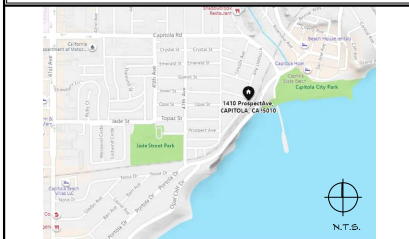


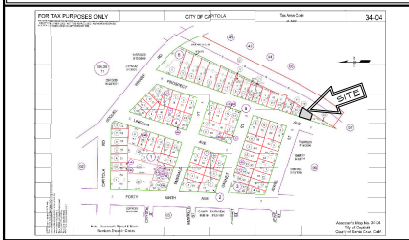
JOHNSON RESIDENCE



VICINITY MAP



PARCEL MAP



PROJECT DATA

SETBACKS					
FRONT YARD	REQUIRED	EXISTING	PROPOSED		
GARAGE	18'-0"	- 8'-2"	1'-6"		
1st STORY	15'-0"	- 4'-2"	5'-1"		
2nd STORY	20'-0"	- 4'-2"	5'-1"		
REAR YARD					
1st STORY	20'-0"	3'-4'-2"	0'-0"		
2nd STORY	20'-0"	18'-9'-2"	12'-1'-2"		
SIDE YARD					
1st STORY	7'-0" (L) & 7'-0" (R)	5'-9" (L) & 4'-2" (R)	10'-0" (L) & 4'-2" (R)		
2nd STORY	9'-6" (L) & 9'-6" (R)	5'-9" (L) & 3'-11" (R)	10'-0" (L) & 26'-6" (R)		
HEIGHT	25'-0"	21'-7"	23'-0"		
FLOOR AREA RATIO					
FLOOR AREA RATIO	LOT SIZE	MAX (56%)	EXISTING (67%)	PROPOSED (58.9%)	
	2,415 sq.ft.	1,400.7 sq.ft.	1,624 sq.ft.	1,423 sq.ft.	
FLOOR AREA					
	HABITABLE SPACE	FIRST FLOOR COVERED DECK OR PORCH (<150 sq.ft. CREDIT)	SECOND FLOOR DECK	GARAGE	TOTAL
BASEMENT	<978 sq.ft.>				<978 sq.ft.>
MAIN LEVEL	978 sq.ft.	<12 sq.ft.>		268 sq.ft.	996 sq.ft.
UPPER LEVEL	427 sq.ft.		258 sq.ft.	250 - 1.0 sq.ft.	427 sq.ft.
(P) TOTAL					1,423 sq.ft.
** AREA NOT COUNTED PER CHAPTER 17.48.040					
*** STAIR AREA COUNTED ONCE AT GROUND LEVEL					
PARKING		REQUIRED	PROPOSED		
		3 SPACES, ONE OF WHICH MUST BE COVERED	1 COVERED SPACE 2 UNCOVERED		
TOTAL		3 SPACES	3 SPACES		

BUILDING INFORMATION

PROJECT DESCRIPTION:
DEMOLITION OF EXISTING 1,634 sq.ft. SINGLE FAMILY RESIDENCE, AND CONSTRUCTION OF A NEW TWO-STORY, 1,425 sq.ft. SINGLE FAMILY DWELLING AND 978 sq.ft. BASEMENT. RELOCATE EXISTING DETACHED GARAGE.

PROJECT ADDRESS:
1410 PROSPECT AVE
CAPITOLA, CA 95010

PARCEL NUMBER:
034-146-19

ZONING DESIGNATION:
R-1

OCCUPANCY CLASSIFICATION:
R-3

CONSTRUCTION TYPE:
TYPE V-B UNSPRINKLERED

CODE NOTE:
THESE PLANS CONFORM TO THE 2019 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODE. STRUCTURAL ENGINEERING SHALL CONFORM TO 2019 CALIFORNIA BUILDING CODE. AS AMENDED BY THE STATE OF CALIFORNIA.

CONTACTS

OWNER:
ALIX JOHNSON
1410 PROSPECT AVE
CAPITOLA, CA 95010
(650) 949-2143

PROJECT DESIGNER:
DEREK VAN ALSTINE RESIDENTIAL DESIGN, INC.
DEREK VAN ALSTINE
1535 SEABRIGHT AVE SUITE 200
SANTA CRUZ, CA 95062
PH: (831) 426-8400
FAX: (831) 426-8446
derek@vranalstine.com

STRUCTURAL ENGINEER:
REDWOOD ENGINEERING
LEONARD WILLIS, P.E.
1535 SEABRIGHT AVE SUITE 200
SANTA CRUZ, CA 95062
PH: (831) 426-8444
FAX: (831) 426-8446
LEONARD@REDWOODENGINEERING.NET

SURVEYOR:
ALPHA LAND SURVEYS, INC.
JEAN PAUL HAPPEE, PLS 0607
4444 SCOTT'S VALLEY DRIVE, #7
SCOTT'S VALLEY, CA 95066
PH: (831) 438-4453

DRAWING INDEX

BUILDING DESIGN	
T1	TITLE SHEET
SURV	SURVEY
L1	LANDSCAPE PLAN
A1	EXISTING SITE PLAN
D1	SITE DRAINAGE PLAN
A2	SITE PLAN
A3	EXISTING FLOOR PLANS
A4	FLOOR PLANS
A5	EXISTING EXTERIOR ELEVATIONS
A6	EXTERIOR ELEVATIONS
A7	EXTERIOR ELEVATIONS

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1535 SEABRIGHT AVE SUITE 200
SANTA CRUZ, CA 95066

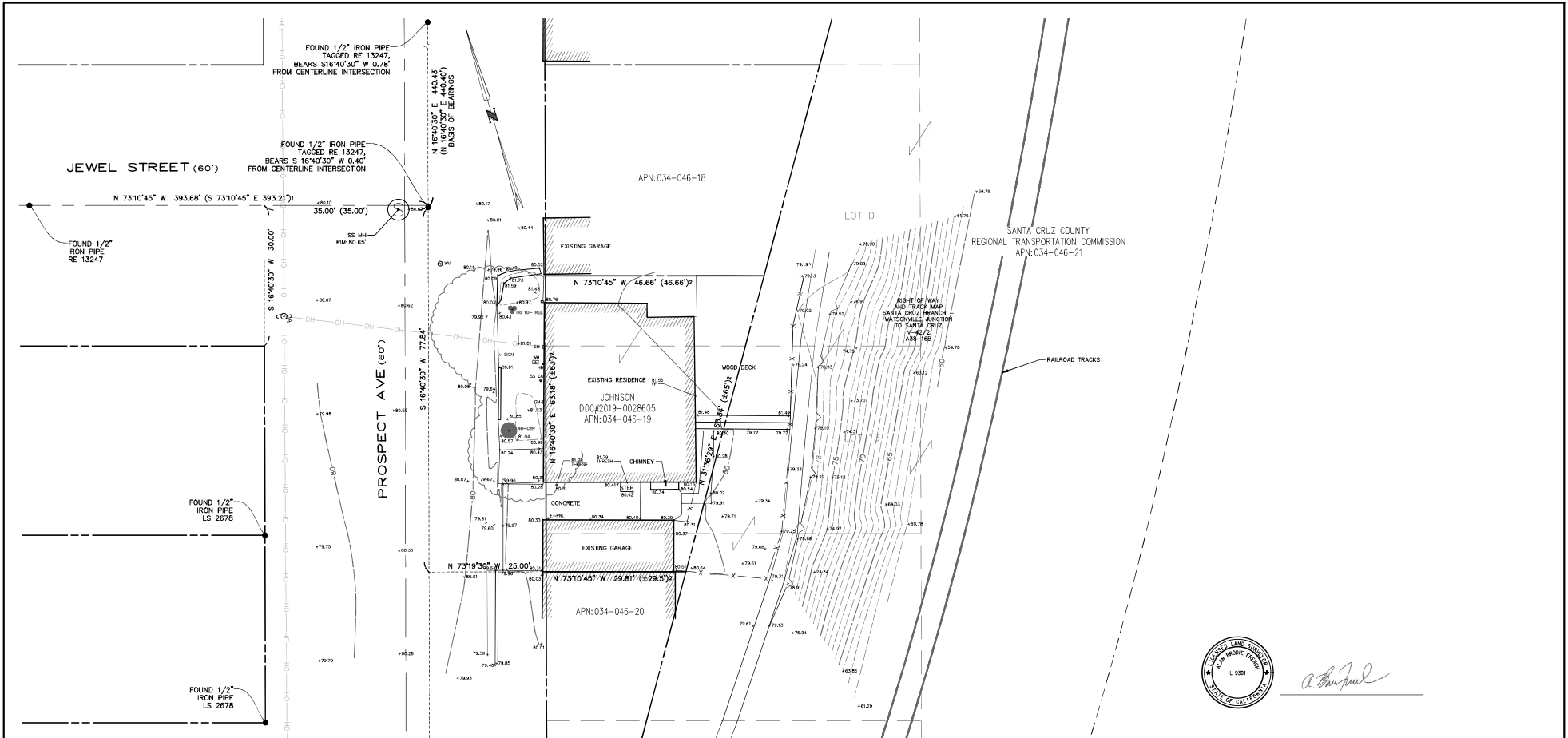


JOHNSON RESIDENCE
1410 PROSPECT AVE.
CAPITOLA, CA 95010

NO.	ISSUE DESCRIPTION
01	034-026-19
02	ISSUE DESCRIPTION
03	STRUCTURAL DESIGN
04	ENVIRONMENTAL
05	PLANNING SUBMITTAL
06	AUG. 24, 2021
07	BUILDING STRATEGIC
08	REVISIONS
09	REVISIONS
10	REVISIONS
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100	REVISIONS

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A. Paul

BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE MONUMENT LINE ALONG PROSPECT AVENUE AS SHOWN ON THAT RECORD OF SURVEY FILED IN VOLUME 48 OF MAPS, PAGE 53, SANTA CRUZ COUNTY RECORDS AND WAS ESTABLISHED BETWEEN MONUMENTS FOUND AS SHOWN HEREON.

SOUTH 16°40'30" WEST

BASIS OF ELEVATIONS

ELEVATIONS FOR THIS SURVEY ARE BASED ON A TIE TO THE SANTA CRUZ COUNTY BENCHMARK #61, LOCATED AT THE NORTHEAST CORNER OF GARNET STREET AND PROSPECT AVENUE IN CAPITOLA.

BENCHMARK ELEVATION: 86.05' (NAVD88)

UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN MARCH 2022.

SURVEYORS NOTES

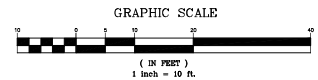
- BOUNDARY LINES DELINEATED ON THIS MAP ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORDED MAPS AND DEEDS AS LISTED IN THE REFERENCE DOCUMENTS. NO LIABILITY IS ASSUMED BY ALPHA LAND SURVEYS FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING.
- A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY.
- NO REPRESENTATION IS MADE AS TO ANY PRESCRIPTIVE OR OTHER RIGHTS TO LANDS INCLUDED IN THIS SURVEY.
- NUMEROUS BUILDINGS ALONG EASTERN SIDE OF PROSPECT AVENUE ENCRACH INTO RIGHT OF WAY.

LEGEND

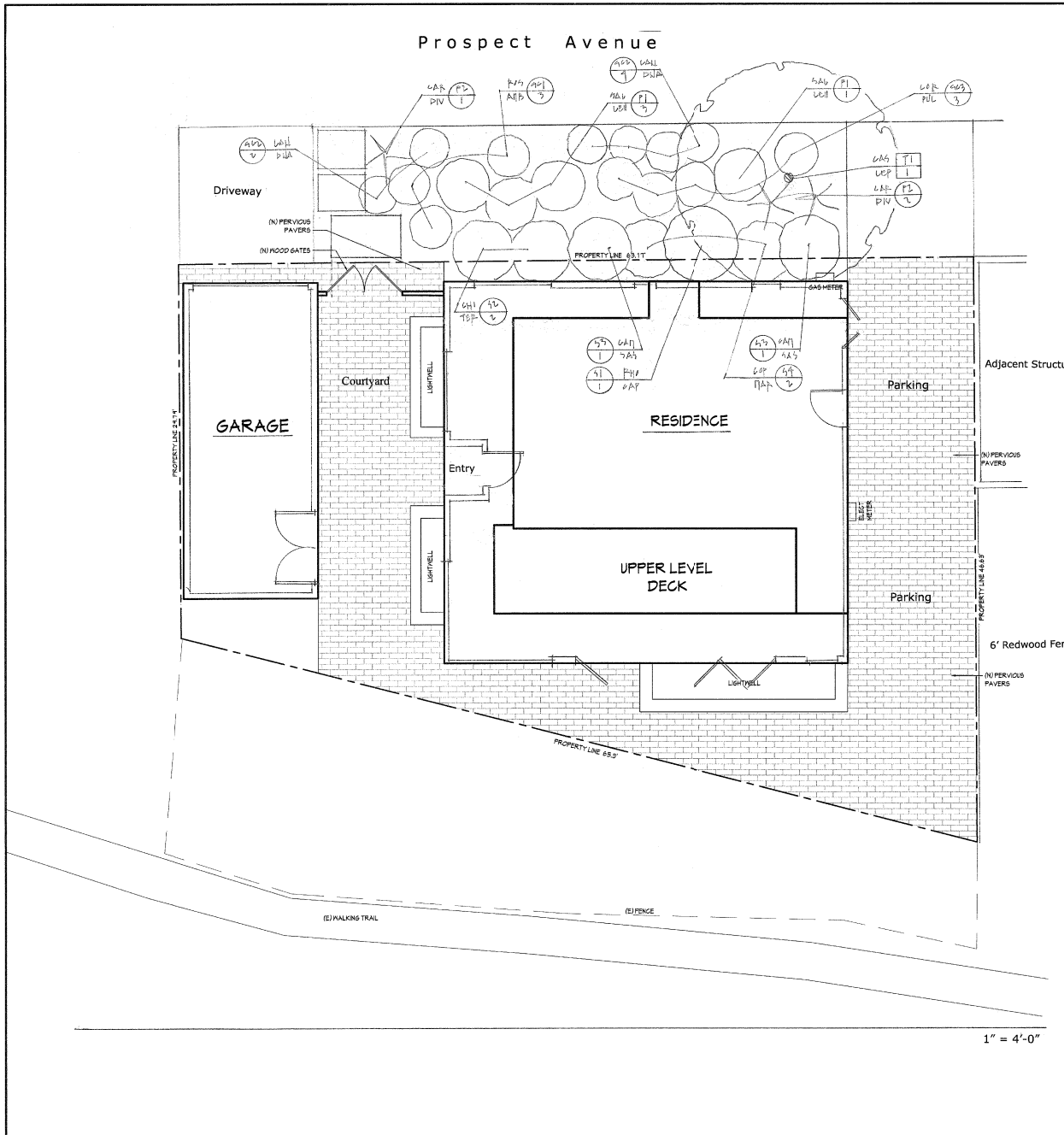
- PROPERTY LINE
 - - - EASEMENT LINE
 - OLD PROPERTY LINE
 - CENTERLINE
 - - - MONUMENT LINE OR TIE LINE
 - - - OVERHEAD UTILITY LINE
 - - - TOP OF BANK
 - DISTANCE MEASURED
 - (100) RECORD DATA PER 9-M-19
 - (100)¹ RECORD DATA PER 48-M-53
 - (100)² RECORD DATA PER DOC #2019-0028605
 - FOUND MONUMENT, AS NOTED
 - TREE, AS NOTED
 - SPOT ELEVATION
- CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

ABBREVIATIONS

- | | |
|--------|--------------------------|
| APN | ASSESSOR'S PARCEL NUMBER |
| CO | CLEANOUT |
| CYP | CYPRESS |
| DOC | DOCUMENT |
| EM | ELECTRIC METER |
| FF | FINISHED FLOOR |
| FH | FIRE HYDRANT |
| GM | GAS METER |
| HB | HOSE BIB |
| ICV | IRRIGATION CONTROL VALVE |
| UP | UTILITY POLE |
| SD | STORM DRAIN |
| SS | SANITARY SEWER |
| THRESH | THRESHOLD |
| TRI | TRIPLE |
| WM | WATER METER |
| WV | WATER VALVE |



ALPHA LAND SURVEYS, INC.			
4444 SCOTT'S VALLEY DR. #7 SCOTT'S VALLEY, CA 95068 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC SURVEY LANDS OF JOHNSON 1410 PROSPECT AVE CAPITOLA, CA	SHEET 1 OF ONE
1" = 10'	DATE: 3/29/22	JOB#: 2022-045	



Plant Legend

Sym	Botanical Name	Common Name	Size	Quan
Trees				
T1	Cassia leptophylla	Gold Medallion Tree	15GC	1
Shrubs				
S1	Rhodocoma capensis	Cape Rest	5GC	1
S2	Choysia ternata	White Mexican Orange	5GC	3
S3	Camellia sasanqua 'Sersugakka'	White Sasanqua Camellia	5GC	2
S4	Coprosma 'Marble Queen'	Green/White Variegated Mirror Shrub	5GC	2
Perennials				
P1	Salvia leucantha	Purple Mexican Sage	1GC	4
P2	Carex divulsa	Berkeley Sedge	1GC	3
Groundcover				
GC1	Rosa 'Amber Flower Carpet'	Amber Flower Carpet Rose	2GC	3
GC2	Lantana 'Dwarf White'	White Trailing Lantana	1GC	6
GC3	Correa pulchella	Light Pink Australian Fuchsia	1GC	4

Notes

- PLANTING AREA PREPARATION**
- Remove soil as required to accommodate soil amendments and ensure positive drainage away from all structures.
 - Cultivate all planting areas to a minimum of 8" incorporating a minimum of four cubic yards per 1,000 square feet of permeable area into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and filling.
 - After the completion of all grading and underground construction, all planting areas shall be high graded, to smooth, even surfaces with positive drainage per existing topography or to drainage swales or structures.
 - Existing plants to be saved shall be protected from injury.
 - No stockpiles of plants or materials to be saved shall be located within the drip line of any existing tree to be saved.
- QUALITY OF PLANT MATERIALS**
- All plant material shall be nursery grown, healthy and free from disease and pests.
 - Plants not conforming to common nursery standards or found unacceptable by the Landscape Architect will be considered defective and shall be replaced at no additional cost to the owner.
 - Plants shall be protected from drying out, wind burn and injury during handling and storage.
- INSTALLATION**
- Planting holes shall be as deep as the root ball and 3 times the width of the root ball.
 - Each plant shall have a pre made or site made pophote basket of the appropriate size.
 - Backfill for the planting holes shall be 80% site soil and 20% 50-50 blend mushroom compost, equal chicken manure or other approved material.
 - All planting areas shall be mulched with 3" of redwood bark, fir bark or other approved material, except in turf areas, creeping or rooting groundcovers, or direct seeding applications.
 - All trees shall be staked with 2" x 10" lodge pole pine tree stake outside the root ball and secured with two rubber tree ties.

831.426.6845
Ellen Cooper
 Landscape Architect
 Ca. Lic. #2937

JOHNSON RESIDENCE
 1410 PROSPECT AVE.
 CAPITOLA, CA 95010

NO. CS4-046-19

DESCRIPTION

SCHEMATIC DESIGN

DESIGN DEVELOPMENT

PLANNING SUBMITTAL
 AUG. 24, 2021

BUILDINGS SUBMITTAL

REVISIONS:
 PLANNING REVISIONS
 FEB. 6, 2022

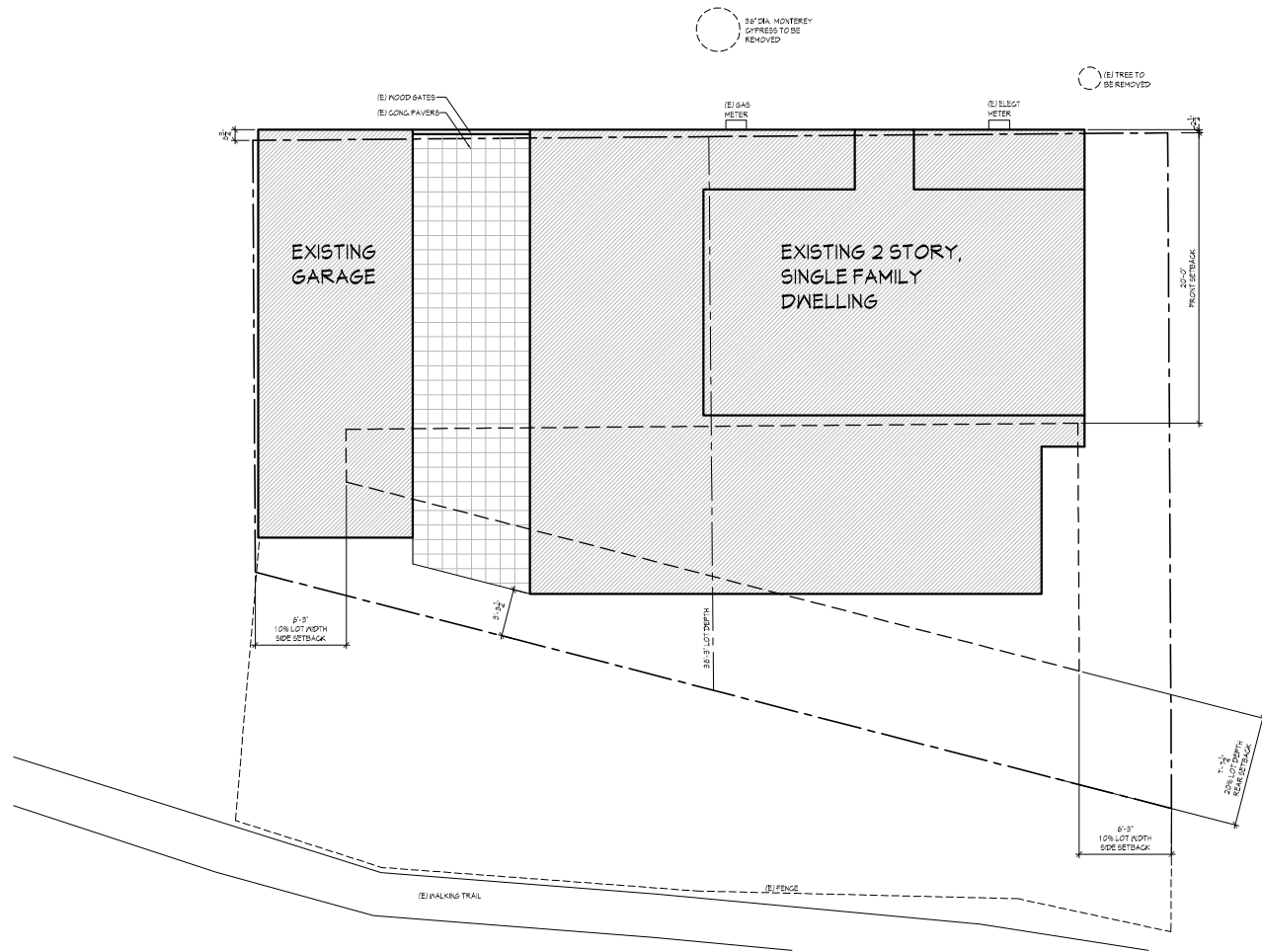
PLANNING REVISIONS
 MAR. 25, 2022

PLANNING REVISIONS
 AUG. 24, 2022

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1 EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1519 BEARBRIDGE AVENUE, COLLEENIA
SOUTH SAN FRANCISCO, CALIFORNIA 94064



JOHNSON RESIDENCE
1410 PROSPECT AVE.
CAPITOLA, CA 95010

ISSUE	DATE
ISSUE DESCRIPTION	
SCHEMATIC DESIGN	
PRELIMINARY DEVELOPMENT	
PLANNING SUBMITTAL	AUG. 24, 2021
BUILDING PERMITTING	
REVISIONS	
REVISIONS	FEB. 9, 2022
REVISIONS	MAR. 29, 2022
REVISIONS	AUG. 24, 2022

EXISTING SITE PLAN
A1

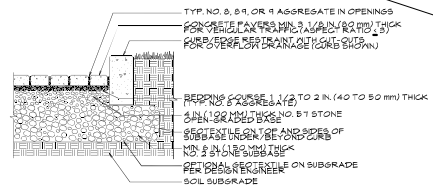
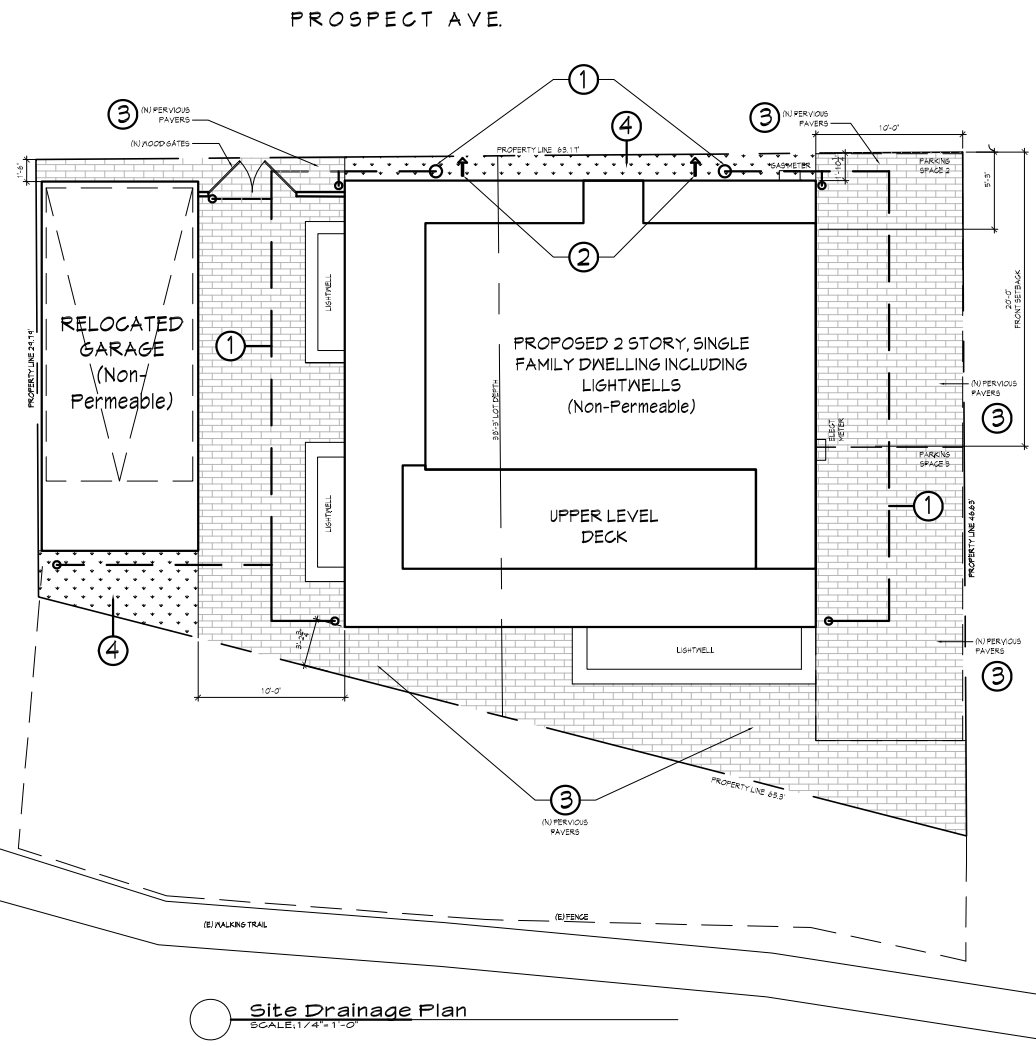
① Roof Downspout connected to 3" Diameter PVC D2 T29 Drain Pipe with NDS Pop-Up Drainage Emitter at Outfall.

② Direction of Surface Runoff

③ Pervious Paver Detail

④ Planting Area

- STORMWATER PROJECT INFORMATION**
- Project Type: Residential - Detached Single Family Home
 - Tier: Basic (2,800 SF of New/Replaced Impervious Area)
 - Description: Reconstruction of an existing residence and detached garage.
 - Total Project Site Area: 2,415 SF
 - Amount of existing (pre-project) impervious surface area (e.g. existing buildings, paving, hardscape): 1,720 SF
 - Amount of proposed impervious surface area (e.g. paving) of replacement building(s) or SF
 - Amount of new impervious surface area created (e.g. new building addition and/or patio). Reduced by 424 SF via Smaller Building Footprint and Permeable Pavers Use.
 - Total Proposed (post-project) impervious surface area: 1,346 SF
- GENERAL NOTES**
- All improvements shall be constructed in accordance with the project plans.
 - The Contractor shall verify all existing conditions, elevations, dimensions, and construction in the field prior to construction.
 - If any discrepancies are noticed, the contractor shall notify the engineer immediately for direction.
 - A minimum of 48 hours prior to construction, the Contractor shall notify underground Service Alert (USA) at 811 for existing utility locations.
 - The Contractor shall not commence work until after a pre-construction meeting has been held with the Owner and City of Capitola, and after a notice to proceed has been issued.
 - Traffic control during construction shall be the contractor's responsibility, and shall be in accordance with the approved plan submitted to the City of Capitola.
 - The Contractor shall keep existing streets free from dirt and debris during all phases of construction.
 - The Contractor shall maintain access to properties along Prospect Avenue throughout the duration of construction.
 - The Contractor shall repair any damage or interruption of public utilities, water lines, or irrigation systems immediately at no expense to the City of Capitola.
 - The Contractor is responsible for matching existing streets, surrounding landscape, and other improvements with a smooth transition in paving and grading, etc., and to avoid any abrupt or apparent changes in grades or cross slopes, low points or hazardous conditions.
 - The Contractor shall comply with the rules and regulations of the City of Capitola, County of Santa Cruz, State of California, and SD/OSHA.
 - All existing irrigation, landscape materials, pavement, drainage, curb and gutter, and other improvements, that are not to be removed but are damaged during construction, shall be replaced or restored to existing condition at no additional expense and the satisfaction of the owner.



NOTES

- 1.5" (37.5 mm) (6.0 mm) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
- NO. 2 STONE SUBGRADE THICKNESS Varies per US DOT/MSHA.
- CONSULT FOR PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
- NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 1 OR NO. 4 STONE.

PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE

SCALE: 1" = 1'-0"

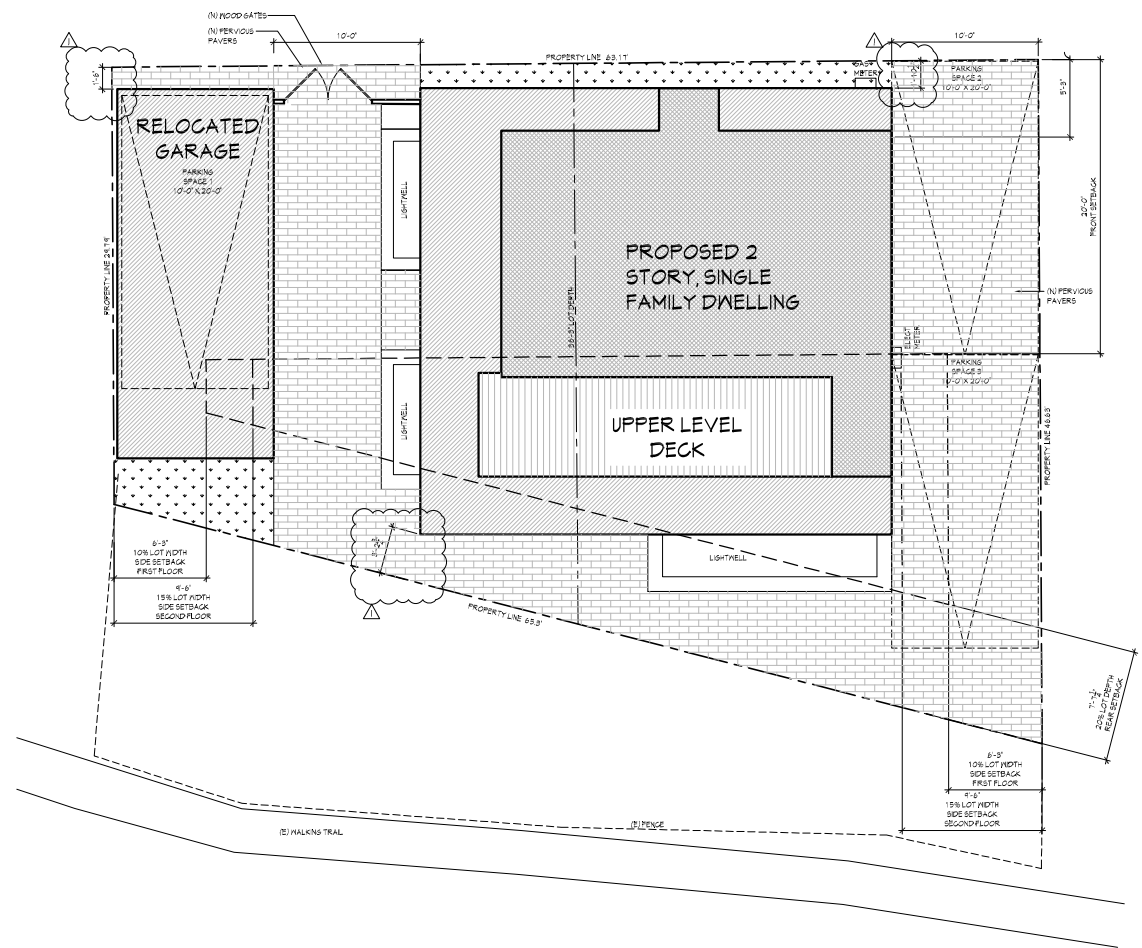
Site Drainage Plan
SCALE: 1/4" = 1'-0"

Alexander Michael Johnson
Registered Professional Engineer
Civil - California No. 56638

JOHNSON RESIDENCE
1410 PROSPECT AVE.
CAPITOLA, CA 95010

NO.	DATE	DESCRIPTION
001	08/24/2021	PLANNING PERMIT
002	08/24/2021	PLANNING PERMIT
003	08/24/2021	PLANNING PERMIT
004	08/24/2021	PLANNING PERMIT
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008	08/24/2021	PLANNING PERMIT
009	08/24/2021	PLANNING PERMIT
010	08/24/2021	PLANNING PERMIT

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1 **PROPOSED SITE PLAN**
SCALE: 1/4" = 1'-0"



DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1935 NEUBERG AVENUE, SUITE 100, OAKLAND, CALIFORNIA
(510) 424-4466 FAX



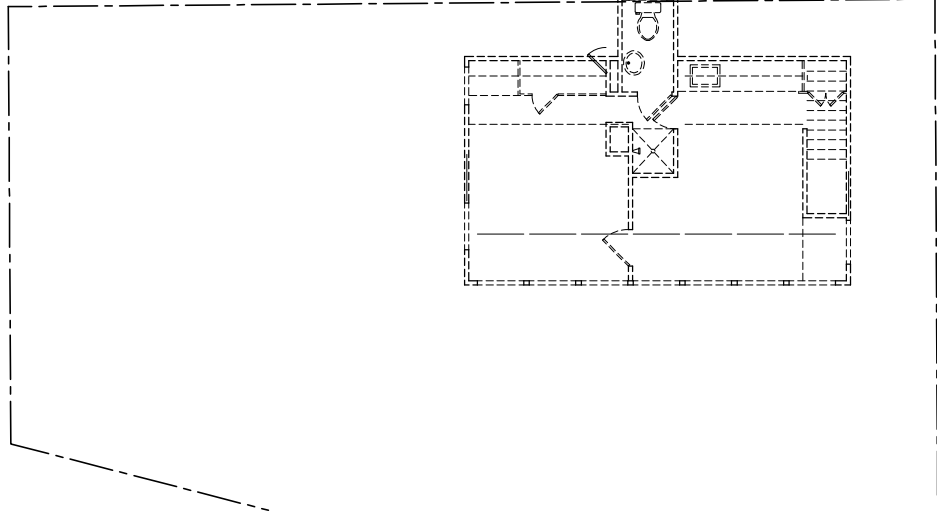
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1410 PROSPECT AVE.
CAPITOLA, CA 95010

DATE	08.24.2022
ISSUE DESCRIPTION	
REVISIONS	
DESIGN DEVELOPMENT	
PLANS & SUBMITTAL	
AUG. 24, 2021	
BUILDING REVISIONS	
REVISIONS	
FEB. 9, 2022	
REVISIONS	
MAR. 28, 2022	
REVISIONS	
AUG. 24, 2022	

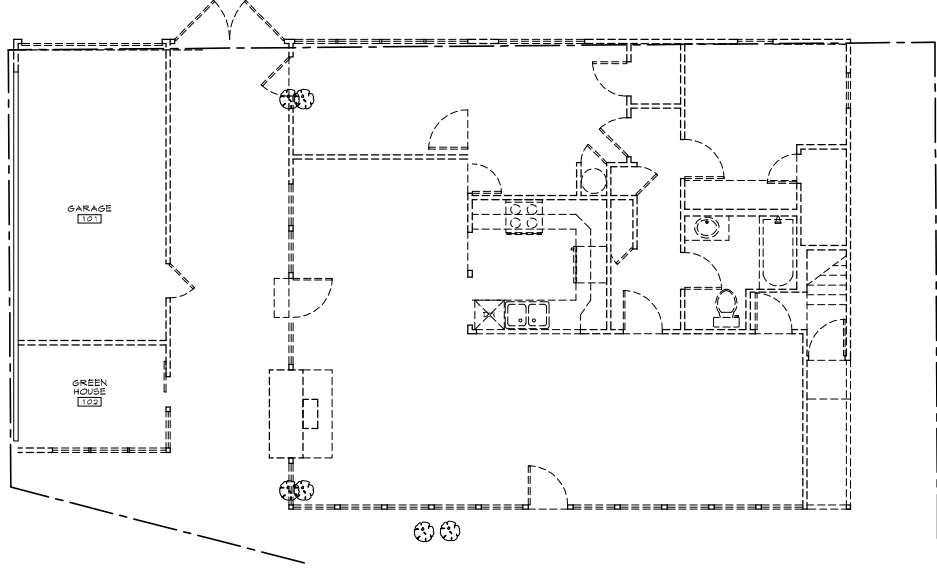
SITE PLAN

A2

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2 EXISTING UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	NEW 2x4 STUD WALL
	NEW 2x6 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1519 SEABRIGHT AVENUE, SUITE 100
COLUMBIA, CALIFORNIA 95026
415.885.4465 FAX

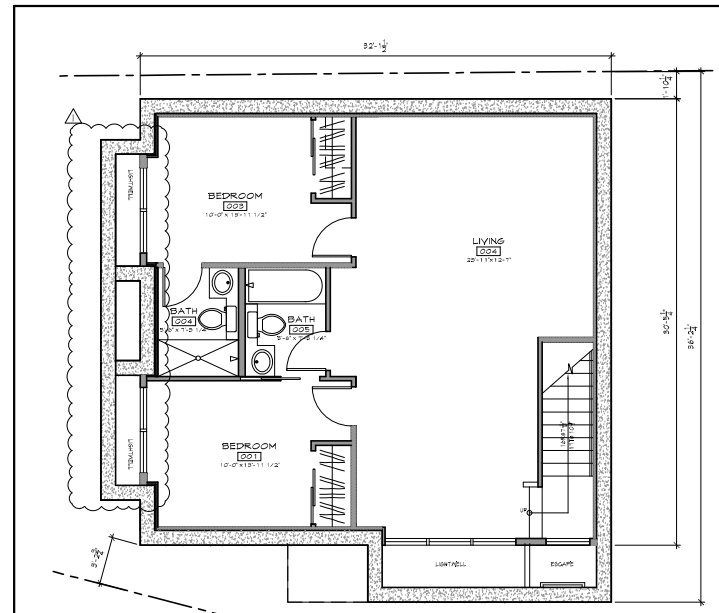


JOHNSON RESIDENCE
1410 PROSPECT AVE.
CAPITOLA, CA 95010

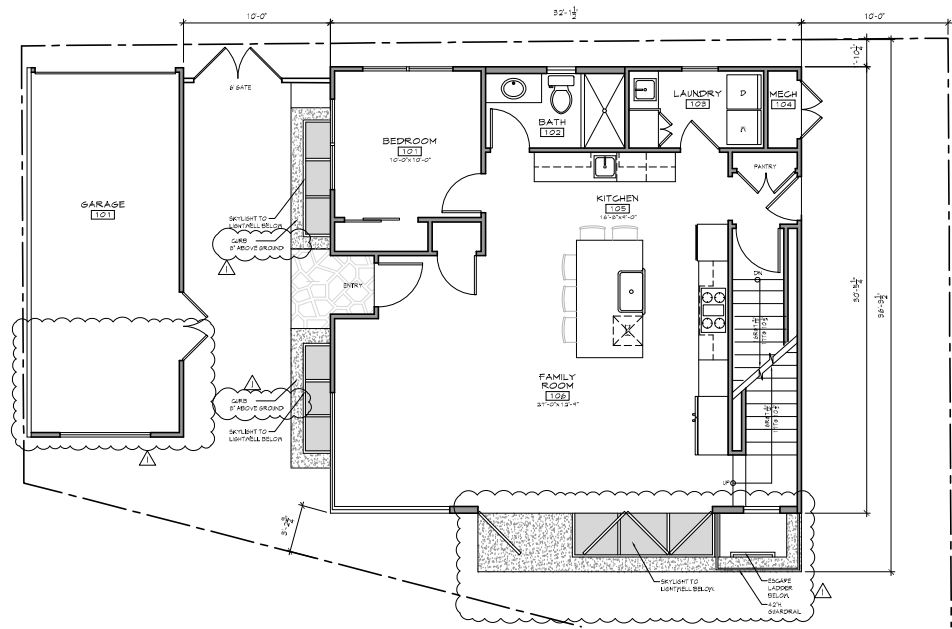
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	BUILDING STRATEGY
	REVISIONS:
	PLANNING REVISIONS FEB. 9, 2022
	PLANNING REVISIONS MAR. 29, 2022
	PLANNING REVISIONS AUG. 24, 2022

EXISTING FLOOR PLANS
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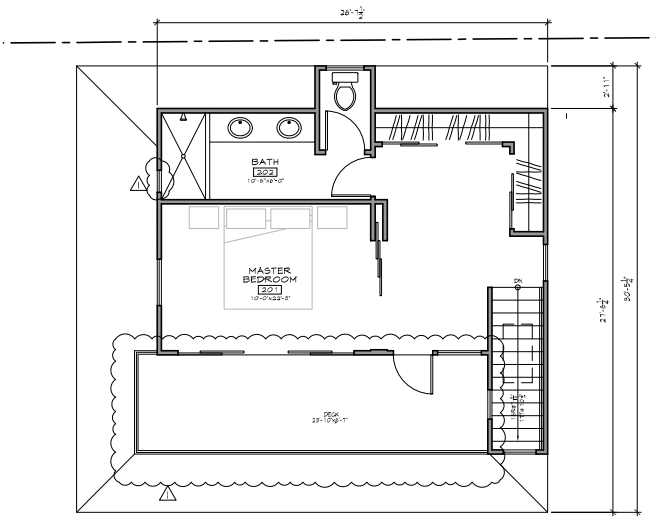
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73	03.24.2021	ISSUE DESCRIPTION
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100	03.24.2021	ISSUE DESCRIPTION



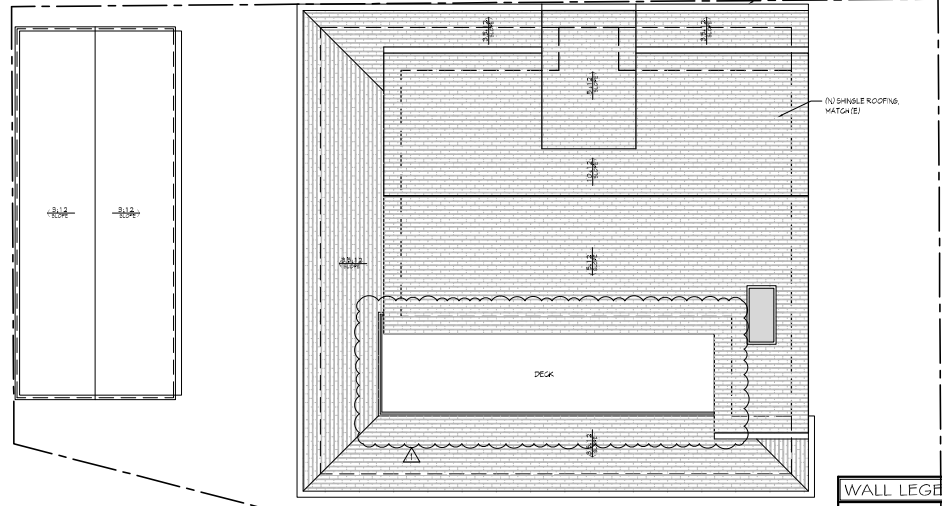
1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

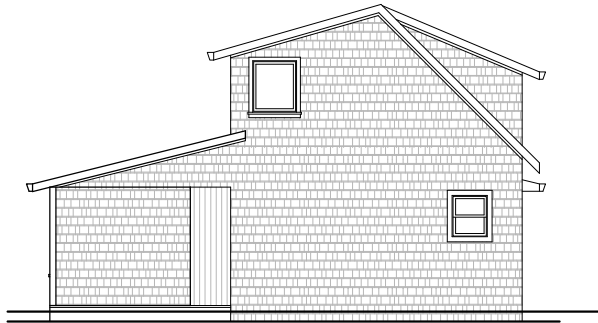


4 ROOF PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

	NEW 2x4 STUD WALL
	NEW 2x6 STUD WALL
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN

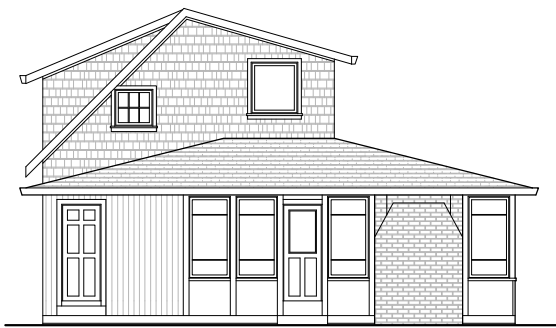
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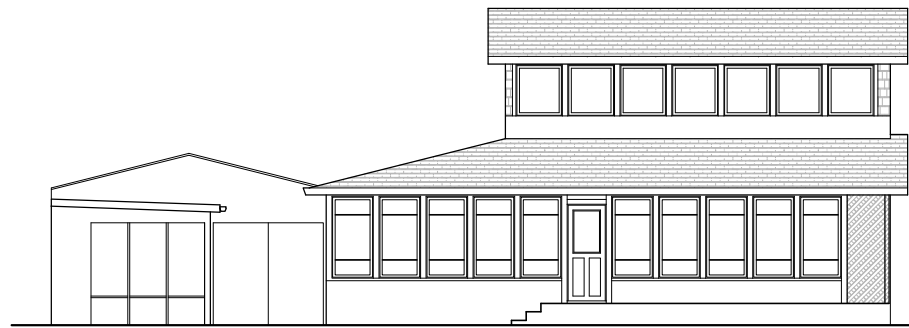
2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

8/23/2023 1:02 PM

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RESIDENTIAL DESIGN INC.
1519 SEABRIGHT AVENUE, SUITE 100, CALICORNIA
CITY OF SAN FRANCISCO, CALIFORNIA 94116

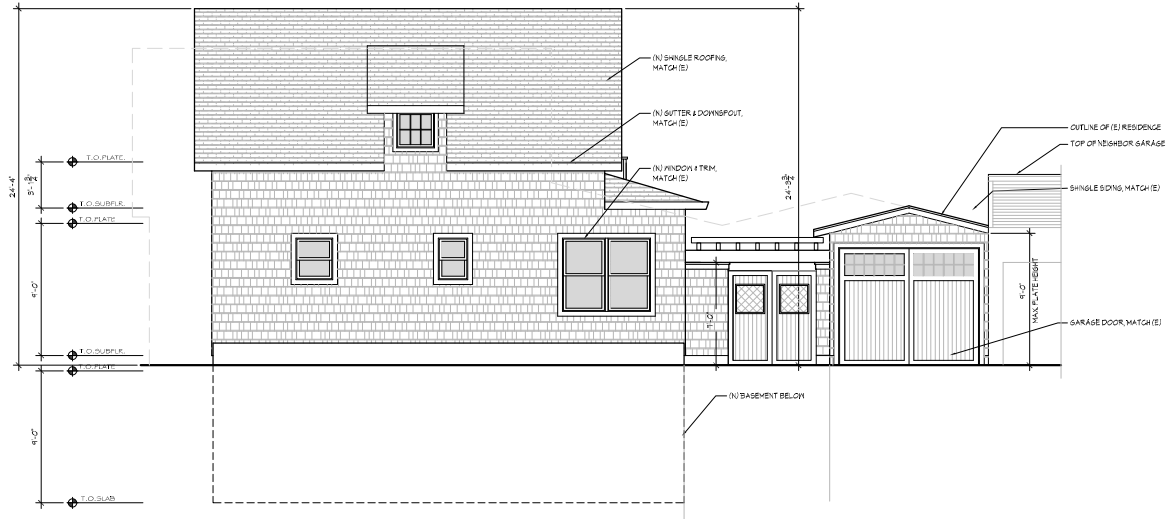


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CAPITOLA, CA 95010

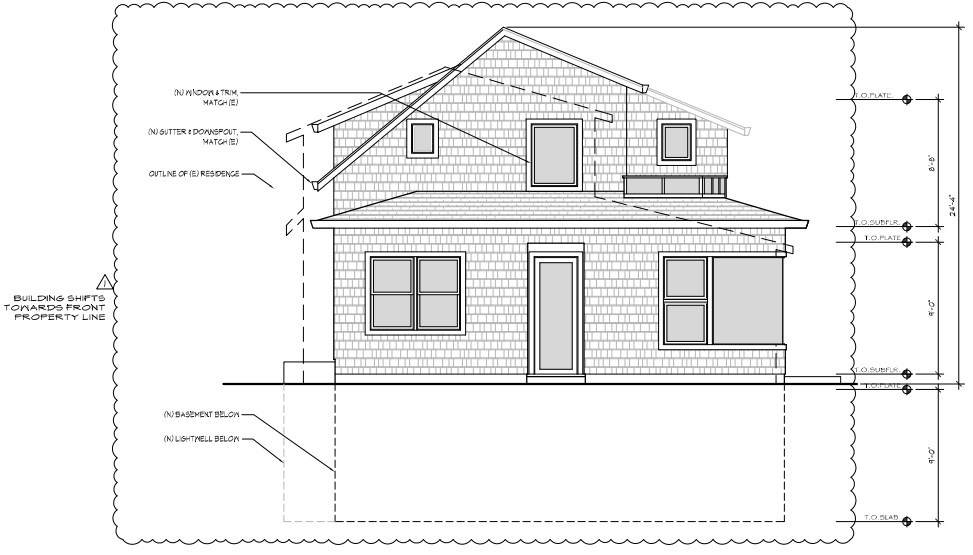
DATE	ISSUE DESCRIPTION
03.4.2022	SCHEMATIC DESIGN
	DEVELOPMENT
	PLANNING SUBMITTAL AUG. 24, 2021
	BUILDING STRATEGY
	REVISIONS
	REVISIONS FEB. 9, 2022
	REVISIONS MAR. 29, 2022
	REVISIONS AUG. 24, 2022

EXTERIOR ELEVATIONS

A5



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1955 REDWOOD AVENUE, SUITE 100, OAKLAND, CALIFORNIA
(510) 424-2720



JOHNSON RESIDENCE
1410 PROSPECT AVE.
CAPITOLA, CA 95010

DATE	ISSUE DESCRIPTION
03.14.2021	ISSUE 1
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03.09.2022	REVISIONS
03.28.2022	REVISIONS
08.24.2022	REVISIONS

EXTERIOR ELEVATIONS

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