

CONVENIENCE STORE ADDITION

2178 41 ST AVENUE
CAPITOLA, CA 95010

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SITE INFORMATION

APN: 034-221-02	
JURISDICTION: CITY OF CAPITOLA, CA	
CURRENT ZONING: COMMERCIAL REGIONAL (C-R)	
SITE AREA: 34,643 S.F. (0.80 ACRES)	
LANDSCAPE AREA, TOTAL AREA:	8,376 S.F. (24 %)
ON-SITE:	7,961 S.F.
OFF-SITE:	415 S.F.
BUILDING TOTAL AREA:	16,800 S.F.
(A) CONVENIENCE STORE:	4,194 S.F.
(E) FUELING CANOPY:	12,048 S.F.
PARKING REQUIREMENTS:	
CONVENIENCE STORE (SALES AREA):	25/2 SPACES
0.2M S.F. / 100' = 2 FLOOR GAS STATION:	25 SPACES
EXISTING REQUIRED:	25 SPACES
STANDARD PARKING STALLS (9'x18'): 11 SPACES	
AIR/WATER PARKING STALL (9'x18'): 1 SPACE	
VAN ACCESSIBLE PARKING STALL (7'x18'): 1 SPACE	
EV CHARGING STATION (9'x18'): 3 SPACES	
EV VAN ACCESSIBLE CHARGING STALL (7'x18'): 0 SPACES	
FUEL POSITIONS (10'x24'): 0 SPACES	
PARKING PROVIDED:	25 SPACES
BIKE PARKING REQUIRED:	
SHORT TERM: 10% OF REQUIRED AUTOMOBILE PARKING:	
18' x 10' = 1.8 - 2	
LONG TERM: 1 PER 20 AUTOMOBILE PARKING STALLS:	
18' x 20 = 0.8 - 1	

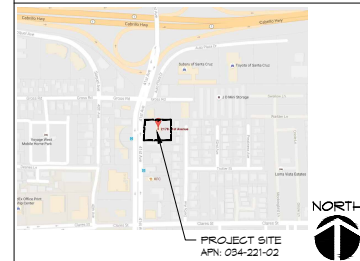
SITE PLAN LEGEND

	LANDSCAPING
	NEW CONCRETE PAVING
	4 FT. WIDE (MIN) ACCESSIBLE ROUTE OF TRAVEL, SHALL NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL, AND 2% CROSS SLOPE
	EXISTING TO REMAIN
	EXISTING CURB TO REMAIN
	NEW CONCRETE CURB

PROJECT DIRECTORY

ARCHITECT M I ARCHITECTS, INC. 1801 OAKLAND BLVD., SUITE 300 WALNUT CREEK, CA 94596 TEL: (925) 281-1114 FAX: (925) 943-1501 CELL: (925) 878-4875 MR. NITHANA BRAHMI, ARCHITECT	DEVELOPER MR. ED HADAD 1300 S. BERNARDO AVE # 103 SUNNYVALE, CA 94087 TEL: (408) 641-7411
LANDSCAPE ARCHITECT GARDIELLA ASSOCIATES 200 CLOCK TOWER PLACE, SUITE 200-A CARPENTERS, CA 95024 TEL: (650) 328-6100 CELL: (650) 624-6100 MR. RICHARD GARDIELLA	CIVIL ENGINEER STIKAM CONSULTING ENGINEERS, INC. 1844 COLOMA ROAD, SUITE 250C SOLICOR, CA 95070 TEL: (916) 835-5791 FAX: (916) 858-6396 MR. FAREED T. SIDDIQUI, P.E.

VICINITY MAP



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NOT FOR CONSTRUCTION

CONVENIENCE STORE ADDITION
2178 41ST AVE
CAPITOLA, CA 95010

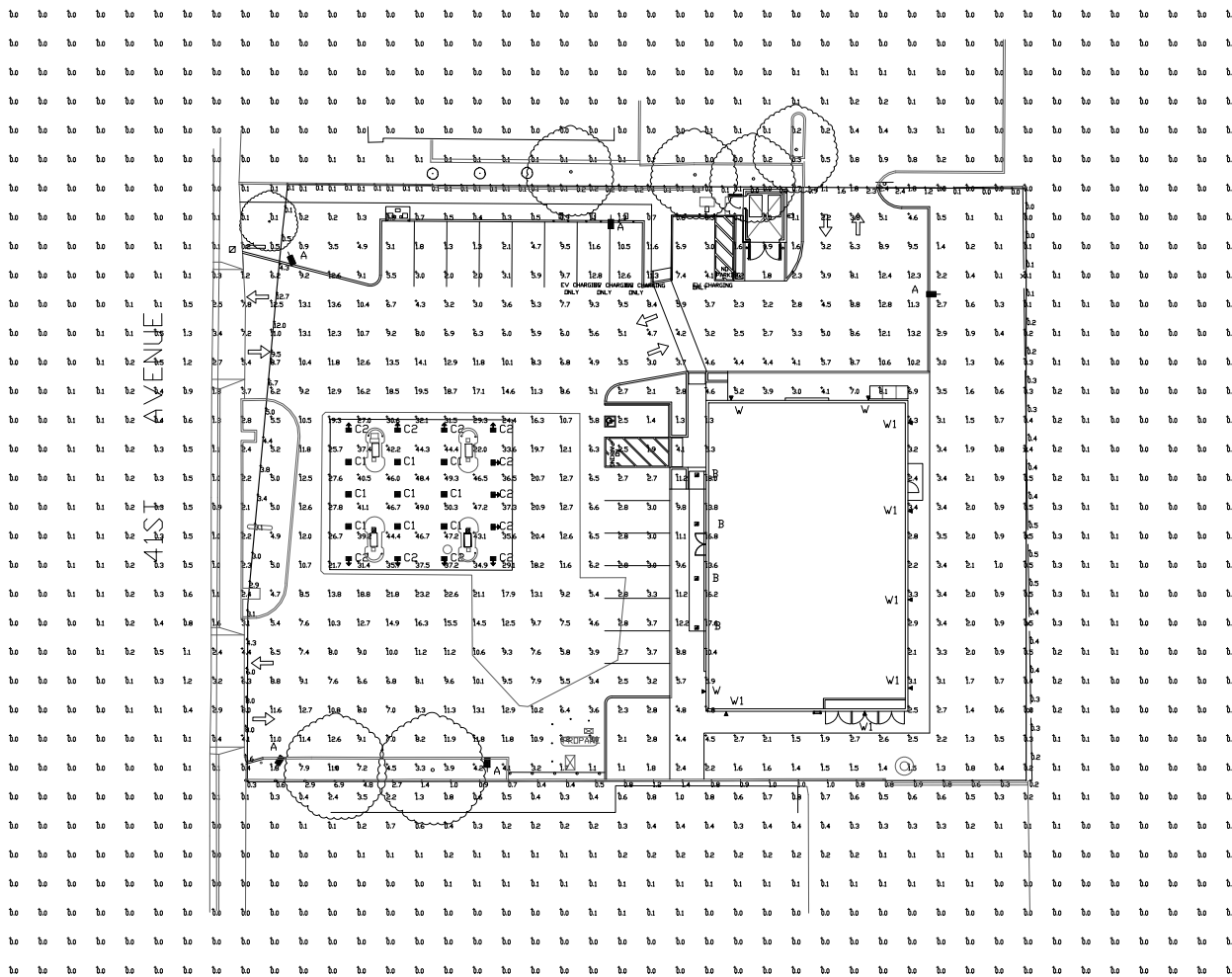
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PROJECT #: 15-11302
DRAWN BY: CHECKED: MH
SCALE: AS NOTED DATE: 10-05-23
GENERAL DEVELOPMENT PLAN EXHIBIT C
(PG.10-020)

CS1

SHEET OF

S:\Projects\15-11302_2178_41st_Ave_Capitolola\Drawings\15-11302-02.dwg modified by misnerf at Dec 30, 2023 - 2:21pm



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS POINTS	Illuminance	Fc	310	503	0.0	NA	NA
PROPERTY LINE TAKEN @ GRADE	Illuminance	Fc	1.64	12.7	0.0	NA	NA
CANDPY	Illuminance	Fc	40.82	50.3	22.0	1.86	2.29
INSIDE CURB	Illuminance	Fc	9.34	32.1	1.1	8.49	29.18

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
■	5	A	Single	SLM-LED-24L-SIL-4-30-IL-70CRI-SINGLE	14" PDLE+2" BASE	1.000	1.000	14979	161
■	4	B	Single	XSPS-S-LED-SS-NV-BFL	9'-6"	1.000	1.000	4022	31.1
■	9	C1	Single	SCV-LED-13L-SC-30 DIMMED 50%	15'	1.000	0.500	12567	90
■	11	C2	Single	SCV-LED-23L-SCFT-30 DIMMED 50%	15'	1.000	0.500	20886	188
■	3	W	Single	XWM-FT-LED-04L-30	11'-4"	1.000	1.000	4207	30
■	6	W1	Single	XWM-FT-LED-04L-30 DIMMED 40%	11'-4"	1.000	0.600	4207	30

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

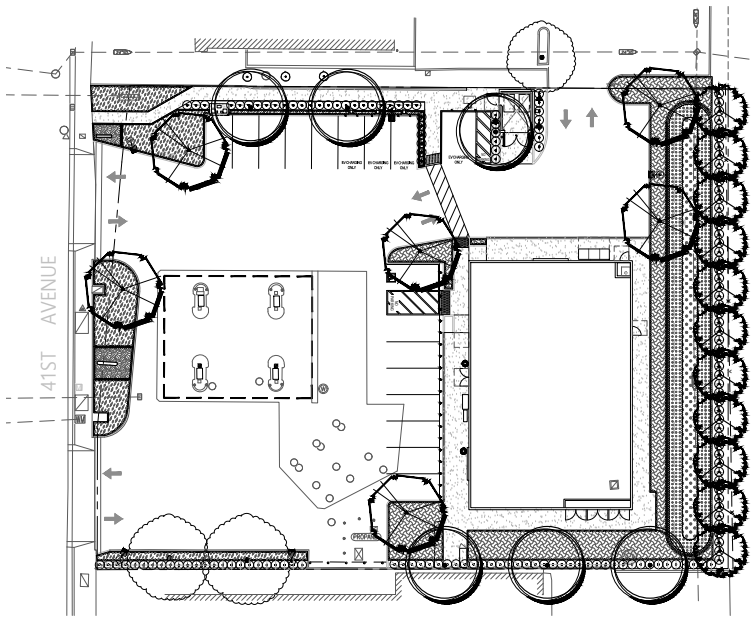
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

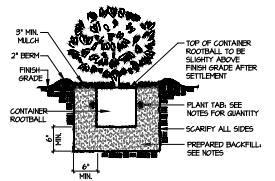
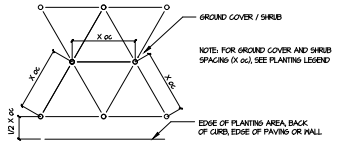
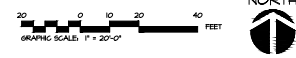
Total Project Watts
Total Watts = 4077.4



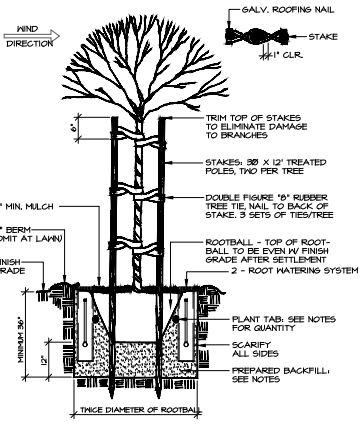
LIGHTING PROPOSAL		LD-160097-4	
PROJECT	5219 WEST AVE	REVISION	SHEET 1 OF 1
DATE	04/24/24	SCALE	1"=16'



1 LANDSCAPE PLAN
1" = 20'-0"



Planting Details
NOT TO SCALE



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"I have compiled with the criteria of the MEO Ordinance of the City of Greenfield and applied them accordingly for the efficient use of water in the landscape design plan."

PLANTING LEGEND

Tree		Botanical Name	Common Name	Size	H2O	Qty.
	●	Laurus 'Saratoga'	Saratoga Laurel	24" Box L	L	5
	●	Lagerstroemia indica 'Tuscarora'	Grape Myrtle	24" Box L	L	6
	●	Dodonaea Viscosa 'Std tree form'	Green Hopseed Bush	15 gallon L	L	11

Shrubs and Vines		Botanical Name	Common Name	Size	H2O
⊙	●	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	5 gal L	L
⊙	●	Dodonaea viscosa	Hopseed Bush	5 gal L	L
⊙	●	Xylosma congestum	Shiny Xylosma	5 gal L	L
⊙	●	Pittosporum tobira 'Variegata'	Variegated Mock Orange	5 gal L	L
⊙	●	Euonymus japonicus Aureovariegatus*	Gold Spot Euonymus	5 gal L	L
*Maintain shrubs at a maximum height of 3 Feet.					
⊙	●	Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Pittosporum	5 gal L	L

Vines		Botanical Name	Common Name	Size	H2O
▲	●	Parthenocissus tricuspidata	Boston Ivy	1 gal L	L

Ground Cover		Botanical Name	Common Name	Size/Spicy	H2O
SM	●	Rosmarinus offic. 'Huntington Carpet'	Rosemary	1 gal @36"oc	L
MYR	●	Myoporum parvif. 'Putah Creek'	Prostrate Myoporum	1 gal @36"oc	L
ANN	●	Annual Flowers			

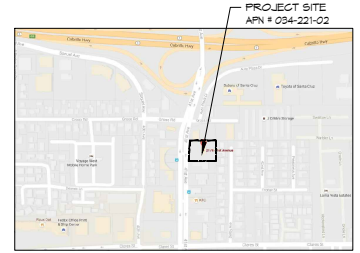
Bioretention Planting		Botanical Name	Common Name	Size	H2O
COT	●	Chondropetalum tectorum	Small Cape Rush	1 gal @48"oc	L
JUN	●	Juncus patens 'Enigma Mystery Blue'	California Gray Rush	1 gal @36"oc	L



PLANTING NOTES

- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
- All ground cover planting will be placed no further than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no staking of material or equipment, permitting of any turning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species on site as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by free-form curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
- Landscape shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
- CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
- Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes need meet this requirement.
- Compost shall be incorporated into the soil at a minimum rate of six cubic yards per a thousand square feet to a depth of eight inches. Soils with greater than six percent organic matter in the top six inches of soil are exempt. Soils report will be required for evidence of organic matter content.
- All landscape shall be automatically irrigated using state of the art irrigation system compliant with water efficient standards.

VICINITY MAP



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CONVENIENCE STORE ADDITION
217B 41ST AVE
CAPITOLA, CA 95010

ISSUED FOR CONSTRUCTION
ISSUED FOR PLAN CHECK
08-18-20 ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
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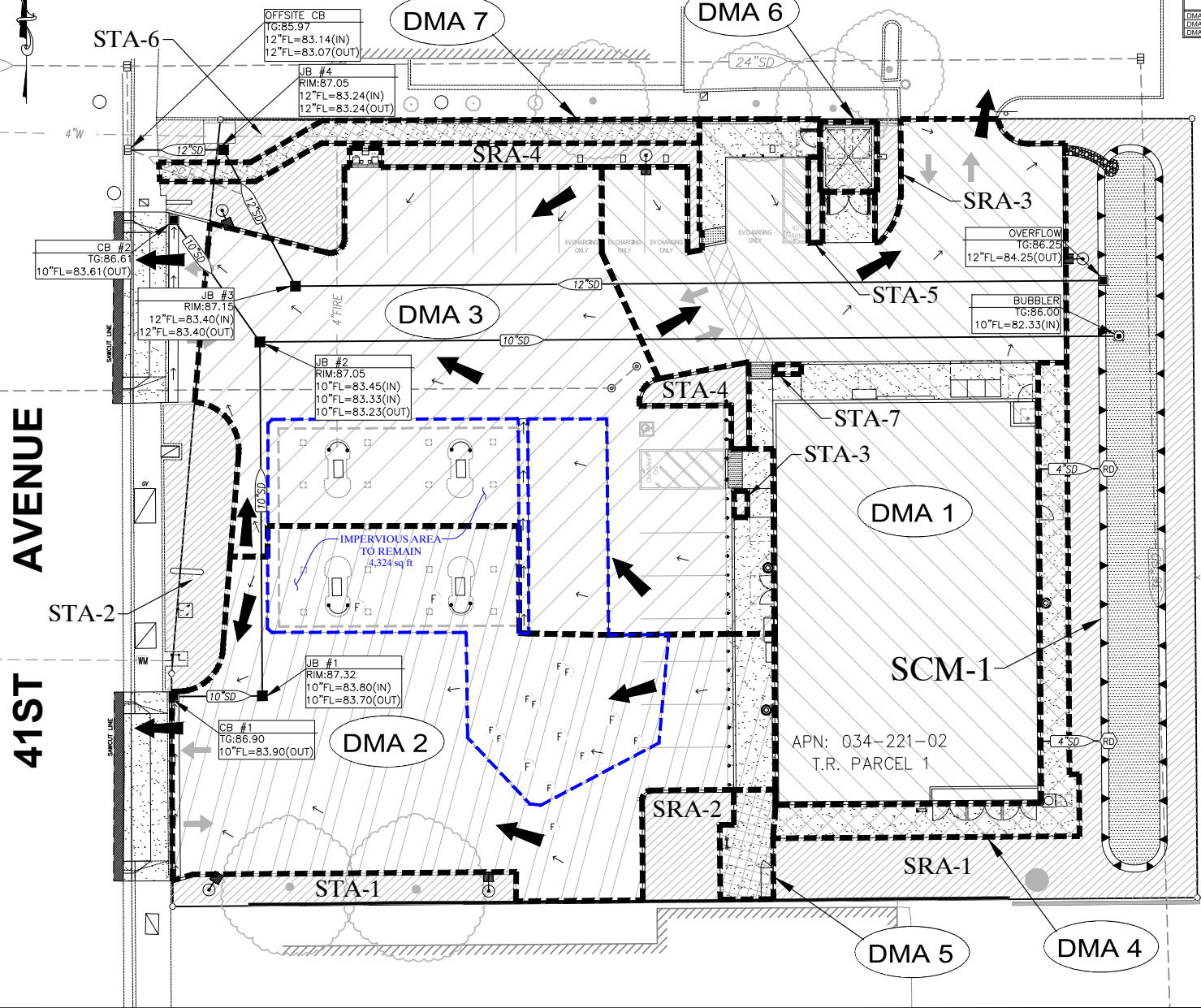
LANDSCAPE PLAN

PROJECT # IS-11302
DRAWN BY: [] CHECKED: RC
SCALE: AS NOTED DATE: 10-05-20
GENERAL DEVELOPMENT PLANNING & DESIGN (P2010-020)

LA1

SHEET OF

WATERSHED MANAGEMENT ZONE: ZONE 1 WETLAND



IMP NAME: SCM-1
IMP TYPE: FLOW-THROUGH PLANTER
SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING	RAIN ADJUSTMENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 1	9,465	ROOF & AC/PCP PAVING	1.00	9,465	0.04	1.00	989	1572
DMA 2	7,240	ROOF & AC/PCP PAVING	1.00	7,240				
DMA 3	8,013	ROOF & AC/PCP PAVING	1.00	8,013				
TOTAL					24,718			

Central Coast Region Stormwater Control Measure Sizing Calculator
Version: 2/28/2014

1. Project Information

Project Name:	Convenience Store Addition
Project Location:	2178 41st Avenue
Year (Year 1):	Year 1 - Baseline
Design (Lateral Depth (ft)):	2.0
Total project area (SQ):	34633
Total new impervious area (SQ):	0
Total replaced impervious in a USA (SQ):	0
Total replaced impervious not in a USA (SQ):	26831
Total pervious/low-impervious area (SQ):	8002

2. DMA Characterization

DMA	Drains to SCM	Area (SQ)	Surface	Runoff	Replaced	SCM-1
DMA-1	Drains to SCM	9476	Roof	Replaced	Replaced	SCM-1
DMA-2	Drains to SCM	7240	Concrete or asphalt	Replaced	Replaced	SCM-1
DMA-3	Drains to SCM	8013	Concrete or asphalt	Replaced	Replaced	SCM-1
DMA-4	Drains to Self-Retaining	3514	Concrete or asphalt	Replaced	Replaced	SRA-2
DMA-5	Drains to Self-Retaining	176	Concrete or asphalt	Replaced	Replaced	SRA-3
DMA-6	Drains to Self-Retaining	314	Concrete or asphalt	Replaced	Replaced	SRA-4
DMA-7	Drains to Self-Retaining	314	Concrete or asphalt	Replaced	Replaced	SRA-4
STA-1	Self-Retaining	397				
STA-2	Self-Retaining	125				
STA-3	Self-Retaining	35				
STA-4	Self-Retaining	125				
STA-5	Self-Retaining	125				
STA-6	Self-Retaining	211				
STA-7	Self-Retaining	209				
SRA-1	Self-Retaining	374				
SRA-2	Self-Retaining	309				
SRA-3	Self-Retaining	323				
SRA-4	Self-Retaining	623				

3. SCM Information

Total project impervious area (SQ):	26951
New impervious area (SQ):	0
Replaced impervious within a USA (SQ):	0
Replaced impervious not in a USA (SQ):	26729
Total pervious/low-impervious area (SQ):	0

4. SCM Characterization

SCM-1	SCM Type	Safety Factor	SCM Slope	Depth	Area (SQ)	Area (SQ)
SCM-1	Retention	1	4% to 6%	4.0	1572	

5. SCM Minimum Sizing Requirements

SCM Name	Minimum Depth (ft)	Minimum Slope (%)	Minimum Area (SQ)
SCM-1	4.0	4.0	42.0

6. Self-Retaining Area Sizing Checks

Self-Retaining DMA	Self-Retaining DMA Area (SQ)	Tributary DMA	Tributary DMA Area (SQ)	Tributary / SRA Ratio
SRA-1	309	DMA-4	314	0.95
SRA-2	100	DMA-5	216	0.46
SRA-3	100	DMA-6	176	1.39
SRA-4	623	DMA-7	314	0.65

SCM-1 VOLUME CALCULATION
REQUIRED VOLUME = 1,374 ft³
POND CROSS-SECTION SHAPE: TRAPEZOIDAL
BOTTOM AREA = 1,572 ft²
TOP AREA = 2,289 ft²
DEPTH = 0.75 ft
PROVIDED VOLUME = 0.5 * (1,572 ft² + 2,289 ft²) * 0.75 ft = 1,447.8 ft³

7. SCM Minimum Sizing Requirements

SCM Name	Minimum Depth (ft)	Minimum Slope (%)	Minimum Area (SQ)
SCM-1	4.0	4.0	42.0

LEGEND

- DRAINAGE AREA BOUNDARY (DMA)
- EXISTING AREA TO REMAIN BOUNDARY
- DRAINAGE AREA
- DIRECTION OF FLOW
- OVERLAND RELEASE
- ROOF DRAIN
- DMA DRAINS TO SCM-1
- DMA DRAINS TO A SRA

REVISIONS

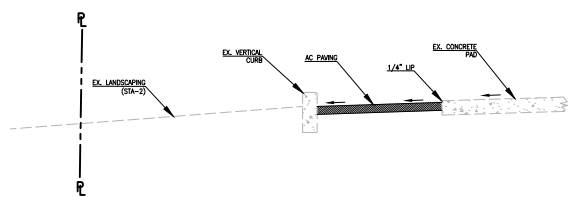
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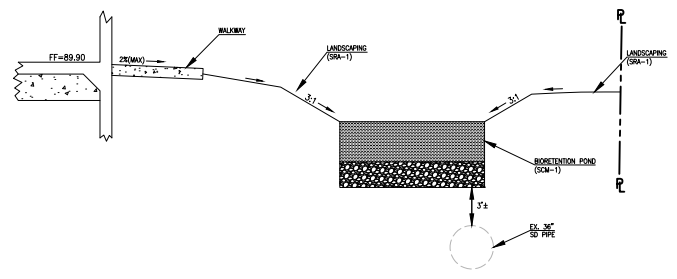
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STORMWATER CONTROL PLAN
2178 41st AVENUE
CONVENIENCE STORE ADDITION
APN: 034-221-02
SANTA CLARA COUNTY CALIFORNIA
CSD0014
08-10-2016-002 [Revised] [Revised] [Revised]

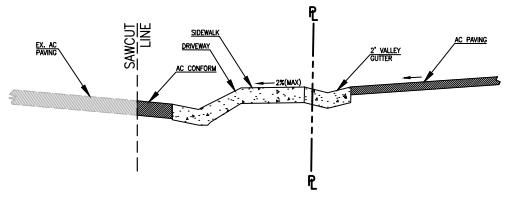
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2
OF 3 SHEETS
JOB NUMBER:
2016-002



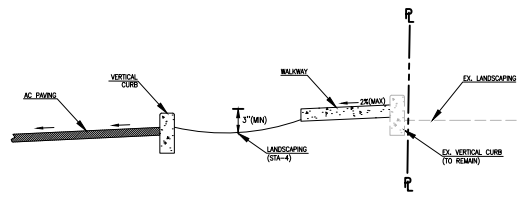
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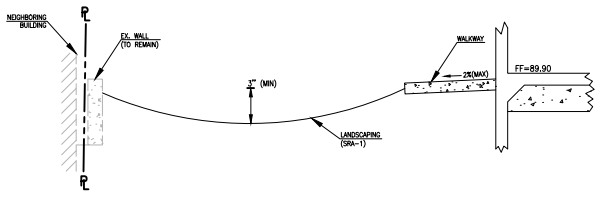
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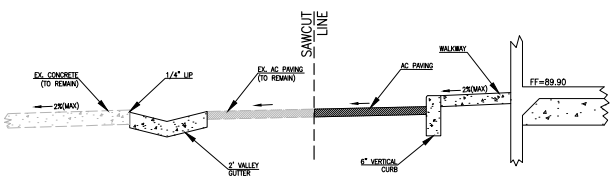
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NTS



CROSS-SECTION C - C
NTS



CROSS-SECTION D - D
NTS



CROSS-SECTION E - E
NTS

NO.	BY	DC	DATE	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
No. 34322
STATE OF CALIFORNIA

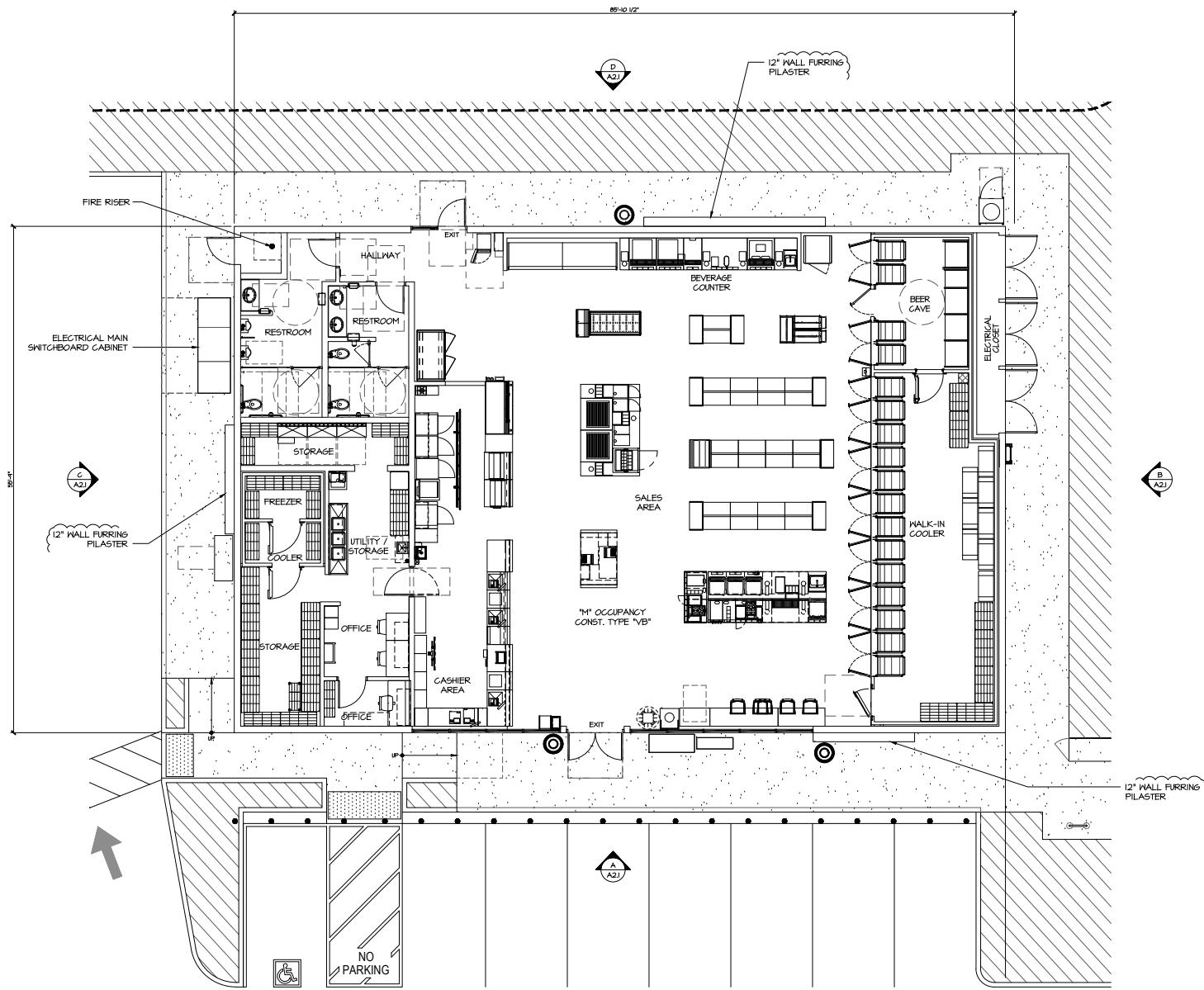
DEVELOPER
ED HADAD
700 S. BERNARDO AVE. #103
DANA POINT, CA 92607
PH: (408) 691-7971

STUKAM CONSULTING ENGINEERS, INC.
11344 COLOMA RD., SUITE 235C
DANA POINT, CA 92602
(916) 855-5244 PHONE
(916) 888-6316 FAX

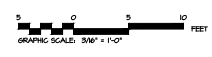
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2178 41st AVENUE
CONVENIENCE STORE ADDITION
APN: 034-221-02
SANTA ORBE COUNTY CALIFORNIA
CDB NO. 2016-002 [Seal/Stamp] [Date: 3/24/2016]

SHEET
3
Of 3 SHEETS
JOB NUMBER:
2016-002

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1 FLOOR PLAN
3/16" = 1'-0"



M
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mshane@miarchitect.com
www.miarchitect.com

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CONVENIENCE STORE ADDITION
2178 41ST AVE
CAPITOLA, CA 95010

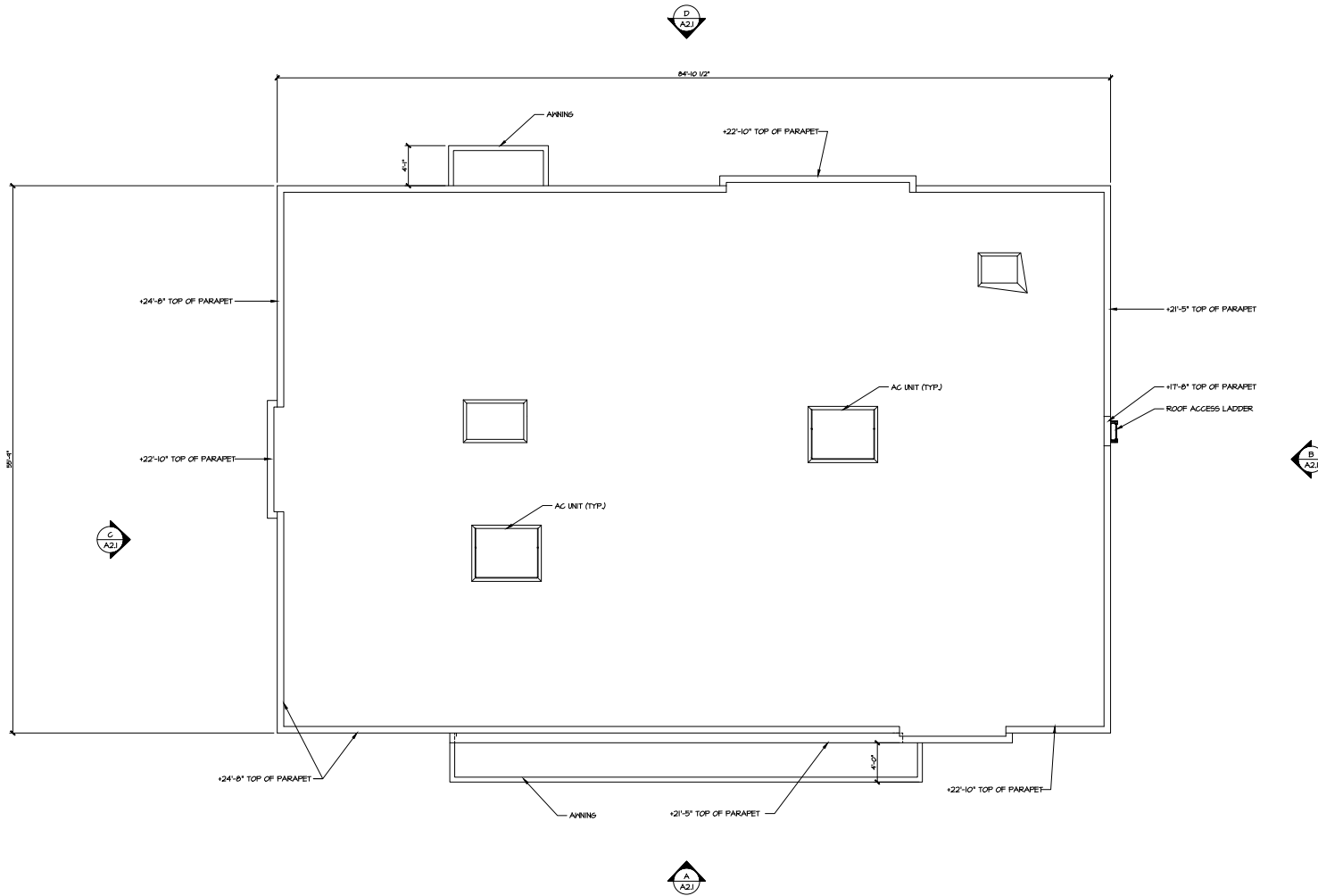
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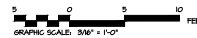
FLOOR PLAN
PROJECT #: 15-11302
DRAWN: JH CHECKED: MH
SCALE: AS NOTED DATE: 09-16-24

A1.1
SHEET OF

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1 ROOF PLAN
3/16" = 1'-0"



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CAPITOLA, CA 95010

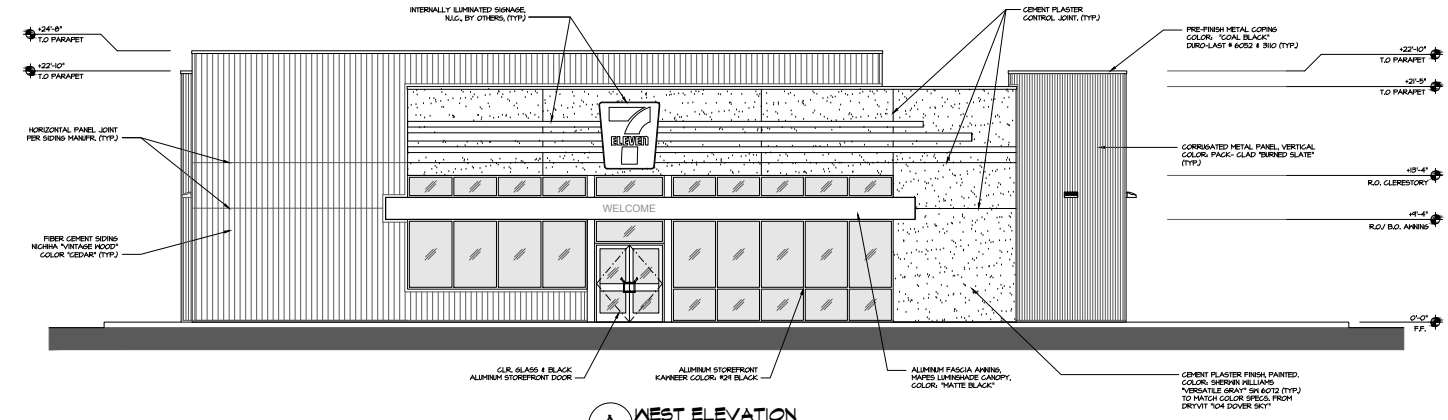
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ISSUED FOR PLAN CHECK	
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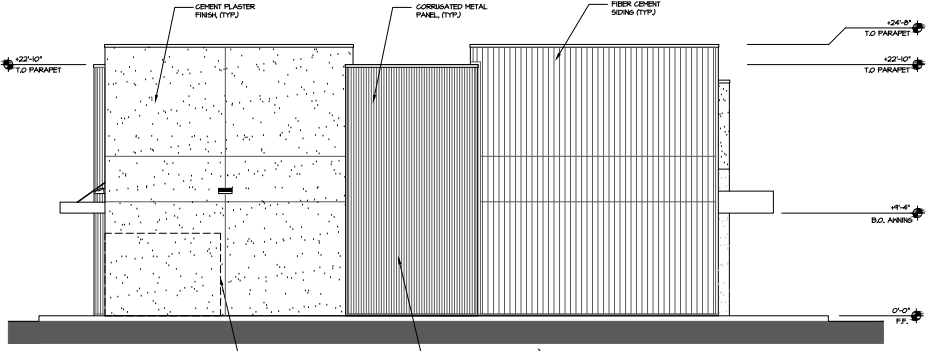
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PROJECT #:	15-11302
DRAWN BY:	MI
CHECKED BY:	MI
SCALE:	AS NOTED
DATE:	09-16-24

A1.5

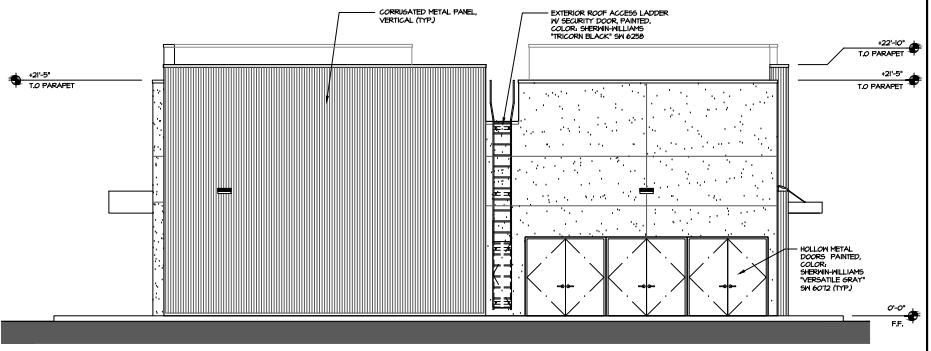
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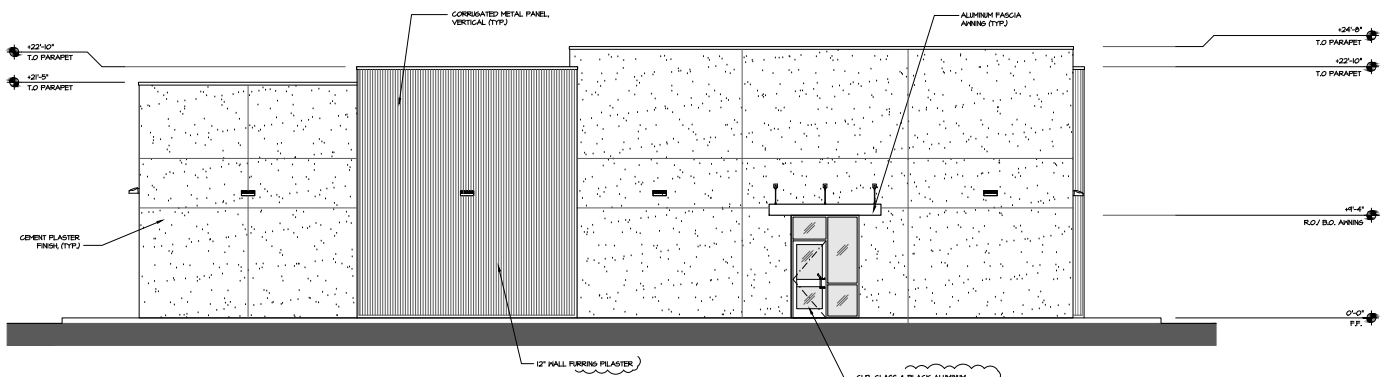
A WEST ELEVATION
 3/16" = 1'-0"



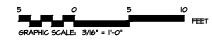
B NORTH ELEVATION
 3/16" = 1'-0"



C SOUTH ELEVATION
 3/16" = 1'-0"



D EAST ELEVATION
 3/16" = 1'-0"



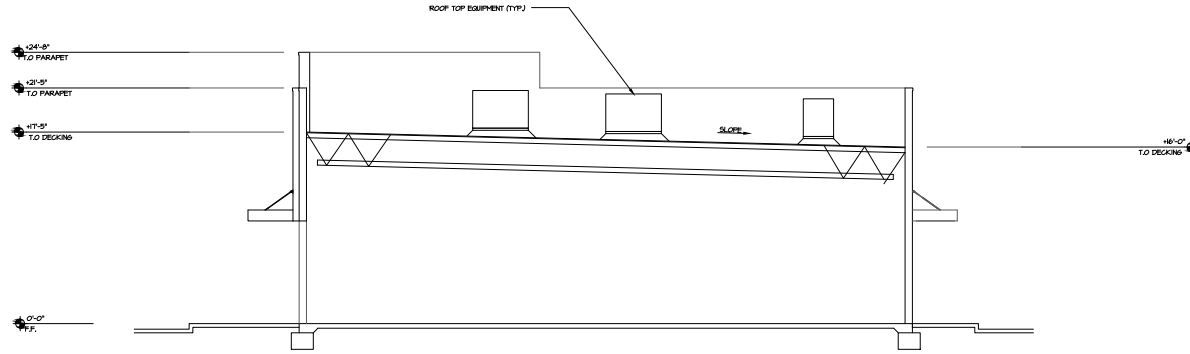
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2		ISSUED FOR PLAN CHECK
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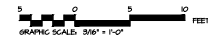
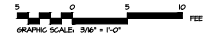
EXTERIOR ELEVATIONS

PROJECT #	15-11302
DRAWN BY	DP
CHECKED	MH
SCALE	AS NOTED
DATE	08-18-24

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A BUILDING SECTION A-A
3/16" = 1'-0"



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BUILDING SECTIONS
PROJECT # 15-11302
DRAWN BY _____ CHECKED: MTH
SCALE: AS NOTED DATE: 03-18-24

A3.1

SHEET OF