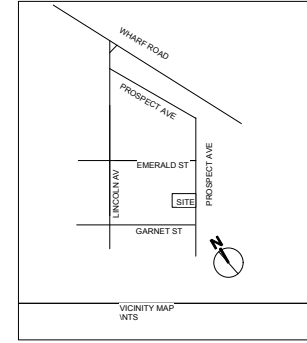
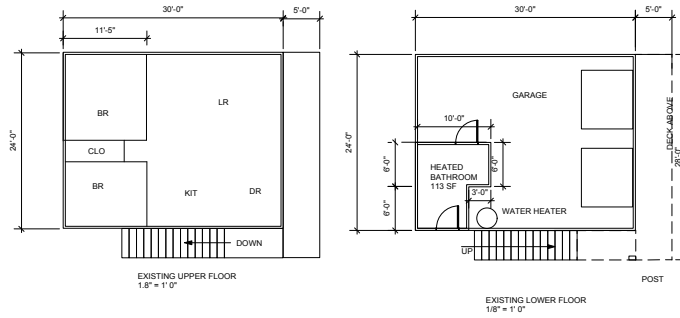


SEE SHEET L-1 FOR THE PRELIMINARY GRADING AND LANDSCAPE PLAN

THE STORM WATER BEST MANAGEMENT PRACTICES (STRM-BMP) SHALL BE PRINTED IN FULL AND INCORPORATED INTO THE CONSTRUCTION PLANS.

NOTE THIS INCLUDES DOWNSPOUTS TO SPLASH GUARDS, MOST DOWNSPOUTS TO LANDSCAPING AREAS, AND USE OF PERVIOUS PAVERS REPLACING SOME OF THE IMPERVIOUS AREAS IN THE FRONT YARD AND BACK YARD AREAS.

THE LOT SLOPES TO THE BACK FROM THE EXISTING GARAGE DOOR AREAS AND THE GRAVEL UNDER THE BACK PATIO PAVER AREA WILL ALLOW FOR RAIN WATER PERCOLATION AS PROPOSED THERE IS A REDUCTION IN THE PERVIOUS SURFACE ON THE LOT.



DESIGN CHANGE OBJECTIVES

The last permit application attempted to create an "Outdoor Living" design with separate sunrise and sunset deck locations. With the rejection of the proposed rear deck on our last design permit application we are pivoting the design to maximize internal living space and reallocating the front deck area to optimize its sun exposure. This design returns the structure to its existing boundaries but more importantly reduces the size and privacy impacts of the front deck. The area of the front deck is shifted away from the non-conforming side of the property to the conforming side. We are removing 39sf of deck area which affronts a 4ft side set-back on the north side of the property and adding back only 25sf at a distance of nearly 12ft from from the southern side of the property.

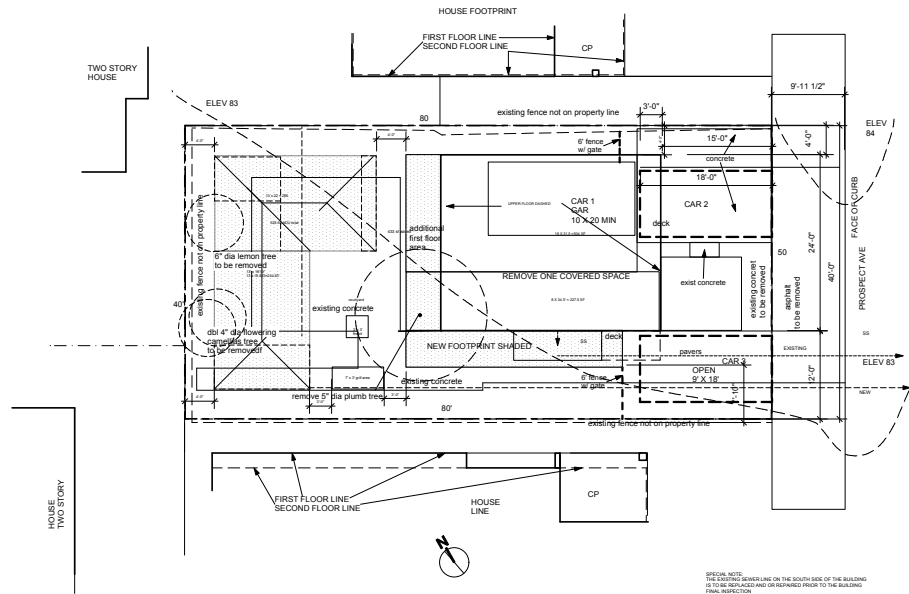
LIST OF CHANGES FROM LAST APPROVED PLANS

ON THE UPPER FLOOR:

- Moved the Northeastern part of the front wall to its existing location. This eliminates 39 square feet of deck space facing the side of the house with a non-conforming side yard setback.
- Added 25 square feet of conforming deck space on the Southeastern corner of the house which has a conforming side yard setback.
- Added a 6 foot wide, 2 foot high, clerestory window to the Office/Bedroom. The bottom sill will be 5' 8" above the floor protecting the privacy of the neighbor to the South.
- Expanded the Pantry into the approved flat roof area at the rear of the house.
- Moved the rear wall of the house one foot back to the original existing perimeter of the current structure.

ON THE GROUND FLOOR:

- Retained the existing wall at the Northeastern corner to maintain the incoming location for water, gas, and power.



BUILDING FAR = 1003 sf
 FIRST FLOOR = 636 sf
 SECOND FLOOR = 636 sf
 (stair area on first floor only)
 DECK AREA OVER 150 SF = 85 sf

LOT AREA 3200 SF
 FAR ALLOWED .57 = 1824 sf
 FAR PROPOSED = 1788 sf = .56
 IF COVERED PORCH OF 36 sf
 ON FIRST FLOOR IS
 ADDED PROPOSED = 1824 sf = .57

NOTE:
 BUILDING IS NON CONFLRMING ON FRONT
 LESS THAN 20 FEET BASED ON 8-16-19 SURVEY
 BY ALPHA LAND SURVEYS, INC

1 SITE PLAN
 Scale: 1/8" = 1'-0"

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5	A-5 PROPOSED ELEVATIONS
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7	S-1 SURVEY

RICHARD L. EMIGH A.I.B.D.
DRAFTING, DESIGNING & LAND USE ANALYSIS
 413 Capitola Avenue
 Capitola, CA 95010
 Phone: 831-479-1452
 Fax: 831-479-1476

SITE PLAN

PHONE
 408-914-0404
 209 Loma Alta Ave.
 Los Gatos, CA 95030

Peter Shamshoian
 1515 Prospect, Capitola
 CA 95010

MPN 003292208
 11 28 2021 14
 10 28 2021 14

SHEET
A-1
 Sheet 1 of 6 SHEETS

FLOOR AREA RATIO
 MAIN FLOOR 1035 SQUARE FEET
 SECOND FLOOR 705 SQUARE FEET
 DECK 190 SQUARE FEET
 WITH 150 SF CREDIT
 TOTAL FLOOR AREA 1782 SF / 3200 LOT = .56%

EXISTING IMPERVIOUS LOT AREA (SEE SURVEY)
 BUILDING FOOTPRINT AREA = 720 SF
 CONCRETE DRIVEWAY, WALKS
 AND PATIO AREA = 1267 SF
 TOTAL 1987 SQUARE FEET / 3200 LOT = .62%

PROPOSED IMPERVIOUS LOT AREA
 BUILDING FOOTPRINT 720 + 423 = 1,143 SF
 CONCRETE DRIVEWAY AND WALK 360 SF
 TOTAL 1503 A REDUCTION OF 484 SF
 NO INCREASE IN DOWNSTREAM WATER IMPACTS

EXISTING CONCRETE REMOVED
 AND PERVIOUS PAVERS INSTALLED
 920 SF

DRAINAGE PATTERN AND TOPO SHOWN
 ON L-1 PRELIMINARY LANDSCAPE PLAN

PLUMBING NOTES

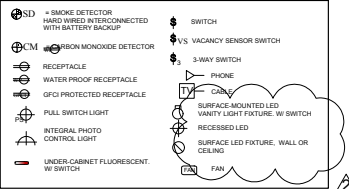
All building water supply systems in which quick-acting valves (washing machines, dishwashers, etc.) are installed, shall be provided with devices to absorb high pressure resulting from the quick closing of these valves.

SHOWER AND TUB SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC OR COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.

Gas and Water lines to be bonded.

The plumbing fixtures are required to meet the following maximum flow rates
 Shower heads 1.8 gpm @ 80 psi
 Kitchen Faucets 1.8 gpm @ 80 psi
 Water closets 1.2 gpm @ 80 psi
 Lavatory Faucets 1.2 gpm @ 80 psi

SYMBOLS LEGEND



SYM	SIZE	QTY	N	E	S	W	NOTES			
1	3' x 48"	1				1/14	Lampshade all up			
2	4' x 4'	1			1/16		Fixed Tempered			
3	26" x 36"	1			1/28		Overhead Tempered			
4	6' x 36"	1	1/21				SH			
5	26" x 46"	2	1/10	1/10			SH			
6	26" x 36"	2			2/22.5		SH			
7	4x1'	1					Fixed Tempered			
8	6' X 4'	1	1/24				WOKZ SLIDER			
9	27" X 7'	8	6/105		2/25		Fixed Tempered Louver			
10	3' x 6'	2		1/18	1/18		Fixed Tempered			
11	2' X 4'	3			3/24		SKYLIGHT			
TOTAL							34	121	108.5	57

NEW DOOR SCHEDULE

SYM	SIZE	Door Style	Location	Qty
A	6' x 78"	SLIDER	Exterior	1
B	6' x 78"	SWING	Exterior	1
C	3' x 78"	SWING	Exterior	1
D	8' X 8'	OVERHEAD	Ext garage	1
E	3x8'	SWING	Exterior	1
F	3' x 8'	SWING	Exterior Solid Core	2
G	8' x 8'	SLIDER	Exterior 1 HR Solid Core	1
H	3' x 63"	SWING	Interior	1
I	3' x 63"	SWING	Interior	1
J	3' x 63"	SWING	Interior	1
K	3' x 63"	SWING	Interior	1
L	3'10" x 63"	SWING	Interior	2
M	3'10" x 63"	SWING	Exterior Solid Core	3
N	3' x 63"	SWING	Exterior Solid Core	1

APPLIANCE LISTING

WOLF
 Range/Oven Combo 48"DF 484EG GAS
 15,000 BTU Infrared Charbroiler
 15,000 BTU Infrared Griddle
 15,000 BTU Infrared Broiler
 20,000 BTU Burner
 15,000 BTU Burner
 18,000 BTU Burner

KitchenAid Appliances
 Refrigerator
 Microwave Oven KMBP1005SS
 Under Counter Beverage Cooler
 Under Counter Wine Cooler KRM3043E5SS
 Range Hood 48" KWB748YSS 108K BTU RATED
 Dishwasher

Electrolux Appliances
 Refrigerator
 Clothes Washer 120V 20 AMP BREAKER
 Clothes Dryer 240V 30 AMP BREAKER

Emergency Gas Valve ZV 1840N
 42,000 BTU

Two 18,000BTU 1/2" BEER Concealed Duct
 Maximum Min. Split Single Zone Heat Pump
 PEAD-KA18042 (One for each Floor)

Front deck 40,000 BTU Gas grill
 Line for future 40,000 BTU Gas grill in front
 yard patio area.

ELECTRICAL NOTES

No panel along wall line is more than 6' from a receptacle. Any wall length 2' or more shall have a receptacle.

GFCI outlets shall be located at front & rear of house.

Light fixtures in closets shall be a min. 10" from the back of a shelf if recessed, 6" if fluorescent or recessed. California Code Article 410-8.

If in-line is installed, Light and power outlet with switch shall be located at access opening.

There shall be a conductor wire with an insulated neutral and a 4-prong outlet for ovens and cooking units. N.E.C. Section 250-68.

All branch circuits that supply 120-volt, single phase, 15- and 20-ampere outlets (i.e. receptacles, lights, smoke alarms, etc.) installed in dwelling shall be protected by an AFCI and arc-fault circuit interrupter (AFCI) to provide protection of the entire branch circuit per CECS 210-2.2(A)(1) thru (8).

All laundry room receptacles to be supplied by a dedicated 20 AMP circuit.

All bathroom receptacles to be supplied by a dedicated 20 amp circuit with GFCI protection. California Electrical Code Article 210-8 & 210-11(c)(3).

Exterior outlets will be in a weatherproof enclosure to comply with 408.8(B)(1)

All lighting luminaires shall be high efficiency.

Dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with reference Joint Appendix JAS per the 150 L.A. exceptions are provided for dimmers smaller than 70 W in floor area, and light fixtures for hallways.

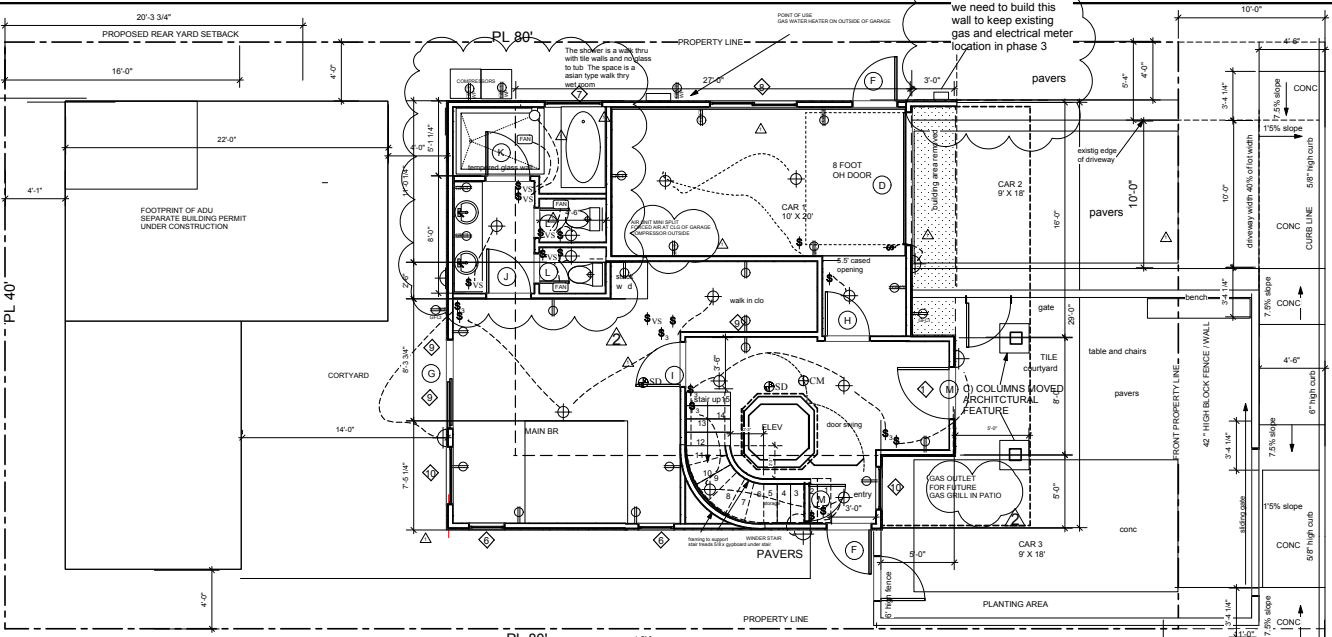
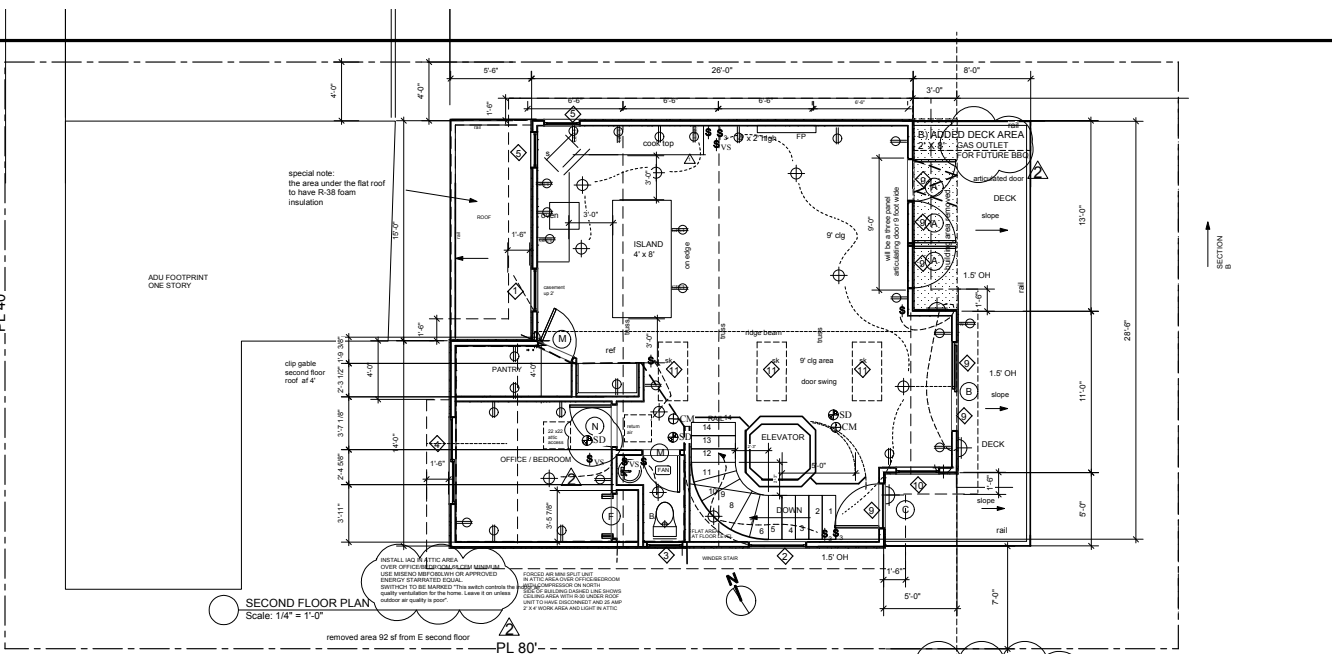
JAS# marking is required for the following:
 All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in section 150.801.1.2(a) 24 sockets containing LED light sources. A G242 lamp fitting is a two-pin connector for compact fluorescent lamps (CFL) or LED lamps that uses a tapered recessed base lock hex-pin connector instead of an Edison screw fitting.
 Any light source not otherwise listed above and certified to the commission as complying with JAS#.

Fixtures recessed into ceiling shall be listed for zero clearance installation contact (ZC), have a label that certifies that the fixture is airtight with leakage less than 2.5 CFM at 75 percent RH, be sealed with a gasket or caulk to the ceiling, have accessible ballast/drivers if fluorescent, and not contain a screw base socket. They shall contain light source requirements, and that are marked JAS-2108-E. (CEC: 150.0A)(1)(C).

All outdoor lighting shall have motion sensor switches with integral photo control.

All Gas and Water lines to be bonded and to have a UFER grounding electrode.

Use high efficiency recessed can or decorative surface mounted fixture controlled by an occupancy sensor, over the toilet area, bath, and walkway. Make sure the sensor can be "viewed" or seen by occupant, not hidden around the corner or in another room.



RICHARD L. EMIGH A.I.B.D.
 DRAFTING, DESIGNING & LAND USE ANALYSIS
 413 Capitola Avenue
 Capitola, CA 95010
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APPROVED FLOOR PLAN

PHONE 408-914-0404
 209 Loma Alta Ave.
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Peter Shamshoian
 1515 Prospect, Capitola
 CA 95010

Sheet 2 of 6 SHEETS

PROPOSED FLOOR PLAN

FLOOR AREA RATIO
 MAIN FLOOR 1035 SQUARE FEET
 SECOND FLOOR 705 SQUARE FEET
 DECK 190 SQUARE FEET
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 TOTAL FLOOR AREA 1782 SF / 3200 LOT = .56%

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PLUMBING NOTES

All building water supply systems in which quick-acting valves (washing machines, showers) and traps installed, shall be provided with devices to absorb high pressure resulting from the quick closing of these valves.

SHOWERS AND TUB-SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC OR COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALDS AND THERMAL SHOCK PROTECTION.

Gas and Water lines to be bonded.

The plumbing fixtures are required to meet the following maximum flow rates
 Shower heads 1.8 gpm @ 80 psi
 Kitchen Faucets 1.8 gpm @ 80 psi
 Water closets 1.2 gpm @ 80 psi
 Lavry Faucets 1.2 gpm @ 80 psi

SYMBOLS LEGEND

	= SMOKE DETECTOR HARDWIRED INTERCONNECTED WITH BATTERY BACKUP		= SWITCH
	= CARBON MONOXIDE DETECTOR		= VACANCY SENSOR SWITCH
	= RECEPTACLE		= 3-WAY SWITCH
	= WATER PROOF RECEPTACLE		= PHONE
	= GFCI PROTECTED RECEPTACLE		= TV CABLE
	= PULL SWITCH LIGHT		= RECESSED FLUORESCENT
	= INTEGRAL PHOTO CONTROL LIGHT		= SURFACE INCANDESCENT FIXTURE, WALL OR CEILING
	= UNDER-CABINET FLUORESCENT W/ SWITCH		= FAN

WINDOW SCHEDULE

SYM	SIZE	QTY	N	E	S	W	NOTES
A	3' x 4'	2		1/12	1/12		Fixed Tempered Glass
B	4' x 4'	1		1/16			Fixed Operable Awning
C	2' x 2'	1		1/4			Awning
D	6' x 2'	1		1/12			Awning
E	6' x 4'	1			1/24		Sliding
F	26' x 4'	1	1/10				Casement
G	3' x 4'	1		1/100			Bay
H	26' x 36'	2		217.5			Single Hung
I	22' x 6'	7	562.2		225		Fixed Tempered Glass
J	4' x 1'	1	1/4				Fixed Tempered
K	2' x 4'	8	540		324		Skylight
L	6' x 4'	1	1/24				Slider in gar
M	3'10" x 4'	1	1/15.5				Tempered
N	4'3" x 4'	2	1/17		1/17		Tempered
O	2' x 2.5'	1	1/15				Tempered
P	1' x 1'	3	3/3				in gable
Q	2' round	1	1/3.5				in gable

TOTAL 78 226.5 85.5 66

ALL WINDOWS 0.32 SKYLIGHTS VELUX TEMPERED LOWER PANE

NEW DOOR SCHEDULE

SYM	SIZE	DOOR TYPE	LOCATION	QTY
A	3' x 7'8"	SLIDER	Exterior	1
B	6' x 7'8"	SLIDER	Exterior	1
C	8' X 8'	OVERHEAD	Ext/ garage	1
D	36" x 8'	SWING	Exterior	1
E	3' x 8'	SWING	Exterior	1
F	6' x 8'	SLIDER	Exterior	1
G	7' x 6'8"	SWING	Exterior Solid Core	1
H	7' x 6'8"	SWING	Interior	1
I	7' x 6'8"	SWING	Interior	1
J	7' x 6'8"	SWING	Interior	1
K	7' x 6'8"	SWING	Interior	1
L	7'10" x 6'8"	SWING	Interior	2
M	26" x 60"	SWING	Exterior Solid Core	1
N	7' x 6'8"	SWING	Exterior Solid Core	1
O	7' x 6'8"	SWING	Interior	1
P	7' x 6'8"	SLIDER	Interior	1
Q	7' x 6'8"	POCKET	Interior	1

APPLIANCE LISTING

Range/Oven Combo 48"DF 48EG GAS
 16,000 BTU Infrared Charbroiler
 15,000 BTU Infrared Griddle
 9,000 BTU Burner
 20,000 BTU Burner
 15,000 BTU Burner
 18,000 BTU Burner

KitchenAid Appliances
 Refrigerator
 Microwave Oven KMBP100ESS
 Under Counter beverage Cooler
 Under Counter Wine Cooler KUM1304SESS
 Range Hood 48" KWB74BYSS 108K BTU RATED Dishwasher

Electrolux Appliances es
 Clothes Washer 120V 20 AMP BREAKER
 Clothes Dryer 240V 30 AMP BREAKER
 Fireplaces GAS Valor DV 1800KN
 42,000 BTU

PDU Instantaneous water heater
 Back Yard B50 Built in 48"
 DCS Searched 7 B14-48-20-4
 4 burner 100,000 BTU Top
 18,000 BTU Burners

Other needs for gas lines
 Two 18,000btu 19.8 SEER Concealed Duct Mitsubishi Mini-Split Single Zone Heat Pump PEAD-KA18NA2 (One for each Floor)

Front Yard Infrared heater under deck for patio
 Dayton # 21MK39 34,000 heater

ELECTRICAL NOTES

No panel along wall line is more than 6' from a receptacle. Any wall length 2' or more shall have a receptacle.

GFCI outlets shall be installed at all front & rear of room.

Light fixtures in closet shall be min. 5' from the base of a shelf if incandescent, 6" if fluorescent or recessed. California Code Article 410.8. 3' fanless if installed. Light and power outlet with switch that be located at access opening.

There shall be 4 conductor wires with an insulated neutral and a 4-prong outlet for oven and clothes dryer. N.E.C. Section 400.40.

All branch circuits that supply 120-volt, single phase, 15- and 20- ampere outlets (i.e., receptacles, lights, smoke alarms, etc.) installed in dwelling units shall be branch-circuit and protected by an AFCI arc-fault circuit interrupter (AFCI) to provide protection of the entire branch circuit per NEC 210.12(A)(1) thru (8).

All laundry room receptacles to be supplied by a dedicated 20 AMP circuit.

All bathroom receptacles to be supplied by a dedicated 20 amp circuit with GFCI protection. California Electrical Code Article 210.8 & 210.11(c)(3).

Exterior outlets will be in a weatherproof enclosure to comply with 408.50(1)(3).

All lighting / luminaires shall be high efficacy.

Dimmers or vacancy sensors shall control all luminaires to have light sources compliant with California Title 24 Part 014.1 exceptions are provided for chandeliers taller than 70.8 in floor area, and light fixtures for hallways.

JAB marking is required for the following:
 All light enclosures in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in section 180.03(A)(1).
 CFL or LED lamps shall be tamper proof and protected by an AFCI arc-fault circuit interrupter (AFCI) or LED lamps that uses a bayonet mount like test sock twin pin connector instead of screw base fitting.

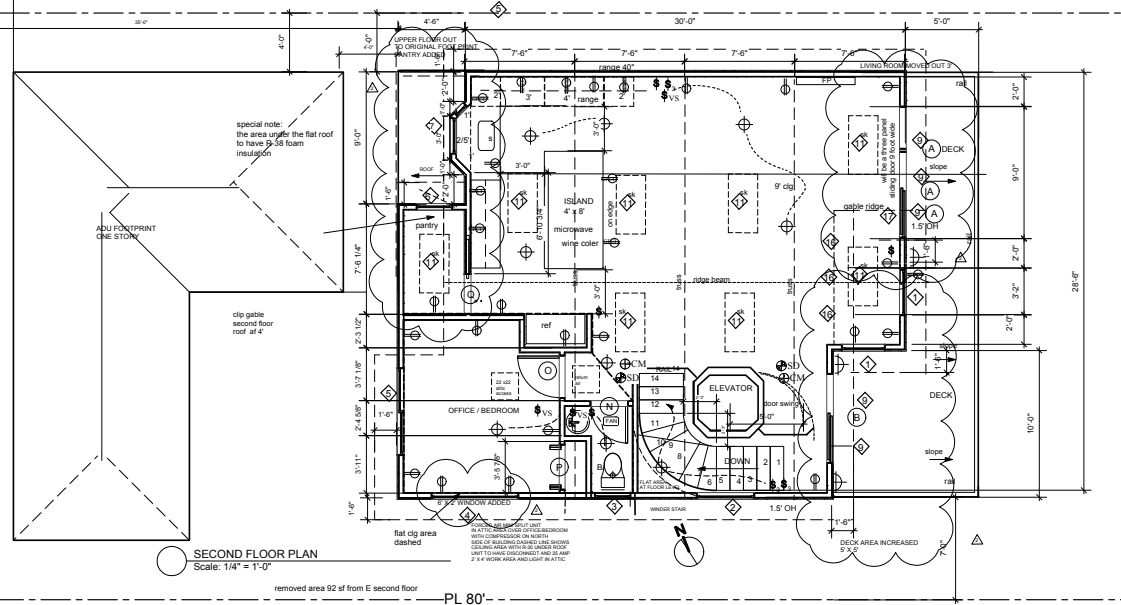
All light source not otherwise listed above and certified to the commissioner as complying with joint approval.

Fluorescent recessed area ceiling shall be tested for open disjunctive insulation contact (OIC). Use a meter that certifies that test fixture is capable of measuring less than 2.0 CFM at 75 Pascals (AT). It is tested with a sealed or closed in the ceiling, have screws/bolts/nails/torx/nuts, and not contain a screw base sockets. They shall contain light source requirements, and that are marked CAK-100-6E (CFLC 150/94/117).

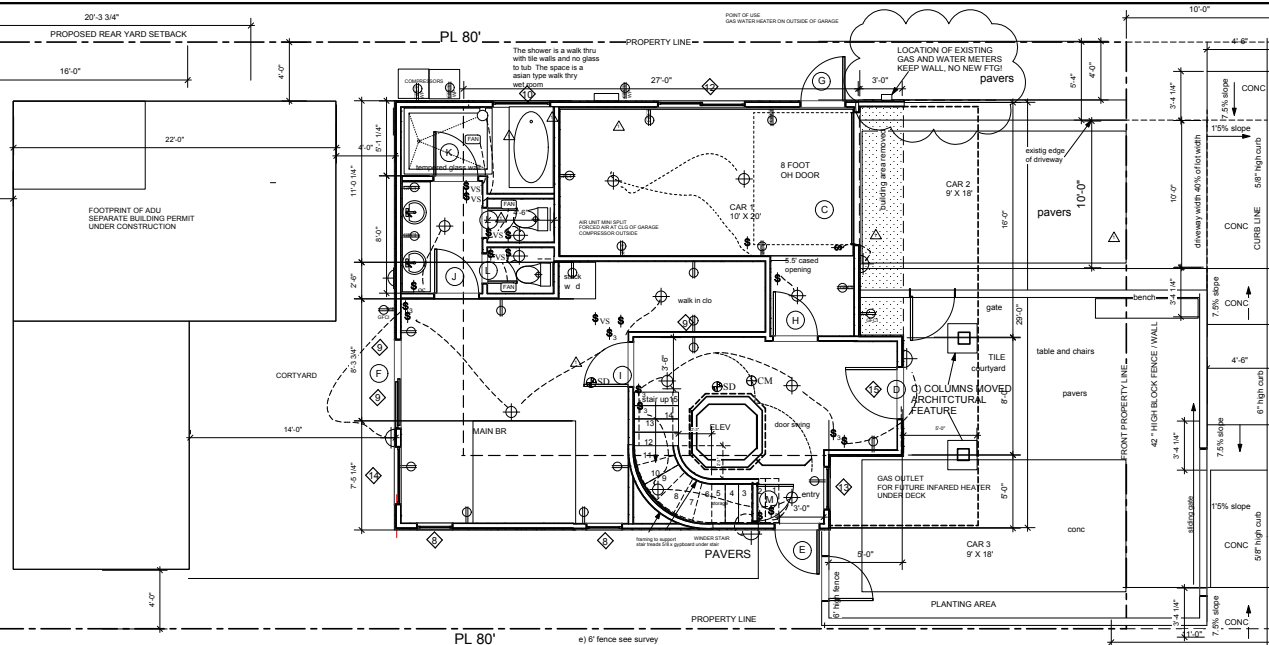
All outdoor lighting shall have motion sensor switches with integral photo control.

All Gas and Water lines to be bonded and to have a UFER grounding electrode.

Use high efficiency recessed can or decorative surface mounted fixture controlled by an occupancy sensor, over the toilet area, tub, and walkway. Make sure the sensor can be "bypass" or sealed by occupant, not install around the corner or in another room.

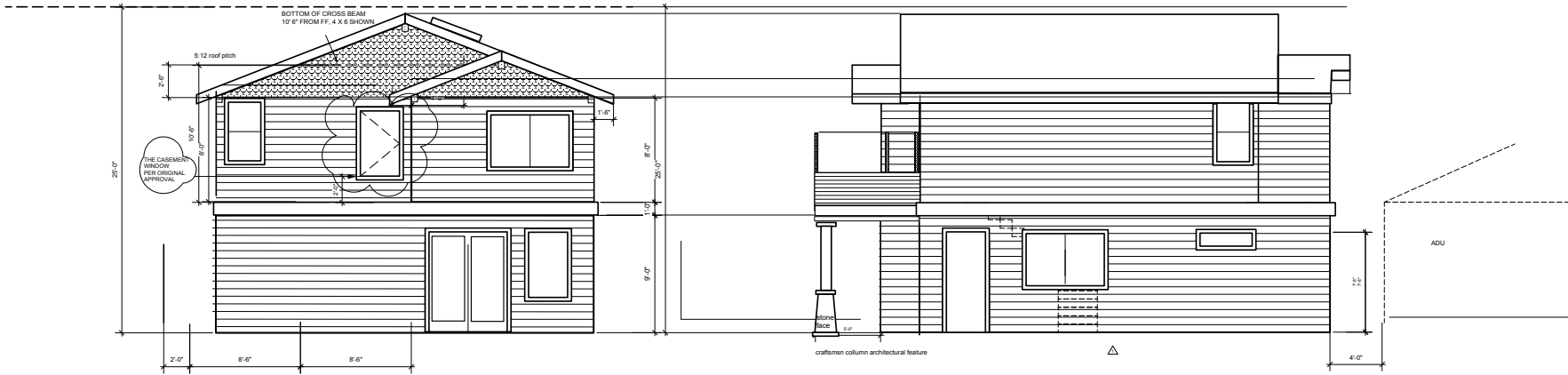


SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

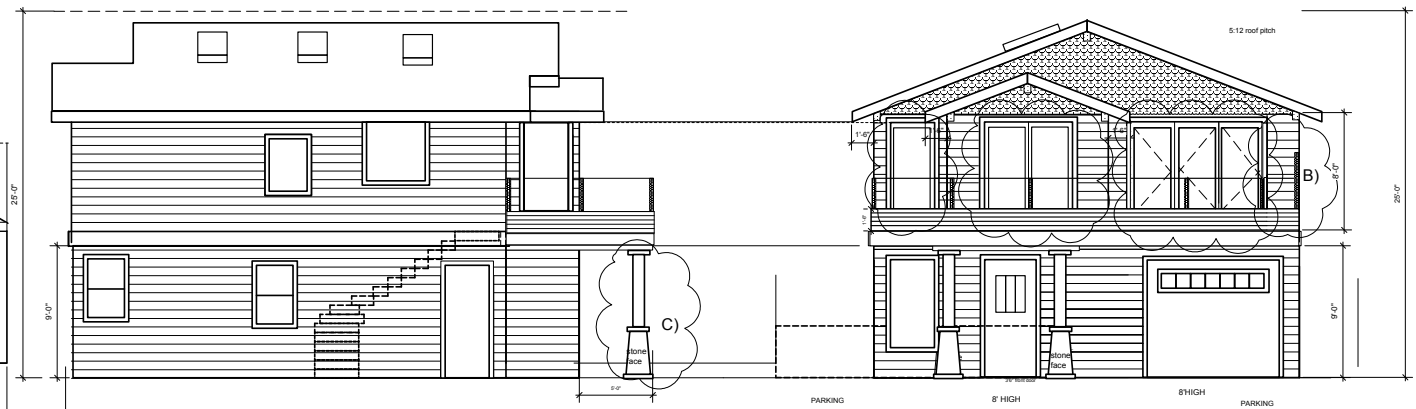
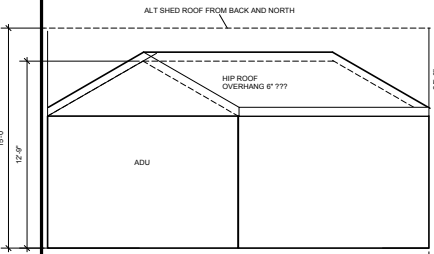




BACK ELEVATION
1/4" = 1' 0"

RIGHT ELEVATION
1/4" = 1' 0"

SIDING TO BE HARDI BOARD 8" WIDE COLOR GREAY GREEN
GABLE ENDS TO BE HARDI BOARD FISHCALLE
TRIM AND FACIA BORDS TO BE OFF WHITE 3 1/2 WIDE
ROOF TO BE CLASS A BRAVA SLATE TILE COLOR GRAY SLATE



LEFT SIDE ELEVATION
1/4" = 1' 0"

FRONT ELEVATION
1/4" = 1' 0"

CHANGES MADE TO BUILDING NOT PART OF CORRECTION LIST:
FRONT DOOR 4" WIDE
ENTRY COLUMNS MOVED OUT 2 FEET TO CREATE COVERED PORCH
18" HIGH SOLID DECK RAIL WITH 1 1/2" HORIZONTAL BOARD WITH CLASS ABOVE NOTOP RAIL
ON EAST AND SOUTH SIDE 2.5' HIGH ON NORTH SIDE AT FRONT AND NEW DECK AT BACK
EXTENDS 2 FEET INTO SIDE YARD SETBACK PER CURRENT REGULATIONS
GARAGE DOOR 9' WIDE TO CLEAR INTERIOR GARAGE SPACE WHICH IS 10 FOOT WIDE.
INTERIOR STAIR TO A WINDER SEE REVISED FLOOR PLAN.

RICHARD L. EMIGH A.I.B.D.
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APPROVED ELEVATIONS

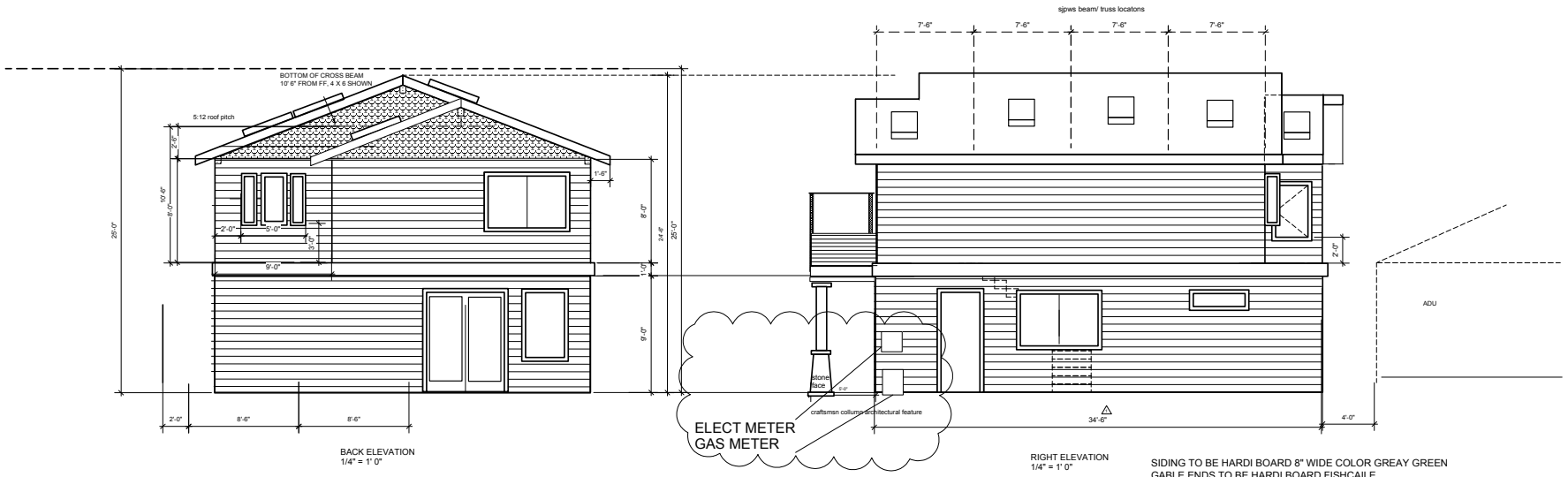
PHONE
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Los Gatos, CA 95030

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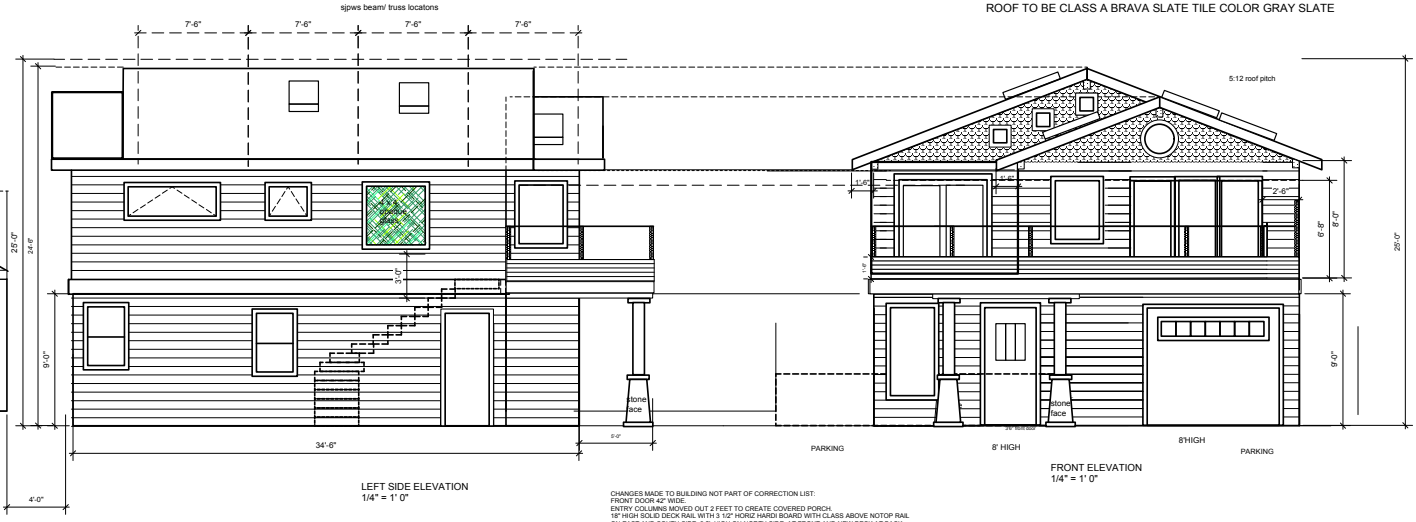
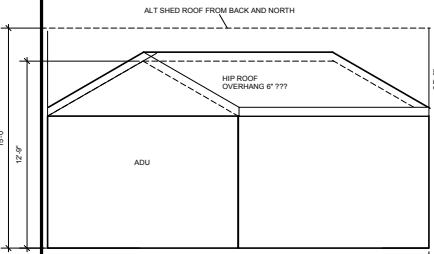
A-4
Sheet 4 of 6 SHEETS



BACK ELEVATION
1/4" = 1' 0"

RIGHT ELEVATION
1/4" = 1' 0"

SIDING TO BE HARDI BOARD 8" WIDE COLOR GREY GREEN
GABLE ENDS TO BE HARDI BOARD FISHCALLE
TRIM AND FACIA BORDS TO BE OFF WHITE 3 1/2 WIDE
ROOF TO BE CLASS A BRAVA SLATE TILE COLOR GRAY SLATE



LEFT SIDE ELEVATION
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PROPOSED ELEVATIONS

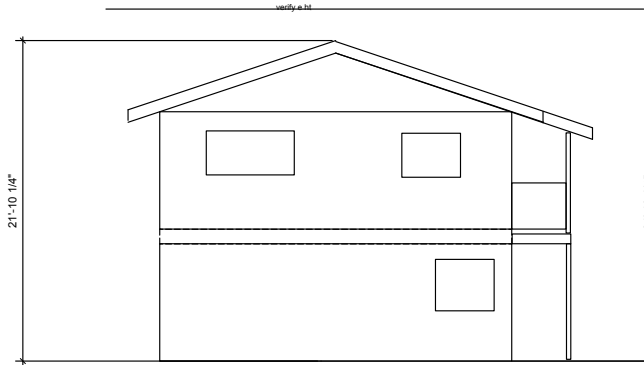
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CA 95010

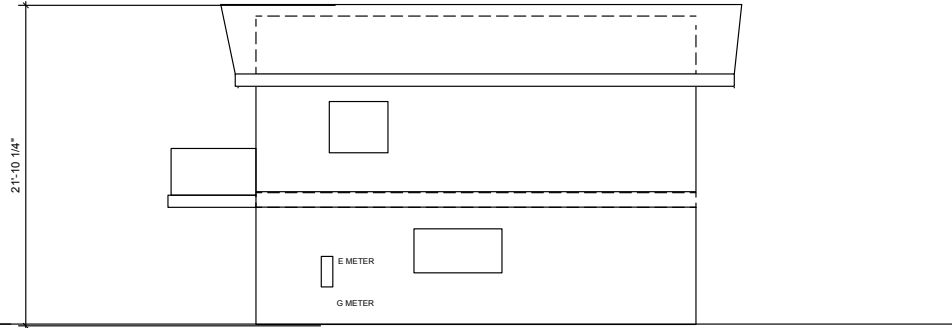
MPN 003-202-008
15-08-2021 (R)
10-28-2021 (R)

A-5

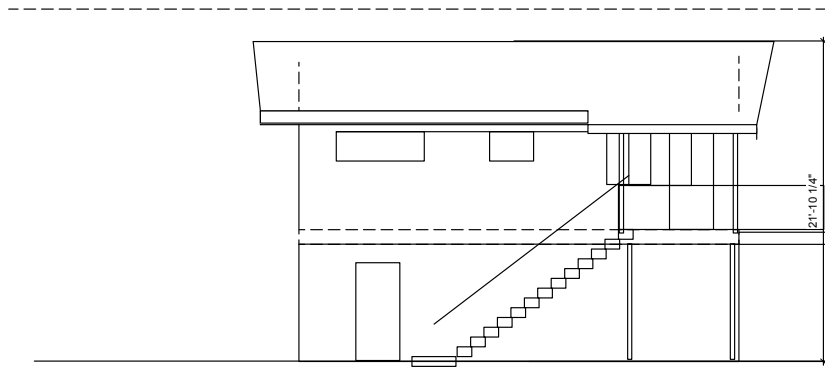
Sheet 5 of 6 SHEETS



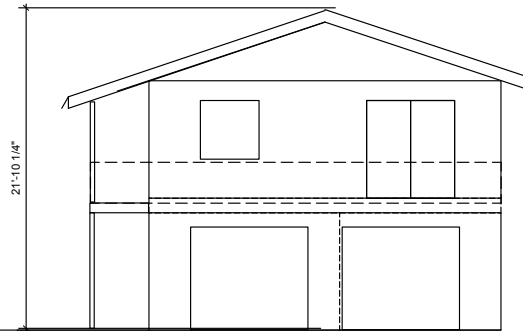
BACK ELEVATION
1/4" = 1' 0"



RIGHT SIDE ELEVATION
1/4" = 1' 0"



LEFT SIDE ELEVATION
1/4" = 1' 0"



FRONT ELEVATION
1/4" = 1' 0"

