

GENERAL INFORMATION:	
SITE AREA: 5,349 SQ. FT.	ZONE: R-1
BUILDING:	
EXISTING:	
SINGLE STORY RESIDENCE	1,373 SQ. FT.
GARAGE	415 SQ. FT.
TOTAL	1,788 SQ. FT.
PROPOSED:	
HOUSE (L1)	1,373 SQ. FT.
GARAGE	344 SQ. FT.
TOTAL	1,717 SQ. FT.
A.D.U. (L2)	780 SQ. FT.
2ND FLOOR DECK	130 SQ. FT.
UNCONDITIONED STAIRWELL	145 SQ. FT.

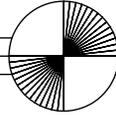
CODE ANALYSIS:
 THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (2022)
OCCUPANCY CLASSIFICATION: B-3/A
BUILDING CONSTRUCTION TYPE: VB
FIRE RATING: NON-SPRINKLERED

THE FOLLOWING CODES APPLY:
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY STANDARDS
 2022 CALIFORNIA GREEN BUILDING CODE
 2022 CALIFORNIA RESIDENTIAL CODE
 AND SANTA CRUZ COUNTY AMENDMENTS.

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PROJECT DESCRIPTION:
 REPOSER EXISTING 1 STORY SINGLE FAMILY RESIDENCE, BUILDING 2ND FLOOR ADU.
DEFERRED SUBMITTALS:
 STRUCTURES

KELLY RESIDENCE



LEGEND OF SHEETS	
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2A	SITE PLAN EXISTING
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S5	SECTIONS
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5	SURVEY
ER.1	ENERGY COMPLIANCE
EN.2	ENERGY COMPLIANCE
EN.4	ENERGY COMPLIANCE
GB.1	GREEN BUILDING

REVISIONS:	BY:
01/08/28	GC

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 408-206-2170

KELLY RESIDENCE
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 APN 034-162-03

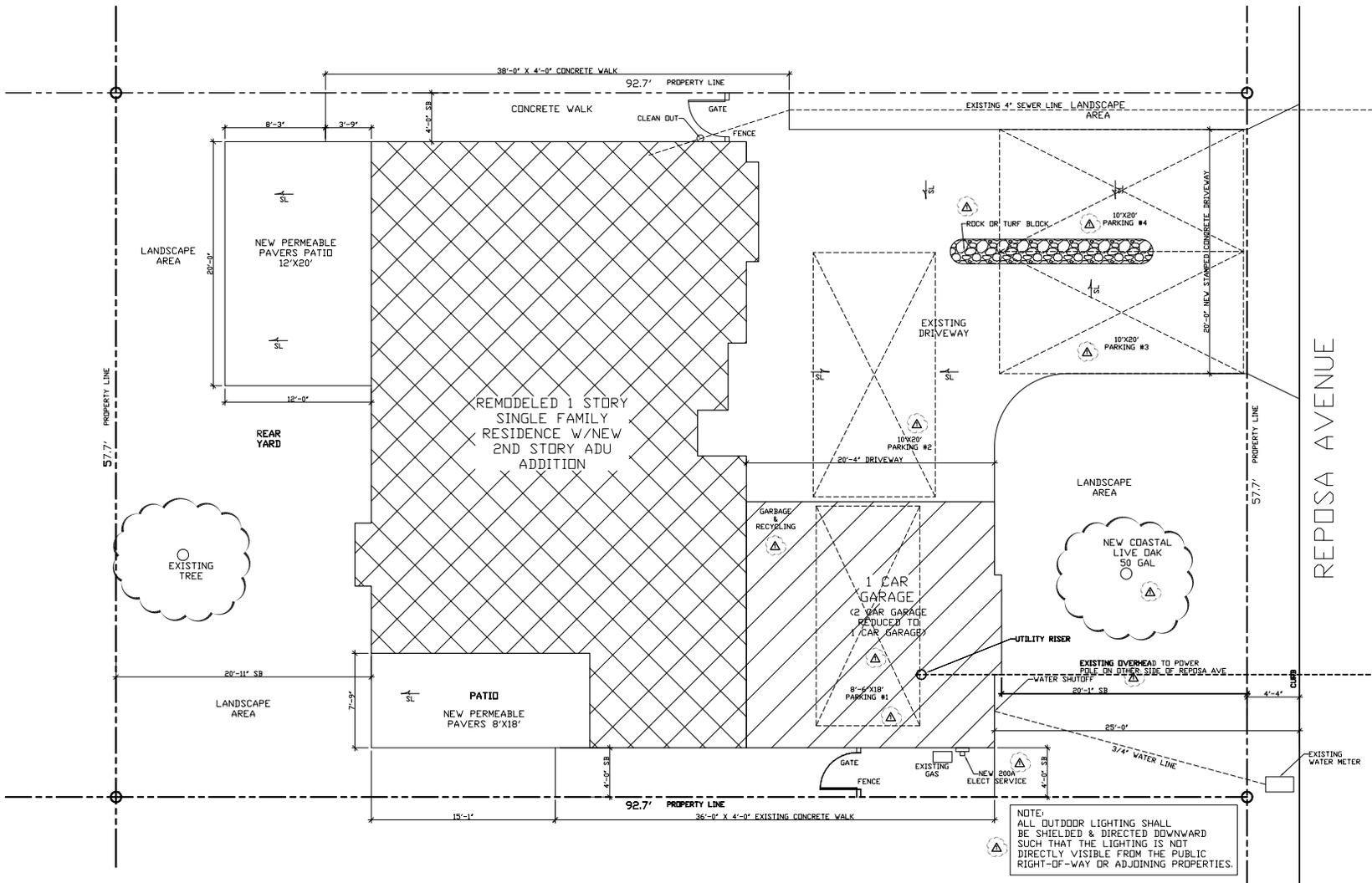
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 WWW.DENNISNORTON.COM

COVER SHEET
 LEGEND OF SHEETS

DRAWN: GC
CHECKED:
JOB NO.: REPOSA
DATE: 10/06/25
SHEET:
 1
 OF # SHEETS



VICINITY MAP
 HYDRANT LOC.



NOTE:
SLOPE ALL GRADE AWAY
FROM STRUCTURE @5% FOR 10'-0"

SITE PLAN
SCALE: 1/4"=1'-0"

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Δ 01/16/26	GG

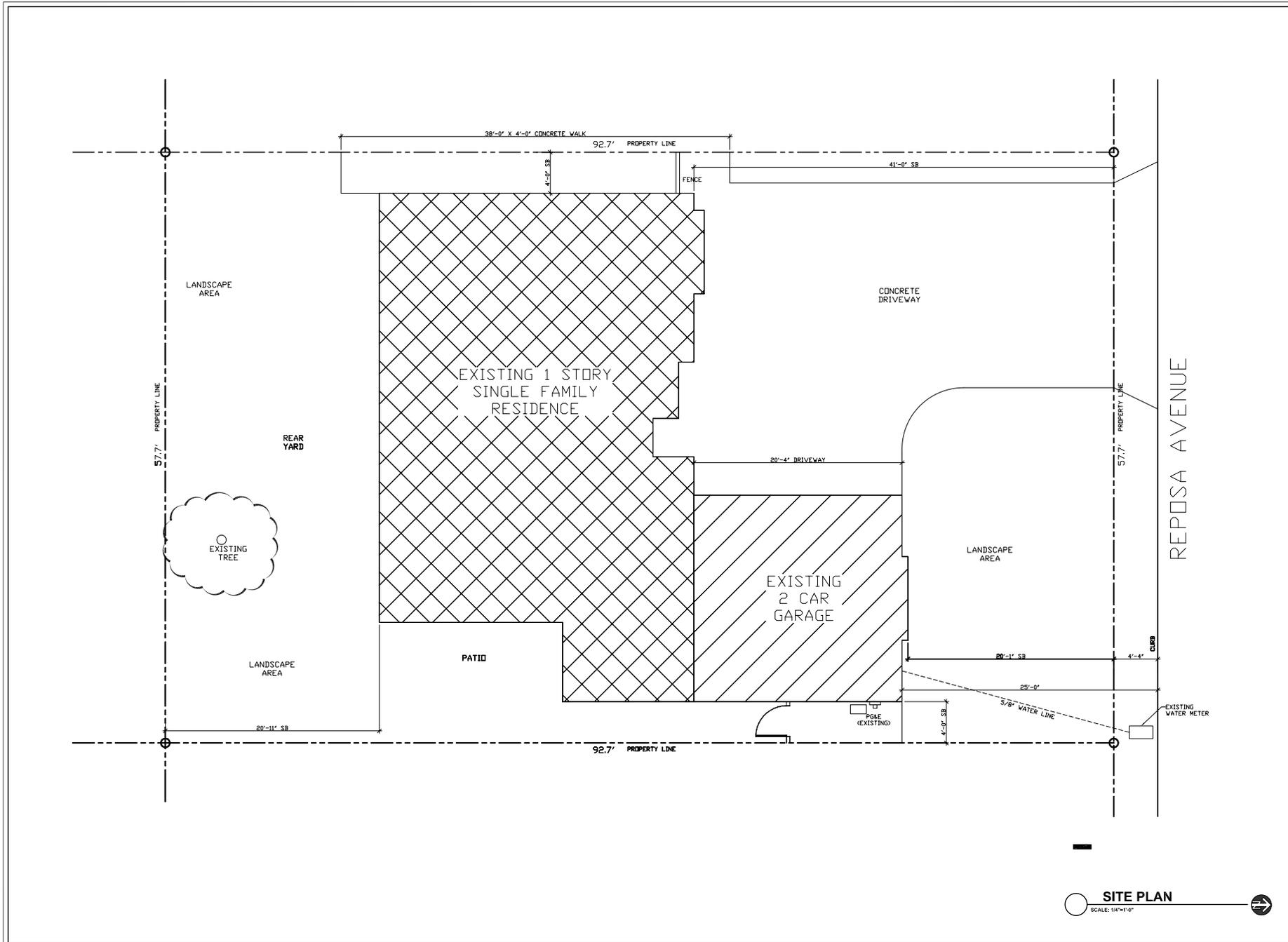
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**PROPOSED
SITE PLAN**

DRAWN:	GG
SCALE:	1/4"=1'-0"
JOB NO.:	REPOSA
DATE:	10/06/25
SHEET	2
OF # SHEETS	



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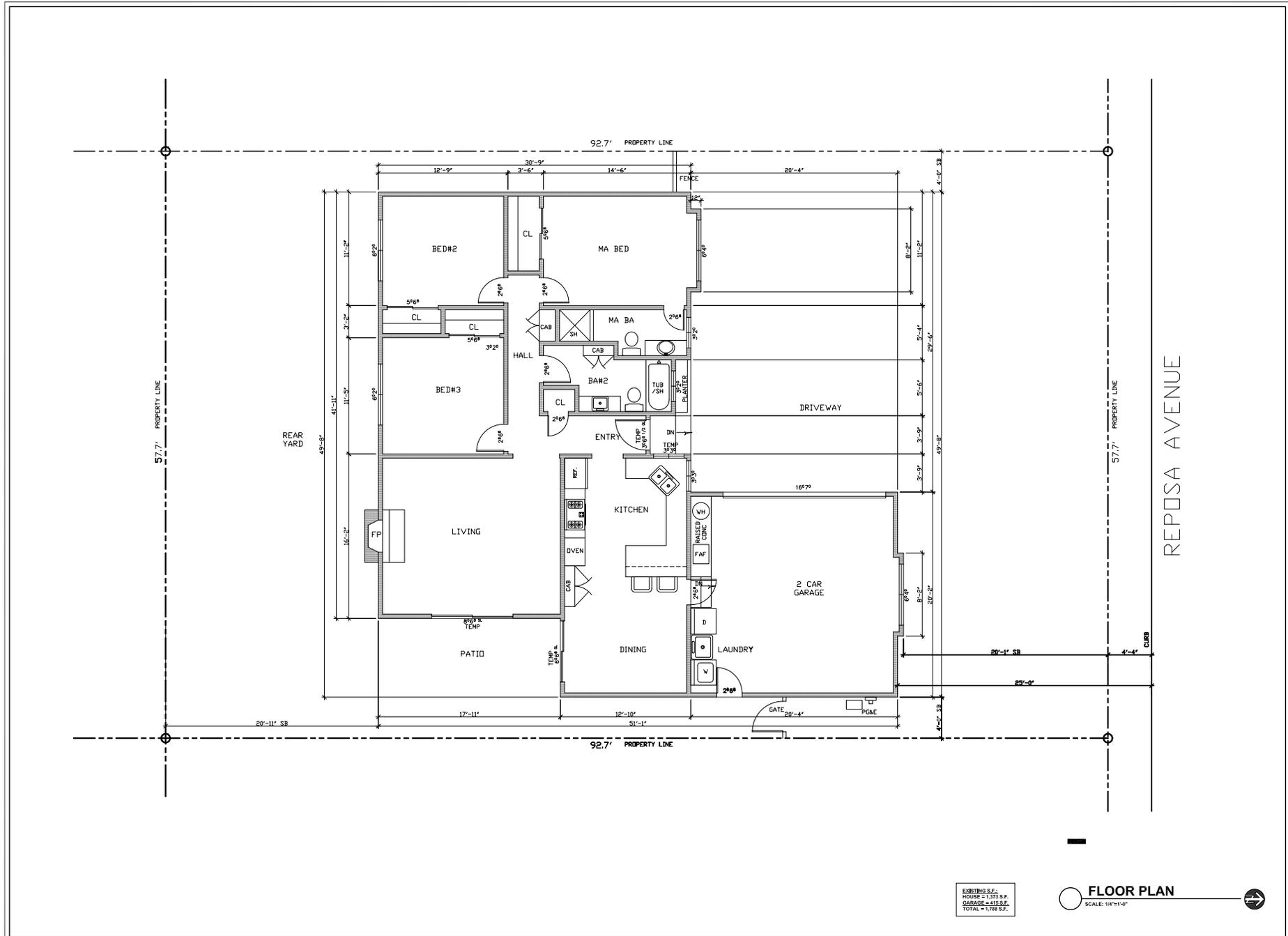
EXISTING SITE PLAN

DRAWN: GG
 SCALE: 1/4"=1'-0"
 JOB NO. REPOSA

DATE: 10/06/25

SHEET
2A
 OF # SHEETS

SITE PLAN
 SCALE: 1/4"=1'-0"



EXISTING S.F.
 HOUSE = 1,193 S.F.
 GARAGE = 415 S.F.
 TOTAL = 1,708 S.F.

FLOOR PLAN
 SCALE: 1/4"=1'-0"

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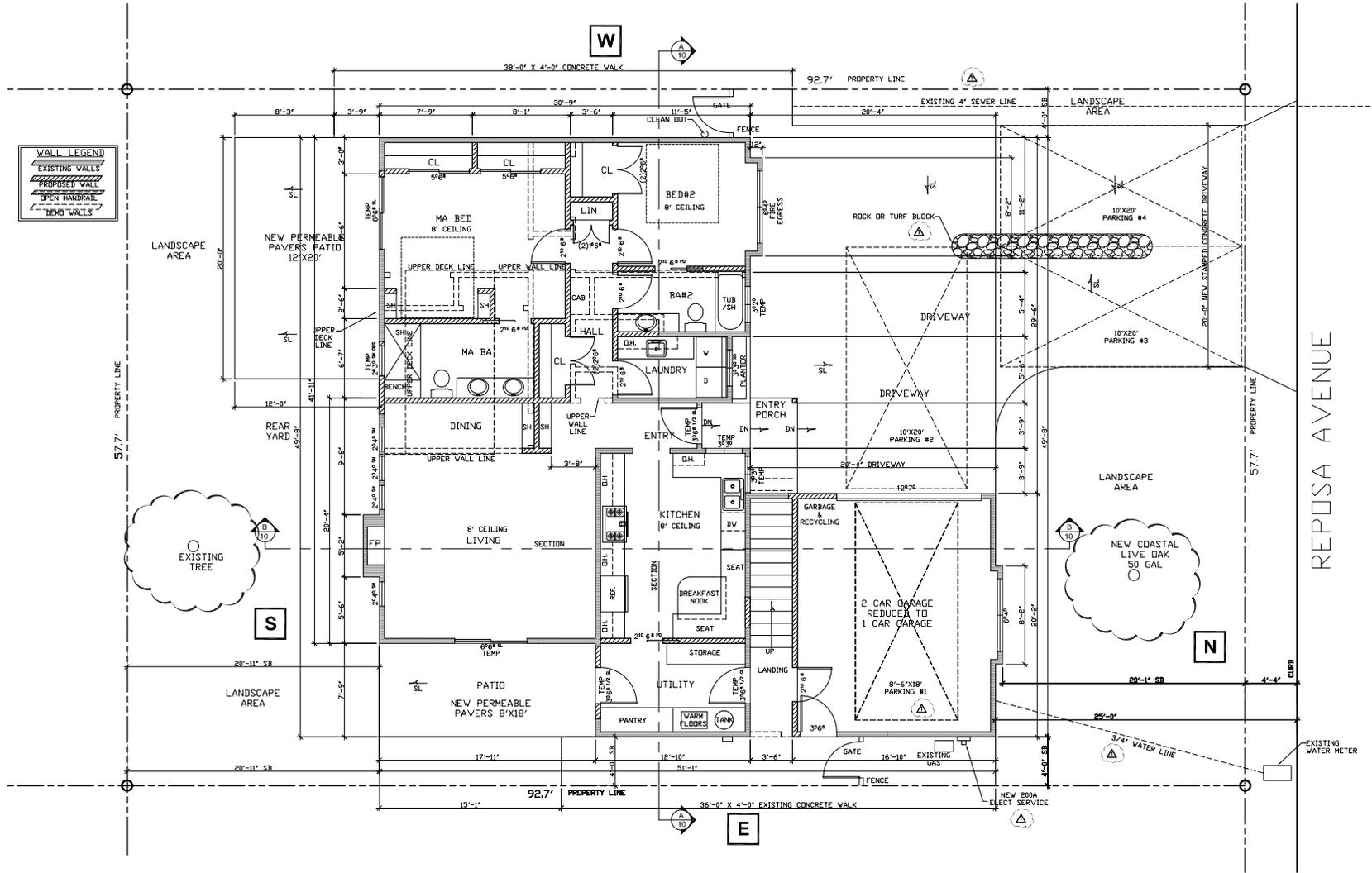
EXISTING
 FLOORPLAN

DRAWN: GG
 SCALE: 1/4"=1'-0"
 JOB NO. REPOSA
 DATE: 12/23/24

SHEET
 3
 OF SHEETS

WALL LEGEND

	EXISTING WALLS
	PROPOSED WALLS
	OPEN HANDRAIL
	DECK WALLS



EXISTING S.F.:	HOUSE = 1,375 S.F.
GARAGE = 415 S.F.	TOTAL = 1,790 S.F.
PROPOSED S.F.:	HOUSE = 1,375 S.F.
GARAGE = 344 S.F.	TOTAL = 1,719 S.F.
A.U. = 780 S.F.	A.U. DECK = 97 S.F.
UNCONDITIONED = 145 S.F.	

FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS:

1	01/18/28	GG

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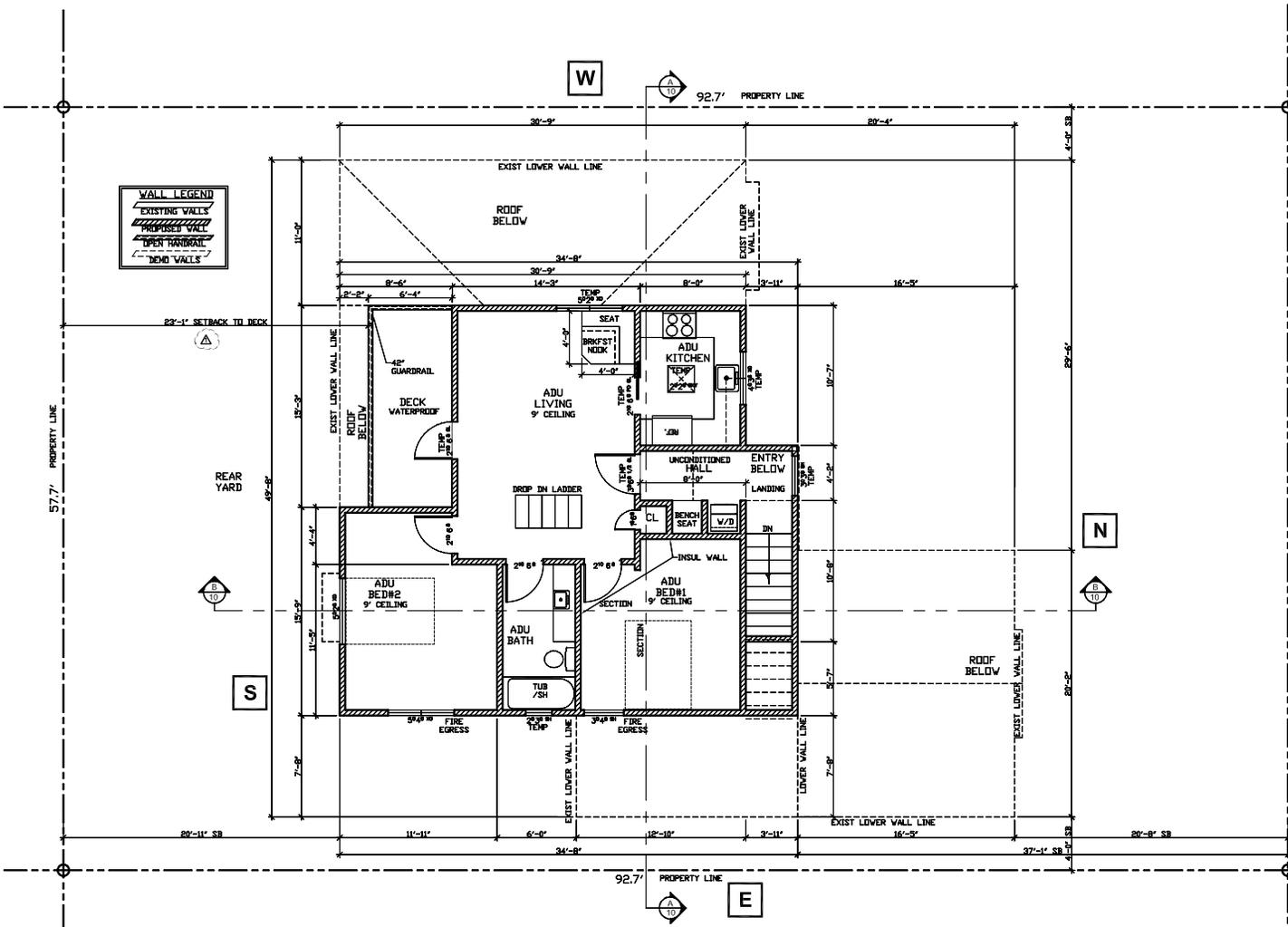
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PROPOSED LOWER FLOOR PLAN

DRAWN: GG
SCALE: 1/4"=1'-0"
JOB NO.: REPOSA

DATE: 09/29/25

SHEET
4
OF # SHEETS



WALL LEGEND	
[Solid line]	EXISTING WALL
[Hatched line]	PROPOSED WALL
[Dashed line]	OPEN HANDRAIL
[Dotted line]	"NEW" WALLS

EXISTING S.F.:	HOUSE = 1,373 S.F.
GARAGE = 413 S.F.	TOTAL = 1,786 S.F.
PROPOSED S.F.:	HOUSE = 1,373 S.F.
GARAGE = 343 S.F.	TOTAL = 1,716 S.F.
A.D.U. = 700 S.F.	A.D.U. DECK = 97 S.F.
UNCONDITIONED = 142 S.F.	

FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS:	BY:
1	GG
2	
3	
4	
5	

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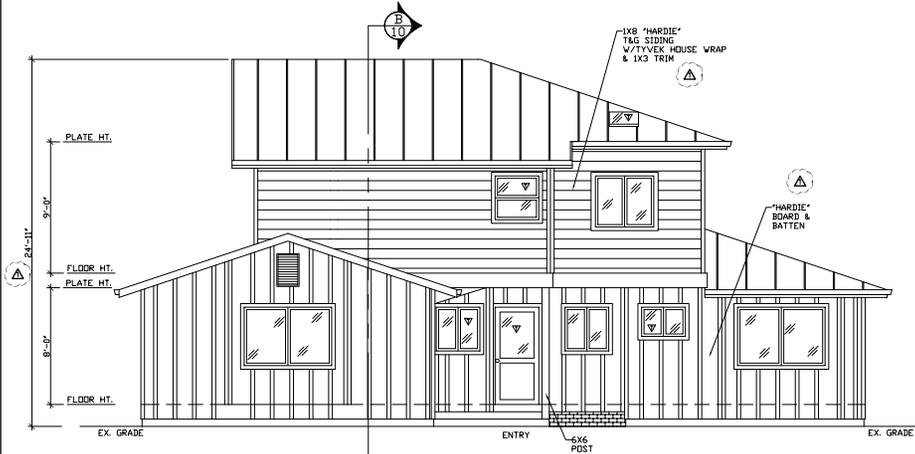
PROPOSED UPPER
FLOORPLAN

DRAWN: GG
SCALE: 1/4"=1'-0"
JOB NO. REPOSA

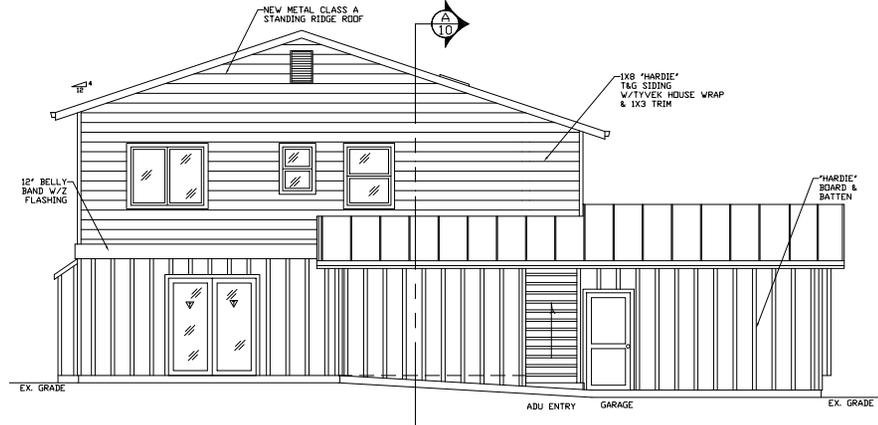
DATE: 10/21/25

SHEET
5

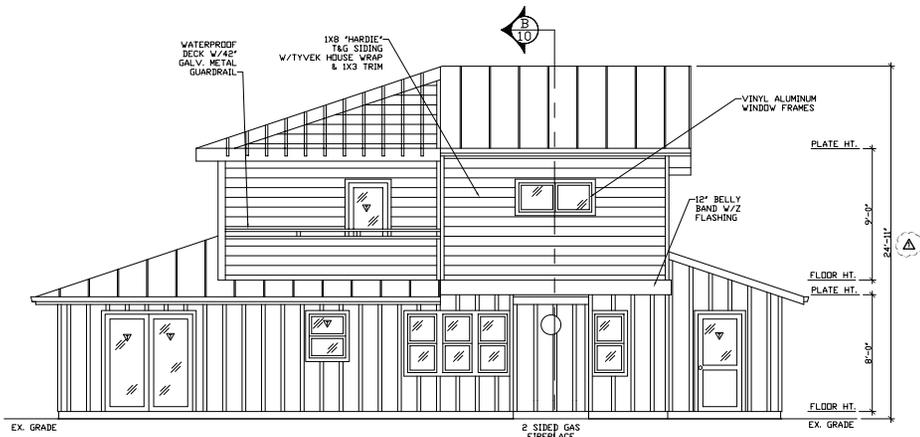
OF SHEETS



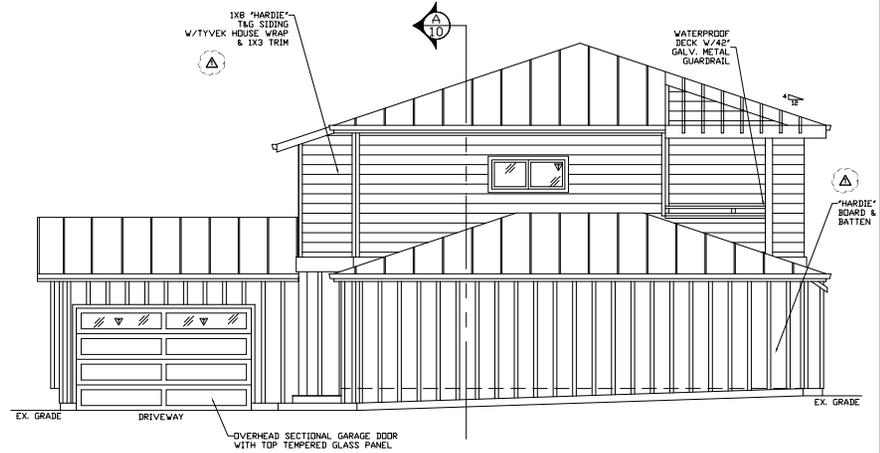
NORTH



EAST



SOUTH



WEST

NOTE: ▽ = TEMPERED GLASS

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Δ 01/18/28	GG

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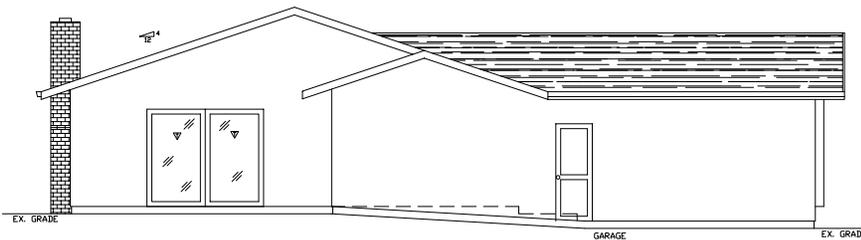
ELEVATIONS

DRAWN: GG
SCALE: 1/4"=1'-0"
JOB: REPOSA
DATE: 10/21/25

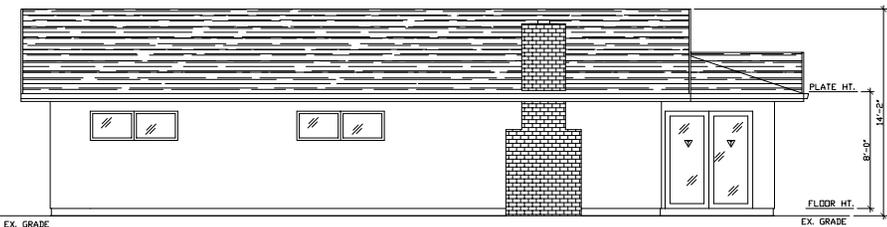
SHEET
6
OF # SHEETS



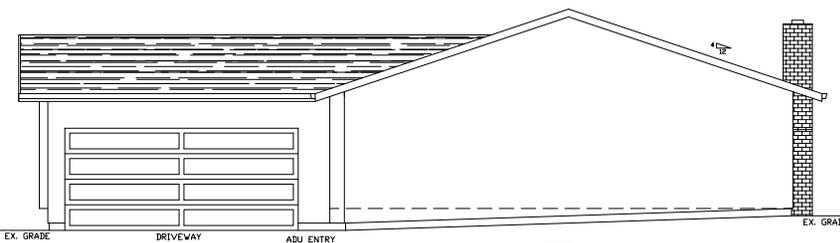
NORTH



EAST



SOUTH



WEST

NOTE: ▽ = TEMPERED GLASS

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EXISTING
 ELEVATIONS

DRAWN: GG

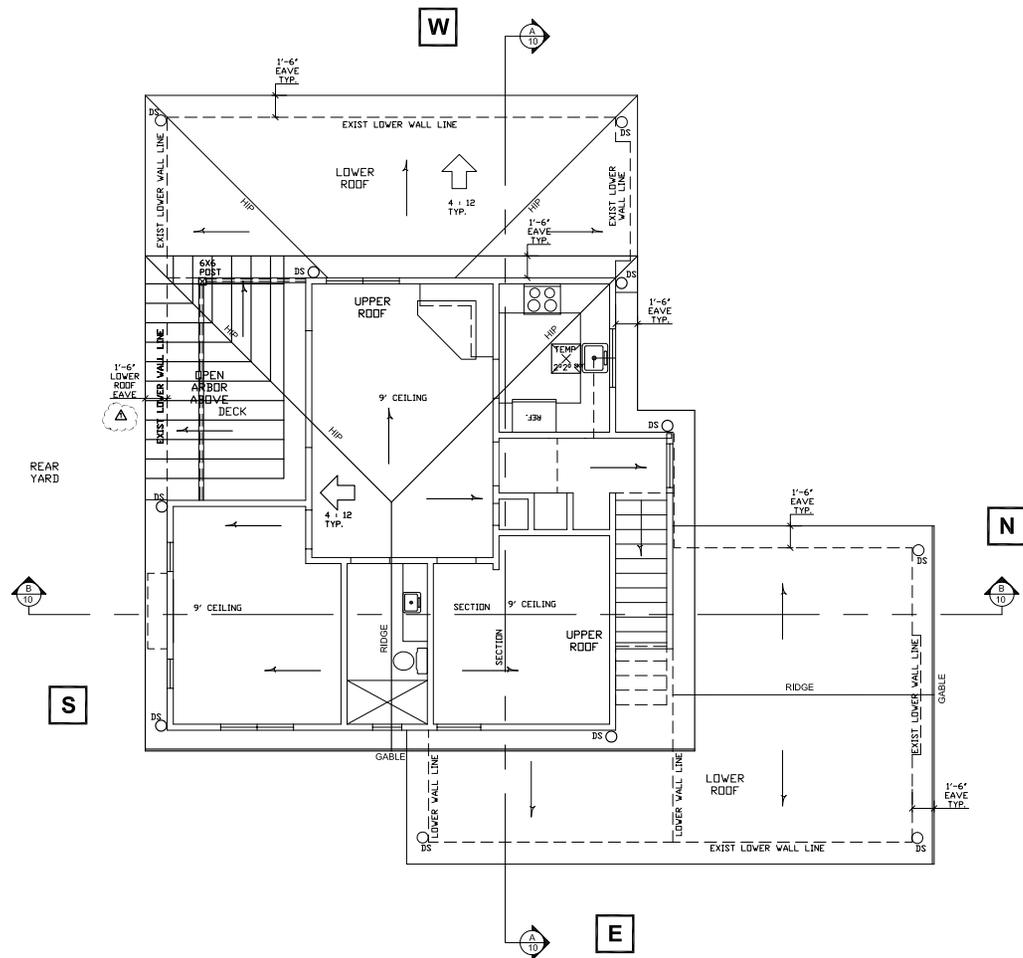
SCALE: 1/4" = 1'-0"

JOB: REPOSA

DATE: 01/08/26

SHEET

7
 OF SHEETS



REVISIONS:	BY:
Δ 01/15/28	GG

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ROOF PLAN

DRAWN: GG
 SCALE: 1/4" = 1'-0"
 JOB NO. REPOSA
 DATE: 10/10/25

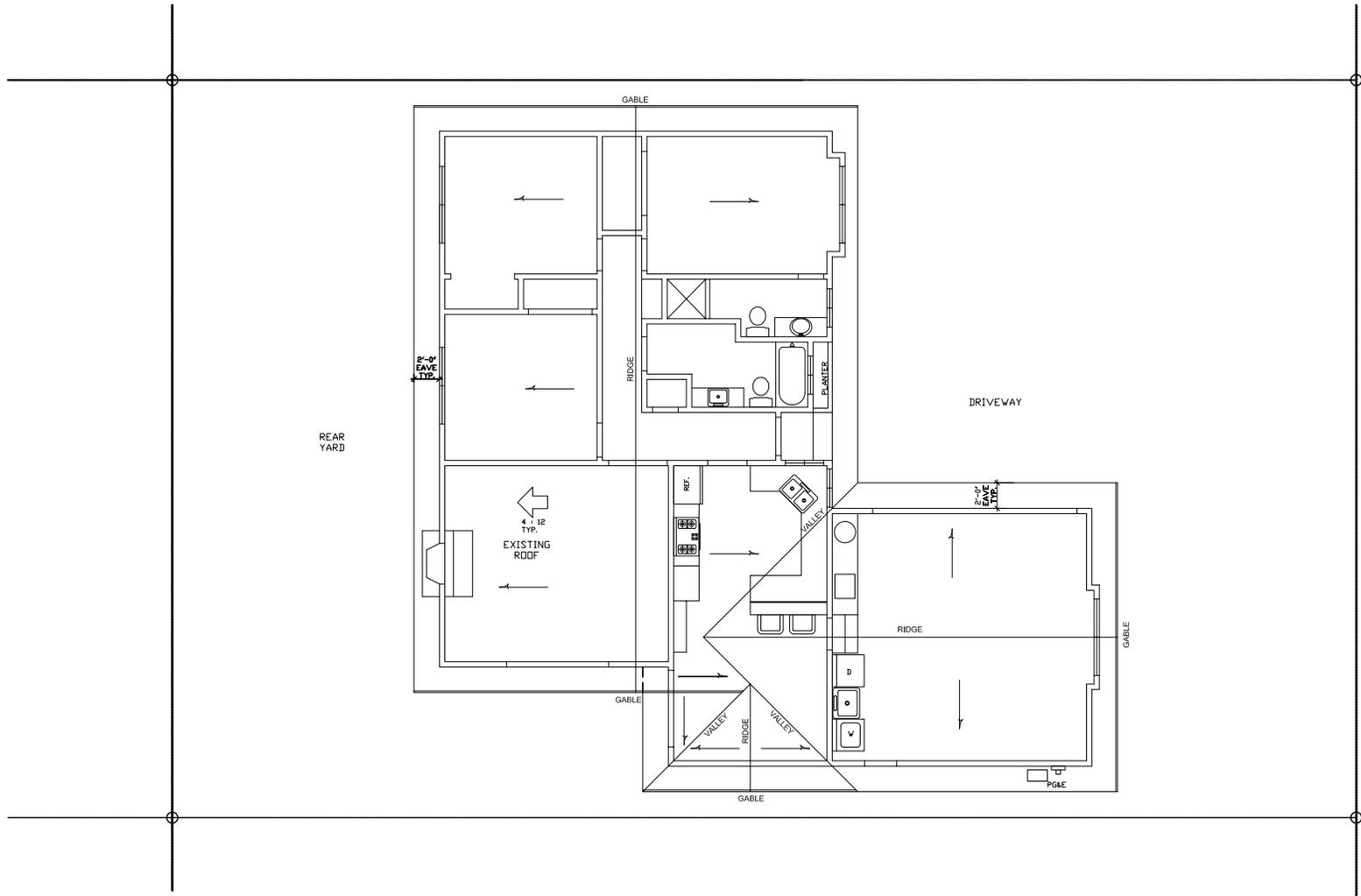
SHEET
 OF 8 SHEETS

NOTE:
 ALL ROOF DRAINAGE
 DOWNSPOUTS TO SPASHBLOCKS
 TO VEGETATED AREAS

NOTE:
 THE CAL GREEN MANDATORY REQUIREMENTS
 ARE LOCATED ON SHEET GB.1

SCALE: 1/4"=1'-0"

ROOF PLAN



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EXISTING ROOF
 PLAN

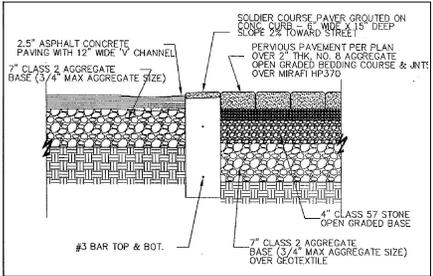
DRAWN: GG
 SCALE: 1/4"=1'-0"
 JOB NO. REPOSA
 DATE: 01/08/26

SHEET
 8A
 OF # SHEETS

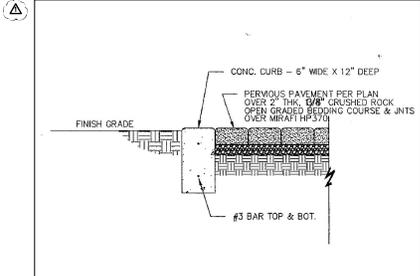
NOTE:
 ALL ROOF DRAINAGE
 DOWNSPOUTS TO SPASHBLOCKS
 TO VEGETATED AREAS

ROOF PLAN
 SCALE: 1/4"=1'-0"
 NOTE:
 THE CAL GREEN MANDATORY REQUIREMENTS
 ARE LOCATED ON SHEET GB.1

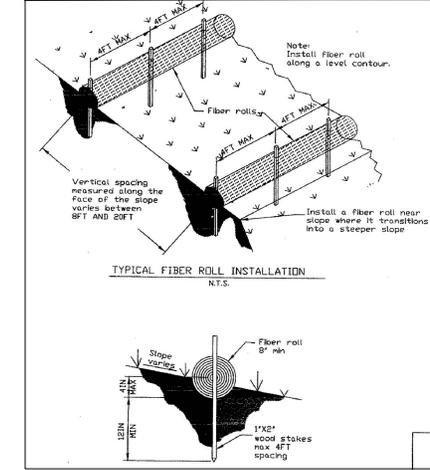
1 SEMI-PERMEABLE PAVERS (DRIVEWAY)



2 SEMI-PERMEABLE PAVERS (PATIOS & WALKWAYS)



3 FIBER ROLL



5 TREE PROTECTION PLAN

TREE PROTECTION NOTES:

1. Prior to initiating any construction activity in the area, including grading, temporary fencing shall be installed at each site tree. Fencing shall be located at or beyond the canopy drip line so that 100% of the drip line will be protected by fencing. To reduce soil compaction from equipment, a mat of 1-2 inch solid wood planks shall be placed at a depth of 4 inches where no excavation is to occur on the vicinity of the trees to be protected.
2. The tree protection fence shall be 6' high chain link with immovable posts. The fencing shall form a continuous barrier without entry points around each tree. Any encroachment into the drip line for fencing or construction purposes shall not be permitted.
3. Low hanging limbs or canopy trees shall be pruned prior to grading, or any equipment mobilization on site. The purpose of this requirement is to avoid snagging limbs for heavy equipment. All site tree limb pruning shall be supervised by the arboreal record for the job.
4. This fencing shall serve as a barrier to prevent drip line encroachment of any type of construction activities and equipment. No oils, gas, chemicals, liquid waste, solid waste, construction materials or construction materials shall be stored or allowed to stand for any period of time within the drip line of the tree. Further, no soil shall enter the fence perimeter for any reason needed for the purpose of maintaining the health of the tree. Accidental damage to bark, root zone, or limbs may increase the potential for future decline in the health of the tree.
5. Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area and at all times until the project is complete, and shall instruct employees as to the purpose and importance of fencing.
6. A warning sign shall be posted at each tree following the purpose of the fencing.

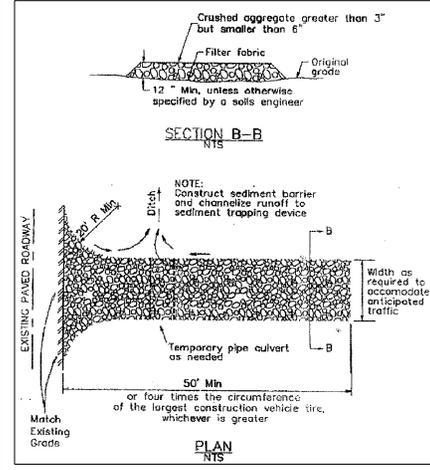
EXISTING TREE LEGEND

- ex. tree to remain (typ.)
- ex. tree to be removed (typ.)

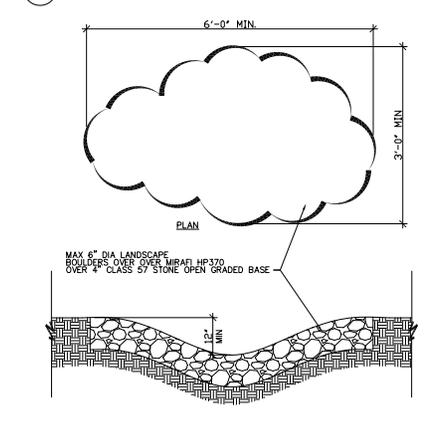
PROTECTIVE FENCING FOR EXISTING TREES

SCALE: 1/4" = 1'-0"

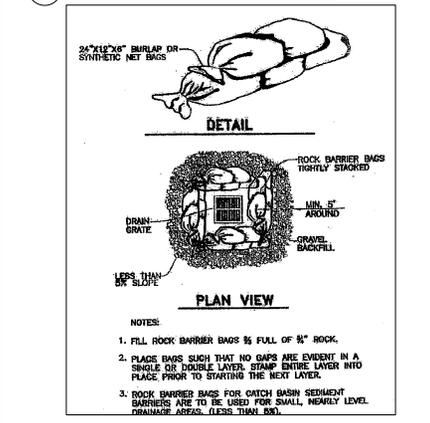
4 CONSTRUCTION ENTRANCE



6 BIOSWALE



7 STORM DRAIN INLET PROTECTION



8 SITE HOUSEKEEPING REQUIREMENTS: CONSTRUCTION MATERIALS

ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOILS, SPILLS, AGGREGATE, FL-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BEMMED.

ALL CHEMICALS SHALL BE STORED IN WATER TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).

EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNATED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUITS, INSULATORS, BRIGGS, ETC.).

BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

9 SITE HOUSEKEEPING REQUIREMENTS: WASTE MANAGEMENT

DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.

SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.

SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.

COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.

DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.

STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.

EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.

CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

10 SITE HOUSEKEEPING REQUIREMENTS: VEHICLE STORAGE & MAINTENANCE AND LANDSCAPE MATERIALS

MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.

ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BUMPS.

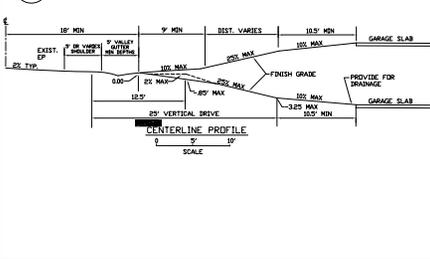
LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY, CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.

CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.

APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.

STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

11 TYPICAL DRIVEWAY



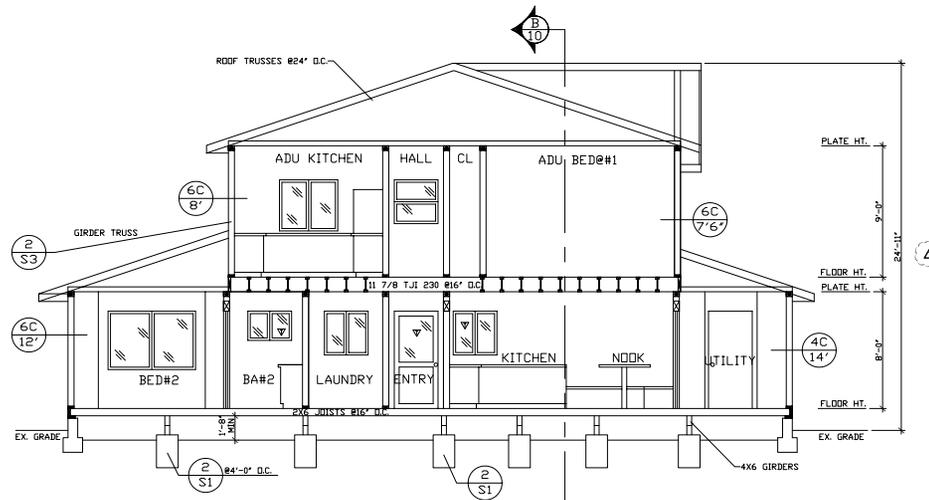
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1/1/28	GG

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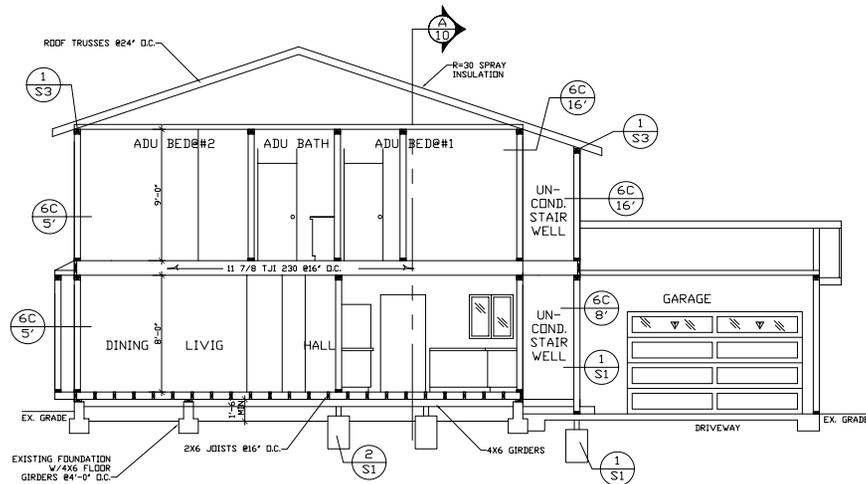
SITE PLANNING DETAILS

DRAWN: GG
 SCALE: N/A
 JOB NO: REPOSA
 DATE: 01/29/25
 SHEET: 9 OF 9



SECTION A

SCALE: 1/4"=1'-0"



SECTION B

SCALE: 1/4"=1'-0"

NOTE:
SEE ROOF
PLAN PG S3

NOTE:
SEE FOUNDATION
PLAN PG S1 & S2

NOTE:
SEE EN1 & EN2 FOR INSULATION
REQUIREMENTS

NOTE:
THE CAL GREEN MANDATORY REQUIREMENTS
ARE LOCATED ON SHEET GB.1

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Δ 01/18/28	GG

OWNER:
PHOENIX & BRIAN KELLY
3890 REPOSA AVE
CAPITOLA, CA 95010
408-206-2170

KELLY RESIDENCE
3890 REPOSA AVE
CAPITOLA, CA 95010
APN 034-162-03

DENNIS NORTON
HOME DESIGN AND PROJECT PLANNING
112 C CAPITOLA AVENUE, CAPITOLA, CALIFORNIA 95010
PHONE: 408-206-2170
WWW: www.dennisonortondesign.com



SECTIONS

DRAWN: GG

SCALE: 1/4"=1'-0"

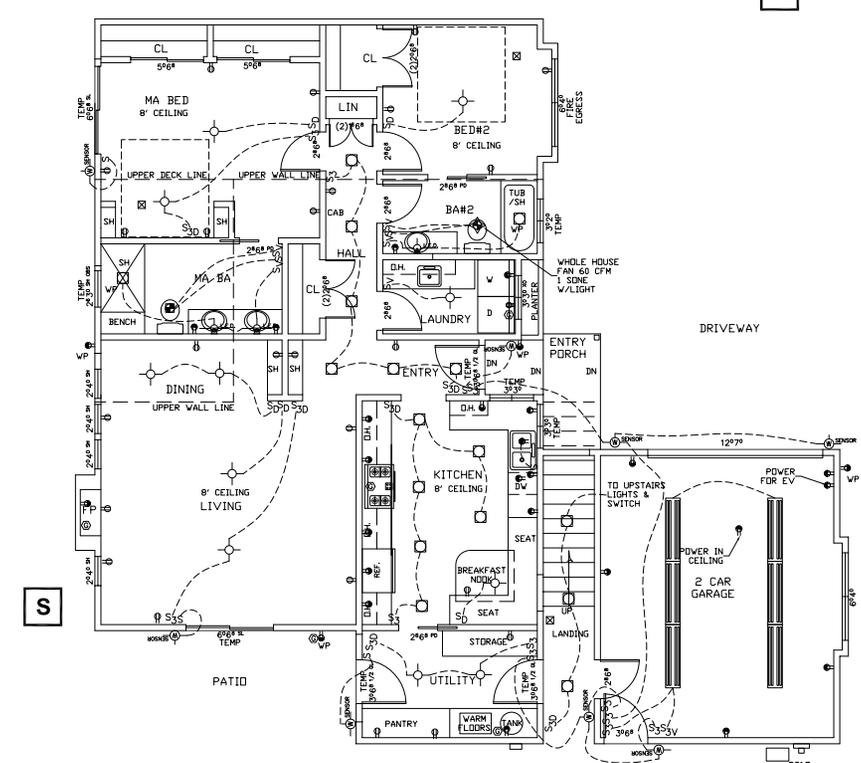
SCALE: REPOSA

DATE: 10/21/25

SHEET

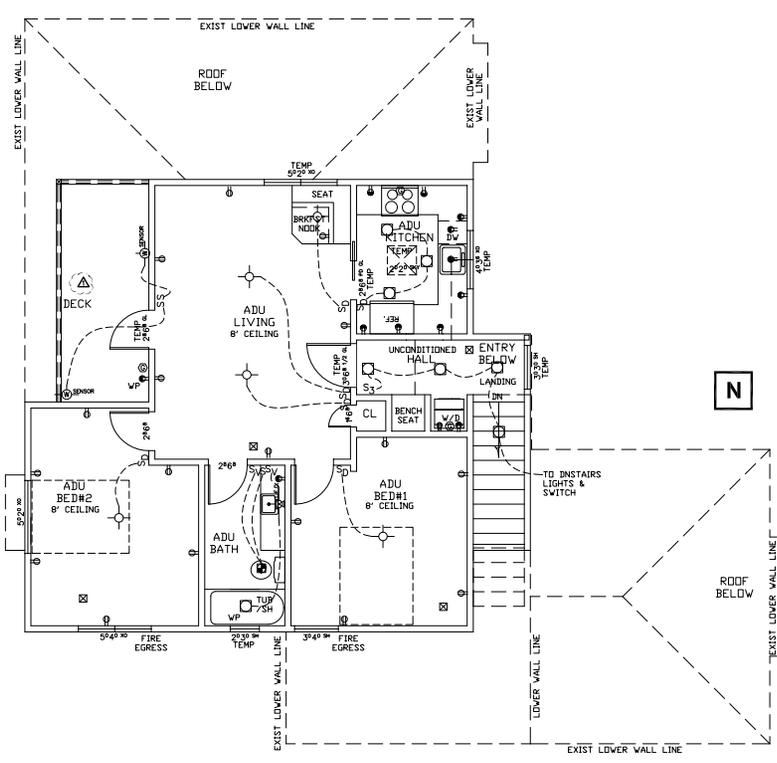
10
OF SHEETS

W



LOWER LEVEL

E



UPPER LEVEL

N

S

THIS PROJECT MUST COMPLY WITH HEAT PUMP WATER HEATER READY REQUIREMENTS PER 150.0(n)1 OF 2022 CEC

- THIS PROJECT MUST COMPLY WITH HEAT PUMP HEATER READY REQUIREMENTS PER 150.0(n)1 OF 2022 CEC.
 - THIS PROJECT MUST COMPLY WITH 150.0(l)-HEAT PUMP SPACE HEATER READY, 150.0(u)-ELECTRIC COOKTOP READY AND 150.0(v)-ELECTRIC CLOTHES DRYER READY PER 2022 CEC.

EXTERIOR LIGHTING:
 EXTERIOR LIGHT FIXTURES WILL BE REQUIRED TO COMPLY WITH CMC SECTION 17.96.110 AND BE LIMITED TO THE BUILDING CODE REQUIRED MINIMUM. FIXTURES SHALL BE SHIELDED OR FROSTED AND DIRECTED DOWNWARD TO MEET THE INTERNATIONAL DARK SKY ASSOCIATION'S (IDA) REQUIREMENTS FOR REDUCING WASTE OF AMBIENT LIGHT AND PREVENT LIGHT TRESPASS ON ADJACENT LOTS. LIGHTING DETAILS AND FIXTURE CUTSHEETS SHALL BE INCLUDED WITH THE BUILDING PERMIT PLAN SUBMITTAL. (NO RESPONSE REQUIRED)

NOTE:
 PREWIRE FOR ROOF MOUNT SOLAR PANELS

NOTE:
 THE CAL GREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET GB.1

EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH CMC CHAPTER 4, AND CAL GREEN DIVISION 4.5. (WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL)(CRC 303.3.1).

ELECTRICAL SYMBOL LEGEND

SYMBOL	CONTEXT	SYMBOL	CONTEXT
	LIGHT (WALL MOUNT) L.E.D.		AFG RECEPTACLE
	LIGHT (OVERHEAD) L.E.D.		GFI/AFD RECEPTACLE (GROUND FAULT)
	CAN LIGHT (RECESSED) INSTANT I.C. (L.E.D.)		HALF SWITCHED RECEPTACLE
	TUBE LIGHT (L.E.D.)		RECEPTACLE 220V
	WALL LIGHT L.E.D.		FLOOR RECEPTACLE
	STEP LIGHT (L.E.D.)		FAN-LIGHT (60 CFM)
	SWITCH		FAN-LIGHT COMBINATION (60 CFM)
	SWITCH (3-WAY)		FAN VENT (60 CFM)
	SWITCH (3 WAY) W/DIMMER		WHOLE HOUSE FAN (48 CFM) 1 ZONE
	SWITCH (4 WAY) W/DIMMER		GAS
	SWITCH (4 WAY) W/DIMMER		PHONE
	SW W/OCCUPANCY SENSOR		CABLE TV
	SWITCH W/VACANCY SENSOR		SMOKE DETECTOR W/CARBON MONOXIDE DETECTOR (ON LINE-BATTERY BACKUP)

NOTES:
 ALL REQUIRED OUTLETS SHALL BE TAMPER RESISTANT (CCC 406.11)
 ALL LIGHTING TO BE L.E.D.

REVISIONS:

01/18/26	GG

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ELECTRICAL PLAN

DRAWN: GG

SCALE: 1/4"=1'-0"

JOB NO: REPOSA

DATE: 06/18/25

SHEET

11

OF SHEETS

THIRTY-EIGHTH AVENUE
(WIDTH VARIES)

LOT 1

L A P A Z
T R A C T 3 6 8

LOT 2

S U B D I V I S I O N
4 0 - M - 3

LOT 3

SE CORNER OF LOT 3
FD. 1/2" PIPE, OPEN, BEARS N 01'5" W, 50.00' (50')
& S 89'45" W, 0.03' FROM THE NE CORNER OF LOT 20

BASIS OF BEARINGS: SOUTH 80° 16' EAST
ESTABLISHED BETWEEN A FOUND 1/2" OPEN IRON PIPE AT THE NORTHWEST CORNER OF LOT 20, 40-M-3 (BEARING BASE MONUMENT "A"), AND A FOUND 1.5" DIAMETER PIPE WITH A WOODEN PLUG, NO TAG, FOUND AT THE SOUTHEAST CORNER OF LOT 12, 40-M-3 (BEARING BASE MONUMENT "B"), AND AS THE COURSE BETWEEN THEM HAS BEEN CALCULATED BASED ON 40-M-3.

CALCULATED COURSE "A" TO "B" BASED ON 40-M-3: S 80'16" E, 534.66'
FIELD-MEASURED COURSE "A" TO "B" BY THIS SURVEY: S 80'16" E, 534.66'

ELEVATION REFERENCE IS THE TOP OF THE FINISHED FLOOR (TILE) AT THE FRONT ENTRANCE TO HOUSE (3890 REPOSA AVENUE) FOR ASSUMED ELEVATION = 70.0'.

NOTE
STRUCTURES SHOWN ARE PLOTTED BASED ON MEASUREMENTS TO THE EXTERIOR BUILDING CORNERS AND NOT THE FACE OF THE FOUNDATION STEM WALL OR THE FRAMING LINE. THE PROPERTY-LINE SETBACK DISTANCES WILL BE SLIGHTLY LARGER THAN WHAT IS INDICATED ON THIS MAP.

1" = 8'

LEGEND

- Indicates survey monument found as noted hereon.
- o Indicates nothing found or set.
- x Indicates spot elevation of existing surface.
- () Indicates record data based on recorded map 40-M-3. All distances shown are in feet and decimals thereof.
- Indicates existing board fence.
- ⊕ Indicates 'electric meter'.
- FF Indicates 'finished floor'.
- FL Indicates 'flow line'.
- ⊙ Indicates 'gas meter'.
- LG Indicates 'lip of concrete gutter plate'.
- OUL Indicates 'overhead utility line'.
- SSCO Indicates 'sanitary sewer clean-out'.
- TC Indicates 'top of curb'.
- WM Indicates 'water meter'.

REPOSA AVENUE
(50' WIDE)

N 89'45" E, 102.69' (102.69')

FD. 1/2" PIPE, "RCE 11423", DOWN 1',
BEARS N 01'5" W, 0.19" & N 89'45" E, 0.11'

$R=20.00'$ (20')
 $\Delta=90'00"$ (90')
 $L=31.42'$ (31.42')

ROBERT E. NICHOLS
TRUSTEE
2009-0057671
A.P.N. 034-162-02

LOT 21
L A P A Z
S U B D I V I S I O N
T R A C T 3 6 8
4 0 - M - 3

FD. 1/2" PIPE, NO TAG, OPEN (BEARING BASE MONUMENT "A")

FD. 1/2" PIPE, OPEN, AT THE SE CORNER OF LOT 3, BEARS N 01'5" W, 50.00' (50') & S 89'45" W, 0.03'

FROM THE NE CORNER OF LOT 20 TO THE NE CORNER OF LOT 16,
FROM WHICH A FD. 1/2" OPEN PIPE BEARS N 01'5" W, 0.10'

BASIS OF BEARINGS
S 80'16" E, 534.66'
(S 80'16" E, 534.66')
TO A FD. 1.5" DIA. PIPE, PLUG, NO TAG, AT THE SE CORNER OF LOT 12, 40-M-3 (BEARING BASE MONUMENT "B")

RICHARD WONG
WU Q. HUANG
TRUSTEES
2015-0044008
A.P.N. 034-162-04

L A P A Z
T R A C T 3 6 8
S U B D I V I S I O N
4 0 - M - 3

LOT 22

N 01'5" W, 72.70' (N 01'5" W, 72.70')

SW CORNER OF LOT 22

65.00'

3.95' PROP. LINE TO EXTERIOR BLDG. LINE

10' PUBLIC UTILITIES EASEMENT BY 40-M-3

EXISTING HOUSE
3890 REPOSA AVENUE
PHOEBE THOMPSON KELLY
TRUSTEE
2024-0019215
A.P.N. 034-162-03
5349 S.F.
LOT 20

KEITH GREENINGER
SUSAN GREENINGER
KALEN GREENINGER
2021-0021418
A.P.N. 031-174-09

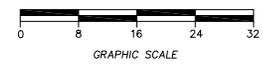
N 89'45" E, 649.25' TOTAL

PETER VOMVOLAKIS
LISA VOMVOLAKIS
2018-0010677
A.P.N. 031-174-08



SURVEYOR'S MAP
SHOWING BOUNDARY AND TOPOGRAPHY ON
LOT 20 OF TRACT NO. 368, 40-M-3
"LA PAZ SUBDIVISION"

WITHIN THE CITY OF
CAPITOLA, CALIFORNIA
SCALE: 1" = 8' FEBRUARY 2025
BY: MICHAEL F. BEAUTZ, C.E.
A.P.N. 034-162-03 SHEET 1 OF 1



F A I R V I E W
P A R K
1 2 - M - 1 5