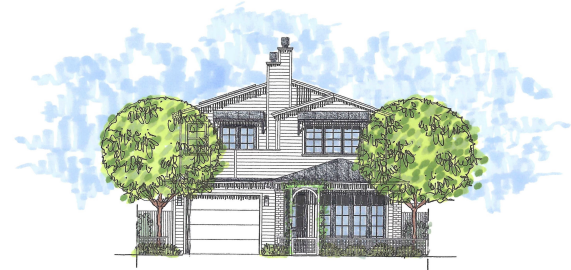


SQUARE FOOTAGE:

MAIN HOUSE:	
FIRST FLOOR (CONDITIONED) =	1,023 S.F.
SECOND FLOOR (CONDITIONED) =	728 S.F.
TOTAL CONDITIONED SPACE =	1,821 S.F.
GARAGE =	299 S.F.
TO IN. GROSS SQUARE FOOTAGE =	2,120 S.F.
MAXIMUM FAR =	2,124 S.F.
DETACHED ADU:	
FIRST FLOOR (CONDITIONED) =	428 S.F.
SHARED STORAGE (UNCONDITIONED) =	111 S.F.
TOTAL GROSS SQUARE FOOTAGE =	537 S.F.
TOTAL PROPOSED (POST-PROJECT) IMPERVIOUS SURFACE AREA:	
MAIN HOUSE FIRST FLOOR =	1,023 S.F.
MAIN GARAGE =	299 S.F.
ADU SHARED STORAGE =	53 S.F.
IMPERVIOUS PAVING =	118.25 S.F.
TOTAL =	2,112.25 S.F.



SOUTH ELEVATION/ STREET VIEW MAIN HOUSE
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION

CT HD
Haskell Design
Cheryl Thompson

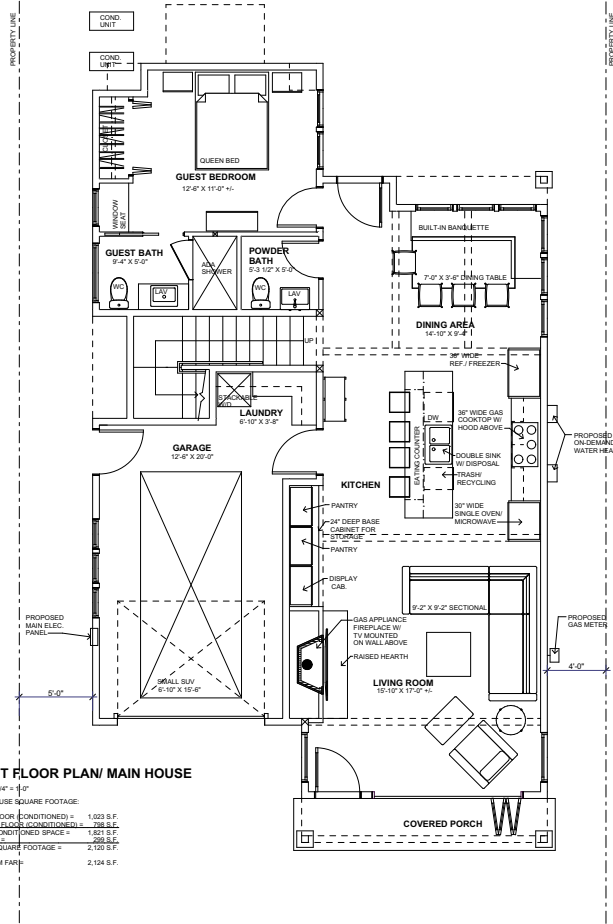
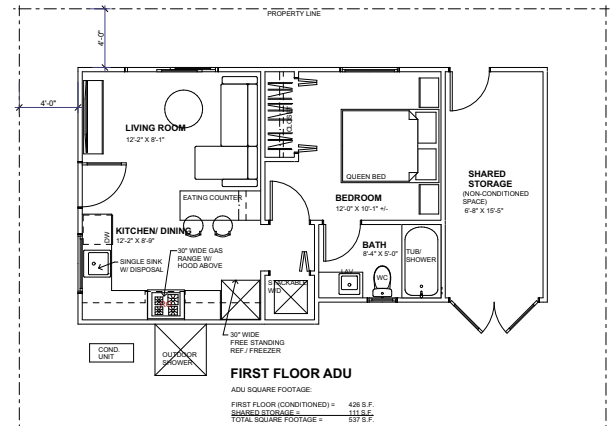
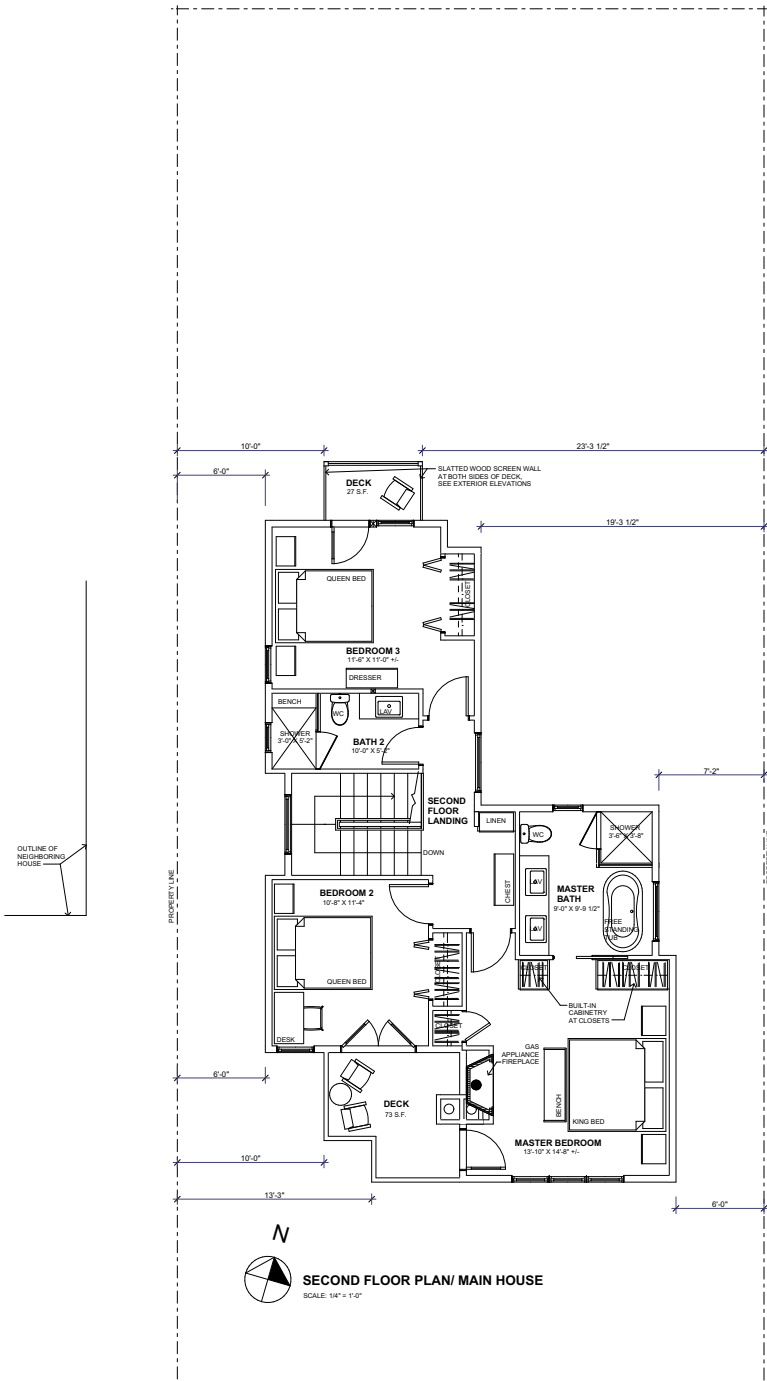
REGISTERED ARCHITECT
No. C 22261
STATE OF CALIFORNIA

Cheryl Thompson Haskell Design, LLC
4440 N. Wilson Ave.
Fresno, California 93704
(559) 999-8231
E-Mail: cheryl@ch-design.com
Cheryl L. Haskell C 22201

PROJECT: SINGLE FAMILY RESIDENTIAL FOR
NEIL AND MARIANNE ANGELILLO
610 BISCAYONA DRIVE
CARTOLLA, CA. 95010

OWNER: NEIL AND MARIANNE ANGELILLO
CONTRACTOR:

JOB NO: 24202
DATE: 8/26/24



MARK	DATE	DESCRIPTION

CT HD Haskell Design
Cheryl Thompson

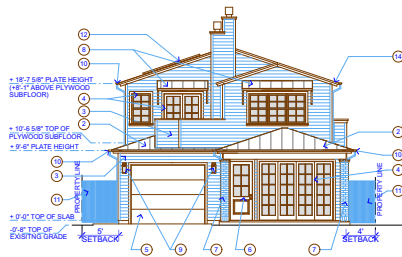
REGISTERED ARCHITECT
STATE OF CALIFORNIA
No. C 22201

Cheryl Thompson Haskell Design, LLC
440 N. Wilson Ave.
Fresno, California 93704
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E-Mail: cheryl@cth-design.com
Cheryl L. Haskell C 22201

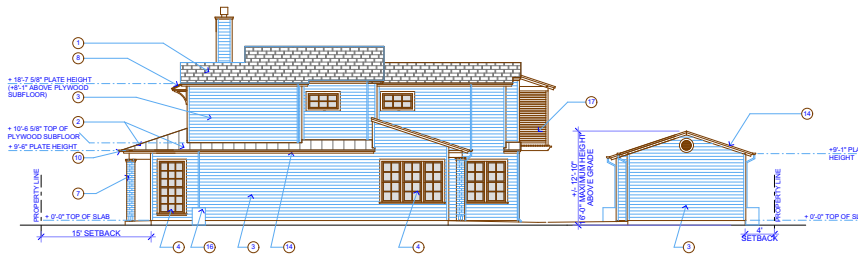
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610 ESCALONA DRIVE
CARTOLTA, CA 95010

OWNER: NEIL AND MARIANNE ANGELO
CONTRACTOR:

JOB NO: 24202 DATE: 8/26/24

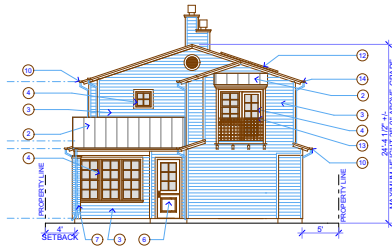


SOUTH ELEVATION/ STREET VIEW MAIN HOUSE



EAST ELEVATION/ MAIN HOUSE

EAST ELEVATION/ ADU

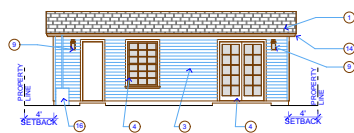


NORTH ELEVATION/ MAIN HOUSE

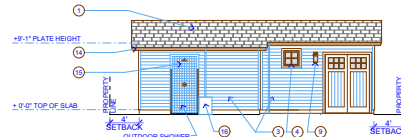


WEST ELEVATION/ ADU

WEST ELEVATION/ MAIN HOUSE



NORTH ELEVATION/ ADU



SOUTH ELEVATION/ ADU

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

1	DARK CHARCOAL COMPOSITION SHINGLE ROOFING
2	BLACK STANDING SEAM METAL ROOFING
3	FIBER CEMENT LAP SIDING TO BE PAINTED
4	EXTRUDED ALUMINUM CLAD WOOD WINDOWS AND PATIO DOORS
5	INSULATED METAL SECTIONAL GARAGE DOOR TO BE PAINTED
6	STAIN GRADE WOOD FRENCH DOOR TO BE STAINED
7	BRICK VENEER AT COLUMN
8	METAL AWNING WITH STANDING SEAM METAL ROOFING. PAINT AWNING BLACK TO MATCH STANDING SEAM ROOF
9	DECORATIVE WALL MOUNT LIGHT FIXTURE. EXTERIOR LIGHTING TO COMPLY WITH ALL RELEVANT STANDARDS PURSUANT TO CAPITOLA MUNICIPAL CODE SECTION 17.06.110. ALL OUTDOOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD SUCH THAT THE LIGHTING IS NOT DIRECTLY VISIBLE FROM THE PUBLIC RIGHT OF WAY/OR ADJOINING PROPERTIES.
10	5" DIA. HALF ROUND EXTRUDED ALUMINUM GUTTER WITH 2" DIA. ROUND DOWNSPOUTS, COLOR TO MATCH ROOFING
11	WOOD FENCE TO BE STAINED
12	PHOTOVOLTAIC ARRAY MOUNTED ON ROOF
13	WOOD RAILING TO BE PAINTED
14	PAINT GRADE WOOD FASCIA
15	TILE AT WALL FOR OUTDOOR SHOWER
16	DOWNSPOUT DAYLIGHTS INTO RAIN COLLECTION BARREL FOR IRRIGATION
17	3/4" X 3" WITH 3/4" SPACING PAINT GRADE WOOD SLATS ON FRAME AT SIDE WALL OF BALCONY FOR PRIVACY SCREENING

MARK	DATE	DESCRIPTION

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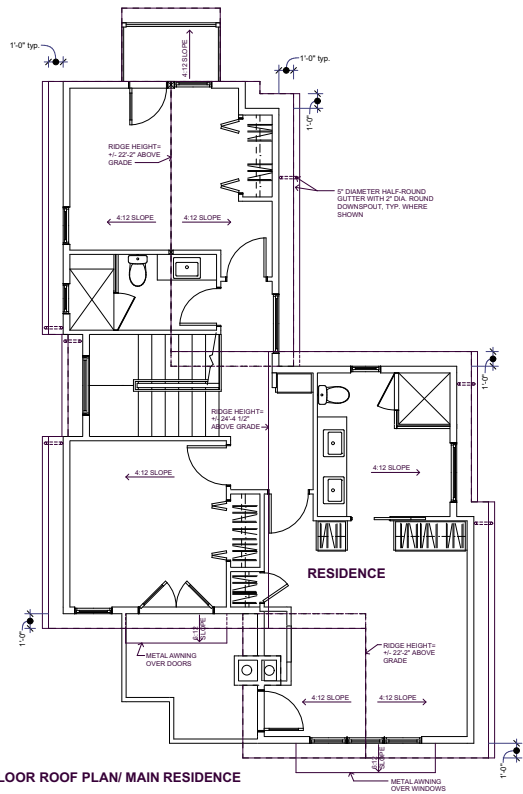
Cheryl Thompson Haskell Design, LLC
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Cheryl L. Haskell C 22201

PROJECT: SINGLE FAMILY RESIDENTIAL FOR NEIL AND MARIANNE ANGELILLO
610 ESCALONA DRIVE
CAPITOLA, CA 95010

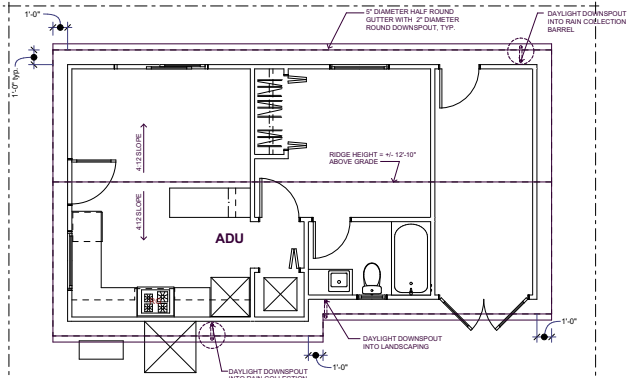
OWNER: NEIL AND MARIANNE ANGELILLO CONTRACTOR:

JOB NO: 24202

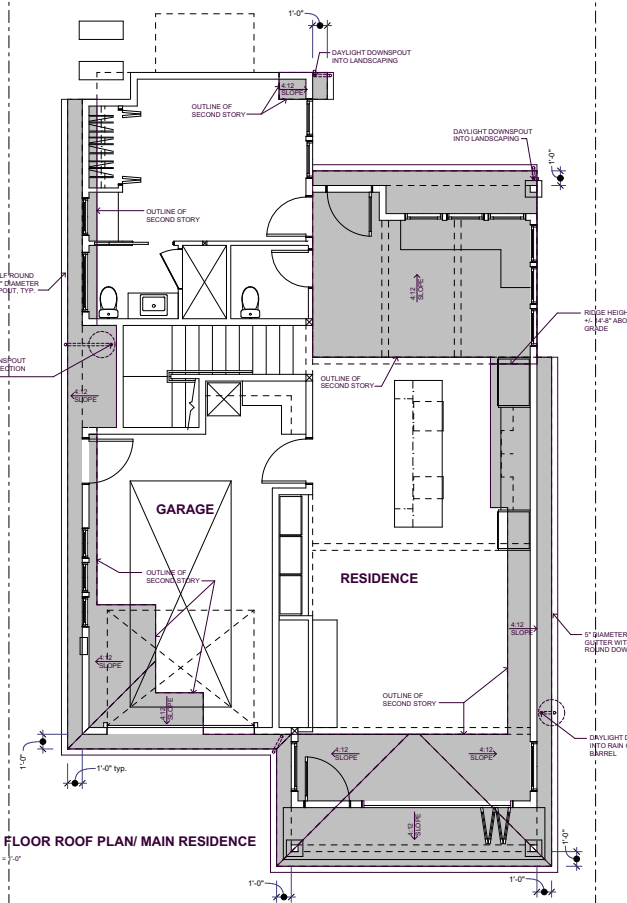
DATE: 8/26/24



SECOND FLOOR ROOF PLAN/ MAIN RESIDENCE
SCALE: 1/4" = 1'-0"



FIRST FLOOR ROOF PLAN/ ADU
SCALE: 1/4" = 1'-0"



FIRST FLOOR ROOF PLAN/ MAIN RESIDENCE
SCALE: 1/4" = 1'-0"



MARK	DATE	DESCRIPTION

CT HD
Haskell Design
Cheryl Thompson



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(559) 999-8231
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PROJECT: SINGLE FAMILY RESIDENTIAL FOR
NEIL AND MARIANNE ANGEILLO
610 ESCALONA DRIVE
CARTOLA, CA. 95010

ENGINEER:

OWNER: NEIL AND MARIANNE ANGEILLO

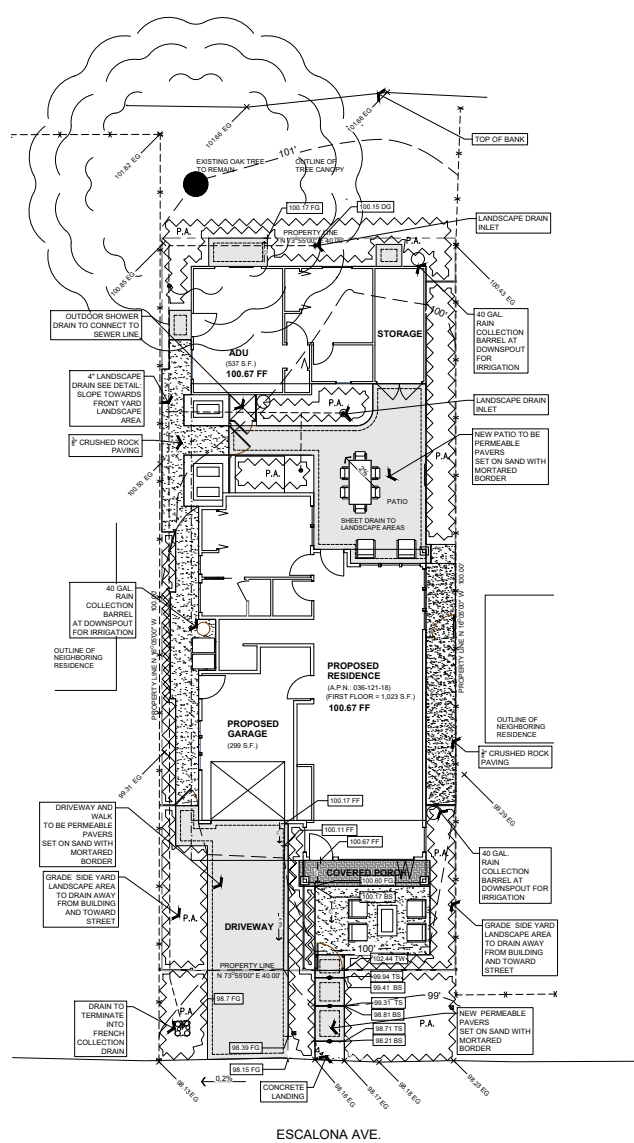
CONTRACTOR:

JOB NO: 24202

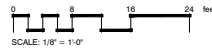
DATE: 8/26/24

ROOF PLANS

A-4



DRAINAGE PLAN



LEGEND

SYMBOL	DESCRIPTION
F.G.	FINISH GRADE
F.C.	FRESH CONCRETE
F.L.	FLOW LINE
G.B.	GRADE BREAK
T.C.	TOP OF CURB
R.E.	RM ELEVATION
I.E.	INVERT ELEVATION
T.W.	TOP OF WALL
T.Co	TOP OF COPE
B.W.	BOTTOM OF WALL
D.G.	DRAIN INLET
H.P.	HIGH POINT
T.S.	TOP OF STEP
B.S.	BOTTOM OF STEP
EG	EXISTING GRADE
PA	PLANTING AREA

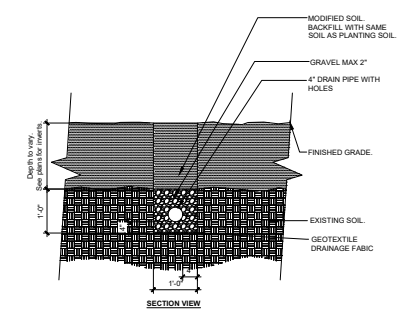
LOW WATER SHRUB AREA

NOTES

- CONTRACTOR TO VERIFY EXISTING GRADES WITH CIVIL ENGINEER.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECTS OF ANY DISCREPANCIES IN THE FIELD PRIOR TO POURING FOOTINGS AND/OR CONCRETE.
- OWNER HAS ROUGH GRADED THE SITE AND CONTRACTOR IS RESPONSIBLE FOR ALL REMAINING ROUGH GRADING, IMPORT, EXPORT AND FINISH GRADING WORK ACTIVITIES AS REQUIRED.
- CONCRETE TO SLOPE FROM FOUNDATION TOWARDS DRAIN INLETS AND DRAINAGE SWALES AT A MINIMUM RATE OF 1/8" PER FOOT. INSTALL CONCRETE FORMS WITH LOW, SMOOTH GRADIENTS TO ELIMINATE DIPS, RIDGES, ABRUPT CHANGES OF GRADE, AND SHARP TRANSITIONS.
- SITE RUNOFF SHALL NOT DRAIN ONTO ADJACENT PARCELS.
- PLANS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS IN THE CITY OF CARLEVA MUNICIPAL CODE CHAPTER 13-16 STORM WATER POLLUTION PREVENTION AND PROTECTION.
- WATER SHALL BE COLLECTED FROM DOWNSPOUTS IN 40 GALLON RAIN BARRELS AND UTILIZED FOR SUPPLEMENTAL IRRIGATION ON SITE. SEE PLAN FOR RAIN BARREL LOCATIONS.

IMPERVIOUS PAVING

IMPERVIOUS SF: 2175.25 SF SEE BREAK DOWN ON SITE PLAN A-1
 LESS THAN 2500 SF
 STORMWATER EXEMPT



NOTES:
 1- SLOPE DRAIN PIPE A MINIMUM OF 1% TOWARD THE OUTFALL OR AS SHOWN ON PLANS.

1 DRAIN PIPE
 3/4" = 1'-0"

P-RE-PER-11



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REVISIONS

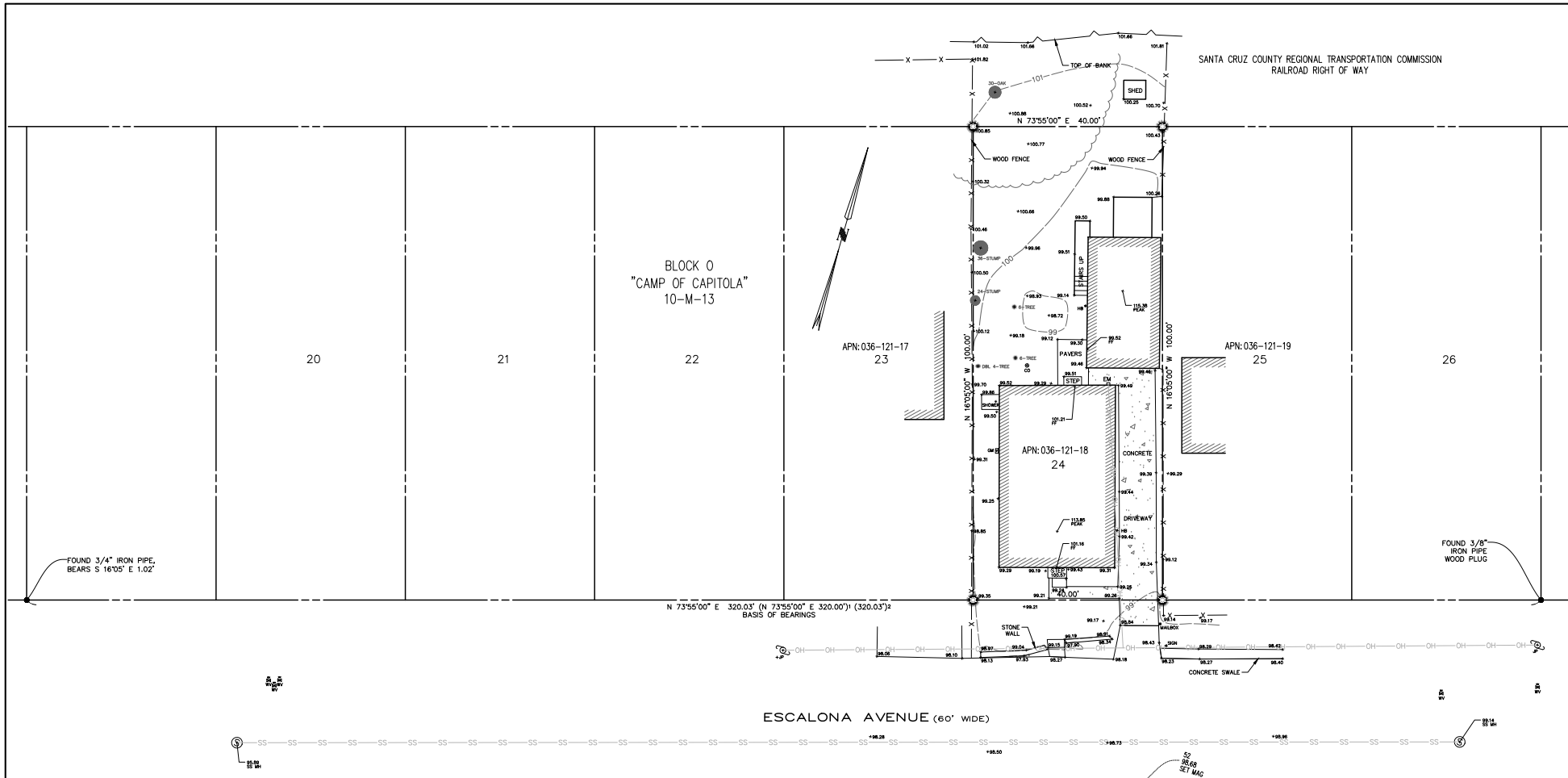
NO.	DATE	DESCRIPTION

DRAINAGE PLAN

DRAWING TITLE:
 SINGLE FAMILY RESIDENTIAL FOR
 Neil and Marianne Angello
 510 Escalona Dr.
 Capitola, CA 95010
 PLAN CHECK # 24-000X

DATE: 7/17/24
JOB NO.: 24-126
SHEET:
 L-1





SANTA CRUZ COUNTY REGIONAL TRANSPORTATION COMMISSION
RAILROAD RIGHT OF WAY

BLOCK 0
"CAMP OF CAPITOLA"
10-M-13

20

21

22

APN: 036-121-17
23

APN: 036-121-18
24

APN: 036-121-19
25

26

FOUND 3/4" IRON PIPE,
BEARS S 16°05' E 1.02'

FOUND 3/8" IRON PIPE
WOOD PLUG

N 73°55'00" E 320.03' (N 73°55'00" E 320.00') (320.05)'
BASIS OF BEARINGS

ESCALONA AVENUE (60' WIDE)

BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTHERN SIDELINE OF ESCALONA AVENUE AS SHOWN ON THAT MAP FILED IN VOLUME 119 OF MAPS AT PAGE 27, SANTA CRUZ COUNTY RECORDS AND WAS ESTABLISHED BETWEEN FOUND MONUMENTS AS SHOWN HEREOF.

NORTH 73°55'00" EAST

BASIS OF ELEVATIONS

ELEVATIONS FOR THIS SURVEY ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WAS ESTABLISHED BY A REAL TIME KINEMATIC (RTK) GPS SET TO CONTROL POINT #52 SET AS A PART OF THIS SURVEY.

ELEVATION CONTROL POINT #52 = 98.68 (NAVD88)

RECORD BOUNDARY NOTE

THE RECORD BOUNDARY SHOWN IS BASED ON FOUND MONUMENTS. A TITLE REPORT WAS NOT PROVIDED FOR THE PREPARATION OF THIS MAP. EASEMENTS SHOWN ARE PER RECORD DATA AS NOTED HEREOF. PARCELS MAY BE SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD THAT ARE NOT SHOWN ON THIS MAP.

TREE NOTE

TREE DIAMETERS ARE MEASURED AT APPROXIMATELY CHEST HEIGHT. USE CAUTION WHEN DESIGNING CLOSELY TO TREE TRUNKS BY TAKING INTO CONSIDERATION THE POSSIBLE "SPREAD" OR "LEAN" OF TREES.

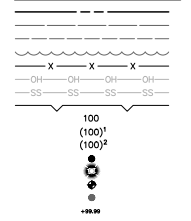
UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN JANUARY 2024.

SURVEYORS NOTE

A CORNER RECORD MAP IS BEING FILED WITH THE SANTA CRUZ COUNTY SURVEYORS OFFICE IN CONJUNCTION WITH THIS SURVEY.

LEGEND



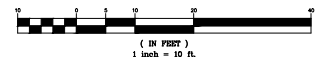
CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

PROPERTY LINE
CONTOUR INTERVAL, MAJOR
CONTOUR INTERVAL, MINOR
DRIP LINE
FENCE LINE
OVERHEAD UTILITY LINE
UNDERGROUND SEWER LINE
TOP OF BANK
DISTANCE MEASURED
RECORD DATA PER 10-M-13
RECORD DATA PER 119-M-27
FOUND MONUMENT, AS NOTED
SET 1/2" IRON PIPE, LS 9301
PROJECT BENCHMARK
TREE, AS NOTED
SPOT ELEVATION

ABBREVIATIONS

APN ASSESSORS PARCEL NUMBER
CO CLEANOUT
DOC DOCUMENT
EM ELECTRIC METER
FF FINISHED FLOOR
GM GAS METER
HB HOSE BIB
JP UTILITY POLE
SS SANITARY SEWER
WM WATER METER
WV WATER VALVE

GRAPHIC SCALE



Signature

SANTA CRUZ COUNTY APN: 036-121-18

ALPHA LAND SURVEYS, INC.		TOPOGRAPHIC MAP AND BOUNDARY SURVEY 510 ESCALONA AVENUE CITY OF CAPITOLA	SHEET 1 OF ONE
4444 SCOTT'S VALLEY DR. #7 SCOTT'S VALLEY, CA 95068 (831) 436-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 436-4453		
DATE: 2/7/2024		JOB#: 2024-022	