTION</b>	DRAWN 214	REV:
DRAWN BY: M.P.			
CHECKED BY: S.E.J.	STEVEN JEBBER, PUBLIC WORKS DIRECTOR	DRAWING No.	
		<b>BMP-STRM-1</b>	

- ◆ Clean up leaks, drips and other spills immediately so that they do not contaminate the soil or runoff or leave residue on paved surfaces. Use dry clean up methods whenever possible. Water may only be used in minimum quantities to prevent dust.
- ◆ If portable toilets are used, ensure that the leasing company properly maintains the toilets and promptly makes repairs.
- ◆ Conduct visual inspections for leaks.
- ◆ Prudent vegetation and trees from accidental damages from construction activities by surrounding them with fencing or the berming.

- Advanced Practices**
- ◆ Site development shall be fitted to the topography and soils in order to minimize the potential for erosion.
  - ◆ Soil grading/bearing limits, easements, setback sensitive or critical lines, trees, drainage courses, and buffer zones must be delineated on site to prevent excessive or unnecessary disturbances and exposure to construction materials.
  - ◆ Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or other erosion controls before rain begins.
  - ◆ Conduct grading operations in phases in order to reduce the amount of disturbed areas and exposed soil at any one time. Unless specifically approved on the project's drainage plan, grading, sediment and erosion control, clearing, excavation and grading shall not be conducted during rainy weather. All rainy season grading shall be in accordance with Capitola Municipal Code Chapter 16.29.
  - ◆ Control the amount of runoff crossing your site especially during excavation by using berms or temporary drainage ditches or bio swales to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.

- Materials & Waste Handling**
- ◆ Practice contaminant "Source Reduction" by estimating carefully and minimizing waste when ordering materials.
  - ◆ Recycle excess materials used as concrete, asphalt, scrap metal, solvents, degreasers, paper, and vehicle maintenance materials whenever possible.
  - ◆ Dispose of all wastes properly by ensuring that materials that cannot be recycled are taken to an appropriate land fill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or drainage channel.

- ◆ Landscaping, Gardens & Ponds/Fountains/Pool/Spa Maintenance**  
Many landscaping activities and practices expose and increase the likelihood of rain runoff that will transport earth sediments and particles directly to the storm drain during irregular or rain events. Other exterior activities such as ponds, pools and spas require regular maintenance using a license and/or caregiver based approach. Water treated with these chemicals is toxic to aquatic life and should never be discharged to the storm drain.

- Landscaping & Garden Maintenance**
- ◆ Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
  - ◆ Schedule grading and excavation during dry weather periods and exposure to construction materials.
  - ◆ Use temporary check drains or ditches to direct runoff away from storm drains or drainage channels.
  - ◆ Protect storm drain inlets with sandbags, grave filled bags, straw wastes, fiber fabric or other sediment controls.
  - ◆ Revegetation is an excellent form of erosion control for any site.
  - ◆ Never dump or leave soil, mulch, or other landscape products in the street, gutter, or storm drain.

- Ponds/Fountains/Pool/Spa Maintenance**
- ◆ When cleaning a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Capitola Public Works Department. The City will provide guidance on handling special cleaning waste, flow rate restrictions and backflow prevention.

- ◆ Preventing Water & Sediment Runoff**  
Effective erosion and sediment control measures must be implemented and maintained on all disturbed areas in order to prevent a net increase of sediment in the area's storm water discharge relative to pre-construction levels. During the rainy season, erosion control measures must also be installed at all aggregate locations along the site perimeter and at all inlets to the storm drain system. Effective methods to protect storm drain areas include sand bag barriers, heavy rubber mats to cover and seal the inlet, and sediment traps or basins. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMP) Handbook, California Stormwater Quality Association (CSQA).

NOT TO SCALE	STANDARD DRAWINGS FOR <b>STORMWATER POLLUTION PREVENTION AND PROTECTION</b>	DRAWN 214	REV:
DRAWN BY: M.P.			
CHECKED BY: S.E.J.	STEVEN JEBBER, PUBLIC WORKS DIRECTOR	DRAWING No.	
		<b>BMP-STRM-2</b>	

- ◆ Effective filtration devices, barriers, and straining devices shall be selected, installed and maintained properly.
- ◆ Site fences must be installed so that the drainage around each fence does not create additional erosion and fills down slope of the fence.
- ◆ If straw bales are used to filter sediment runoff, ensure that the bales are actually filtering the water (and not just causing the water to travel around the bale) and that the straw pieces are not carried into the storm drain system.
- ◆ Whenever possible, use temporary surface roughening (e.g. with a subsoiler) and energy dissipator (such as riprap, sand bars and rocks) on slopes to reduce runoff velocity and trap sediments. Do not use asphalt ruble or other demolition debris for riprap.
- ◆ All on-site erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become unreasonably with stagnant water, odors, insect breeding, heavy algae growth, debris, and/or safety hazards.
- ◆ A qualified person should conduct inspections of all on-site BMPs during each rainstorm and after a storm is over to ensure that the BMPs are functioning properly. For sites greater than one-acre, on-site inspections are required in accordance with the CGP.

- ◆ Earth Moving Activities & Heavy Equipment**  
Soil excavation and grading operations loose large amounts of soil that can be transported into storm drains when handled improperly. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow which check dams or roughened surfaces reduce. Often, earth moving activities require use and storage of heavy equipment. Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids onto the construction site are common sources of storm drain pollution.

- Site Planning**
- ◆ Maintain all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery.
  - ◆ Perform major auto and engine equipment maintenance, repair jobs and vehicle or equipment washing off-site.
  - ◆ If you must drain and replace motor oil, radiator coolant or other fluids on site, use drip pans, plastic sheeting or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste. Recycle whenever possible.
  - ◆ Do not use diesel oil to lubricate equipment parts or clean equipment. Only use water for on-site cleaning.
  - ◆ Cover exposed fifth wheel hitch and other oily or greasy equipment during all rain events.

- Practices During Construction**
- ◆ Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
  - ◆ Waters down slopes and across creeks and storm drains with wetfalls or temporary drainage swales.
  - ◆ Use check dams or ditches to divert runoff around excavations. Refer to the Erosion & Sediment Control Field Manual, California Regional Water Quality Control Board San Francisco Bay Region, Fourth Edition August 2002, and the most recent versions of the Manual of Standards for Erosion and Sediment Control Measures, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMP) Handbook, California Stormwater Quality Association (CSQA).
  - ◆ Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

- Spill Clean Up**
- ◆ Clean up spills immediately upon discovery.
  - ◆ Clean up spills immediately. Use dry cleaning methods if possible.
  - ◆ Never hose down oily pavement or impervious surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, call filter and/or rug) whenever possible and properly dispose of absorbent materials.
  - ◆ Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them.
  - ◆ If the spill is not a significant hazard to human health and safety, you must also report it to the State Office of Emergency Services.

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		<b>BMP-STRM-3</b>	

- ◆ Painting, Varnish & Application of Solvents & Adhesives**  
Paints, varnishes, solvents and adhesives contain chemicals that are harmful to wildlife and aquatic life in our community. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint materials and wastes, adhesives and cleaning fluids should be recycled when possible or properly disposed to prevent these substances from entering the storm drains and watercourses.

- Handling of Surface Coatings**
- ◆ Keep paint, varnish, solvents and adhesive products and wastes away from the gutter, street and storm drains. Wastewater or runoff containing paint or paint thinner must never be discharged into the storm drain system.
  - ◆ When there is a risk of a spill reaching the storm drain, nearby storm drains must be protected prior to starting painting.

- Removal of Surface Coatings**
- ◆ Non-hazardous paint chips and dust from dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - ◆ Chemical paint or varnish stripping residues, chips and dust from marine paints or varnishes, or paints containing lead, mercury or beryllium must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor. Paint may be tested for lead by taking paint scrapings to a local, state-certified laboratory.
  - ◆ When stripping or cleaning building exteriors with high-pressure water, block storm drains to prevent flow to creeks and the Monterey Bay.
  - ◆ Wash water from painted buildings constructed pre-1978 can contain high amounts of lead even if paint chips are not present. Before stripping paint or cleaning a pre-1978 building's exterior with water under high pressure, test paint for lead by taking paint scrapings to a local, state-certified laboratory.

- Clean Up of Surface Coatings**
- ◆ Never clean brushes or rinse paint or varnish containers into gutters, street, storm drain, French drain or creek.
  - ◆ For water based paints, paint out brushes to the extent possible into an outdoor sink or drain that goes to the sanitary sewer.
  - ◆ For all based paints, paint out brushes to the extent possible and clean with thinner or solvent. Filter and reuse thinners and solvents where possible. Dispose of excess liquids and residue as hazardous waste.
  - ◆ When thoroughly dry, empty paint cans, used brushes, rags and drop cloths may be disposed of as garbage.

- Disposal of Surface Coatings**
- ◆ Recycle, return to supplier, or donate unwanted water-based (latex) paint. Oil-based paint may be recycled or disposed of as hazardous waste. Varnish, thinners, solvents, glue and cleaning fluids must be disposed of as hazardous waste.
  - ◆ When the job is completed, collect all unusable or waste materials and dispose of properly. Never save or abandon materials onsite, and ensure that nothing has drifted toward the street, gutter, or catch basin.

- ◆ Roadwork & Pavings**
- ◆ Protect nearby storm drain inlets and adjacent water bodies prior to breaking up asphalt or concrete.
  - ◆ The discharge of saw cut slurry to the storm drain system is prohibited. Take measures to contain the slurry and protect nearby catch basins or gutters. If slurry enters the storm drain system, remove material immediately.
  - ◆ Dried, saw cut slurry must be cleaned up and properly disposed so that it will not be carried into the storm drain system by wind, traffic, or rainfall.
  - ◆ After breaking up old pavement, sweep up materials and recycle as much as possible. Properly dispose of non-recyclable materials.
  - ◆ Cover and seal nearby storm drain inlets and manholes before applying seal coat, slurry seal, etc. Leave covers in place until the oil sealant is dry.
  - ◆ In the event of rain curing construction, divert runoff around work areas and cover materials.
  - ◆ Paving machines over dip pans or absorbent materials.
  - ◆ Never wash sweepings from exposed aggregate concrete into a street or a storm drain inlet. Collect and return to aggregate base supplier or dispose of in the trash.
  - ◆ Remove and clean up material stockpiles (i.e. asphalt and sand) by the end of each week or, if during the rainy season, by the end of each day. Stockpiles must be removed by the end of each day if they are located in a public right-of-way.

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		<b>BMP-STRM-4</b>	

- ◆ Concrete, Cement, & Masonry Products**
- ◆ Concrete, cement, masonry products, sediment or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.
  - ◆ Avoid mixing excess amount of fresh concrete or cement mortar on-site.
  - ◆ During the curing, ensure that the slurry water does not run off into the street or storm drain system. The discharge of slurry to the storm drain system is prohibited. Dried slurry must be cleaned up and disposed of properly.
  - ◆ Concrete, cement, and masonry mixing containers may not be washed or rinsed into the street or storm drain system. If a concrete transit mixer is used, it includes a wet-out box, excavation or self-washing mixer able to contain waste material that be provided on-site.
  - ◆ Never wash or rinse mixing containers and tools into the gutter, street, storm drain inlet, drainage ditches or water-body.
  - ◆ If conducting sidewalk work, material stockpiles must be removed and cleaned up by the end of each day. Sweep or collect unused materials and debris that remain on pavement and dispose of properly.
  - ◆ When the job is completed, collect all unused or waste materials and dispose of properly. Never leave or abandon materials onsite. Ensure that nothing has drifted towards the street, gutter or catch basin.

- ◆ Site Clean Up**
- ◆ Clean up by sweeping instead of hosing down whenever possible. Dispose of litter and debris in the garbage.
  - ◆ The street, sidewalk and other paved areas may not be cleaned by washing or by directing sediment, concrete, asphalt, or other particles into the storm drain system. If water is used to flush sediment or particles from pavement, the water must be directed to a landscaped or grassy area large enough to absorb all the water.
  - ◆ If conducting road or sidewalk work, materials stockpiles must be removed and cleaned up by the end of each work day.
  - ◆ Discard building materials and demolition wastes must never be left in a street, gully, or roadway. Dispose of all wastes properly including roofing paint and chemicals. Materials that cannot be reused or recycled must be taken to the landfill or disposed of as hazardous waste.

Signed and Agreed to by:  
Project Owner or General Contractor \_\_\_\_\_ Date \_\_\_\_\_  
Signed: \_\_\_\_\_ Date \_\_\_\_\_  
Print Name: \_\_\_\_\_

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		<b>BMP-STRM-5</b>	

REVISIONS:	BY:

OWNER:  
BRAD SUCHEMEL  
709 RIVERVIEW DR  
CAPITOLA, CA 95010  
916-416-4277

SUCHEMEL RESIDENCE  
709 RIVERVIEW DR  
CAPITOLA, CA 95010  
APN 035-042-28

DENNIS NORTON  
HOME DESIGN AND PROJECT PLANNING  
1710 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010  
WWW.DENNISNORTON.COM  
WWW.DENNISNORTON.COM

BEST MANAGEMENT  
PRACTICES

DRAWN:	GG
SCALE:	NONE
JOB NO:	709RIV
DATE:	10/28/24
SHEET	

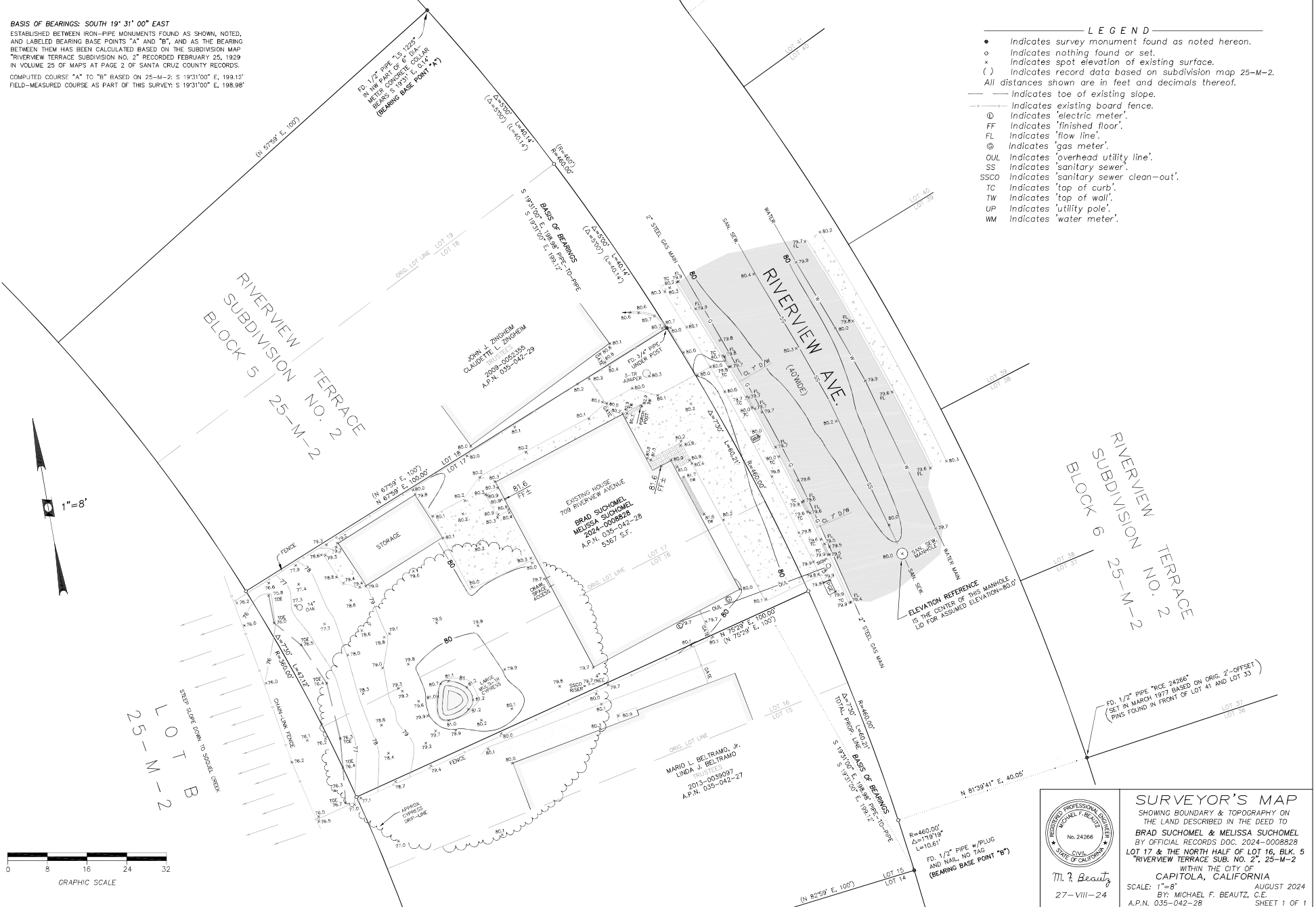
BMP  
OF SHEETS

**BASIS OF BEARINGS: SOUTH 19° 31' 00" EAST**

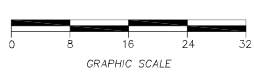
ESTABLISHED BETWEEN IRON-PIPE MONUMENTS FOUND AS SHOWN, NOTED, AND LABELED BEARING BASE POINTS "A" AND "B", AND AS THE BEARING BETWEEN THEM HAS BEEN CALCULATED BASED ON THE SUBDIVISION MAP "RIVERVIEW TERRACE SUBDIVISION NO. 2" RECORDED FEBRUARY 25, 1929 IN VOLUME 25 OF MAPS AT PAGE 2 OF SANTA CRUZ COUNTY RECORDS. COMPUTED COURSE "A" TO "B" BASED ON 25-M-2: S 19°31'00" E, 193.12' FIELD-MEASURED COURSE AS PART OF THIS SURVEY: S 19°31'00" E, 198.96'

**LEGEND**

- Indicates survey monument found as noted herein.
- o Indicates nothing found or set.
- x Indicates spot elevation of existing surface.
- ( ) Indicates record data based on subdivision map 25-M-2.
- All distances shown are in feet and decimals thereof.
- Indicates toe of existing slope.
- Indicates existing board fence.
- Ⓢ Indicates 'electric meter'.
- FF Indicates 'finished floor'.
- FL Indicates 'flow line'.
- Ⓢ Indicates 'gas meter'.
- OUL Indicates 'overhead utility line'.
- SS Indicates 'sanitary sewer'.
- SSCO Indicates 'sanitary sewer clean-out'.
- TC Indicates 'top of curb'.
- TW Indicates 'top of wall'.
- UP Indicates 'utility pole'.
- WM Indicates 'water meter'.



LOT B  
25-M-2



**SURVEYOR'S MAP**  
SHOWING BOUNDARY & TOPOGRAPHY ON  
THE LAND DESCRIBED IN THE DEED TO  
**BRAD SUCHOMEL & MELISSA SUCHOMEL**  
BY OFFICIAL RECORDS DOC. 2024-0008828  
LOT 17 & THE NORTH HALF OF LOT 16, BLK. 5  
"RIVERVIEW TERRACE SUB. NO. 2", 25-M-2  
WITHIN THE CITY OF  
**CAPITOLA, CALIFORNIA**  
SCALE: 1"=8'  
AUGUST 2024  
BY: MICHAEL F. BEAUTZ, C.E.  
A.P.N. 035-042-28 SHEET 1 OF 1

**M. F. Beautz**  
27-VIII-24

REGISTERED PROFESSIONAL SURVEYOR  
MICHAEL F. BEAUTZ  
No. 24266  
CIVIL  
STATE OF CALIFORNIA

FD. 1/2" PIPE "RICE 24266"  
(SET IN MARCH 1977 BASED ON ORIG. 2-OFFSET  
PINS FOUND IN FRONT OF LOT 41 AND LOT 33)

ELEVATION REFERENCE  
IS THE CENTER OF THIS MANHOLE  
LID FOR ASSUMED ELEVATION=80.0'

MARIO L. BELTRAMO, JR.  
LINDA J. BELTRAMO  
REGISTERED PROFESSIONAL SURVEYORS  
2013-00190937  
A.P.N. 035-042-27

N=460.00'  
A=179.19'  
L=10.61'  
FD. 1/2" PIPE w/PLUG  
AND NAIL NO TAG  
(BEARING BASE POINT "B")