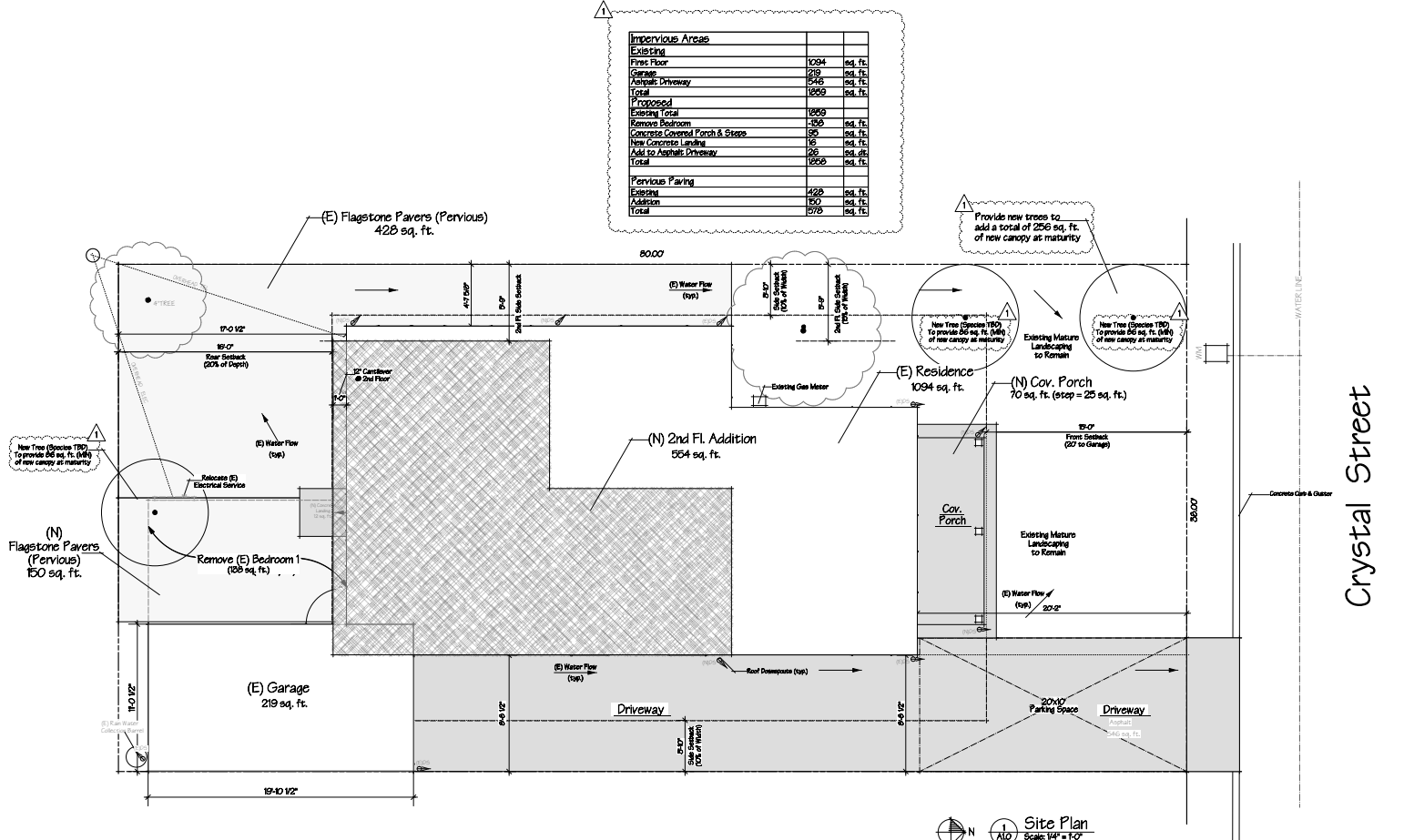


Impervious Areas	
Existing	
First Floor	1094 sq. ft.
Garage	219 sq. ft.
Asphalt Driveway	546 sq. ft.
Total	1859 sq. ft.
Proposed	
Existing Total	1859
Remove Bedroom	-155 sq. ft.
Concrete Covered Porch & Steps	50 sq. ft.
New Concrete Landing	16 sq. ft.
Add to Asphalt Driveway	29 sq. ft.
Total	1939 sq. ft.
PerVIOUS Paving	
Existing	428 sq. ft.
Addition	150 sq. ft.
Total	578 sq. ft.



Site Plan
Scale: 1/4" = 1'-0"



Proposed Perspective View
Scale: Actual Size

- Grading, Drainage and Erosion Control Notes**
- Grading:**
 - No grading in excess of 100 cu. yards is proposed.
 - No unnecessary grading and disturbing of soil.
 - No fill greater than 2 feet in depth.
 - No fill placed on slopes greater than 20%.
 - No cut slope greater than 3 feet.
 - No structure to be placed on fill slopes.
 - Drainage:**
 - In finish grading create slopes away from the foundation.
 - Install gutters and downspouts @ all roof eaves. Discharge from rain gutters to be directed splash blocks, drainage swales for dispersal into existing percolation into landscaping or to existing drainage features to streets.
 - Swales and impervious surfaces all be sloped a minimum of 1 percent.
 - Erosion Control:**
 - Erosion to be controlled at all times although specific measures shown are to be implemented at a minimum by October 15th.
 - Unless specific measures are shown or noted on this plan, all collected runoff shall be carried to drainage courses in lined conduits. Discharge shall be in the locations shown on the plans.
 - The desired end result of these measures is to control into erosion and prevent sediment transport off the site. It shall be the developer's responsibility to see that any additional measures necessary to meet the goal are implemented. If failed inspections by city staff show this goal is not being met, additional measures may be required.
 - All disturbed areas not currently being used for construction shall be seeded with the following seed mixture: winter barley 24# per acre.
 - After seeding, straw mulch will be applied in 1.5" minimum layers on exposed soil surfaces. If possible, use aged, stabilized, non-flotting mulch.
 - Mulch stockpiles: mulch should be located and stored in such a manner that there is no discharge to the storm drain system.
 - Silt barriers shall be placed end to end and staked down along the bottom of all graded slopes.

PROJECT DATA

Address: 4610 Crystal Street, Capitola, CA
Parcel Number: 024-199-02
Parcel Size: 3040 sq. ft.
Occupancy Classification Group: R2, U Wood Frame

Construction Type: 1B
Fire Sprinkler System not required, nor proposed.
Water Supply: Public
Waste Water: Sewer

PROJECT DESCRIPTION

Addition and Remodeling to an Existing Residence:
Existing: 1 story, 1094 sq. ft., heated w/ 3 bedrooms, 2 baths & 1 car garage (219 sq. ft.)
Proposed: 2 stories, 1910 sq. ft., heated w/ 3 bedrooms, 3 baths & 1 car garage (219 sq. ft.)

AREA CALCULATIONS

Existing Area Calculations

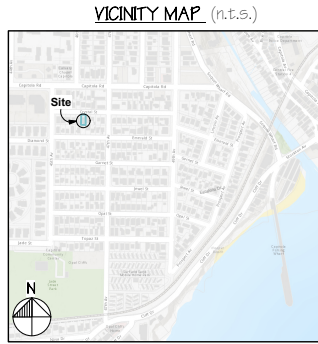
Lot Area	3040 sq. ft.
First Floor	1094 sq. ft.
Second Floor	0 sq. ft.
Existing Total Heated	1094 sq. ft.
Garage	219 sq. ft.
Covered Porches	0 sq. ft.
Total Area for FAR	1313 sq. ft.
Existing FAR (57% Max.)	0.432 43.2%
Max. FAR = 3040 x 57%	1732.8 sq. ft.
Max. Additional FAR Sq. Ft.	419.2 sq. ft.

Proposed Area Calculations

Lot Area	3040 sq. ft.
First Floor (Bedroom 1 Removed)	936 sq. ft.
Second Floor	954 sq. ft.
Proposed Total Heated	1890 sq. ft.
Garage	219 sq. ft.
Cov. Porches 20' x 150' w/ except.	0 sq. ft.
Total Area for FAR	1729 sq. ft.
Proposed FAR	0.569 (57% max)

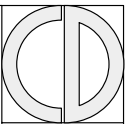
APPLICABLE CODES

ALL CONSTRUCTION REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA FIRE CODE & DIST. AMEND.
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS

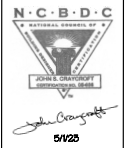


SHEET INDEX

A1.0	Coversheet & Site Plan
A2.0	Existing Plans
A3.0	Proposed Floor Plans
A4.0	Proposed Elevations
A5.0	Prop. Roof Plan & Section
1	Topographic Survey



CRAYCROFT DESIGN
455 Happy Valley Way
Santa Cruz, CA 95065
831-427-3048



SURVEYOR
Kevin Smith, PLS
Kevin Smith
Land Surveying
111 Dellview Avenue
Santa Cruz, CA 95062
831-588-0154

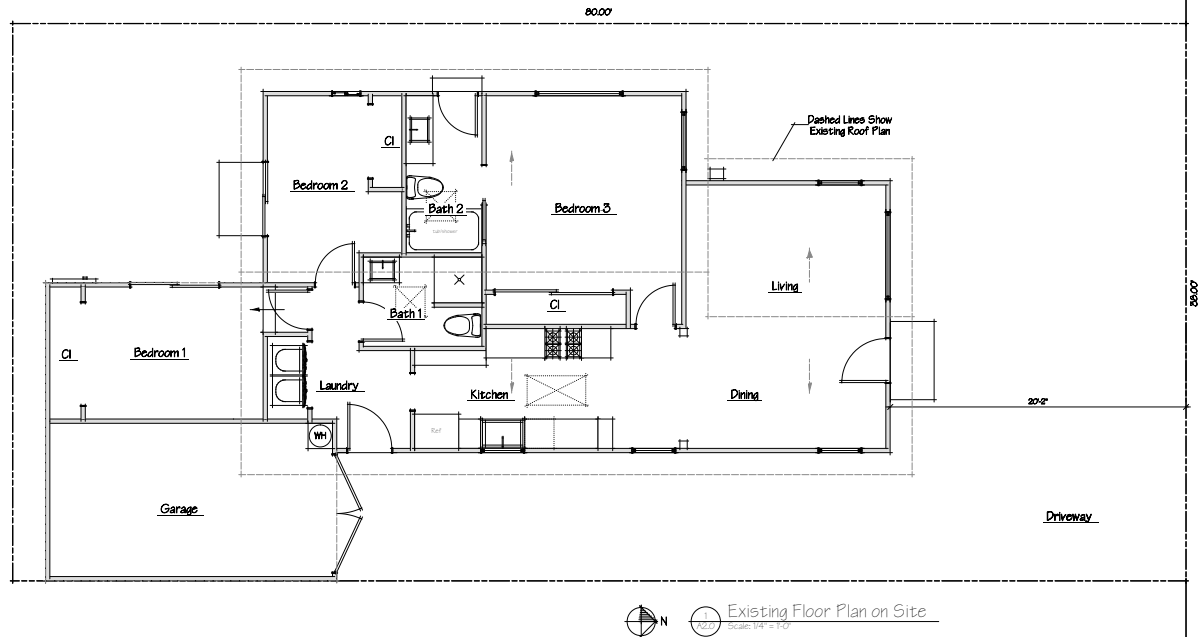
CLIENT
Dee McRobie
4610 Crystal Street
Capitola, CA

PROJECT
4610 Crystal Street
Capitola, CA
APN : 024-193-03

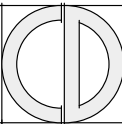
VERSION	date	remarks
6/28/22		
5/1/23		Revised Per Planning Comments

Coversheet & Site Plan

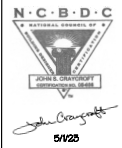
A1.0



Existing Area Calculations	
Lot Area	8040 sq. ft.
First Floor	1294 sq. ft.
Second Floor	0 sq. ft.
Existing Total Heated	1294 sq. ft.
Garage	269 sq. ft.
Covered Porches	0 sq. ft.
Total Area for FAR	1563 sq. ft.
Existing FAR (15% Max)	0.4329 = 43.29%
Max. FAR = 2040 x 5%	102.0 sq. ft.
Max. Additional FAR Sq. Ft.	488.7 sq. ft.



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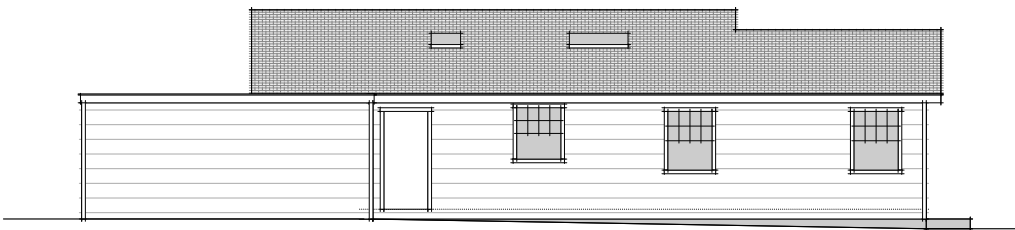
SURVEYOR
Kevin Smith, PLS
Kevin Smith
Land Surveying
111 Dellview Avenue
Santa Cruz, CA 95062
831-588-0154

CLIENT
Dee McRobie
4610 Crystl Street
Capitola, CA

PROJECT
4610 Crystl Street
Capitola, CA
APN : 024-183-03

VERSION	date	remarks
1	6/28/22	
2	5/1/23	Revised For Planning Comments

Existing Plans
A2.0



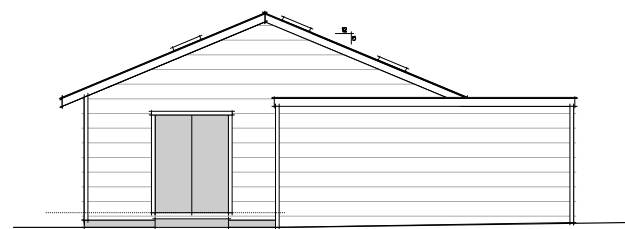
3 East Elevation
SCALE: 1/4" = 1'-0"



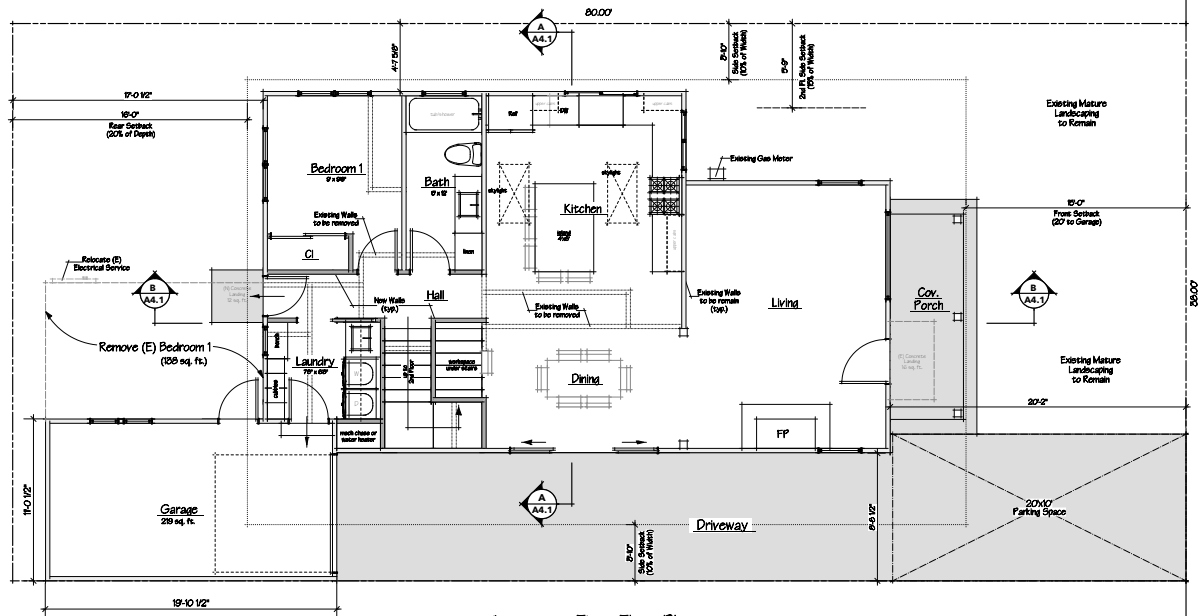
4 North Elevation
SCALE: 1/4" = 1'-0"



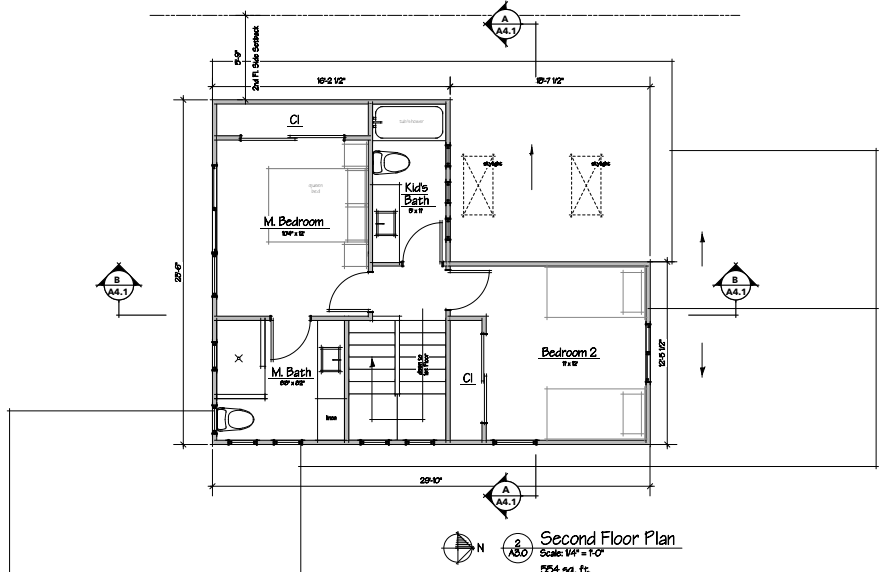
5 West Elevation
SCALE: 1/4" = 1'-0"



6 South Elevation
SCALE: 1/4" = 1'-0"



1 A&O First Floor Plan
Scale: 1/4" = 1'-0"

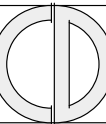


2 A&O Second Floor Plan
Scale: 1/4" = 1'-0"

Crystal Street

Existing Area Calculations	
Lot Area	3040 sq. ft.
First Floor	1294 sq. ft.
Second Floor	0 sq. ft.
Existing Total Heated	1294 sq. ft.
Garage	219 sq. ft.
Covered Porches	0 sq. ft.
Total Area for FAR	1513 sq. ft.
Existing FAR (50% Max)	0.432 - 43.2%
Max. FAR = 3040 x 5%	152.0 sq. ft.
Max. Additional FAR Sq. Ft.	48.8 sq. ft.

Proposed Area Calculations	
Lot Area	3040 sq. ft.
First Floor (Bedroom 1 Removed)	964 sq. ft.
Second Floor	954 sq. ft.
Proposed Total Heated	1918 sq. ft.
Garage	219 sq. ft.
Cov. Porches 80' at 150' w/ excep.	0 sq. ft.
Total Area for FAR	1729 sq. ft.
Proposed FAR	0.569 (5.69% max)



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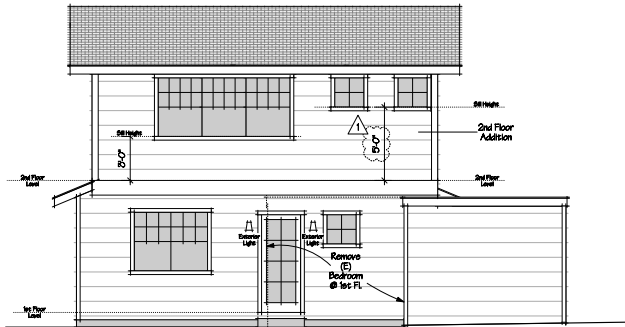
SURVEYOR
Kevin Smith, PLS
Kevin Smith
Land Surveying
111 Dellview Avenue
Santa Cruz, CA 95062
831-588-0154

CLIENT
Dee McRobie
4610 Crystal Street
Capitola, CA

PROJECT
4610 Crystal Street
Capitola, CA
APN : 024-183-03

VERSION	
date	remarks
6/28/22	
5/1/23	Revised For Planning Comments

Proposed Floor Plans
A3.0



1 South Elevation
Scale: 1/4" = 1'-0"

Outdoor Lighting Notes

17.96.10 Outdoor Lighting
A. Purpose: This section establishes standards for outdoor lighting to minimize light pollution, maintain enjoyment of the night sky, and reduce light impacts on adjacent properties.
B. Applicability: The standards in this section apply to all outdoor lighting in Capitola except for:
 1. Lighting installed and maintained by the City of Capitola or other public agency; 9610
SUPPLEMENTAL STANDARDS 17.96
 2. Athletic field lights used within a school campus or public or private park;
 3. Temporary construction and emergency lighting; and
 4. Seasonal lighting displays related to cultural or religious celebrations.
C. Maximum Height: Lighting standards shall not exceed the maximum heights specified in the Table 17.96-1.
TABLE 17.96-1 MAXIMUM LIGHT STANDARD HEIGHT
 Zoning Districts
 Residential Zoning Districts
 Mixed Use and Commercial Zoning Districts
 Industrial Zoning Districts
 Community Facility and Parks/Open Space Zoning Districts
Maximum Height:
 15 ft.
 15 ft. within 100 ft. of any street frontage or residential property line; 20 ft. in any other location
 15 ft. within 100 ft. of any street frontage or residential property line; 25 ft. in any other location
 20 ft., or as necessary for safety and security
D. Prohibited Lighting: The following outdoor lighting is prohibited:
 1. Exposed bulbs and/or lenses;
 2. Mercury vapor lights; and
 3. Searchlights, laser lights, or any other lighting that flashes, blinks, alternates, or moves.
E. Fixture Types: All lighting fixtures shall be shielded so the lighting source is not to produce disruptive glare onto the directly visible from the public right-of-way or adjoining properties. All luminaires fixtures shall meet the International Dark Sky Association's (IDA) most recently adopted criteria of the Illuminating Engineering Society of North America (IESNA) for cutoff or full cutoff luminaires requirements for reducing waste of ambient light ("dark sky compliant").
F. Light trespass: Light trespass is defined as light directed downward and/or sideways from adjacent lots and public streets, and to prevent adverse interference with the normal operation or enjoyment of surrounding properties.
 1. Direct or sky-reflected glare from floodlights shall not be directed into any other parcel or street.
 2. No light or activity may cast light exceeding one foot-candle onto a public street, with the illumination level measured at the centerline of the street.
 3. No light or activity may cast light exceeding one-half foot-candle onto a residentially zoned parcel or any parcel containing residential use.
 9611
17.96 SUPPLEMENTAL STANDARDS
G. Required Documentation: Prior to issuance of building permits, project applicants shall submit to the City photometric data from lighting manufacturers demonstrating compliance with the requirements of this section.

Outdoor Lighting Wall Sconce Specification
SEE ELEVATIONS FOR LOCATIONS

Trans
Globe Lighting



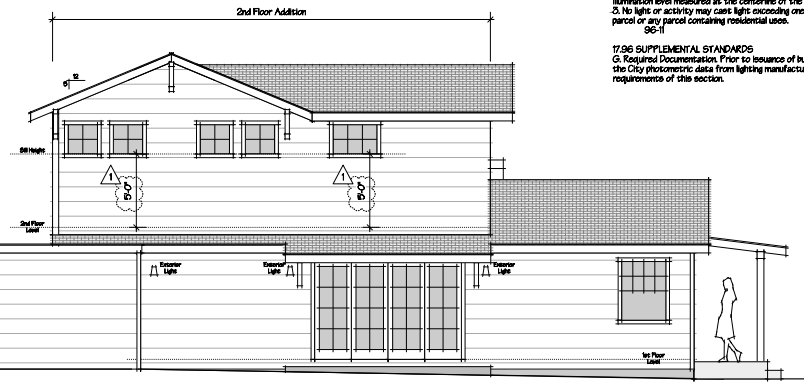
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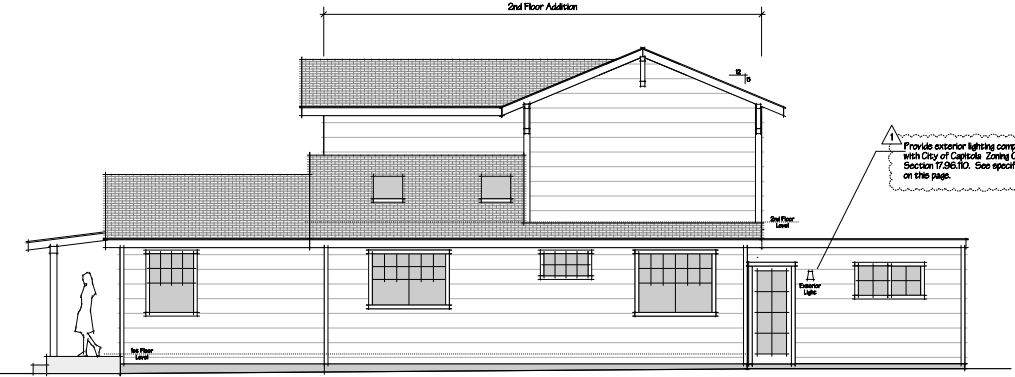
Wall Light
 Width (in): 5
 Height (in): 6.25
 Depth (in): 4
 Glass Type: No glass
 Bulb Type: Medium Base
 Number of Bulbs: 1
 Wattage: 60
 Finish Shown: Matte Black (MB)
 Available Finishes: Matte Black (MB)
 UL Listed: Wet
 Country of Origin: China
 Material: Aluminum, Electrical

Job Name: Job Type: Contact:
 Fixture Location: Quantity: Additional Notes:

Shipping Box	Width	Height	Depth	Ship Wt	Method	Oversize	Case QTY
28104 Witherspoon Pkwy Valencia, CA 91355 TEL (818) 768-5511 FAX (818) 768-2326 www.tglighting.com							



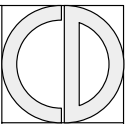
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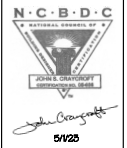
3 West Elevation
Scale: 1/4" = 1'-0"



4 North Elevation
Scale: 1/4" = 1'-0"



CRAYCROFT DESIGN
 455 Happy Valley Way
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 831-427-3048



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 831-588-0154

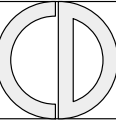
CLIENT
 Dee McRobie
 4610 Crystal Street
 Capitola, CA

PROJECT
 4610 Crystal Street
 Capitola, CA
 APN : 024-183-03

VERSION	date	remarks
4/28/22		
5/1/23		Revised For Planning Comments

Proposed Elevations

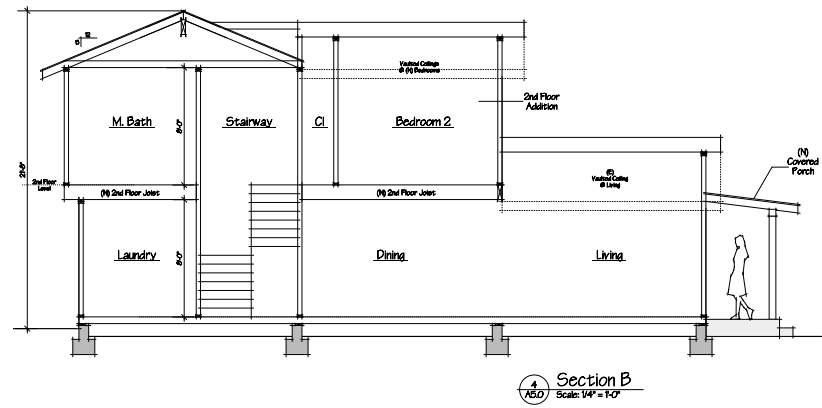
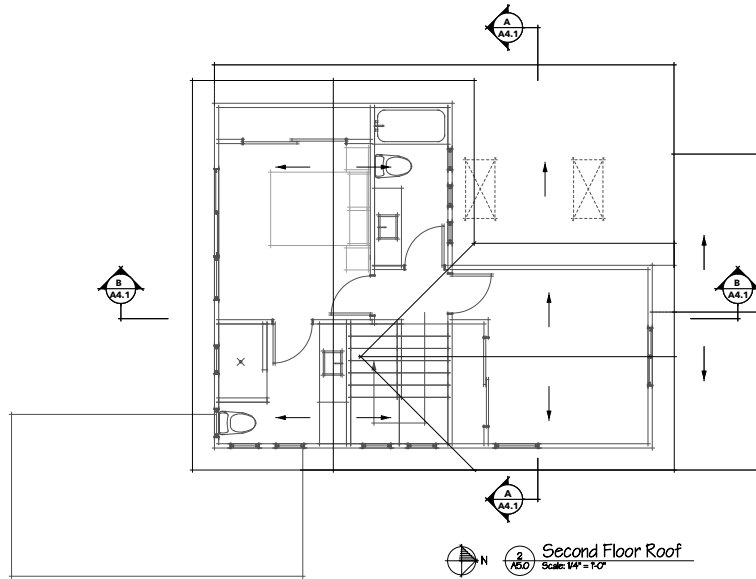
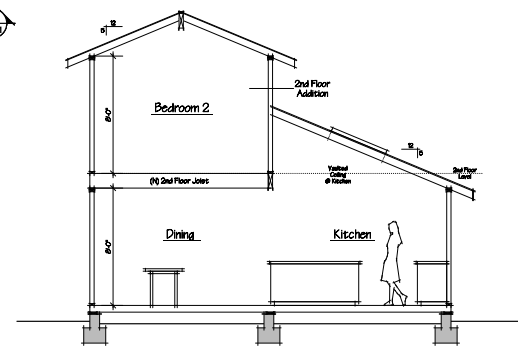
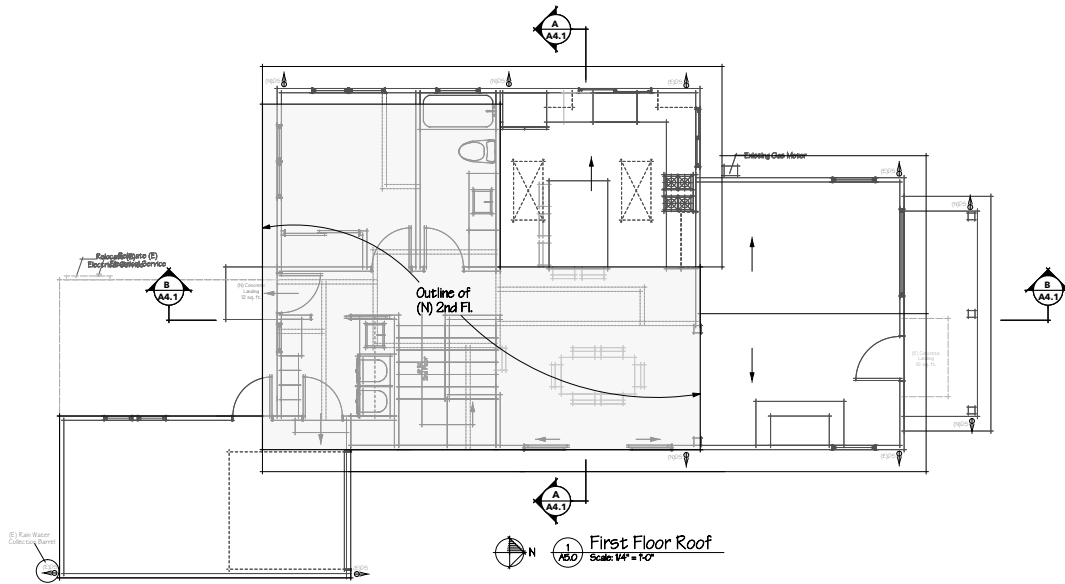
A4.0



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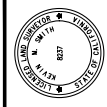
CLIENT
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VERSION	date	remarks
	6/28/22	
	5/1/23	Revised For Planning Comments

**Roof Plan
& Section**

A5.0



Kevin M. Smith
 KEVIN M. SMITH, P.E. License 8237

03/18/22
 DATE

KEVIN SMITH
 LAND SURVEYING
 111 DELVIEW AVENUE
 SANTA CRUZ, CA 95062
 (831) 588-0154



TOPOGRAPHIC SURVEY
 FOR: DIDRE McROBIE
 4610 CRYSTAL STREET, CAPITOLA, CA 95010
 APN 034-032-23

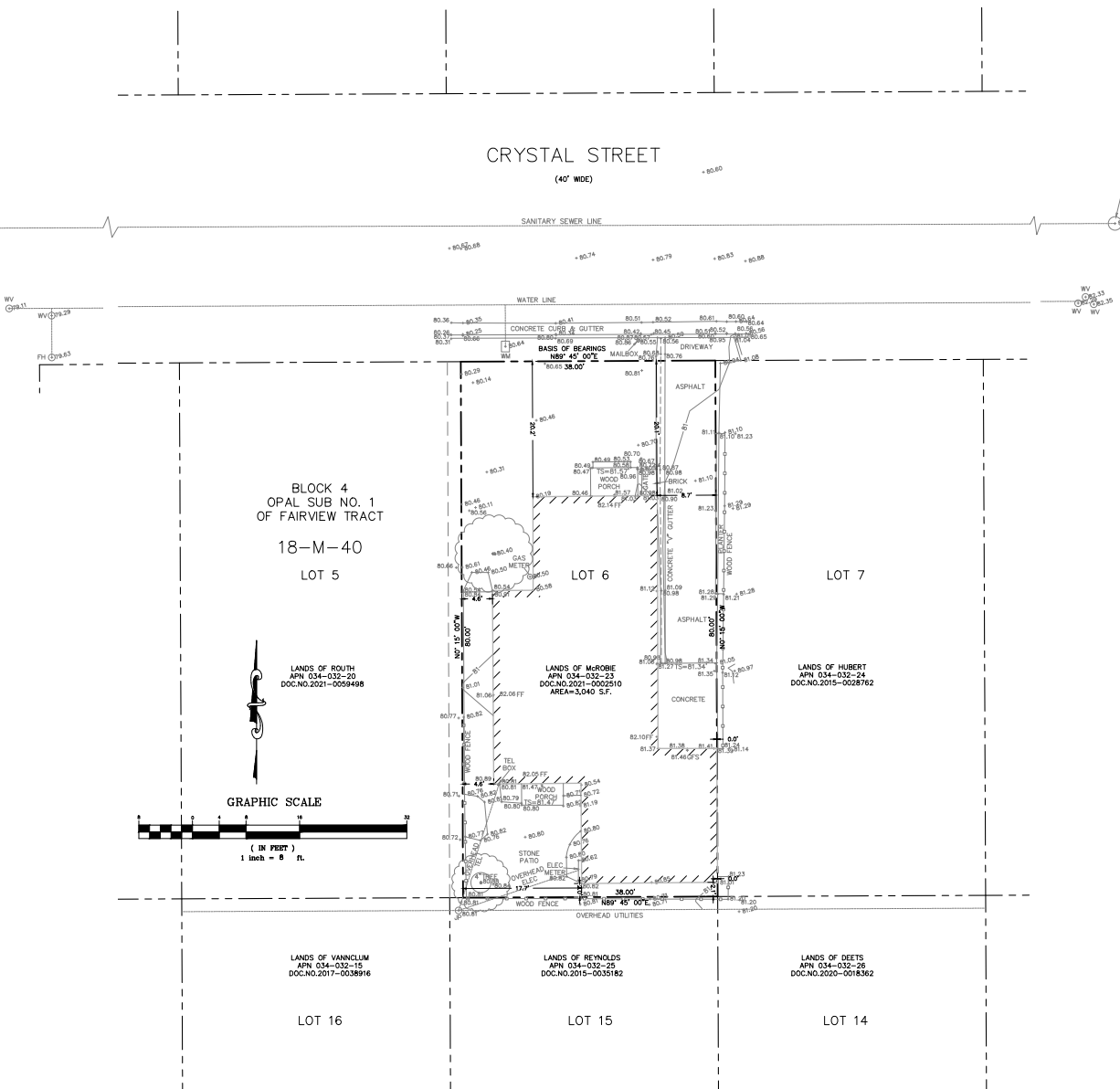
SHEET
1
 OF 1
 DATE MARCH 2022
 JOB NO. K22011

SEE DATE STAMP

FORTY FIFTH AVENUE

CRYSTAL STREET
 (40' WIDE)

FORTY SEVENTH AVENUE

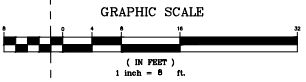


BENCH MARK:
 COUNTY OF SANTA CRUZ BENCH MARK #62-A, A BRASS CAP LOCATED IN THE JEWEL BOX AREA OF CAPITOLA, IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF 49TH AVENUE AND OPAL STREET, SET ATOP THE WESTERLY CURB RETURN FROM WHICH A WATER VALVE BEARS NORTHERLY, 8.10' AND A FIRE HYDRANT BEARS SOUTHEASTERLY, 12.10'. ELEVATION = 78.87' (NAVD88)

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS AND THE BEARING OF THE SOUTH SIDE OF CRYSTAL STREET AS SHOWN ON THAT CERTAIN MAP "OPAL SUBDIVISION NO. 1 OF FAIRVIEW TRACT", RECORDED JULY 9, 1923 IN VOLUME 18 OF MAPS, PAGE 40, SANTA CRUZ COUNTY RECORDS AND THAT CERTAIN CORNER RECORD #541, RECORDED JUNE 8, 2005, SANTA CRUZ COUNTY RECORDS. BEARING=NORTH 89°45'00" EAST

LEGEND
 - - - - - PROPERTY LINE
 - - - - - ADJACENT PROPERTY LINE
 - - - - - EASEMENT/RIGHT OF WAY LINE

BUILDING FOOTPRINT
 JP JOINT UTILITY POLE
 SSMH SANITARY SEWER MANHOLE
 CO CLEANOUT
 FF FINISH FLOOR
 GFS GARAGE FINISH SLAB
 AD AREA DRAIN
 WM WATER METER



NOTE:
 MEASURED DISTANCES FROM SIDE OF THE BUILDING TO THE PROPERTY LINES ARE TO THE FACE OF SIDING AND WOOD TRIM.

NOTE:
 THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, PILING, UNDERGROUND TANKS AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.

ATTENTION:
 THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.