



PROPERTY OWNERS

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ARCHITECT / APPLICANT

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GENERAL CONTRACTOR

FUSE CONSTRUCTION INC.
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STRUCTURAL ENGINEER

REDWOOD ENGINEERING
 1535 SEABRIGHT AVE
 SANTA CRUZ, CA 95062
 C: LEONARD WILLS
 T: (831) 458-8444
 E: REDWOODENGINEERING.COM

COMPANY SURVEYOR

ALPHA LAND SURVEY
 C: BRODIE FRENCH
 A-4444 SCOTTS VALLEY DR STE 6
 SCOTTS VALLEY, CA 95066
 T: (831) 458-4453
 E: ALPHA.SURVEYORS.COM

CAPITOLA RESIDENCE

417 CA. ITOLA AVE CAPITOLA CA 95010

10/26/2023

[Handwritten signatures]



fuse 
 architects + builders
 512 Capitola Ave + Capitola + CA + 95010



LOCATION MAP



FROM HIGHWAY 1 HEAD EAST ON BAYPORTER.
TURN RIGHT ON CAPITOLA AVE. PROPERTY IS ON RIGHT

VICINITY MAP



GREEN BUILDING CODE COMMENTS

SEE SHEETS 02.B.1 / 02.B.2

APPLICABLE CODES & REGULATIONS

| | |
|-------------------------|--|
| BUILDING CODE | 2019 CBC (2019 CALIFORNIA BUILDING CODE, TITLE 24, PT 2) |
| ELECTRICAL CODE | 2019 CEC (2019 CALIFORNIA ELECTRICAL CODE, TITLE 24, PT 3) |
| MECHANICAL CODE | 2019 CMC (2019 CALIFORNIA MECHANICAL CODE, TITLE 24, PT 4) |
| PLUMBING CODE | 2019 CPC (2019 CALIFORNIA PLUMBING CODE, TITLE 24, PT 5) |
| ENERGY CODE | 2019 CEC (2019 CALIFORNIA ENERGY CODE, TITLE 24, PT 6) |
| FIRE CODE | 2019 CFC (2019 CALIFORNIA FIRE CODE, TITLE 24, PT 9, APPENDIX B & C) |
| GREEN BUILDING | 2019 CALGREEN (2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, PT 11) |
| RESIDENTIAL CODE | 2019 CRC (2019 CALIFORNIA RESIDENTIAL CODE) |
| COUNTY CODE | SANTA CRUZ COUNTY CODE AMENDMENTS |

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.

ITEMS TO HAVE DEFERRED SUBMITTAL INCLUDE:
- PLUMBING - ISOMETRIC DRAWING

JOB COPIES OF THE BUILDING & FIRE SYSTEMS PLANS & PERMITS MUST BE ON-SITE DURING INSPECTIONS.

FIRE NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019 EDITION) AND THE LOCAL FIRE DISTRICT AMENDMENTS.
- SPOKE ALARMS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - ONE ALARM ADJACENT TO EACH SLEEPING AREA
 - ONE ALARM IN EACH SLEEPING ROOM
 - ONE AT THE TOP OF EACH STAIRWAY OF 24" OR GREATER AND IN AN ACCESSIBLE LOCATION BY LADDER.
 - THERE SHALL BE ONE SPOKE ALARM ON EACH FLOOR LEVEL.
 - THERE SHALL BE A MINIMUM OF ONE SPOKE ALARM IN EVERY BASEMENT AREA
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - ONE ALARM ADJACENT TO EACH SLEEPING AREA
 - THERE SHALL BE AT LEAST ONE CARBON MONOXIDE ALARM ON EACH FLOOR LEVEL.
- BUILDING NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
- FIRE SPRINKLERS NOT REQUIRED

BFEC

PROJECT DESCRIPTION

DEMOLITION OF EXISTING COMMERCIAL BUILDING. CONSTRUCTION OF A NEW 3 STORY RESIDENTIAL SINGLE FAMILY HOME WITH 3 BEDROOMS AND 3.5 BATHROOM WITH 2 COVERED ON SITE PARKING SPACES.

PROJECT INFORMATION

CONTACT INFORMATION

ARCHITECT:
FUSE ARCHITECTS, INC.
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512 CAPITOLA AVENUE
CAPITOLA, CA 95010
831-479-9255
WWW.FUSEARCHITECTURE.COM

STRUCTURAL ENGINEER:
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SURVEYOR:
ALPHA LAND SURVEY
CONTACT: BRODIE
FRENCH
4444 SCOTTS VALLEY DR #16,
SCOTTS VALLEY, CA 95066,
ESTADOS UNIDOS
CITY, STATE ZIP
(831) 438-4453
www.alpha-surveyors.com/

DRAWING INDEX

| ARCHITECTURAL | | SHEET NAME | BLDG SUBMITTAL |
|---------------|----------------------------------|------------|----------------|
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EXCEPTIONS INFORMATION

- EXEPTIONS REQUESTED:
- ENCROACHMENT OF SIDE YARD SETBACKS.
 - ENCROACHMENT OF REAR YARD SETBACKS.
 - GARAGE CREDIT 400SF.

417 Capitola



512 Capitola Ave + Capitola + California + 95010
fusearchitecture.com 831.479.9255

| Revision | Date | Issue Description |
|----------|---------|-----------------------|
| XXXXXXX | | PLANNING SUBMITTAL |
| I | XXXXXXX | PLANNING RE-SUBMITTAL |

Seal/Signature

NOT FOR CONSTRUCTION

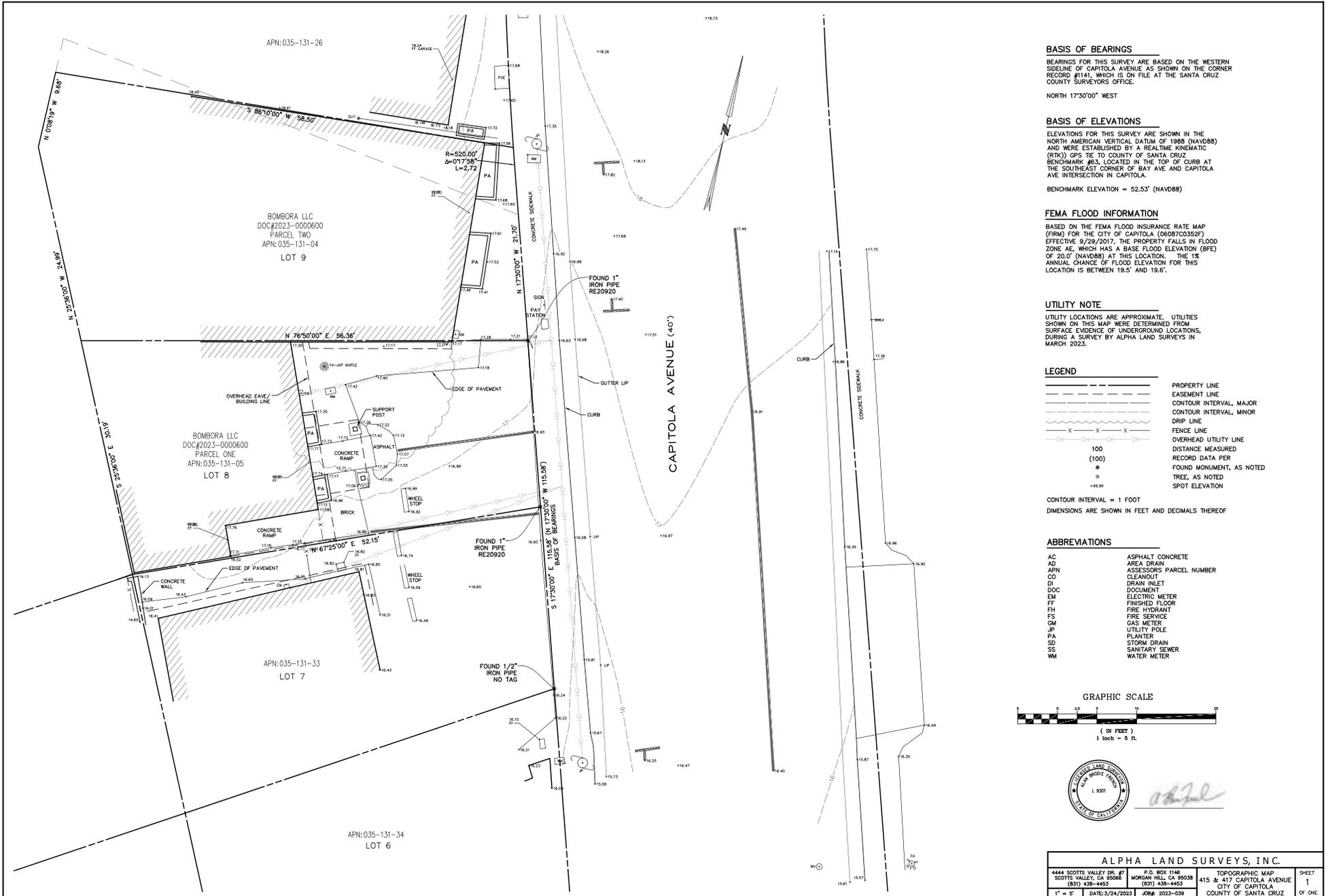
Project Name
417 Capitola

Accessor's Parcel Number
APN #: 123-456-78

Sheet Title
PROJECT INFO

Scale
As Indicated

AI



BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE WESTERN SIDELINE OF CAPITOLA AVENUE AS SHOWN ON THE CORNER RECORD #1141, WHICH IS ON FILE AT THE SANTA CRUZ COUNTY SURVEYORS OFFICE.

NORTH 17°30'00" WEST

BASIS OF ELEVATIONS

ELEVATIONS FOR THIS SURVEY ARE SHOWN IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED BY A REALTIME KINEMATIC (RTK) GPS TIE TO COUNTY OF SANTA CRUZ BENCHMARK #63, LOCATED IN THE TOP OF CURB AT THE SOUTHEAST CORNER OF BAY AVE AND CAPITOLA AVE INTERSECTION IN CAPITOLA.

BENCHMARK ELEVATION = 52.53' (NAVD88)

FEMA FLOOD INFORMATION

BASED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF CAPITOLA (606070329) EFFECTIVE 9/29/2017, THE PROPERTY FALLS IN FLOOD ZONE AE, WHICH HAS A BASE FLOOD ELEVATION (BFE) OF 20.0' (NAVD88) AT THIS LOCATION. THE 1% ANNUAL CHANCE OF FLOOD ELEVATION FOR THIS LOCATION IS BETWEEN 19.5' AND 19.6'.

UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN MARCH 2023.

LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- CONTOUR INTERVAL, MAJOR
- - - CONTOUR INTERVAL, MINOR
- - - DRIP LINE
- - - FENCE LINE
- - - OVERHEAD UTILITY LINE
- 100 DISTANCE MEASURED
- (100) RECORD DATA PER
- FOUND MONUMENT, AS NOTED
- ⊙ TREE, AS NOTED
- ⊙ SPOT ELEVATION

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

ABBREVIATIONS

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- APN ASSESSORS' PARCEL NUMBER
- CO CLEANOUT
- DI DRAIN INLET
- DOC DOCUMENT
- EM ELECTRIC METER
- FF FINISHED FLOOR
- FH FIRE HYDRANT
- FS FIRE SERVICE
- GM GAS METER
- JP UTILITY POLE
- PA PLANTER
- SD STORM DRAIN
- SS SANITARY SEWER
- WM WATER METER

GRAPHIC SCALE

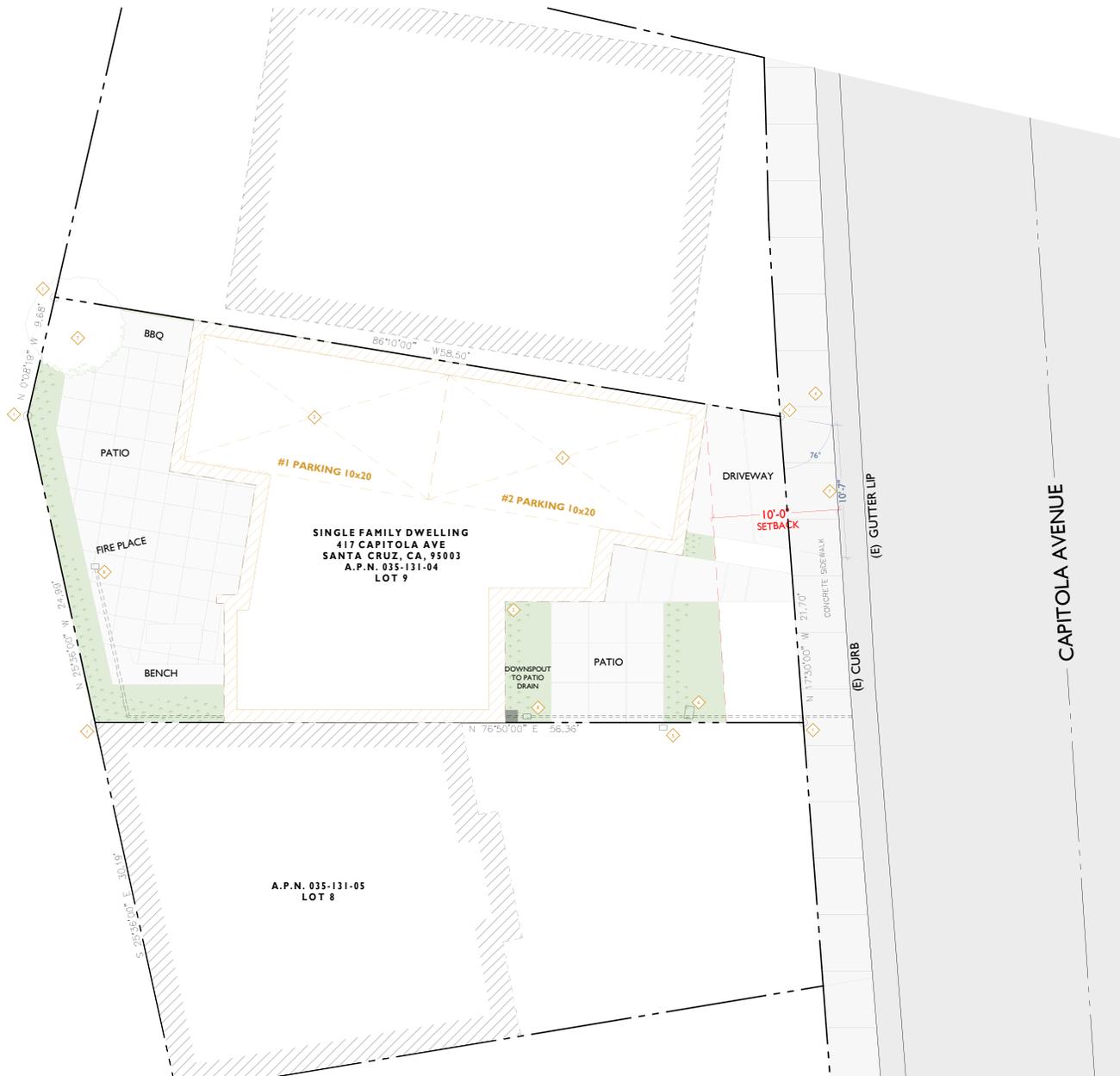


(IN FEET)
1 Inch = 6 ft.

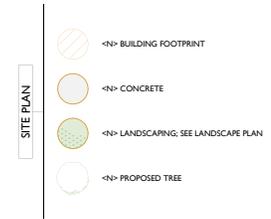


Signature

| | | | |
|---|--|--|----------------------|
| ALPHA LAND SURVEYS, INC. | | | |
| 4444 SCOTT'S VALLEY DR #7 SCOTT'S VALLEY, CA 95066 (831) 438-4453 | P.O. BOX 1146 MORGAN HILL, CA 95038 (408) 438-4453 | TOPOGRAPHIC MAP 415 & 417 CAPITOLA AVENUE CITY OF CAPITOLA COUNTY OF SANTA CRUZ | SHEET 1 OF ONE |
| 1" = 5' | DATE: 3/24/2023 | JOB#: 2023-039 | |



SITE PLAN LEGEND



KEYNOTES

- PROPERTY LINE
- FOOT PRINT
- PARKING 18x9'
- (E) UTILITY POLE
- (E) ELECTRICAL METER
- (E) GAS METER (TO RELOCATE)
- (N) CURB CUT
- (N) STORM DRAINAGE

STORMWATER CALCULATIONS:

OVERALL PARCEL SIZE: 1,698.84 SF
 EXISTING IMPERVIOUS SURFACE: 1,698.84 SF
 AMOUNT OF REPLACED IMPERVIOUS SURFACE: 1,396.5 SF
 AMOUNT OF NEW IMPERVIOUS SURFACE: ~302.34 SF
TOTAL PROPOSED IMPERVIOUS SURFACE: 1,396.5 SF

417 Capitola



| Project Submittal Record | | |
|--------------------------|--------|-----------------------|
| Revision | Date | Issue Description |
| XXXXXX | XXXXXX | PLANNING SUBMITTAL |
| I | XXXXXX | PLANNING RE-SUBMITTAL |

Seal/ Signature



Project Name
417 Capitola

Accessor's Parcel Number
APN #: 123-456-78

Sheet Title
PROPOSED SITE PLAN

Scale
As Indicated

A3

PROPOSED SITE PLAN

1/4" = 1'-0"

LANDSCAPE GENERAL NOTES

1. **PROPOSED LANDSCAPE IS AS SHOWN WITH PLANTING PLAN INCLUDING LOCATION, COMMON AND BOTANICAL NAME, CONTAINER SIZE & QUANTITY, CONSISTENT WITH THE CITY'S WATER EFFICIENCY LANDSCAPE ORDINANCE (WELCO). ADDITIONALLY SHOWN ARE EXTERIOR LIGHTING, FENCES, WALLS, SCREENING, EXISTING TREES AND VEGETATION AS REQUIRED BY THE LIST OF ITEMS REQUIRED FOR SUBMITTAL.**
2. PLEASE NOTE THAT THE PROPOSED (CONCEPTUAL / PRELIMINARY) LANDSCAPE PLAN SHOWN ON THIS SHEET INCLUDES PLANTING SELECTIONS THAT TAKE INTO CONSIDERATION WUCOLS RATING & STATUS OF EACH SELECTION AS NATIVE, DROUGHT-TOLERANT, AND LOW WATER USE, AS APPLICABLE. A MINIMUM OF 90% OF PLANTS AND TREES SHALL BE DROUGHT-TOLERANT AS DEFINED BY THE WATER USE CLASSIFICATION OF LANDSCAPE SPECIES. NATIVE PLANTS ADAPTED TO THE LOCAL CLIMATE ARE PREFERRED - PER CHC 17.72.060 LANDSCAPE STANDARDS.
3. WITH CONSIDERATION OF THE CITY'S BMP / LID REQUIREMENTS - PROPOSED DISCONNECTED DOWNSPOUTS TO DISCHARGE INTO LANDSCAPING WHERE POSSIBLE; AS MARKED ON THIS SHEET AS WELL AS SHEET A1/D / COVER SHEET, SITE MAP.
4. IRRIGATION SYSTEM
5. PLEASE NOTE THAT SELECT PLANTS MAY BE OMITTED BASED ON OWNERS DISCRETION.
6. LANDSCAPE PLAN TO CORRESPOND WITH ALL WATER EFFICIENT LANDSCAPE ORDINANCE REGULATIONS AS DESCRIBED WITHIN CITY GUIDELINES.
 - A) ALL UNPAVED PORTIONS OF THE FRONT AND EXTERIOR SIDE YARDS SHALL BE IMPROVED AND MAINTAINED WITH APPROPRIATE LANDSCAPE MATERIALS (AS SHOWN ON THIS SHEET).
 - B) APPROPRIATE LANDSCAPING MATERIALS INCLUDE NATIVE AND/OR DROUGHT RESISTANT PLANT SPECIES (AS SHOWN WITHIN THE PLANT LEGEND ON THIS SHEET - ALSO, SEE WUCOLS WATER RATING NOTED FOR EACH SPECIES).
 - C) ALL PROPOSED PLANTS TO BE NON-INVASIVE AND NATIVE TO CALIFORNIA (PREFERRED).
7. PROJECT SITE IS GENERALLY FLAT. NO SIGNIFICANT GRADING FOR LANDSCAPE PROPOSED.
8. COMPLETE IRRIGATION PLAN TO BE IDENTIFIED WITHIN A DEFERRED SUBMITTAL AT THE TIME OF INSTALLATION. PLEASE NOTE THAT ALL IRRIGATION PROJECTED TO BE OF MINIMAL NEED AS ALL PROPOSED PLANTS ARE DROUGHT RESISTANT.
9. ALL AREAS SHOWN TO BE LANDSCAPED (FRONT AND STREET SIDE SETBACK AREAS) SHALL BE LANDSCAPED AND MAINTAINED PER CITY MUNICIPAL CODE: CHC 17.72.050.
10. STORMWATER MANAGEMENT: THE LANDSCAPE PLAN SHOWN INCORPORATES STORM WATER MANAGEMENT CONTROLS IN COMPLIANCE WITH THE REGIONAL STATE WATER RESOURCES CONTROL BOARD.
11. PLANT GROUPINGS: WHERE IRRIGATION IS PROPOSED, PLANTS SHALL BE GROUPED IN SEPARATE HYDROZONES (IE: PLANTS WITHIN EACH IRRIGATION VALVE SHALL HAVE THE SAME WATERING REQUIREMENT).
12. WATERING SCHEDULE FOR PROPOSED IRRIGATION SYSTEM SHALL BE LIMITED TO THE HOURS BETWEEN 8PM AND 10AM.
13. PLANT SPECIES SHALL BE SELECTED AND LOCATED SO THAT AT MATURITY THEY DO NOT INTERFERE WITH CIRCULATION OR SAFETY AND DO NOT CONFLICT WITH OVERHEAD LIGHTS OR UTILITY LINES.
14. DEFERRED IRRIGATION SYSTEM TO BE DESIGNED TO AVOID RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY AND OTHER SIMILAR CONDITIONS WHERE THE WATER FLOWS OUTSIDE OF THE LANDSCAPED AREAS. IRRIGATION SYSTEMS SHALL FEATURE ALL LISTED REQUIREMENTS PER CHC 17.72.060.

SEE SITE PLAN FOR STORMWATER CALCULATIONS



PHORMIUM TENAX / NEW ZEALAND FLAX (BROAD LEAF GRASS)
WUCOLS CODE: P / WATER ALLOWANCE: LOW
FIVE GALLON (5): APPROX. 10 PLANTS AS NOTED



LOMANDRA LONGIFOLIA - SPINY HEADED MAT RUSH
WUCOLS CODE: P / WATER ALLOWANCE: LOW
ONE GALLON (1): APPROX. 12 - 25 PLANTS AS NOTED



CORNUS FLORIDA - "WHITE FLOWERING DOGWOOD"
WUCOLS CODE: S / WATER ALLOWANCE: MODERATE / MEDIUM
FIVE GALLON: APPROX. ONE (1) TREE, AS NOTED



STRELITZIA NICOLAI - "BIRD OF PARADISE"
WUCOLS CODE: S / WATER ALLOWANCE: MODERATE / MEDIUM
FIVE GALLON: APPROX. 5-10 PLANTS AS NOTED



DYMONDIA MARGARETAE - DENSE GROUND COVER
WUCOLS CODE: Gc / P / WATER ALLOWANCE: LOW
SINGLE SQUARE FOOT FLAT: APPROX 200 FLATS AS NOTED



AGAVE ATTENUATA (BLUE FLAME & FOXTAIL) - CLUSTER CACTUS
WUCOLS CODE: P3 / WATER ALLOWANCE: VERY LOW
MIN OF FIVE TO TEN GALLON: APPROX. 12 - 20 PLANTS AS NOTED



ACER PALMATUM VAR. ATROPURPUREUM (BLOODGOOD)
WUCOLS CODE: P / WATER ALLOWANCE: MEDIUM
FIVE GALLON: APPROX. 2 TREES, AS NOTED



FICUS PUMILA (CREEPY FIG)
WUCOLS CODE: P / WATER ALLOWANCE: MEDIUM
ONE GALLON: APPROX. 2-4 PLANTS, AS NOTED

KEY NOTES

- ◆ PROPOSED TREE
- ◆ (N) FIRE PIT
- ◆ (N) BENCH
- ◆ (N) BBQ
- ◆ (N) OUTDOOR DINING ROOM
- ◆ (N) CURB CUT



3D IMAGE OF DESIGN INTENT / 02



3D IMAGE OF DESIGN INTENT / 01

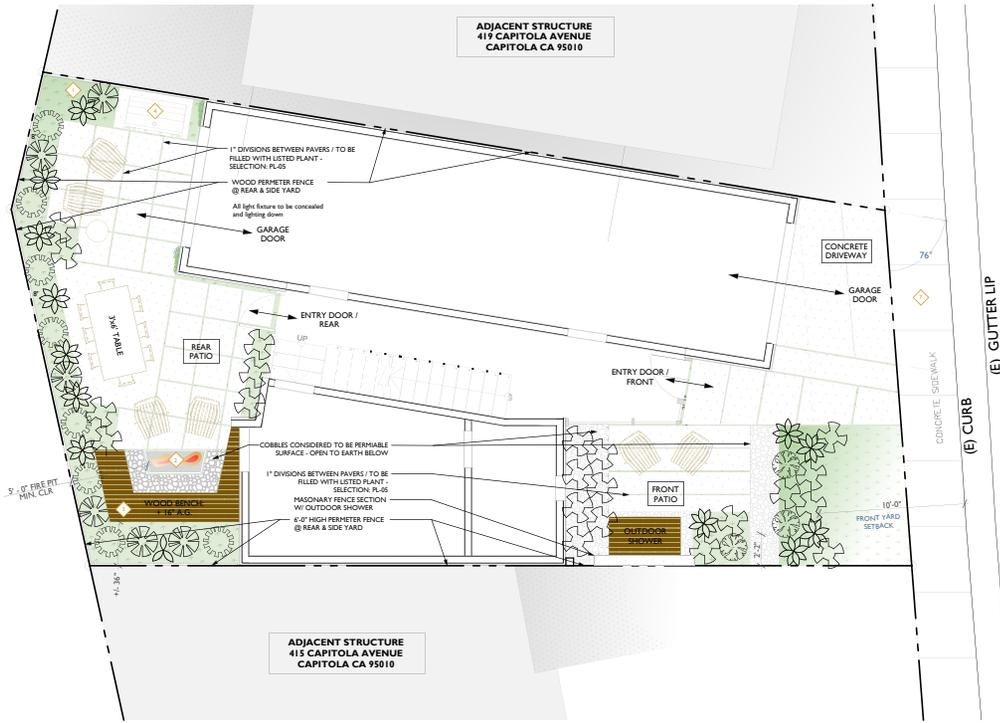
LANDSCAPE PLANT LEGEND & WUCOLS INFORMATION

- PL - 01 **PHORMIUM TENAX / NEW ZEALAND FLAX (BROAD LEAF GRASS)**
WUCOLS CODE: P / WATER ALLOWANCE: LOW
FIVE GALLON (5): APPROX. 10 PLANTS AS NOTED
- PL - 02 **LOMANDRA LONGIFOLIA - SPINY HEADED MAT RUSH**
WUCOLS CODE: P / WATER ALLOWANCE: LOW
ONE GALLON (1): APPROX. 12 - 25 PLANTS AS NOTED
- PL - 03 **CORNUS FLORIDA - "WHITE FLOWERING DOGWOOD"**
WUCOLS CODE: S / WATER ALLOWANCE: MODERATE / MEDIUM
FIVE GALLON: APPROX. ONE (1) TREE, AS NOTED
- PL - 04 **STRELITZIA NICOLAI - "BIRD OF PARADISE"**
WUCOLS CODE: S / WATER ALLOWANCE: MODERATE / MEDIUM
FIVE GALLON: APPROX. 5-10 PLANTS AS NOTED
- PL - 05 **DYMONDIA MARGARETAE - DENSE GROUND COVER**
WUCOLS CODE: Gc / P / WATER ALLOWANCE: LOW
SINGLE SQUARE FOOT FLAT: APPROX 200 FLATS AS NOTED
- PL - 06 **AGAVE ATTENUATA (BLUE FLAME & FOXTAIL) - CLUSTER CACTUS**
WUCOLS CODE: P3 / WATER ALLOWANCE: VERY LOW
MIN OF FIVE TO TEN GALLON: APPROX. 12 - 20 PLANTS AS NOTED
- PL - 07 **ACER PALMATUM VAR. ATROPURPUREUM (BLOODGOOD)**
WUCOLS CODE: P / WATER ALLOWANCE: MEDIUM
FIVE GALLON: APPROX. 2 TREES, AS NOTED
- PL - 08 **FICUS PUMILA (CREEPY FIG)**
WUCOLS CODE: P / WATER ALLOWANCE: MEDIUM
ONE GALLON: APPROX. 2-4 PLANTS, AS NOTED

SITE PLAN LEGEND

- (N) ASSORTED STONE COBBLES
- (N) FOOTPRINT OF PROPOSED RESIDENCE.
- (E) SIDEWALK
- (N) CONCRETE PAVERS / FLATWORK
- (N) LANDSCAPING AS NOTED

EXTERIOR



PROPOSED LANDSCAPE PLAN

417 Capitola



512 Capitola Ave + Capitola + California + 95010
fusearchitecture.com 831.479.9295

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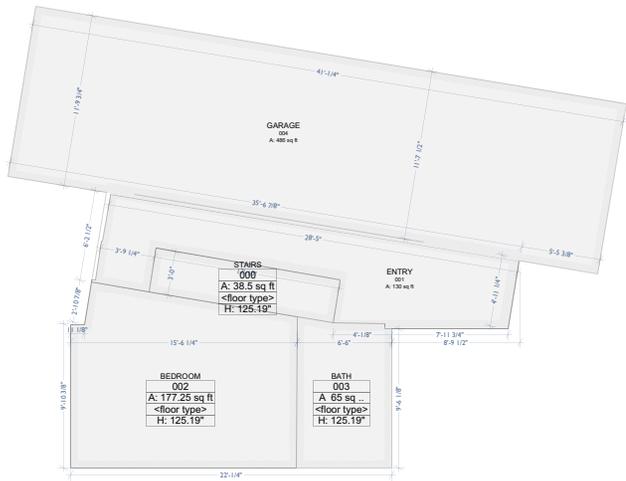
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Sheet Title
PROPOSED LANDSCAPE

Scale
As Indicated

A4



AREA CALCS FIRST FLOOR

1/4" = 1'-0"

PROPOSED SQ FT (FIRST FLOOR)

| ROOM NAME | ROOM # | AREA |
|-----------|--------|-----------------------------|
| STAIRS | 000 | 38.5 |
| ENTRY | 001 | 130.1 |
| BEDROOM | 002 | 177.2 |
| BATH | 003 | 64.9 |
| GARAGE | 004 | 486.0 |
| | | 896.7 ft² |

PROPOSED SQ FT (SECOND FLOOR)

| ROOM NAME | ROOM # | AREA |
|---------------------|--------|-----------------------------|
| SECOND FLOOR | | |
| DECK | | 168.4 |
| DINING | 101 | 136.6 |
| LIVING | 102 | 142.8 |
| KITCHEN | 103 | 229.8 |
| LAUNDRY | 103 | 27.2 |
| POWDER | 104 | 29.7 |
| BEDROOM | 105 | 165.3 |
| BATH | 106 | 64.8 |
| HALL | 107 | 34.0 |
| | | 998.6 ft² |

PROPOSED SQ FT (THIRD FLOOR)

| ROOM NAME | ROOM # | AREA |
|--------------------|--------|-----------------------------|
| THIRD FLOOR | | |
| DECK | | 31.1 |
| BATH | 202 | 106.0 |
| BEDROOM | 203 | 200.7 |
| HALL | 203 | 35.8 |
| CLOSET | 204 | 29.8 |
| | | 403.4 ft² |

FLOOR AREA TOTAL CALCS

| ROOM NAME | ROOM # | AREA |
|---------------------|--------|-------|
| FIRST FLOOR | | |
| STAIRS | 000 | 38.5 |
| ENTRY | 001 | 130.1 |
| BEDROOM | 002 | 177.2 |
| BATH | 003 | 64.9 |
| GARAGE | 004 | 486.0 |
| SECOND FLOOR | | |
| DECK | | 168.4 |
| DINING | 101 | 136.6 |
| LIVING | 102 | 142.8 |
| KITCHEN | 103 | 229.8 |
| LAUNDRY | 103 | 27.2 |
| POWDER | 104 | 29.7 |
| BEDROOM | 105 | 165.3 |
| BATH | 106 | 64.8 |
| HALL | 107 | 34.0 |
| THIRD FLOOR | | |
| DECK | | 31.1 |
| BATH | 202 | 106.0 |
| BEDROOM | 203 | 200.7 |
| HALL | 203 | 35.8 |
| CLOSET | 204 | 29.8 |

2,298.7 ft²

Livable: 410.7 sf
Garage: 486 sf

Total: 896.7 sf.

Minus Garage Credit 486 sf

Total Counted towards FAR 410.7sf

SECOND FLOOR:

Livable: 830.2 sf
Deck: 161.9 sf

THIRD FLOOR:

Livable: 372.3 sf
Deck: 31.1 sf

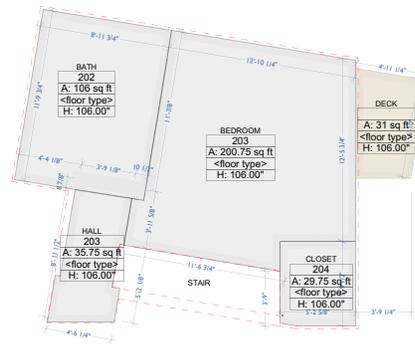
1699.3 sf livable

SITE SF: 1700 SF
FAR MAX ALLOWED: 1/1 = 1.00
SITE AREA: 1700 SF
FAR PROPOSED = 0.997 (1699.3 SF)



AREA CALCS SECOND FLOOR

1/4" = 1'-0"



AREA CALCS THIRD FLOOR

1/4" = 1'-0"

2

3

417 Capitola



Project Submittal Record

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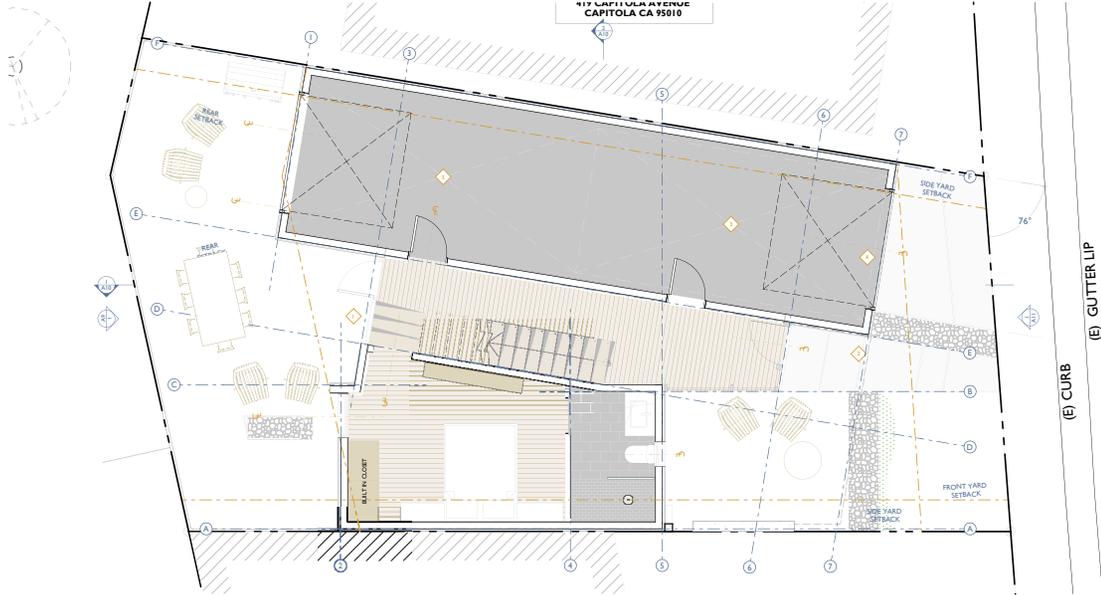
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Sheet Title
AREA CALCULATIONS

Scale
As Indicated

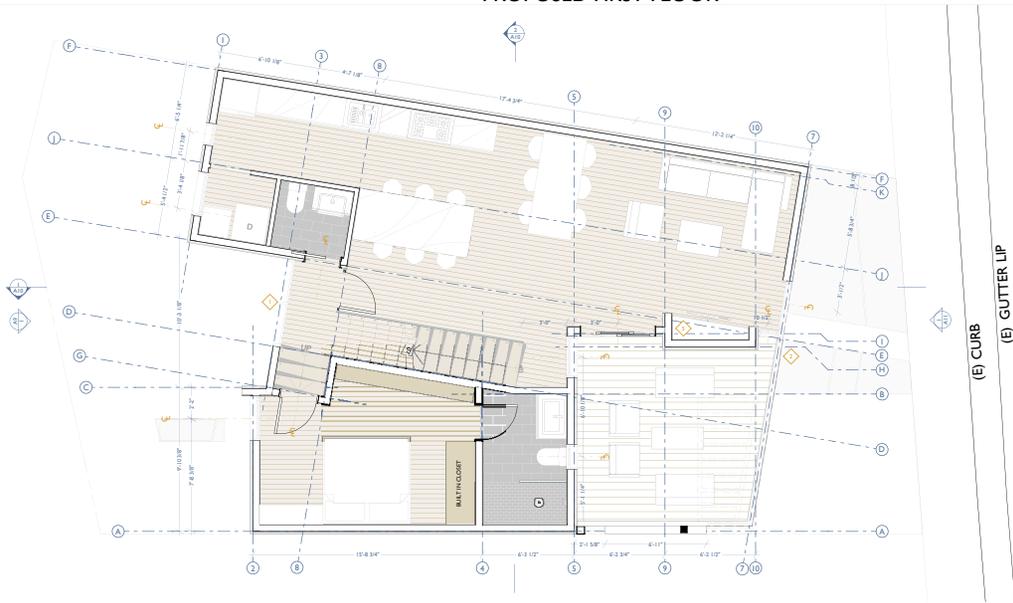
A5



PROPOSED FIRST FLOOR

1/4" = 1'-0"

1



PROPOSED SECOND FLOOR

1/4" = 1'-0"

3

FLOOR PLAN LEGEND

- INTERIOR**
- -NO- TILE FLOORING - WET LOCATIONS
- -NO- STONE SLAB (COUNTERTOP)
- -NO- WOOD FINISH
- -NO- BUILT-IN MILLWORK
- -NO- CONCRETE FLOOR
- EXTERIOR**
- -NO- TPO ROOF
- -NO- CRUSHED STONE
- -NO- LANDSCAPING, SEE LANDSCAPE PLAN
- -NO- WOOD DECKING
- -NO- CONCRETE
- GENERAL**
- KEYNOTE, SEE FLOOR PLAN KEYNOTES
- DOOR TAG
- WINDOW TAG
- WALL TAG
- ELEVATION MARKER
- SECTION MARKER
- PROPERTY LINE
- - - SETBACK LINE
- - - INDICATES OUTLINE OF ROOF BELOW

KEYNOTES

- ◆ GLASS WALL AT STAIR VOLUME
- ◆ DASHED GREY LINE REPRESENTS OUTLINE OF ROOF ABOVE
- ◆ PARKING 1BX9
- ◆ LIFTGATE
- ◆ FURNITURE TV

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| Revision | Date | Issue Description |
| XXXXXXX | | PLANNING SUBMITTAL |
| I | XXXXXXX | PLANNING RE-SUBMITTAL |

Seal/ Signature



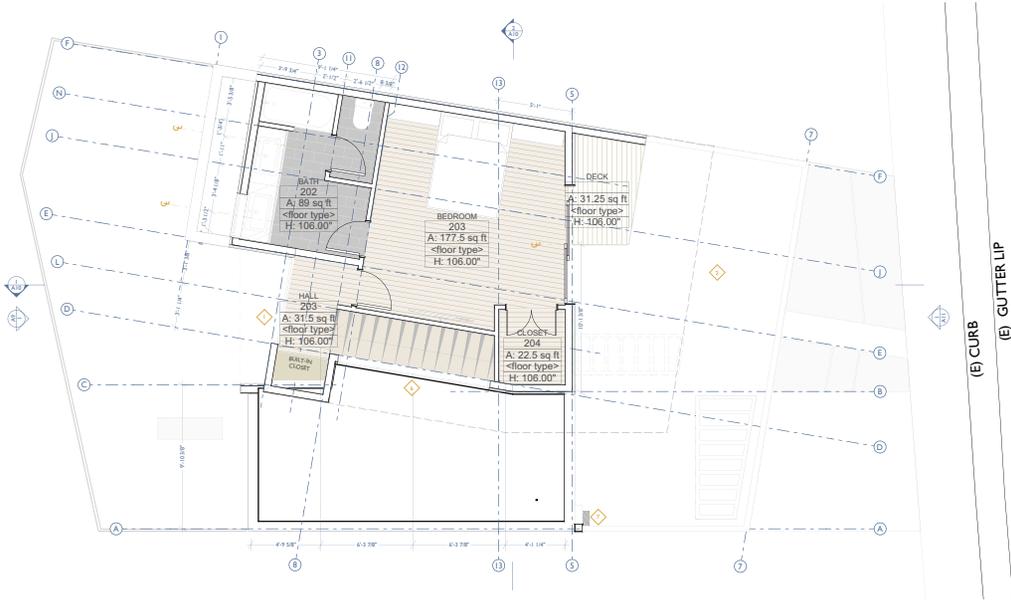
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Sheet Title
PROPOSED FIRST/SECOND FLOOR PLAN

Scale
As Indicated

A6



PROPOSED THIRD FLOOR

1/4" = 1'-0"



PROPOSED ROOF PLAN

1/4" = 1'-0"

FLOOR PLAN LEGEND

- INTERIOR**
 - TILED FLOORING - WET LOCATIONS
 - STONE SLAB (COUNTERTOPS)
 - WOOD FINISH
 - BUILT-IN MILLWORK
 - CONCRETE FLOOR
- EXTERIOR**
 - TPO ROOF
 - CRUSHED STONE
 - LANDSCAPING, SEE LANDSCAPE PLAN
 - WOOD DECKING
 - CONCRETE
- GENERAL**
 - KEYNOTE, SEE FLOOR PLAN KEYNOTES
 - DOOR TAG
 - WINDOW TAG
 - WALL TAG
 - ELEVATION MARKER
 - SECTION MARKER
 - PROPERTY LINE
 - SETBACK LINE

KEYNOTES

- GLASS WALL AT STAIR VOLUME
- DASHED GREY LINE REPRESENTS OUTLINE OF ROOF ABOVE
- CLERESTORY WINDOW
- DOWNSPOUT

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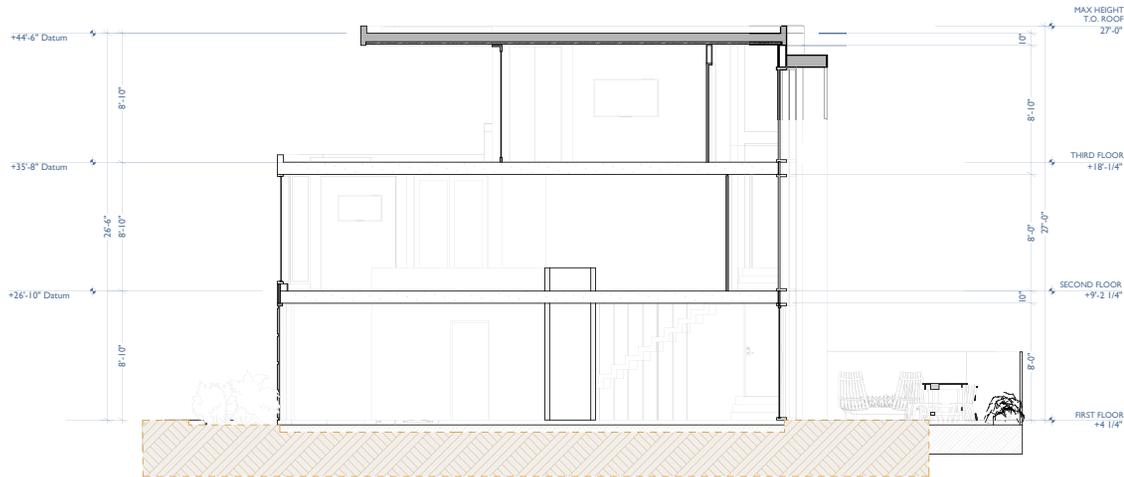
Sheet Title
PROPOSED THIRD/ROOF FLOOR PLAN

Scale
As Indicated

A7

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1 PROPOSED SECTION 1 1/4" = 1'-0"



2 PROPOSED SECTION 2 1/4" = 1'-0"

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| 1 | XXXXXXXX | BUILDING RESUBMITTAL |

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Sheet Title
PROPOSED SECTIONS

Scale
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A10

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PROPOSED NEIGHBORHOOD CONTEXT

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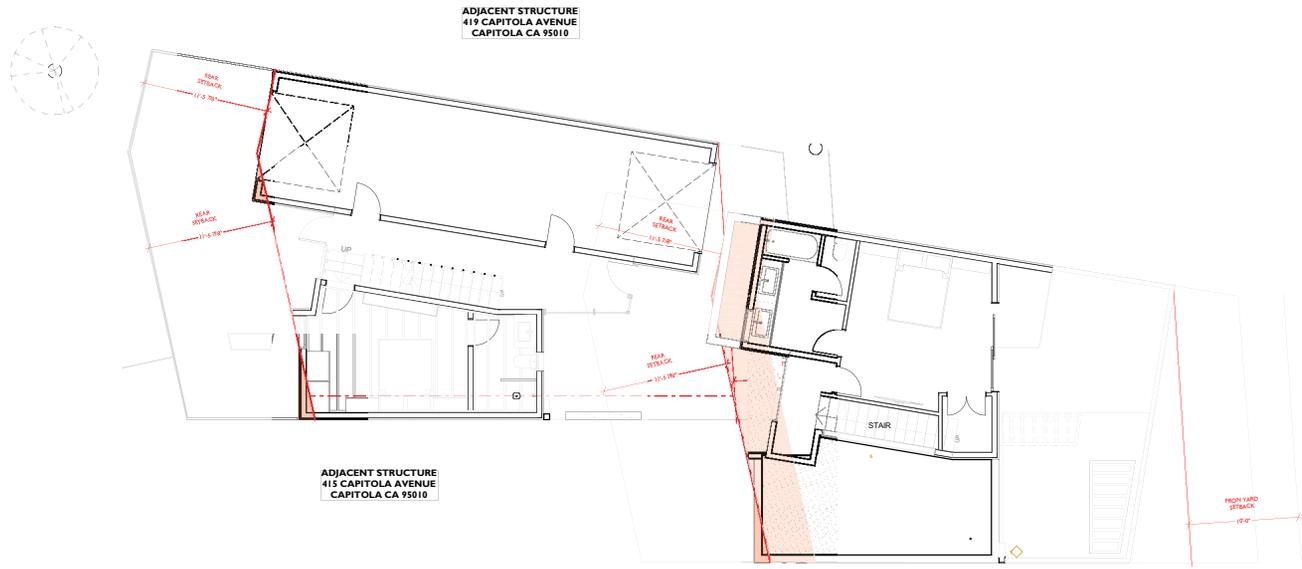
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Sheet Title
NEIGHBORHOOD CONTEXT

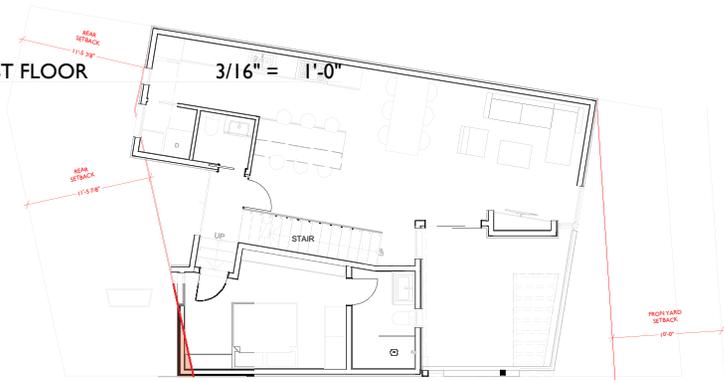
Scale
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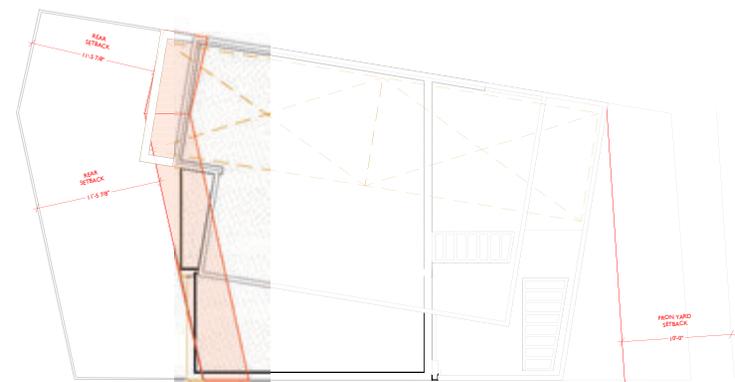
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3 SETBACKS STUDY THIRD FLOOR 3/16" = 1'-0"



2 SETBACKS STUDY SECOND FLOOR 3/16" = 1'-0"



4 SETBACKS STUDY ROOF PLAN 3/16" = 1'-0"

- LEGEND**
- PL - 01
 - PL - 02
 - PL - 03
 - PL - 04
 - PL - 05
 - PL - 07 ●
 - PL - 08
 - PL - 09
 - PL - 10

E IN BETWEEN CONC. PAVERS

PROPOSED RESIDENCE:

RS / FLATWORK

UNIT

PLUS SYMBOLS ON THIS SHEET

NOTED

SETBACKS STUDY FIRST FLOOR

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Sheet Title
SETBACKS STUDY 01

Scale
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A12



1 01 REAR SETBACK 1/8" = 1'-0"



2 03 REAR SETBACK 1/8" = 1'-0"



3 SETBACKS STUDY 01 1/8" = 1'-0"



4 SETBACKS STUDY 02 1/8" = 1'-0"

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NOT FOR CONSTRUCTION

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Sheet Title
SETBACKS STUDY 02

Scale
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A13