

P A S T
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December 14, 2021

Sean Sesanto, Assistant Planner
City of Capitola Planning Department
420 Capitola Ave.
Capitola, CA 95010

Re: 106 Cliff Ave., Capitola, CA – Preliminary Design Review Letter
APN. 036-112-17

Dear Mr. Sesanto:

This letter summarizes the findings of our site visit and provides preliminary recommendations to the subject project's design drawings for conformance with the Secretary of the Interior's Standards for Rehabilitation.

Existing Site Conditions

On December 6, 2021 PAST Consultants, LLC (PAST) visited the subject property, located at 106 Cliff Avenue in Capitola, California, to view the existing conditions of the buildings. The site contains a modified house (circa-1904) constructed in the Queen Anne style and two outbuildings (**Figures 1 – 6**).



Figures 1 and 2. Left image shows the front (west) elevation, as viewed from the street. Right image details the front porch enclosure on the west elevation.

The house has a complex roof plan with a southwest corner tower, a front hipped-roof section and a rear, gable-roofed mass with cornice returns; shed-roofed dormers at the rear of the roof mass; a removed chimney converted to a metal attic vent; fenestration consisting of original upper-floor wood-sash windows with decorative diamond-pattern top sash and replaced aluminum sash windows on the lower floor. Exterior cladding consists of V-groove wood siding finishing the first story, with patterned wood shingles finishing the second story.



Figures 3 and 4. Left image shows the rear (east) elevation, with arrows indicating a rear addition and circa-1960s aluminum sliding glass doors. The upper-story wood sash windows are original. Right image details the north elevation, with modified entrance beneath the shed roof (arrow).

The site contains two outbuildings on the eastern property line (**Figures 5 and 6**).



Figures 5 and 6. Left image shows the circa-1949 wood-clad shed outbuilding at the northwest property corner. Right image details the circa-1933 corrugated metal vehicle shed.

Sanborn Map Analysis

Comparison of the subject property's appearance on the 1905 and 1933 Sanborn maps show changes made to the site (**Figures 7 and 8**). The 1905 map indicates a rear service porch that was removed and replaced by the present rear addition by 1933. The 1933 map shows that the corrugated-metal garage appears on the site by 1933.



Figures 7 and 8. Images of the 1905 (left) and 1933 (right) Sanborn maps, showing the subject property.

Construction Chronology

Based on the Sanborn maps, Assessor records and permits obtained from the City of Capitola Planning Department, the following is the estimated building chronology:

- Circa-1904. Construct original house (Assessor' records and 1905 Sanborn map).
- Circa-1930. Remove rear service porch and construct rear addition (1933 Sanborn map).
- Circa-1933. Construct corrugated metal garage (1933 Sanborn map).
- Circa-1949. Construct wood-framed shed (Assessed in 1949).
- Permit No. 750, 1952. Reroof part of building with composition shingles.
- Permit No. 1707, 1958. Reroof part of building with composition shingles.
- Estimated date, circa-1950s. Install second-floor deck on west elevation.
- Permit No. 4056, 1968. Reroof unspecified areas of building.
- Permit No. 7288, 1974. Demolish two structures at unspecified locations.
- Permit No. 14803, 1993. Remove brick chimney and replace with a metal chimney.

- Permit No. 14865, 1993. Reroof unspecified areas of building.
- Permit No. BP1998-171, 1998. Repair termite damage at second floor deck.
- Estimated date, circa-1990s: Enclose front porch, relocate entrance to north elevation, construct shed roofed entrance porch on north elevation and construct rear wood deck (no permit located for this work).
- Permit No. BP2011-54, 2011. Repair furnace.
- Permit No. BP2012-56, 2012. Replace furnace and ductwork.
- Permit No. BP20160041, 2016. Replace exterior plumbing.

Remaining Character Defining Features

An early image of the house appears below (**Figure 9**).

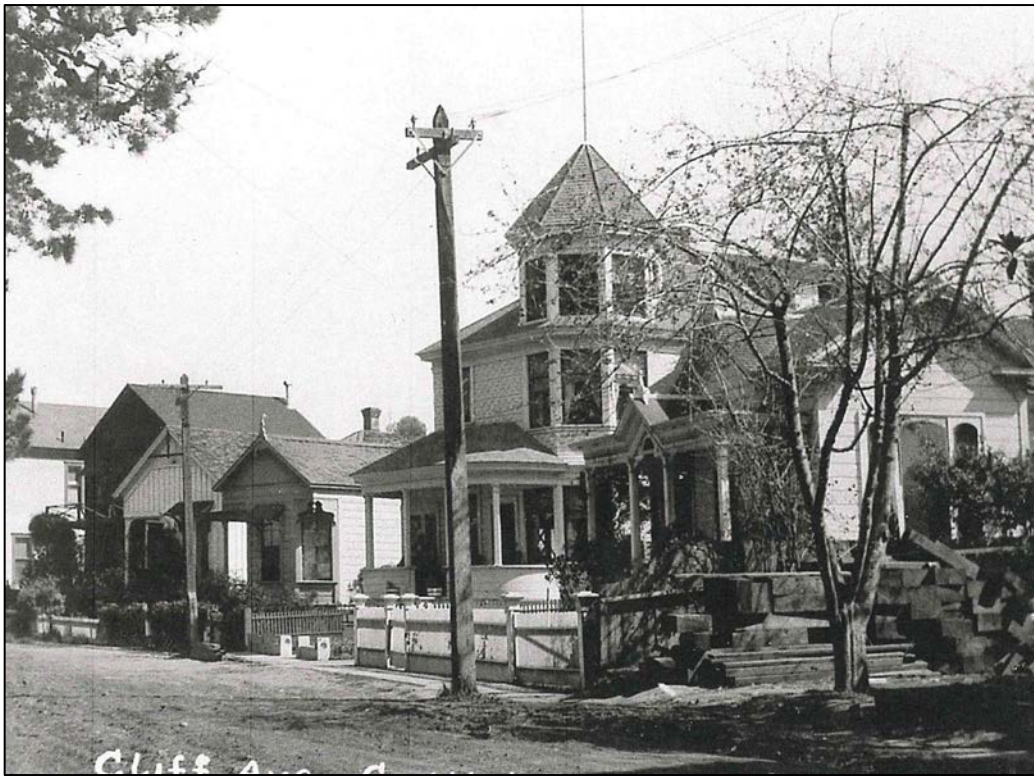


Figure 9. Undated image of the subject property, showing the open porch and entrance on the west elevation.

The undated photograph indicates an open front porch and west-elevation entrance, the patterned upper-story wood shingles and second-floor decorative wood sash windows. The remaining character-defining features are:

- Complex roof massing with west-elevation hipped roof nested with a gable roof and southwest corner tower.
- Decorative wood detailing, including wide fasciae, cornice returns, cornice boards between the first and second stories and wood window surrounds.
- Second-floor wood-sash windows with decorative, diamond-pattern upper sash.
- Variation of exterior cladding, with horizontal V-groove siding finishing the lower story and patterned wood shingles on the upper story.

Character Defining Features: Conclusions

The above list indicates the remaining character defining features that are original to the subject house and that communicate the Queen Anne Victorian style. While the two outbuildings appear to be over 50 years old, both outbuildings were constructed out of the period of significance (circa-1904) of the subject house and in styles and materials that are not in keeping with the Queen Anne-style house. For these reasons, the two outbuildings are not considered to be character-defining features of the site.

While no permit exists that dates the modifications that enclosed the front porch and relocated the original entrance to the house's north elevation, inspection of the materials indicate the porch alterations to be of recent construction, possibly in the 1990s. The porch enclosure clearly is a recent alteration to the subject house and is not character defining.

The Secretary of the Interior's Standards

Two publications provide both the standards and guidelines for analyzing new additions to historic buildings for conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*:

- *The Secretary of the Interior's Standards for the Treatment of Historic Properties*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, 1995, 1998; and
- *Preservation Brief 14, New Exterior Additions to Historic Buildings: Preservation Concerns*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, Technical Preservation Services, August 2010.

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different

set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, 1995, 62.

Preliminary Design Review

Preservation Brief 14, New Exterior Additions to Historic Buildings: Preservation Concerns summarizes the goals of designing additions to buildings that would conform to the *Secretary of the Interior's Standards for Rehabilitation*:

A new addition to a historic building should preserve the building's historic character. To accomplish this and meet the *Secretary of the Interior's Standards for Rehabilitation*, a new addition should:

- Preserve significant historic materials, features and form;
- Be compatible; and
- Be differentiated from the historic building.²

The subject house's remaining character defining features listed above should be highlighted in the proposed rehabilitation design. To maintain these features, the following recommendations to the submitted conceptual alteration drawings by Matson Britton Architects, dated 7/3/2021. The primary *Standards* that apply to this project are *Standards 2, 5 and 9*.

Standards 2 and 5 seek to maintain the historic building's character defining features, which include the "distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property." For the subject Queen Anne-style house, this includes the second-story wood sash windows, particularly on the two primary elevations, the front (west) and south elevation. Installation of the chimney on the south elevation will remove several character-defining windows on the south elevation. Since all upper floor windows on the rear (east) elevation are proposed to be removed for the rear addition, retention of these windows on the visible elevations should be prioritized.

The proposed design appears to indicate removal and replacement of all upper-floor windows. The windows on the two primary elevations: the west and south elevations, including the tower windows should be retained, particularly since the proposed rear addition will remove all of the original upper-floor windows from the rear (east) elevation.

Since the porch enclosure is a recent addition and is not character-defining, returning the front porch to an open configuration is appropriate, but should be based on any existing photographs of the front elevation that show the porch's original configuration, such as shown on **Figure 9**.

Standard 9 states: "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."

² Kay D. Weeks and Anne E. Grimmer, *Preservation Brief 14, New Exterior Additions to Historic Buildings: Preservation Concerns*, 2.

While the proposed two-story addition is large, the portions of the addition visible from the street are set back the distance of the original house and should allow the historic portion of the house to remain prominent. It should be noted that the full-width rear addition does remove all original upper-floor windows from the rear elevation. While the *Rehabilitation Standards* encourage additions to be on rear elevations, it is important to retain the original upper-floor windows on the remaining elevations because of the proposed changes to the rear elevation.

The proposed ADU on the east property line is within scale and massing of the original house and uses different wood cladding to differentiate it from the Queen Anne-style house. Since the existing outbuildings are not character defining, the ADU's construction appears to be appropriate for the site.

The following general recommendations refer to the proposed design:

1. Consider relocating the proposed south elevation fireplace chimney because it removes two character-defining windows from the south elevation.
2. Early historic photographs indicate that the tower was finished with wood shakes. A standing seam metal roof is not appropriate for the tower, based on the early photograph.
3. The rear addition should be sheathed in wood siding that differentiates it from the wood siding of the original house.
4. Consult early historic photographs to design an open front porch that does not create a conjectural design that is out of character with the Queen Anne style.

Please contact me with any questions regarding this preliminary review letter.

Sincerely,



Seth A. Bergstein
Principal