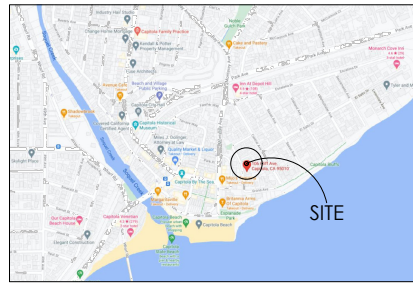


&	AND	H.B.	HOSE BIB
L A	ANGLE	HDR.	HEADER
@	AT	HDWR.	HARDWARE
	DEGREE	HORIZ.	HORIZONTAL
A.B.	ANCHOR BOLT	HT., H.	HEIGHT
(A)	ABOVE	I.D.	INSIDE DIAMETER
A.C.J.	AMERICAN CONCRETE INSTITUTE	IN.	INCH(ES)
ADJ.	ADJACENT	INSUL.	INSULATION
A.F.F.	ABOVE FINISH FLOOR	INT.	INTERIOR
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	JT.	JOINT
ALT.	ALTERNATE	K.P.	KING POST
ALLUM.	ALUMINUM	L	LENGTH
APPROX.	APPROXIMATELY	LN.	LINEAR
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	M.B.	MACHINE BOLT
(B)	BELOW	M.E.M.B.	MEMBRANE
BD.	BOARD	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
BLKG.	BLOCKING	MISC.	MISCELLANEOUS
BM.	BEAM	MTL.	METAL
B.N.	BOUNDARY NAILING	MW.	MICROWAVE
B.O.	BOTTOM OF BOTTOM	N.	NORTH
BOTT.	BOTTLE	(N)	NEW
BTWN.	BETWEEN	N.T.S.	NOT TO SCALE
CAB.	CABINET	O	OVER
C.B.	CEILING BEAM	O.C.	ON CENTER
C.J.	CEILING JOIST	O.D.	OUTSIDE DIAMETER
CLG.	CEILING	O.H.	OPPOSITE HAND
CLR.	CLEAR	OV.	OVEN
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	PL.	PLATE
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
CTR.	CENTER	PKG.	PARKING
CL	CENTERLINE	P.S.F.	POUNDS PER SQUARE FOOT
Db	BAR DIAMETER	P.S.I.	POUNDS PER SQUARE INCH
DBL.	DOUBLE	QTY.	QUANTITY
DEG.	DEGREE	RAD.	RADIUS
DEMOL.	DEMOLISH	R.B.	ROOF BEAM
DET., DTL.	DETAIL	RCP.	REFLECTED CEILING PLAN
D.W.	DISHWASHER	RE:	REFERENCE
DWG.	DRAWING	REF.	REFRIGERATOR
DWN.,	DOWN	REINF.	REINFORCED
DN.		REQ'D.	REQUIRED
(E)	EXISTING	RM.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
EN.	EDGE NAILING	R.R.	ROOF RAFTER
EL.	ELEVATION	SCHED.	SCHEDULE
ELEV.		SQ. FT.	SQUARE FOOT
ELEV.	ELEVATOR	SHTG.	SHEATHING
ENG.	ENGINEER	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EXT.	EXTERIOR	SL.	SLOPED
E.W.	EACH WAY	SPKL.	SPRINKLER
F.B.	FLOOR BEAM	SQ.	SQUARE
F.F.	FINISHED FLOOR	STAGG.	STAGGER
FIN.	FINISHED	STD.	STANDARD
F.J.	FLOOR JOIST	STL.	STEEL
FL.	FLUSH	STR.,	STRUCTURAL
FLR.	FLOOR	STRUCT.	
F.N.	FIELD NAILING	T&B	TOP & BOTTOM
FND.	FOUNDATION	T&G	TONGUE & GROOVE
F.O.	FACE OF	THK.	THICK
FP.	FIREPLACE	T.O.	TOP OF
F.R.	FIRE RATED	T.P.	TOILET PAPER
FT.	FOOT OR FEET	TYP.	TYPICAL
FIG.	FOOTING	U.B.C.	UNIFORM BUILDING CODE
FZR.	FREEZER	VERT.	VERTICAL
GA.	GAUGE	W.	WIDTH
GALV.	GALVANIZED	WD.	WOOD
G.B.	GRADE BEAM	WH.	WATER HEATER
GLB.	GLU-LAM BEAM		
GYP. BD.,	GYP-SUM WALL BOARD		
G.W.B.			

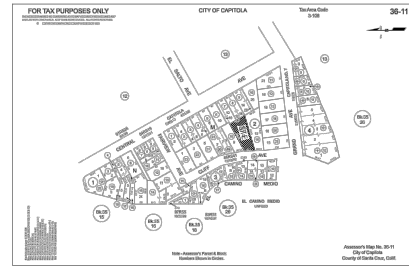
ABBREVIATIONS

ABBEEY RESIDENCE

REMODEL/ ADDITION & ADU
106 CLIFF AVENUE
CAPITOLA, CA 95010
APN: 036-112-17



VICINITY MAP



PARCEL MAP



1. THESE PLANS SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE AND 2019 CALIFORNIA FIRE CODE AND DISTRICT AMENDMENTS.
2. OCCUPANCY R-3 & U, TYPE V-B, NOT SPRINKLED. APPROVED AUTOMATIC SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.
3. ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
4. ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED.
5. ALL CHIMNEYS SHALL BE APPROVED WITH AN APPROVED SPARK ARRESTOR ON THE TOP OF THE CHIMNEY. WIRE MESH NOT TO EXCEED 1/2" IS ACCEPTABLE.
6. THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST REMAIN ON-SITE DURING INSPECTIONS.
7. PUBLIC FIRE HYDRANT REQUIRED WITHIN 400 FT. OF ANY PORTION OF THE BUILDING WITH A MINIMUM 1500 GALLON FIRE FLOW. AVAILABLE FIRE HYDRANT APPROXIMATELY 400' FROM BUILDING.

FIRE PROTECTION NOTES

ARCHITECTS: MATSON BRITTON ARCHITECTS
728 N. BRANCIFFORTE
SANTA CRUZ, CA 95062
PHONE: 831-425-0544

CIVIL ENGINEERING: R.I. ENGINEERING, INC.
303 POTRERO STREET, STE. 42-202
SANTA CRUZ, CA 95060
PHONE: 831-425-3901

SURVEYING: HANNAGAN LAND SURVEYING, INC.
305-C SOQUEL AVE.
SANTA CRUZ, CA 95062
PHONE: 831-469-3428

GEOTECHNICAL ENGINEER: PACIFIC CREST ENGINEERING, INC.
444 AIRPORT BLVD., SUITE 106
WATSONVILLE, CA 95076
PHONE: 831-722-9446

CONSULTANTS

OWNER: SAM ABBEY
106 CLIFF AVENUE
CAPITOLA, CA 95010
036-112-17

A. P. N.:
ZONING:
OCCUPANCY GROUP:
CONSTRUCTION TYPE: V-B (NOT SPRINKLERED)

PROJECT DESCRIPTION:
REMODEL / ADDITION OF AN EXISTING SINGLE FAMILY DWELLING RESULTING IN A 4 BEDROOMS, 3.5 BATHS. ALSO PROPOSED IS A 674 SQFT ADU WITH AN ATTACHED 473 SQFT. GARAGE.

PROJECT INFORMATION

ARCHITECTURAL DRAWINGS	CIVIL DRAWINGS
P1 TITLE SHEET	C-1 GRADING & DRAINAGE PLAN
P2 SITE PLAN	C-2 DETAILS
P3 EXISTING FLOOR PLANS	C-3 STORMWATER POLLUTION CONTROL PLAN
P4 EXISTING ATTIC FLOOR PLAN & ROOF PLAN	
P5 PROPOSED FIRST FLOOR PLAN	SURVEY PLAN
P6 PROPOSED SECOND FLOOR PLAN	SU-1 SURVEY
P7 PROPOSED ATTIC FLOOR PLAN, ROOF PLAN, & SECTIONS	
P8 PROPOSED ADU FLOOR PLAN	
P9 EXISTING ELEVATIONS	
P10 PROPOSED ELEVATIONS	
P11 PROPOSED ELEVATIONS	
P12 PROPOSED ADU ELEVATIONS	

SHEET INDEX

TOTAL LOT SIZE:	7,095 SQFT.
EXISTING LOT COVERAGE	
EXISTING FIRST FLOOR:	1,132 SQFT.
EXISTING GARAGE:	326 SQFT.
EXISTING SHED:	242 SQFT.
TOTAL SQFT.:	1,700 SQFT.
TOTAL LOT COVERAGE	
1,700 SQFT. / 7,095 SQFT. =	24%
PROPOSED LOT COVERAGE	
EXISTING FIRST FLOOR:	1,132 SQFT.
NEW FIRST FLOOR:	452 SQFT.
NEW GARAGE:	1,921 SQFT.
TOTAL SQFT.:	
TOTAL LOT COVERAGE	
1,921 SQFT. / 7,095 SQFT. =	27%
EXISTING RESIDENCE F.A.R.:	
EXISTING FIRST FLOOR CONDITIONED AREA:	1,132 SQFT.
EXISTING SECOND FLOOR CONDITIONED AREA:	792 SQFT.
EXISTING ATTIC:	263 SQFT.
TOTAL SQFT. :	2,187 SQFT.
EXISTING F.A.R.:	
2,187 SQFT. / 7,095 SQFT. =	30.8%
PROPOSED RESIDENCE F.A.R.:	
EXISTING FIRST FLOOR CONDITIONED AREA:	1,132 SQFT.
NEW FIRST FLOOR CONDITIONED AREA:	337 SQFT.
EXISTING SECOND FLOOR CONDITIONED AREA:	792 SQFT.
NEW SECOND FLOOR CONDITIONED AREA:	379 SQFT.
EXISTING ATTIC:	263 SQFT.
NEW GARAGE:	492 SQFT.
TOTAL SQFT. :	3,355 SQFT.
PROPOSED F.A.R.:	
3,355 SQFT. / 7,095 SQFT. =	47.2%
PROPOSED ADU:	671 SQFT.
PROPOSED DECKS:	
FIRST FLOOR DECKS REMODELED (COVERED):	121 SQFT.
FIRST FLOOR DECKS NEW (UNCOVERED):	271 SQFT.
FIRST FLOOR DECKS NEW(COVERED):	180 SQFT.
SECOND FLOOR DECKS REMODELED(UNCOVERED):	219 SQFT.
SECOND FLOOR DECKS NEW(UNCOVERED):	253 SQFT.
PARKING SPACES PROVIDED:	2 COVERED, 2 UNCOVERED

PROJECT CALCULATIONS



FOR A BRANCIFFORTE
TANIA BRITTON
C A P I T O L A
E B I L I T Y S E R V I C E S

NOTICE
THIS DOCUMENT IS CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF MATSON ARCHITECTS.

REVISIONS
REV#1 02/14/22
REV#2 03/10/22

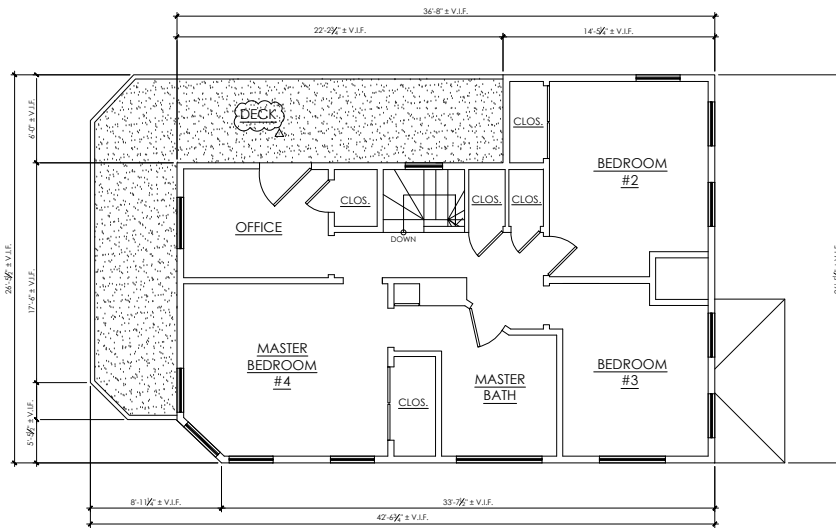
ABBEEY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CAPITOLA, CA 95010
APN: 036-112-17

TITLE SHEET



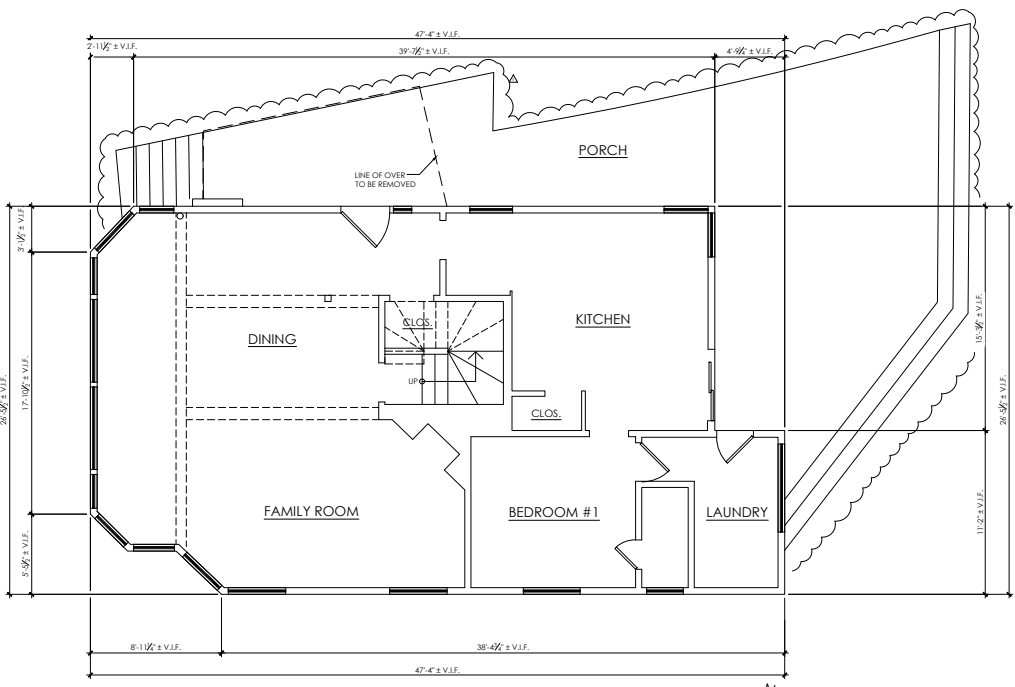
D A T E	07 / 30 / 21
D R A W N	LC
C H E C K E D	LC
A P P R O V E D	ABBEEY
S H E E T	P1

P1



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOR A BRAND NEW HOME
TANIA CERREZ
C.A. 95082
P. 951.455.0544

NOTICE
THIS DOCUMENT IS CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, REPRODUCED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED.

REVISIONS

REV#1	02/14/22
-------	----------

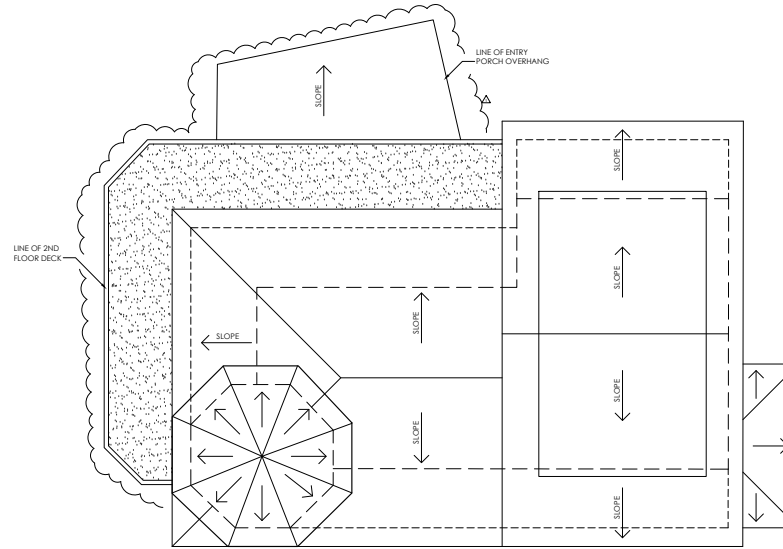
ABBAY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CARTERSVILLE, GA 30130
APN: 036-112-17

EXISTING FLOOR PLANS



D A T E	07 / 30 / 21
D R A W N	LC
J O B	ABBAY
S H E E T	

P3



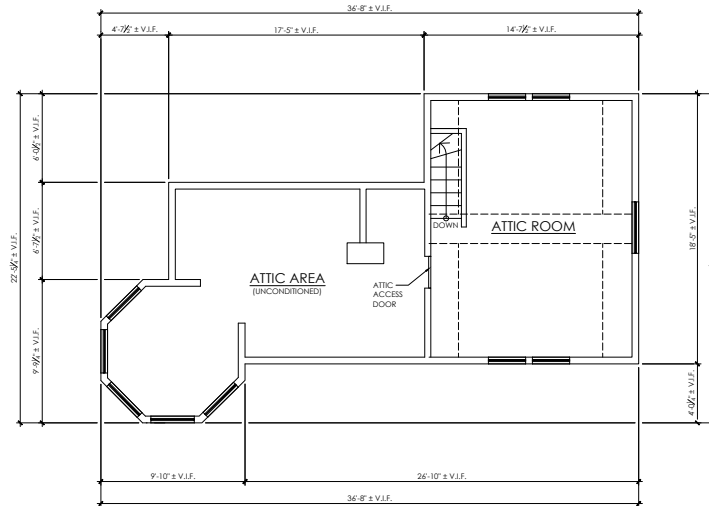
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN LEGEND

	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(E) WINDOW TO BE REPLACED/REMAIN, AS NOTED
	(E) WINDOW TO BE REMOVED
	(E) DOOR TO REMAIN
	(E) DOOR TO BE REMOVED



EXISTING ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOR ALL BRANDS/LOGOS
TANIA CERF
C.A. P. 0002
P. 011-45-0544

NOTICE

THIS DOCUMENT IS CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY ANY PARTY USING THIS DOCUMENT IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS

REV#1 02/14/22

ABBEY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CARTERSVILLE, GA 30103
APN: 0366-12-17

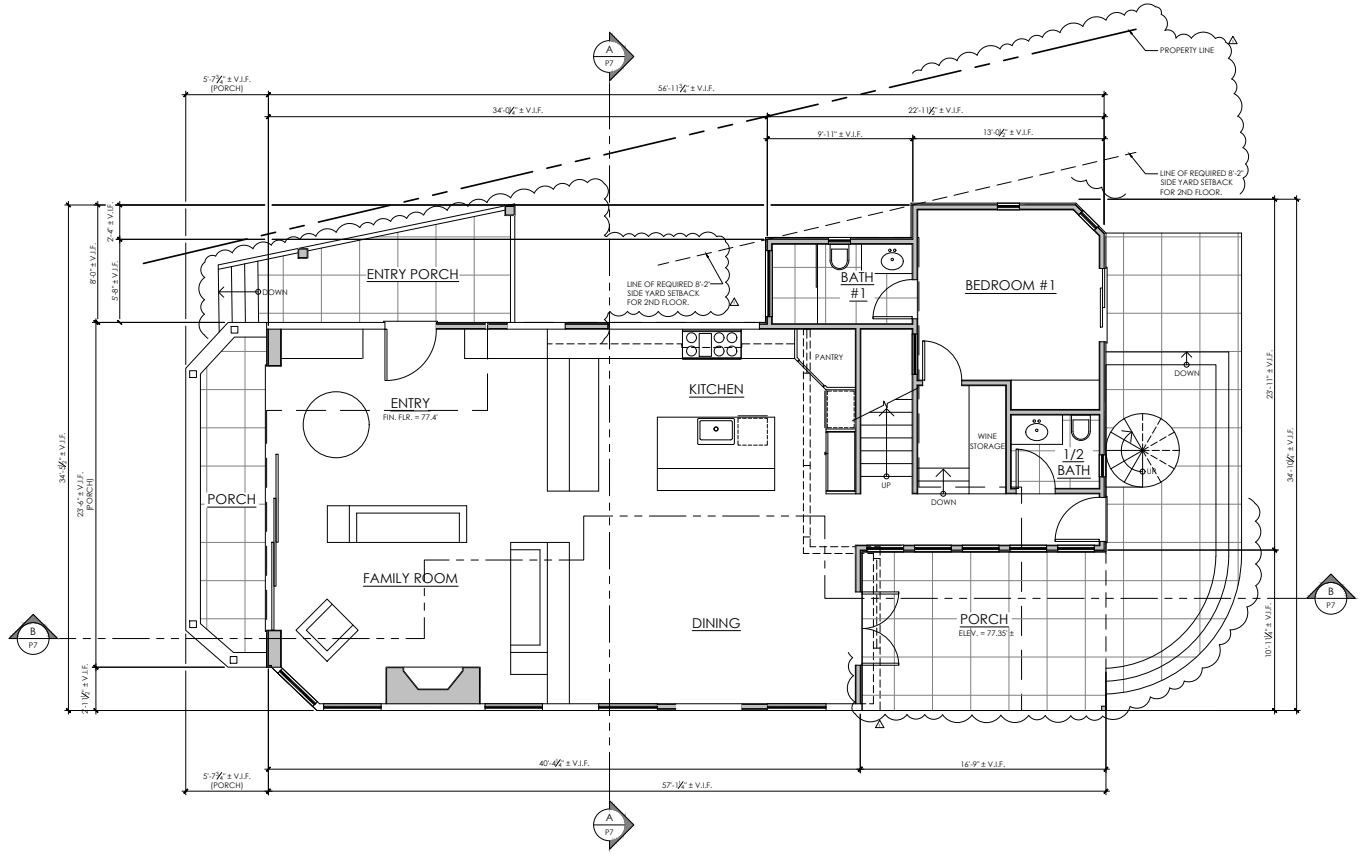
**EXISTING ATTIC FLOOR
PLANS & ROOF PLAN**



D A T E
07 / 30 / 21
D R A W N
LC
J O B
ABBEY
S H E E T

P4

FLOOR PLAN LEGEND	
	(E) WALL TO REMAIN
	(N) WALL
	(N) HALF WALL
	(N) WINDOW
	(N) DOOR



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



FOR A BRAND NEW
TANIA, CERRITOS
C.A. 90682
P. 310-455-0544

NOTICE
THIS DOCUMENT IS CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY SUCH DISCLOSURE SHALL BE AT THE DISCRETION OF THE ARCHITECT.

REVISIONS
REV#1: 02/14/22
REV#2: 03/10/22

ABBAY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CANTONIA, CA 95010
APN: 036-112-17

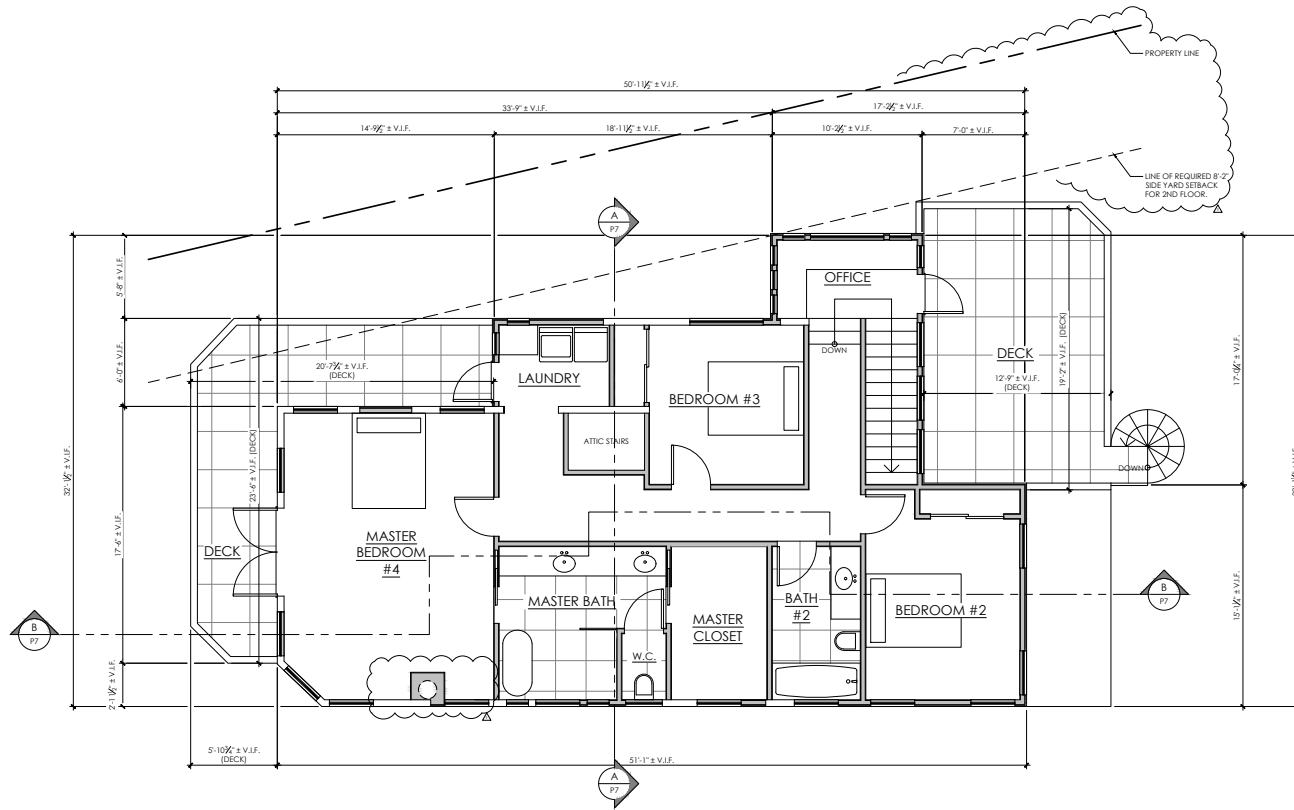
PROPOSED FIRST FLOOR PLAN



D A T E
07 / 30 / 21
D R A W N
LC
J O B
ABBAY
S H E E T

P5

FLOOR PLAN LEGEND	
	(E) WALL TO REMAIN
	(N) WALL
	(N) HALF WALL
	(N) WINDOW
	(N) DOOR



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOR A BRAND NEW
TANIA, CERRITOS
C.A. 90602
P. 310-455-0544

NOTICE
THIS DOCUMENT IS CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF MATSON ARCHITECTURE, INC.

REVISIONS
REV #1 02/14/22
REV #2 03/10/22

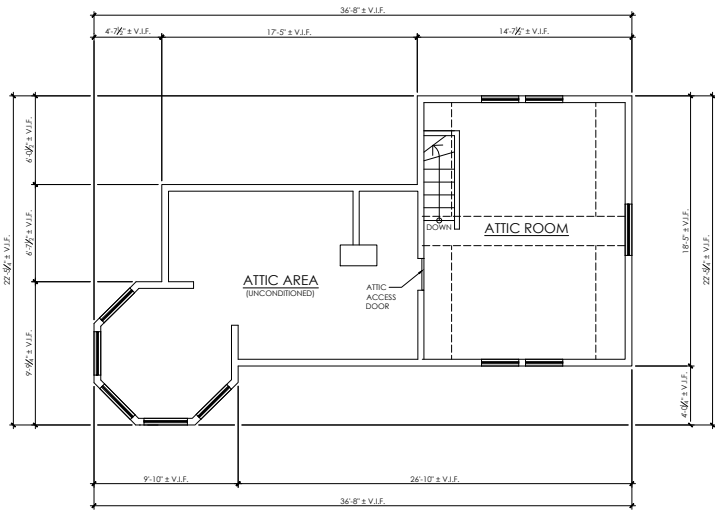
ABBAY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CANTONIA, CA 95010
APN: 036-112-17

PROPOSED SECOND FLOOR PLAN

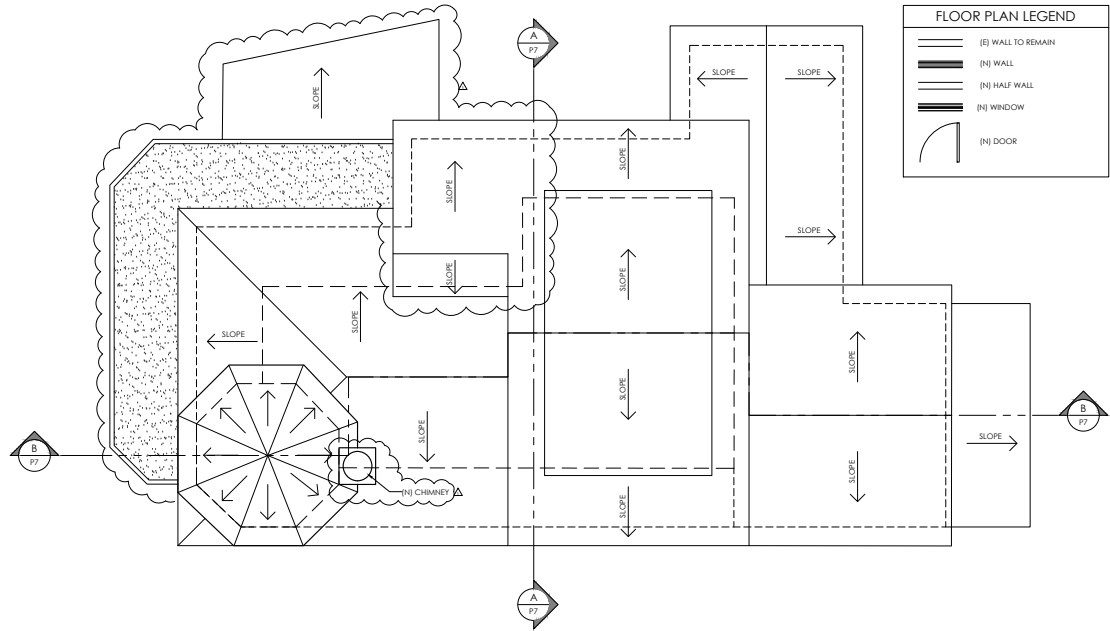


D	A	T	E	
07	/	30	/	21
D	R	A	W	N
LC				
J	O	B		
ABBAY				
S	H	E	E	T

P6



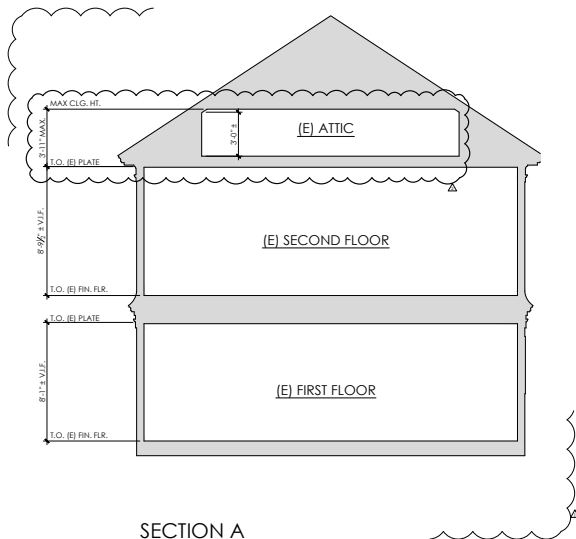
PROPOSED ATTIC FLOOR PLAN



PROPOSED ROOF PLAN

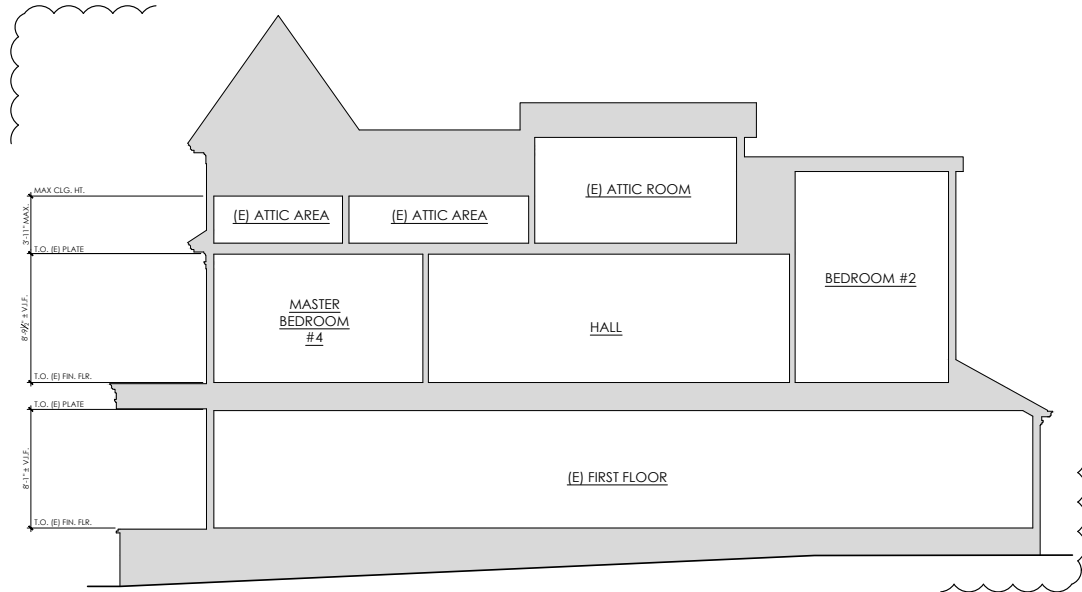
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND	
	(E) WALL TO REMAIN
	(N) WALL
	(N) HALF WALL
	(N) WINDOW
	(N) DOOR



SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"



FOR A BRAND IDENTITY
TANIA CERF
C.A. 91682
EST. 1955-2014

NOTICE
THIS DOCUMENT IS CONFIDENTIAL
AND NOT BE LOANED, REPRODUCED, COPIED,
REPRODUCED, OR OTHERWISE DISCLOSED
WITHOUT THE WRITTEN CONSENT OF
MATSON ARCHITECTURAL GROUP, INC.

REVISIONS
REV#1 02/14/22
REV#2 03/10/22

ABBAY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CARTERSVILLE, GA 30109
APN: 036-112-17

PROPOSED ATTIC FLOOR
PLAN, ROOF PLAN &
SECTIONS



DATE
07 / 30 / 21
DRAWN
LC
JOB
ABBAY
SHEET

P7



7700 W. BRANDY FOREST
SAN JUAN, CALIFORNIA 95032
C.A. 95032
P. 531.455.0544
F. 531.455.0544

NOTICE
THIS DOCUMENT IS CONFIDENTIAL AND PROPRIETARY TO MATSON ARCHITECTURE. IT IS NOT TO BE REPRODUCED, COPIED, OR DISCLOSED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MATSON ARCHITECTURE. ANY UNAUTHORIZED USE OR DISCLOSURE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

REVISIONS
REV#1 02/14/22

ABBAY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CAMPBELL, CA 95010
APN: 0361-12-17

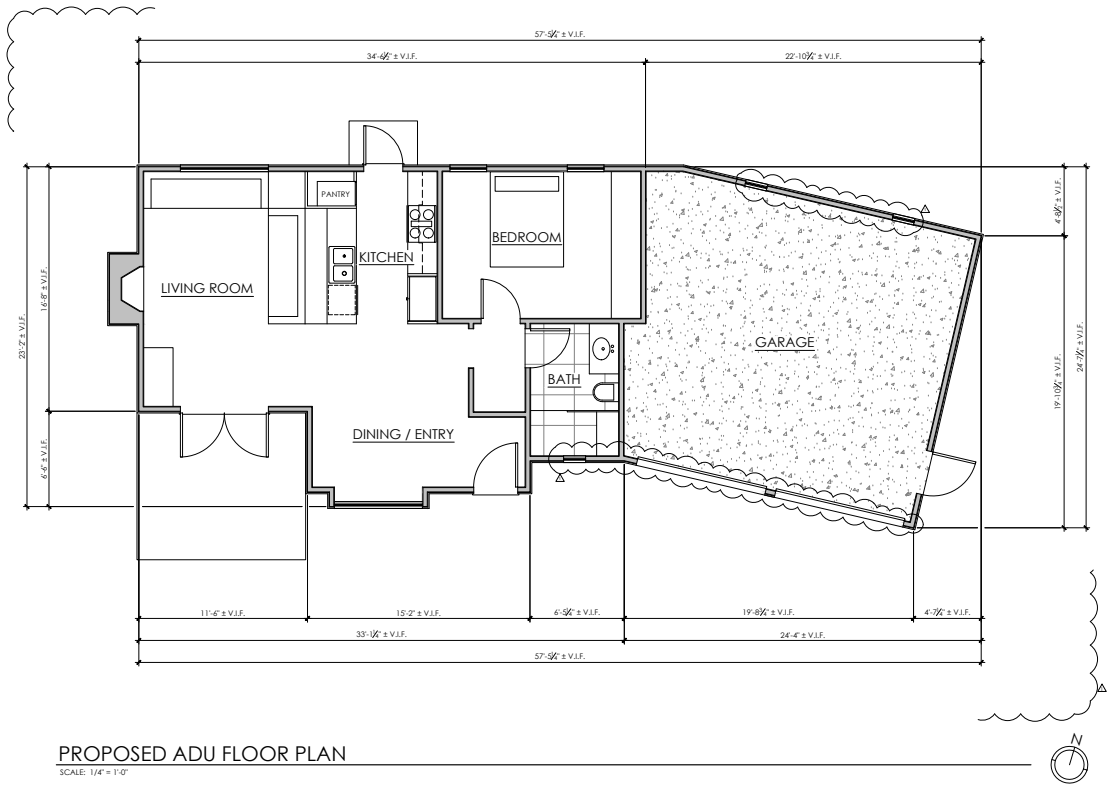
**PROPOSED ADU
FLOOR PLAN**



D A T E
07 / 30 / 21
D R A W N
LC
J O B
ABBAY
S H E E T

P8

FLOOR PLAN LEGEND	
	(E) WALL TO REMAIN
	(N) WALL
	(N) HALF WALL
	(N) WINDOW
	(N) DOOR





FOR A BRAND/LOGO
TANIA CERF
C.A. 95082
P31-455-0544

NOTICE
THIS DOCUMENT IS CONFIDENTIAL
AND NOT BE LOANED, REPRODUCED, COPIED,
OR IN ANY MANNER DISCLOSED TO ANY OTHER
PERSON WITHOUT THE WRITTEN CONSENT OF
MASON ARCHITECTURE. ANY SUCH DISCLOSURE
WILL BE SUBJECT TO LEGAL ACTION.

REVISIONS
REV#1 02/14/22

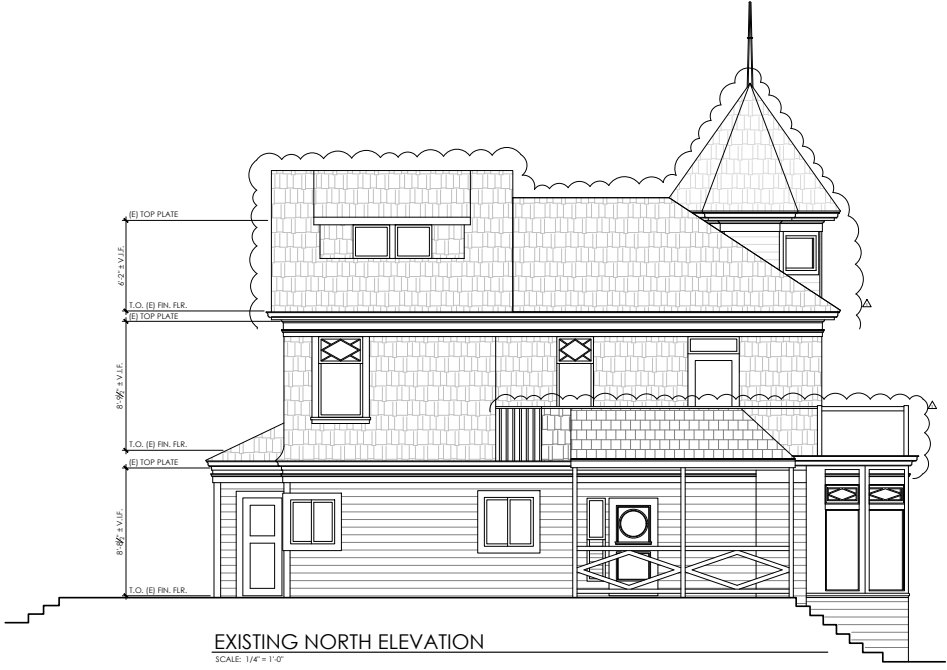
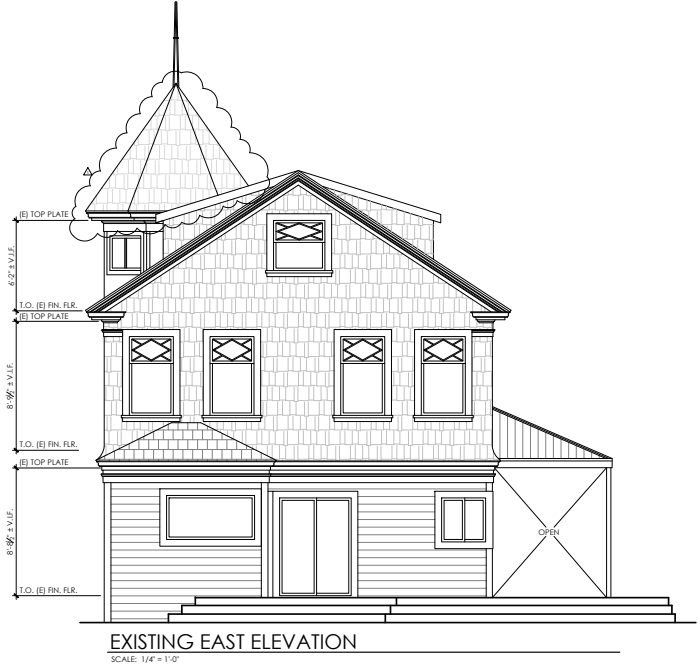
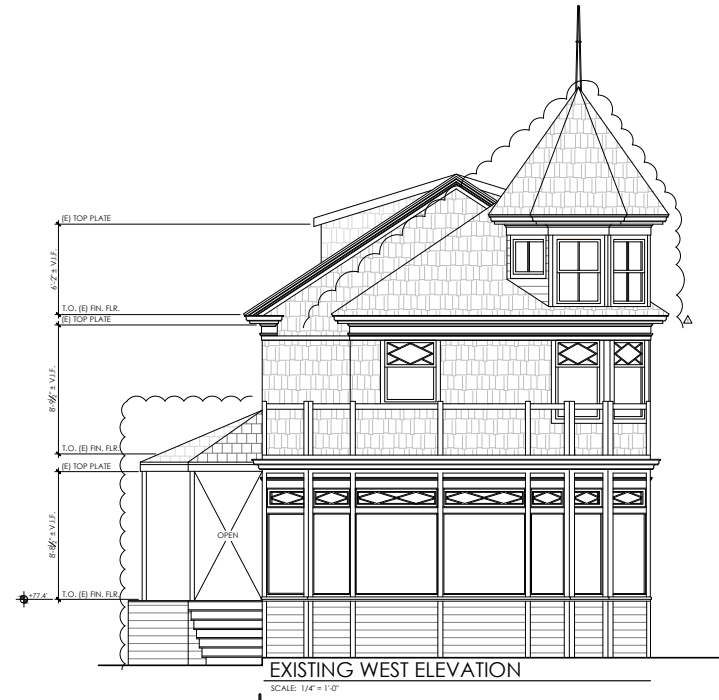
ABBAY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CARTOLA, CA 95010
APN: 036-112-17

EXISTING ELEVATIONS



DATE	07/30/21
DRAWN	LC
CHECKED	ABBAY
SHEET	

P9



ABBAY Cove #100118.dwg

3/10/2022 4:08 PM

AutoCAD



FOR ALL MATERIALS
TANIA CRYST
C.A. # 10002
E.S.I. # 15-05-0344

NOTICE

THIS DOCUMENT IS CONFIDENTIAL. NO REPRODUCTION OR DISSEMINATION OF THIS DOCUMENT IS PERMITTED WITHOUT THE WRITTEN CONSENT OF MATSON ARCHITECTURE. ANY REPRODUCTION OR DISSEMINATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF MATSON ARCHITECTURE IS STRICTLY PROHIBITED.

REVISIONS

REV #	DATE	DESCRIPTION
1	02/14/22	ISSUE FOR PERMITS
2	03/10/22	REVISED PER COMMENTS

ABBEY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CANTONIA, CA 95010
APN: 036-112-17

PROPOSED ELEVATIONS

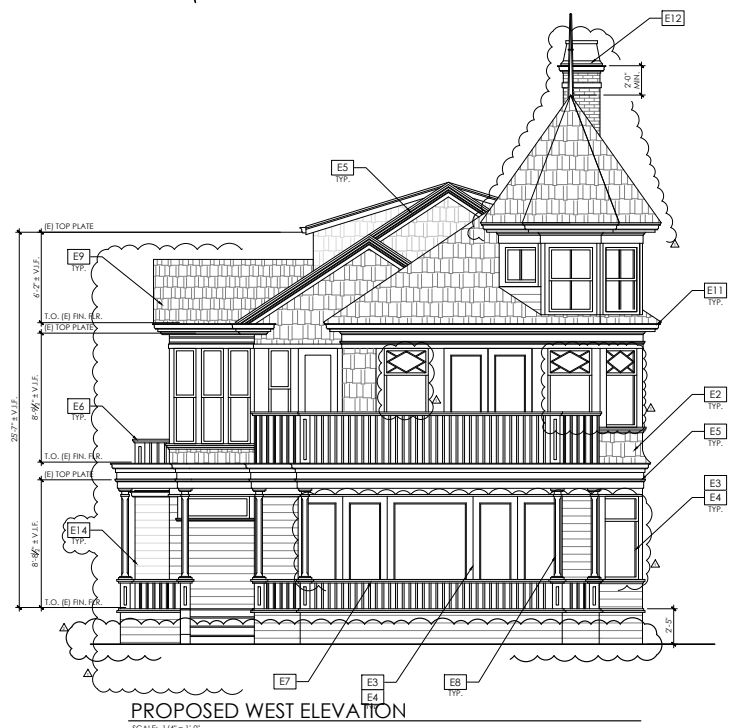


DATE	07 / 30 / 21
DRAWN	LC
JOBBY	ABBEY
SHEET	

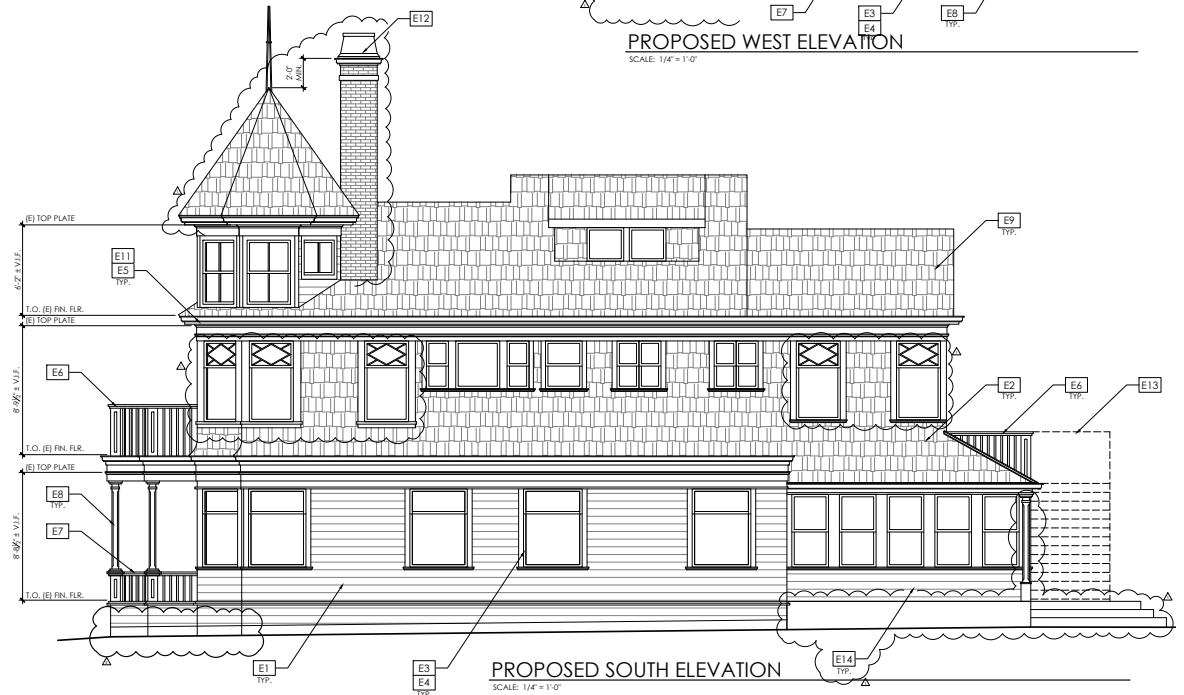
P10

ELEVATION KEYNOTES	
E1	WOOD SIDING - MATCH EXISTING
E2	SHAKE SIDING - MATCH EXISTING
E3	WINDOWS/ DOORS - MATCH EXISTING
E4	WINDOWS/ DOORS TRIM - MATCH EXISTING
E5	WOOD DETAIL - MATCH EXISTING
E6	4" TALL WOOD RAILING
E7	2" TALL WOOD RAILING
E8	WOOD POSE
E9	COMPOSITION ROOFING
E10	NOT USED
E11	OGEE GUTTER - MATCH EXISTING
E12	CHIMNEY WITH SPARK ARRESTOR
E13	MASSING OF SPIRAL STAIR-CASE
E14	WOOD SIDING - MATCH EXISTING LOOK. (IN SIDING SHALL BE 1" WIDER THAN (E) SIDING)
E15	SHAKE SIDING - MATCH EXISTING LOOK. (IN SIDING SHALL BE 1" WIDER THAN (E) SIDING)

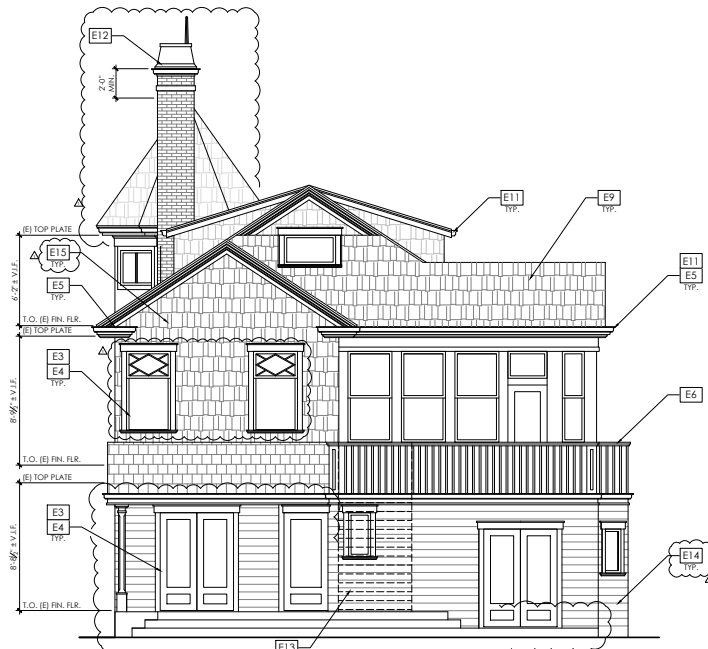
ELEVATION NOTES	
-	ALL REPLACEMENT SIDING SHALL EXACTLY MATCH EXISTING SIDING.
-	ALL NEW SIDING SHALL MATCH EXISTING SIDING IN APPEARANCE, BUT SHALL BE 1" WIDER THAN EXISTING SIDING.
-	WINDOWS AND SIDING THAT ARE REMOVED DUE TO OVERLAPPING ADDITIONS SHOULD BE REUSED WHERE POSSIBLE ON THE ORIGINAL STRUCTURE.



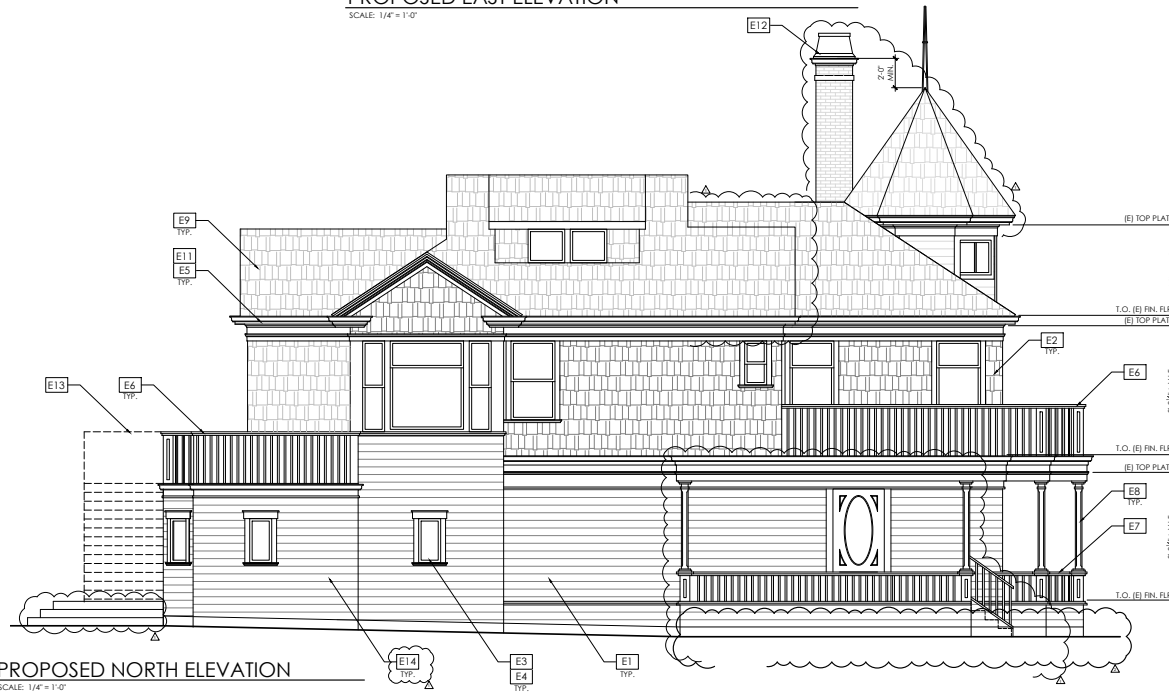
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- E1 WOOD SIDING - MATCH EXISTING
- E2 SHAKE SIDING - MATCH EXISTING
- E3 WINDOWS/ DOORS - MATCH EXISTING
- E4 WINDOWS/ DOORS TRIM - MATCH EXISTING
- E5 WOOD DETAIL - MATCH EXISTING
- E6 4" TALL WOOD RAILING
- E7 2" TALL WOOD RAILING
- E8 WOOD POST
- E9 COMPOSITION ROOFING
- E10 NOT USED
- E11 OGEE GUTTER - MATCH EXISTING
- E12 CHIMNEY WITH SPARK ARRESTOR
- E13 MASSING OF SPIRAL STAIRCASE
- E14 WOOD SIDING - MATCH EXISTING LOOK, (IN SIDING SHALL BE 1" WIDER THAN (E) SIDING)
- E15 SHAKE SIDING - MATCH EXISTING LOOK, (IN SIDING SHALL BE 1" WIDER THAN (E) SIDING)

ELEVATION NOTES

- ALL REPLACEMENT SIDING SHALL EXACTLY MATCH EXISTING SIDING.
- ALL NEW SIDING SHALL MATCH EXISTING SIDING IN APPEARANCE, BUT SHALL BE 1" WIDER THAN EXISTING SIDING.
- WINDOWS AND SIDING THAT ARE REMOVED DUE TO OVERLAPPING ADDITIONS SHOULD BE REUSED WHERE POSSIBLE ON THE ORIGINAL STRUCTURE.



FOR ALL MATERIALS
TANIA CERRE
C.A. P. 08.02
E.P. 11.05.05.04

NOTICE
THIS DOCUMENT IS CONFIDENTIAL. INFORMATION CONTAINED HEREIN IS THE PROPERTY OF MATSON AND SHALL BE KEPT IN STRICTLY CONFIDENTIAL. NO REPRODUCTION OR DISSEMINATION OF THIS DOCUMENT IS PERMITTED WITHOUT THE WRITTEN CONSENT OF MATSON AND ASSOCIATES.

REVISIONS
REV# 02/14/22
REV# 03/10/22

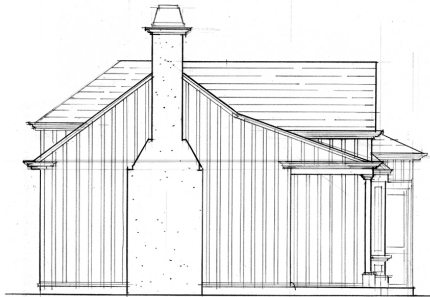
ABBEY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CAMPBELL, CA 95010
APN: 036-112-17

PROPOSED ELEVATIONS



DATE	07/30/21
DRAWN	LC
JOBBY	ABBEY
SHEET	P11

P11



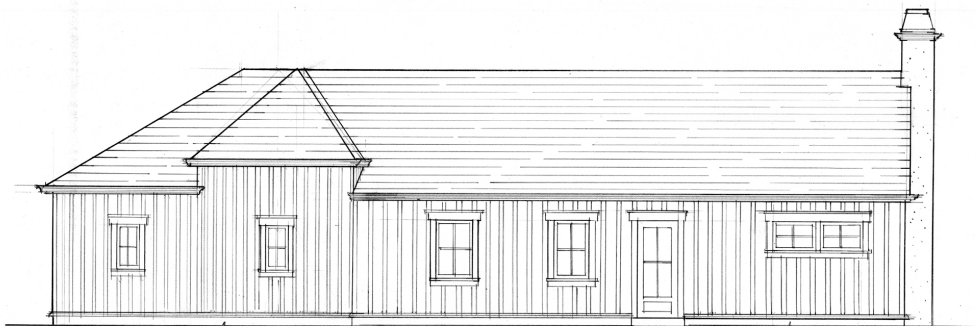
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2



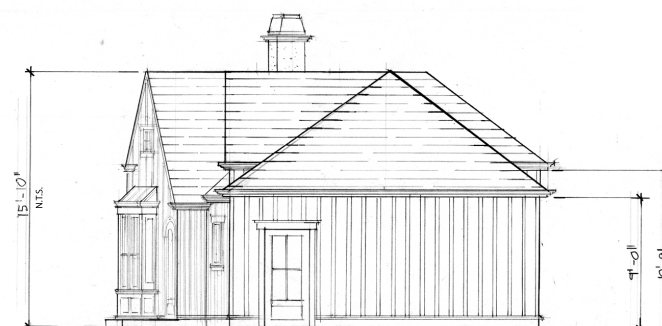
WEST ELEVATION
SCALE: 1/4" = 1'-0"

1



EAST ELEVATION
SCALE: 1/4" = 1'-0"

4



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

3

MATSON

725 N. MARSH STREET
SANTA CRUZ
CA 95062
831-255-0344

NOTICE
THIS DOCUMENT IS CONFIDENTIAL.
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MATSON ARCHITECTURE.

REVISIONS

NO.	DATE	DESCRIPTION

ABBEY RESIDENCE
REMODEL, ADDITION & ADU
106 CLIFF AVENUE
CAPTOLA, CA 95010
APN: 034-112-17

ADU ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE
07/30/21

DRAWN
J O B

ABBEY
SHEET

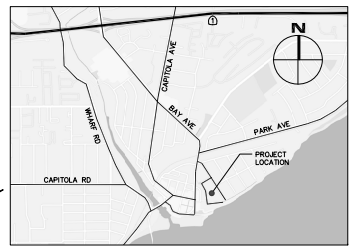
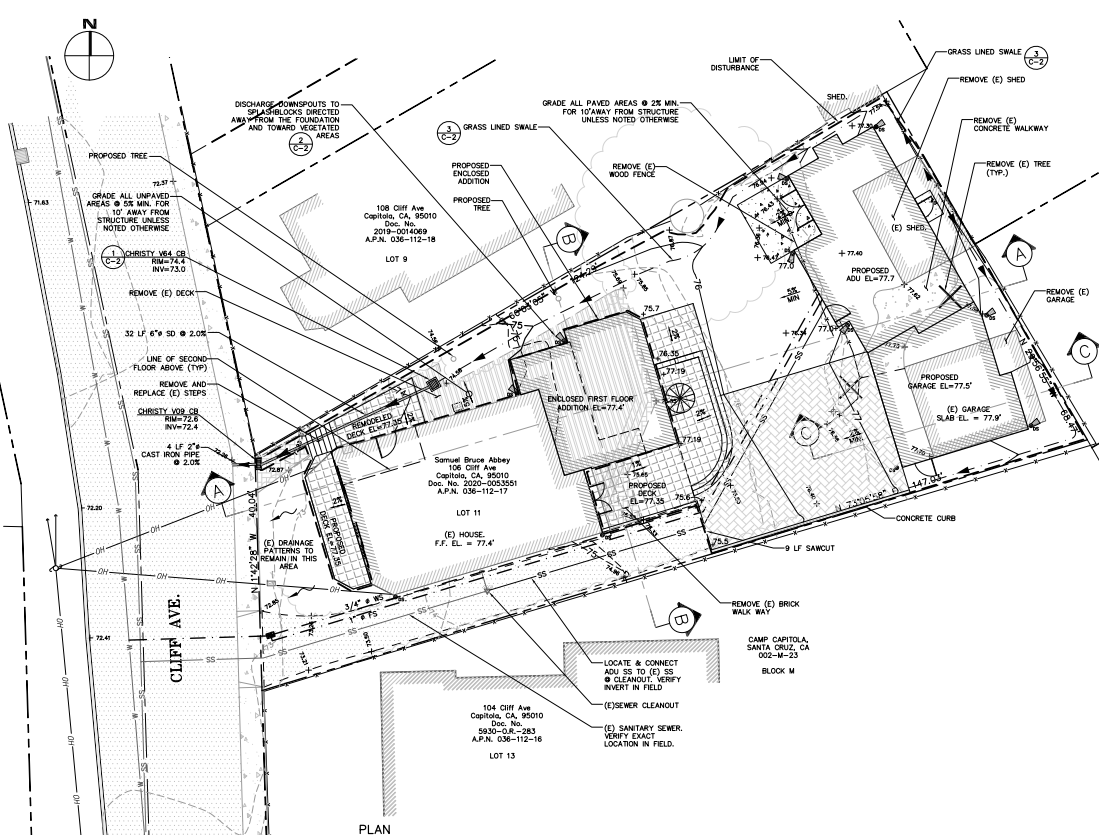
P12

GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE CONDITIONS WITH ALL OTHER TRADE DISCIPLINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERSTANDING THAT ANY FEATURES OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS CONSTRUCTION WORK. CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE CITY OF CAPITOLA DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH FOR REVIEW, BEFORE APPROVAL. WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. NO ALTERATIONS TO THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
5. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE CITY OF CAPITOLA PRIOR TO THE START OF WORK.
6. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
7. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE CITY OF CAPITOLA.
8. THE CONTRACTOR SHALL NOTIFY THE CITY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE CITY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
9. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-WORK PRODUCTION ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
10. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15, UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
11. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
12. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
13. TRUCKS IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
14. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GRADING DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC, ARCHAEOLOGICAL, RESOURCES OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE DISTRICT ENGINEER. IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR IF THE PLANNING DIRECTOR OR THE DISCOVERY CONTAINS NO HUMAN REMAINS, THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
16. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
17. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POSTAGE THOSE AREAS WHERE POTENTIAL CONFLICTS OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-624-1444.
18. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CITY OF CAPITOLA. THE MOST STRINGENT QUALITY SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY PACIFIC CREDIT ENGINEERING, INC. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. CONTACT PACIFIC CREDIT ENGINEERING, INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARPED TO A DEPTH OF ABOUT 6".
7. STRIPPED AREAS SHOULD BE BRUSH THE SOILS WATER CENTER ABOUT 2" ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND ADEQUATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
8. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 6" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
9. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY PACIFIC CREDIT ENGINEERING, INC.
10. IMPORTED FILL MATERIAL, USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION REPORT.
11. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
12. BASE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.



LEGEND

- (E) DECK TO BE REMOVED
- PROPOSED DECK
- PROPOSED CONCRETE
- PROPOSED AC
- PROPOSED PERVIOUS DRIVEWAY
- (E) FLOWLINE
- (E) RETAINING WALL
- PROPERTY LINE
- PROPOSED SETBACK
- PROPOSED LIMITING WALL
- PROPOSED CONCRETE CURB
- PROPOSED SWALE
- PROPOSED SD
- PROPOSED CURB
- PROPOSED TREE REMOVAL

ABBREVIATIONS

- BW BOTTOM OF WALL
- CB CATCH BASIN
- CONSTR CONSTRUCTION
- DIAMETER DIAMETER
- DS DOWNSPOUT
- DET DETAIL
- DWY DRIVEWAY
- EXISTING EXISTING
- EL ELEVATION
- EOP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FS FINISH GRADE
- FS FIRE SERVICE
- HP HIGH POINT
- LF LINEAR FEET
- LP LOW POINT
- MAX MAXIMUM
- N.T.S. NOT TO SCALE
- RETAINING WALL RETAINING WALL
- RM ELEVATION SLAB
- SEWER SANITARY SEWER CLEANOUT
- SD STORM DRAIN CLEANOUT
- SP TYPICAL
- TOP OF WALL TOP OF WALL
- WS WATER SERVICE

APPROXIMATE EARTHWORK QUANTITIES

SITE GRADING	CUBIC YARDS		
	CUT	FILL	NET
FOUNDATION GRADING	0	<20	<20
	65	0	65

- NOTES:
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
 2. EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO FINISH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
 3. EXCESS SOIL SHALL BE HAULED OR PLACED IN A CITY APPROVED LOCATION.

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY HANAGAN LAND SURVEYING, INC. ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF CLIFF AVE PER THAT CERTAIN RECORD OF SURVEY MAP FILED IN VOLUME 85 OF MAPS, AT PAGE 1, OF THE SANTA CRUZ COUNTY RECORDS.

BASIS OF ELEVATION

ELEVATIONS ARE BASED ON THE COUNTY CONTOURS FOUND ON THE SANTA CRUZ COUNTY GIS WEBSITE. THE COUNTY INTERVAL IS 1 FOOT.

SEWER LATERAL NOTES

1. SEWER LATERALS SHALL BE POLY(VINYL CHLORIDE (PVC) SDR26) AND SHALL HAVE A SMOOTH INTERIOR.
2. SEWER LATERALS SHALL BE SLOPED AT A MINIMUM 2%.

STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

STORM DRAINAGE NOTES

1. CULVERTS SHALL BE POLY(VINYL CHLORIDE (PVC) SDR33), HIGH DENSITY POLYETHYLENE (HDPE) 48" (12' OR EQUAL), OR REINFORCED CONCRETE PIPE (RCP), AND SHALL HAVE A SMOOTH INTERIOR CONFORMING TO SECTION E - STORM DRAINAGE FACILITIES OF CITY OF CAPITOLA DESIGN CRITERIA.
2. INLETS SHALL BE CHRISTY CONCRETE PRODUCTS OR APPROVED EQUAL WITH SMOOTH CONCRETE BOTTOM.
3. DISCHARGE ALL DOWNSPOUTS TO STORM DRAIN SYSTEM.

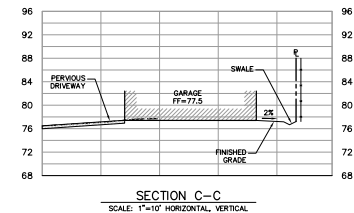
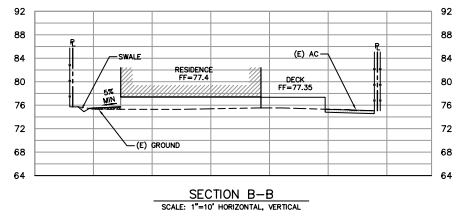
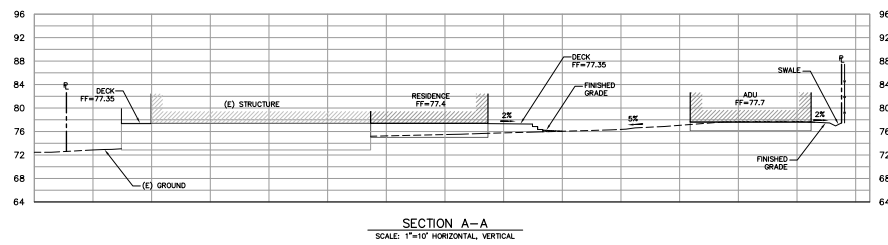
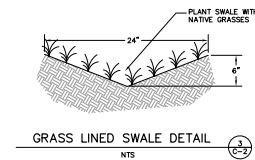
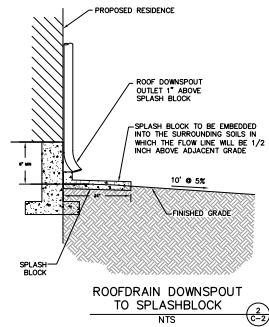
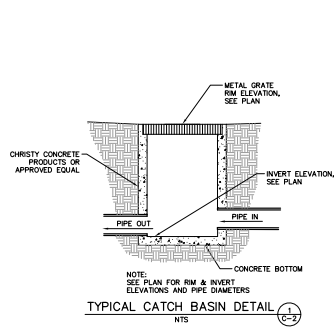


R.I. Engineering, Inc.
 303 Palomero St., Suite 42-202, Santa Cruz, CA. 95060
 831-425-3901 www.riengineering.com

RESIDENTIAL ADDITION
 FOR SAM ABBEY
 100 CLIFF AVE
 LOT 9, CLIFF AVE
 036-112-1
 036-112-1

project no. 21-078-1
 date FEBRUARY 2022
 scale AS SHOWN
 dwg name CIVIL2.dwg

C-1



POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE

ITEM	INTERVAL	INSPECTION	REPAIR
CATCH BASINS	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS
SWALES	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS



R.I. Engineering, Inc.
303 Palomero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.rienengineering.com

RESIDENTIAL ADDITION
FOR
SAM ABBEY
108 CLIFF AVE
SANTA CRUZ, CA 95010
036-112-17

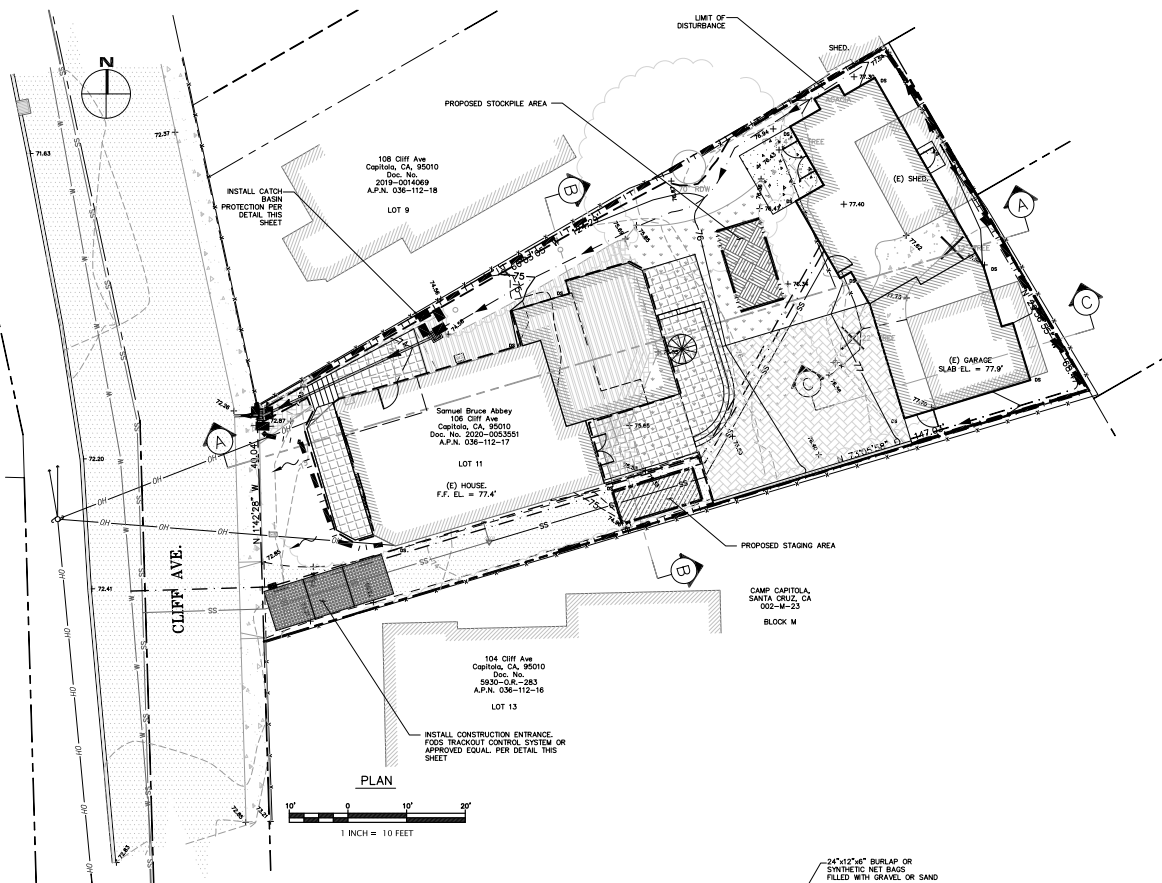
project no.
21-078-1
date
FEBRUARY 2022
scale
AS SHOWN
dwg name
CIVIL2.dwg

C-2

TOTAL AREA OF DISTURBANCE = 0.10 ACRES
= 4,380 SF

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS**
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIM, ETC.) SHALL BE COVERED AND BRANDED.
 - ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- LANDSCAPE MATERIALS**
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 - CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 - DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 - APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 - STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.
- VEHICLE STORAGE AND MAINTENANCE**
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 - ALL EQUIPMENT OR VEHICLES WHICH ARE BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE DIPS.
 - LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
- WASTE MANAGEMENT**
- DISPOSAL OF ANY WASH OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 50 FEET AWAY FROM AN ALLIANCE STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 - SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 - COVER BASKET DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 - DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 - STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 - EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY, AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



EROSION CONTROL MEASURES

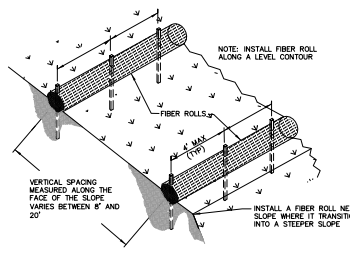
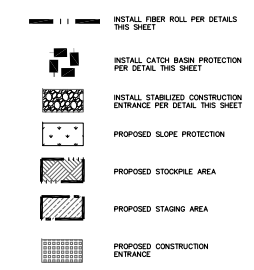
- EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
- UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN UNID. CONDITIONS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
- THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. FIELD INSPECTIONS BY CITY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
- ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
- AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
- AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
- SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE NECESSARY TO MEET SPECIFIC SITE CONDITIONS. CONTACT ENGINEER OR MANUFACTURE WITH QUESTIONS AS NECESSARY. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

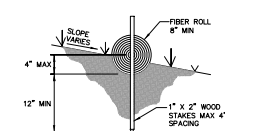
EXPOSED SLOPE MEASURES

- COVER ALL EXPOSED SLOPES
- STRIP 2 TONS/ACRE ON SLOPES ≤ 20% WITH SOIL BINDER
- USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES >20%.

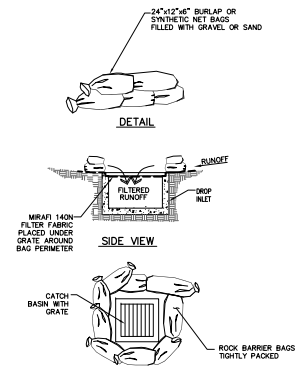
EROSION CONTROL LEGEND



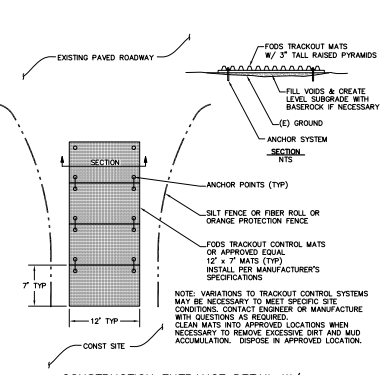
TYPICAL FIBER ROLL INSTALLATION
NTS



FIBER ROLL DETAIL IN SLOPE AREA
NTS



GRAVEL BAG CATCH BASIN PROTECTION
NTS



CONSTRUCTION ENTRANCE DETAIL W/
FOODS TRACKOUT CONTROL MATS
(OR APPROVED EQUAL)
NTS



R.I. Engineering, Inc.
303 Palomero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.rienengineering.com

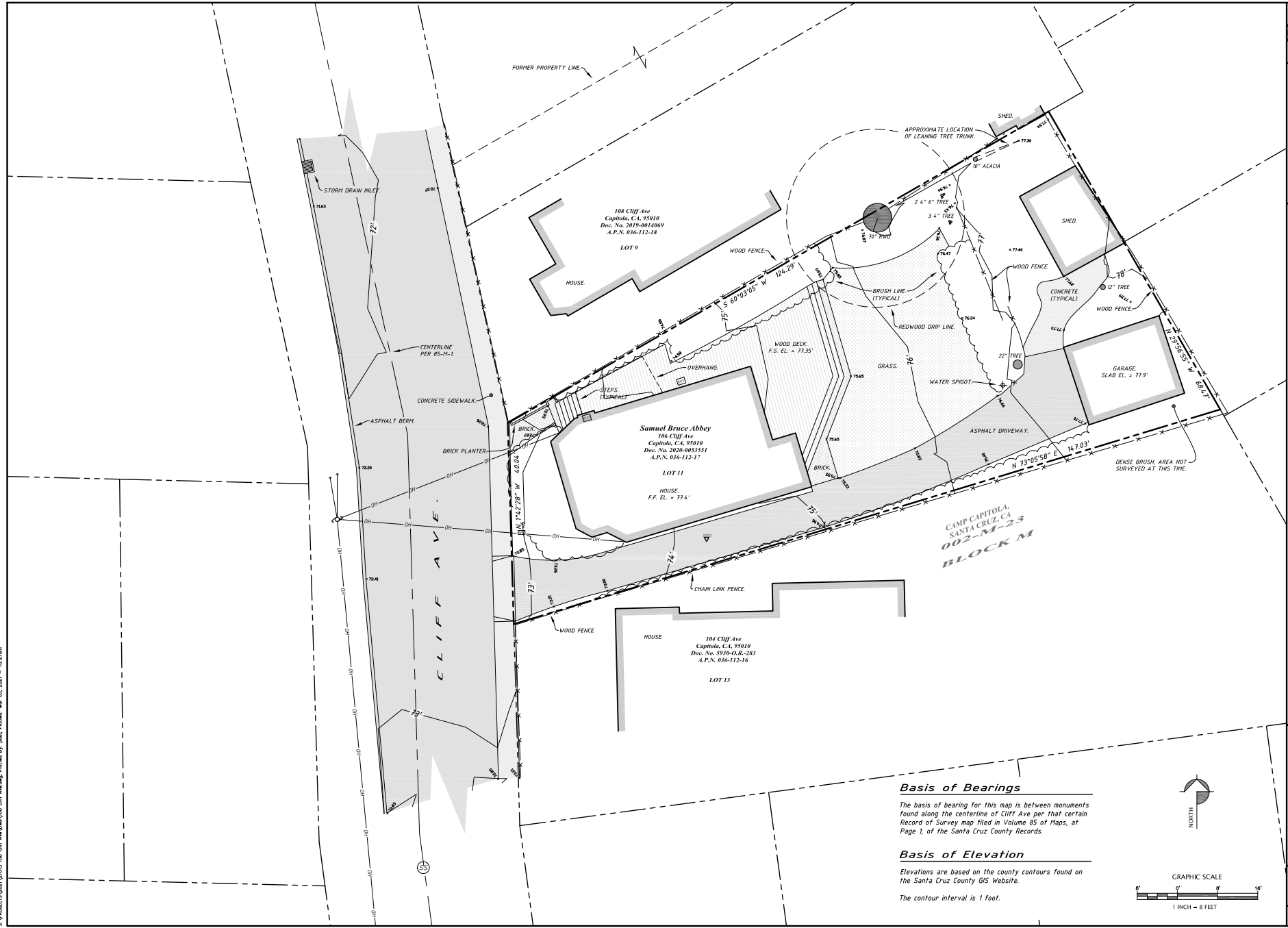
RESIDENTIAL ADDITION
FOR
SAM ABBEY
108 CLIFF AVE
CANTON, CA 95010
036-112-1

STORMWATER POLLUTION
CONTROL PLAN

project no.
21-078-1
date
FEBRUARY 2022
scale
AS SHOWN
dwg name
CIVIL2.dwg

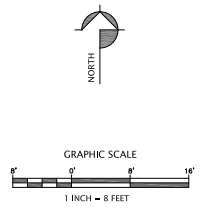
C-3

1. This map is a technical drawing and is not to be used for any other purpose. It is the property of the Surveyor and is not to be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Surveyor.



Basis of Bearings
 The basis of bearing for this map is between monuments found along the centerline of Cliff Ave per that certain Record of Survey map filed in Volume 85 of Maps, at Page 1, of the Santa Cruz County Records.

Basis of Elevation
 Elevations are based on the county contours found on the Santa Cruz County GIS Website.
 The contour interval is 1 foot.



HANAGAN LAND SURVEYING
 APPROVED
 Paul Hagan, L.S. 777

305-C BOUQUEL AVE.,
 SANTA CRUZ, CA 95062
 PHONE (831) 489-3428

Topographic & Boundary Map, The Lands Of:
Samuel Bruce Abbey
 106 Cliff Ave, Capitola, CA, 95010

Santa Cruz County
 A.P.N. 036-112-17
 DATE 3-5-2021
 SCALE 1" = 8'
 DESIGN
 BRANN J. KANE

SHEET
SU-1
 OF 1 SHEETS
 21015
 JOB NO.