

MECOZZI-FRIBOURGH RESIDENCE

MECOZZI RESIDENCE

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GENERAL NOTES

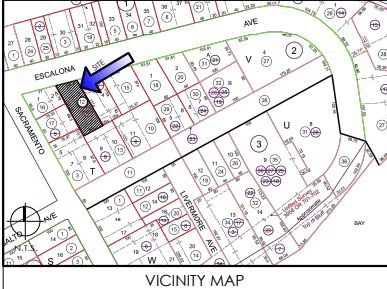
- ALL REFERENCES TO "CONTRACTOR" SHALL INDICATE GENERAL CONTRACTOR AND THE SUBCONTRACTORS IN THE EMPLOY OF THE CONTRACTOR.
- THE STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS ARE SUPPLEMENTARY TO THE DESIGN DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE DESIGN DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE DESIGN DRAWINGS AND THE CONSULTANTS DRAWINGS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE DESIGN DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE ALL LABOR, MATERIAL AND SERVICES REQUIRED FOR THE SATISFACTORY COMPLETION OF WORK COVERED IN THESE DRAWINGS. WORK SHALL BE OF SOUND AND QUALITY CONSTRUCTION AND CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE LABOR, MATERIALS AND EQUIPMENT TO COVER THE TIMELY INSTALLATION OF THE ITEMS INDICATED, DESCRIBED OR IMPLIED.
- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
 - THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
 - THESE GENERAL NOTES, UNLESS OTHERWISE NOTED OR SPECIFICATED.
 - SEPARATE PLANS FOR ELECTRICAL, PLUMBING, HEATING AND AIR CONDITIONING SHALL BE SUBMITTED BY CONTRACTOR TO THE RESPECTIVE PERMITS FOR APPROVAL AND PERMIT. CONTRACTOR SHALL PAY FOR THE RESPECTIVE PERMIT FEES AND SUPPLY COPIES TO OWNER.
- BEFORE SUBMITTING HIS BID, CONTRACTOR SHALL EXAMINE THE SITE TO COMPARE IT WITH THE PLANS AND NOTES, AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THIS WORK WILL BE PERFORMED. CONTRACTOR SHALL AT THAT TIME ASCERTAIN THE LOCATION OF ANY EXISTING STRUCTURES OR CONDITIONS THAT MAY AFFECT THIS WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE FOR CONTRACTOR'S FAILURE OR NEGLECT TO MAKE SUCH EXAMINATIONS AND DETERMINATIONS. CONTRACTOR SHALL VERIFY ALL QUANTITIES BEFORE SUBMITTING HIS BID.
- CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND AT ONCE REPORT ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER TO THE DESIGNER.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGE SCALE AND FULL SIZE DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SMALL SCALED MEASUREMENTS.
- A COMPLETE SET OF PRINTS WILL BE PROVIDED WHICH SHALL BE MAINTAINED IN GOOD ORDER AT THE SITE. ALL DIFFERENCES BETWEEN THE LOCATIONS OR ARRANGEMENTS INDICATED ON THESE DRAWINGS AND THOSE OF THE ACTUAL INSTALLATION SHALL BE RECORDED IN RED PENCIL ON THAT SET. AT THE COMPLETION OF THE PROJECT AND PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL SIGN AND DATE EACH SET AS BUILT DRAWING AS BEING A CORRECT AND ACCURATE REPRESENTATION OF THE WORK, AND SHALL SUBMIT THE COMPLETE PACKAGE TO DESIGNER.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANINGS, DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, COLUMN GRID LINES, FACE OF CONCRETE BLOCK WALLS FACE OF STUDS AND FACE OF FOAM BLOCK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ANY EXISTING UTILITY BOXES. ANY DAMAGED BOXES SHALL BE BROUGHT TO THE ATTENTION OF THE TOWN INSPECTOR PRIOR TO ANY WORK.
- CONTRACTOR TO VERIFY WITH HOMEOWNERS ALL FINAL APPLIANCES, FINISHES AND AVAILABILITY PRIOR TO LOCATING ROUGH DRIVING, PLUMBING AND ELECTRICAL CONTRACTOR TO COORDINATE APPLIANCE INSTALLATION WITH ALL APPLICABLE TRADES AS SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- CONTRACTOR TO VERIFY WITH HOMEOWNERS ALL FINAL MATERIALS, FIXTURES AND EQUIPMENT PRIOR TO ORDERING.



DRAWING INDEX

- ARCHITECTURAL SHEETS:**
- T1: TITLE SHEET & SITE PLAN
- A1: EXISTING AND PROPOSED SITE PLANS
- E1: EXISTING/DEMOL FLOOR PLAN
- A2: PROPOSED LOWER FLOOR PLAN
- A3: PROPOSED UPPER FLOOR PLAN
- A4: PROPOSED ROOF PLAN & SECTION
- A5: PROPOSED ELEVATIONS

PARCEL MAP



VICINITY MAP



ALL CONSTRUCTION MUST CONFORM TO THE RECOMMENDATIONS OF THE FOLLOWING REPORT:
 • GEOTECHNICAL INVESTIGATION: PROJECT No. 23-159-3C PREPARED BY BUTANO GEOTECHNICAL ENGINEERING, INC. DATED JUNE 2023

SETBACKS			
	REQUIRED	EXISTING	PROPOSED
FRONT YARD	GARAGE 20'-0"	22'-5"	22'-5"
	1st STORY 15'-0"	16'-7.5"	20'-11"
	2nd STORY 20'-0"	NONE	20'-0"
SIDE YARD	1st STORY 10% 3'-0"	2) 4'-5.7"(1) 5'-2.5"	2) 4'-9.7"(1) 5'-5"
	2nd STORY 15% 7'-6"	NONE	(R) 7'-7.7"(1) 8'-3"
REAR YARD	1st STORY 20'-0"	49'-1"	44'-1"
	2nd STORY 20'-0"	NONE	74'-10"
HEIGHT	27'-0"	14'-5.5"	24'-3.75"

FLOOR AREA RATIO				
	LOT SIZE	MAX (48%)	EXISTING (33%)	PROPOSED (45.77%)
	6,362.5 sq.ft.	3,063.6sq.ft.	2,118 sq.ft.	2,921 sq.ft.

	EXISTING				PROPOSED			
	HABITABLE SPACE	GARAGE	SHED	TOTAL	HABITABLE SPACE	GARAGE	SHED	TOTAL
(E) TOTALS	1,286 sq.ft.	392 sq. ft.	440 sq. ft.	2,118 sq.ft.	1,406 sq.ft.	392 sq. ft.	292 sq. ft.	2,090 sq.ft.
(P) 1st STORY	862 sq.ft.			862 sq.ft.	862 sq.ft.			862 sq.ft.
(P) 2nd STORY								
(P) STAIR CREDIT	<-31 sq.ft.>							
(P) CLG HT > 16'								
(P) TOTAL	2,237 sq.ft.	392 sq. ft.	292 sq. ft.	2,921 sq.ft.				

HEATED SQUARE FOOTAGE		PARKING	
2,268 SQ.FT.	2,921 sq ft	3 SPACES, ONE OF WHICH MUST BE COVERED	REQUIRED AND PROPOSED
	305 sq.ft. GARAGE CREDIT	3 SPACES, ONE OF WHICH MUST BE COVERED	
	2,596 SQ.FT.	TOTAL	3 SPACES

STRUCTURAL DATA

- FIRE NOTES**
- ADDRESS NUMBERS WILL BE POSTED AND MAINTAINED AND SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
 - A 30 FOOT CLEARANCE WILL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES.
 - THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022 EDITION) AND CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS
 - FIRE HYDRANT INFORMATION: FIRE FLOW REQUIRED: 1,000 GPM/120 MIN
 - LOCATION: CORNER OF ESCALONA AND SACRAMENTO AVE IN FRONT OF 605 ESCALONA (APPROX. 100 FT TO PROPERTY)
 - HOBAS: #774
 - STATIC PRESSURE: 42 PSI
 - RESIDUAL PRESSURE: 20 PSI
 - FLOW (GPM): 1,500 FLOW @ 20 PSI (GPM) = 1,489 GPM
 - DATE TESTED: MODELLED- NO DATE

BUILDING INFORMATION SUMMARY

PROJECT DESCRIPTION: PROPOSED 120 SQ.FT. LOWER FLOOR ADDITION AND 862 SQ.FT. UPPER FLOOR ADDITION TO EXISTING 1,286 SQ.FT. 3 BEDROOM, 2 BATH SINGLE STORY, SINGLE FAMILY DWELLING WITH ATTACHED 392 SQ.FT. 1 CAR GARAGE RESULTING IN A 2,268 SQ.FT. 4 BEDROOM, 3.5 BATH, 2 STORY SINGLE FAMILY DWELLING WITH ATTACHED 392 SQ.FT. GARAGE, NEW 42 SQ.FT. DECK, REMOVE PORTION OF EXISTING SHED TO LEAVE A 292 SQ.FT. ENCLOSED SHED.

PROJECT ADDRESS: 605 ESCALONA DRIVE CARPUELA, CA 95010

PARCEL NUMBER: 036-142-12

OCCUPANCY CLASSIFICATION: R-3/U

ZONING DESIGNATION: R-1

CONSTRUCTION TYPE: R-UL TYPE V-8 SPRINKLER

LOT AREA: 4382.5 SQ.FT.

TOTAL HEATED AREA: 2,268 SQ.FT.

CODE NOTE: ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA ENERGY STANDARDS
- 2022 CITY OF CARPUELA MUNICIPAL CODE

CONTACTS

- OWNER:** FRANK MECOZZI & JENNIFER FRIBOURGH
 605 ESCALONA DRIVE CARPUELA, CA 95010
 PH: (831) 231-9952
 email:frankmecozzi@gmail.com
- PROJECT DESIGNER:** VALERIE HART RESIDENTIAL DESIGN
 VALERIE HART
 3480 N. RODEO GULCH ROAD
 SOQUEL, CA 95073
 PH: (831) 239-1609
 valerie95062@yahoo.com
- STRUCTURAL ENGINEER:** BROCK DICKIE ENGINEERING
 BROCK DICKIE, SE
 502 FREDERICK STREET
 SANTA CRUZ, CA 95062
 PH: (603) 410-5336
 bdi@brockdickie.com
- SURVEY:** HANAGAN LAND SURVEYING
 PAUL HANAGAN
 305 C SOQUEL AVE
 SOQUEL, CA 95062
 PH: (831) 469-3428
- GEOTECHNICAL ENGINEER:** BUTANO GEOTECHNICAL ENGINEERING
 GREG BLOOM, C.E. 58819
 231 GREEN VALLEY ROAD, SUITE 3
 FREEDOM, CA 95019
 PH: (831) 724-2612
 greg@butanogeootech.com
- LANDSCAPE DESIGNER:** WOODUNG LANDSCAPE DESIGN
 NICOLE WOODUNG
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 nwe811@gmail.com

TITLE SHEET

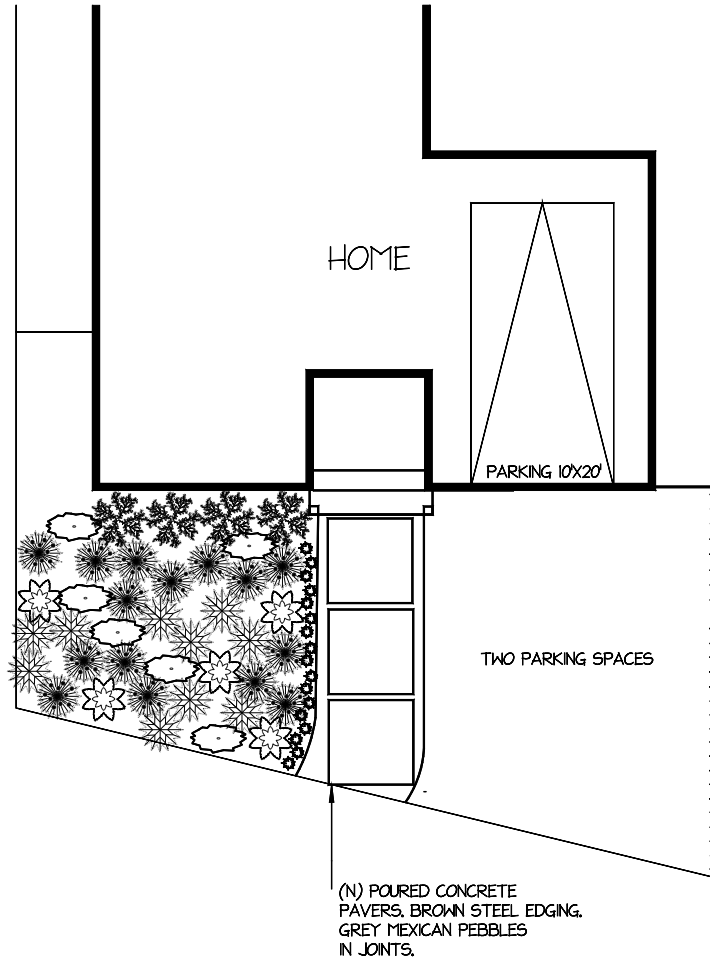
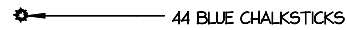
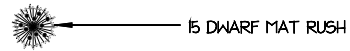
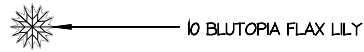
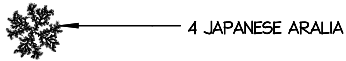
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mecoZZi residence
 605 Escalona Drive, CarpueLA, CA 95010
 apr: 036-142-12

planning submitted: AUGUST 11, 2023
 planning submitted PC1: SEPTEMBER 18, 2023
 planning submitted PC2: DECEMBER 19, 2023

SHEET: T1

Qty	Botanical Name	Common Name	Size/Condition
Shrubs			
4	<i>Fatsia japonica</i>	JAPANESE ARALIA	5-gal
Ornamental Grasses			
10	<i>Dianella Bluetopia</i>	BLUTOPIA FLAX LILY	5-gal
15	<i>Lamandra longifolia 'Breeze'</i>	DWARF MAT RUSH	1-gal
Succulents			
44	<i>Senecio serpens</i>	BLUE CHALKSTICKS	1-gal
Groundcovers			
5	<i>Arctostaphylos densiflora 'Emerald Carpet'</i>	EMERALD CARPET SONOMA MANZANITA	1-gal



ESCALONA DRIVE

PLANTING NOTES

ALL PLANT MATERIAL TO BE REMOVED EXCEPT THOSE MARKED EXISTING ON PLANS

SPREAD 2" COFPOST OVER SOIL SURFACE OR 1" CUBIC YARD COFPOST TO 3 CUBIC YARDS SOIL

GRADE ALL SOIL SURFACES SMOOTH WITH NO LOCALIZED DEPRESSIONS EXCEEDING 6"

ALL AREAS SHALL SURFACE DRAIN WITH 2% MINIMUM SLOPE AWAY FROM STRUCTURES AND PAVING

ALL PLANTS TO BE INSTALLED IN RIGID GALVANIZED STAINLESS STEEL GORNER BASKETS.

ALL PLANTING HOLES TO HAVE 20-40-4 SLIM RELEASE FERTILIZER TABS, NOT TO BE USED WITH PROTECTOR GEL.

ALL NEWLY PLANTED MATERIAL TO BE WATERED BY DEEP SOAKING WITHIN THREE HOURS OF PLANTING

ALL PLANTING AREAS TOP DRESSED WITH 5" HANDGANY MONDER FINE FULCH UNLESS OTHERWISE SPECIFIED.

IRRIGATION AND DRAINAGE SYSTEMS TO BE DESIGNED BY CONTRACTOR.

ALL IRRIGATION IS HIGH-EFFICIENCY DRIP IRRIGATION NO OVERHEAD SPRAY IS USED.

ALL PLANTS USED ARE CLIMATE-ADAPTED AND REQUIRE LITTLE TO NO SUMMER WATER.

WELO NOTES

FOR RESIDENTIAL AREAS, INSTALL PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER FOR 75% OF THE PLANT AREA.

A MINIMUM OF 3" FULCH IS APPLIED ON ALL PLANTING AREAS EXCEPT TURF AND WHERE CONTRAINDICATED.

TURF SHALL NOT EXCEED 25% OF THE PLANTED AREA IN RESIDENTIAL AREAS.

NO TURF ON SLOPED AREAS EXCEEDING 1" VERTICAL ELEVATION CHANGE FOR EVERY 4" HORIZONTAL LENGTH.

TURF IS PROHIBITED IN PARKWAYS LESS THAN 10' WIDE UNLESS THE PARKWAY IS ADJACENT TO A PARKING STRIP USED TO ENTER VEHICLES.

AUTOMATIC IRRIGATION CONTROLLER IS REQUIRED AND MUST HAVE RAIN SHUT-OFF SENSOR.

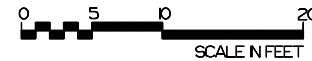
IRRIGATION CONTROLLERS MUST NOT LOSE PROGRAMMING DATA IN THE EVENT OF A POWER OUTAGE.

PRESSURE REGULATORS MUST BE INSTALLED ON IRRIGATION SYSTEMS.

MANUAL SHUT OFF VALVES ARE INSTALLED AS CLOSE AS POSSIBLE TO POINT OF CONNECTION OF WATER SUPPLY.

ALL SPRINKLERHEADS MUST DEMONSTRATE A DISTRIBUTION UNIFORMITY LOW QUARTER OF .65 OR HIGHER BASED ON ANSI STANDARDS.

ANY AREA LESS THAN 10' WIDE MUST BE INSTALLED WITH SUBSURFACE IRRIGATION (NO RUNOFF)



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LANDSCAPE DESIGN

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LANDSCAPE DESIGN

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jfrbourgh@gmail.com

SCALE 1"=4'

DESIGNED BY:
NICOLE WOODLING

DATE 12/6/2023

SHEET NO.

1 OF 1

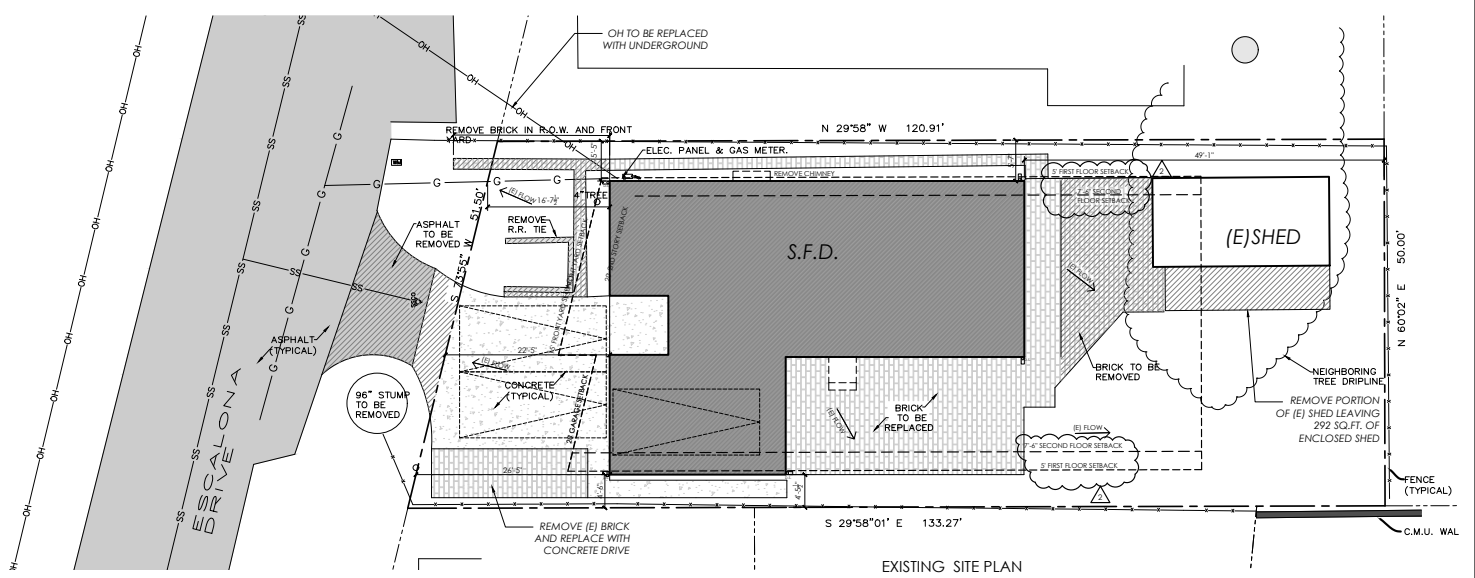
NOTE: PRIOR TO ANY WORK IN THE CITY ROAD RIGHT OF WAY, AN ENCROACHMENT PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR PERFORMING THE WORK. NO MATERIAL OR EQUIPMENT STORAGE MAY BE PLACED IN THE ROAD RIGHT OF WAY.

DRAINAGE NOTES

DOWNSPOUTS TO DISCHARGE ONTO CONCRETE SPLASH BLOCKS AND RETAIN THE EXISTING SURFACE FLOW PATTERN. DRAINAGE DIRECTED TO THE ADJACENT PARCELS SHALL BE REDUCED TO THE MAXIMUM EXTENT POSSIBLE.

IMPERVIOUS COVERAGE CALC

(E) IMPERVIOUS COVERAGE:	
PAVING:	2101 S.F.F.
HARDSCAPE:	2135 S.F.
TOTAL (E):	4236 S.F.
REPLACE IMPERVIOUS COVERAGE:	
HARDSCAPE:	535 S.F.
(N) IMPERVIOUS COVERAGE:	
BUILDING:	0 S.F.
HARDSCAPE:	463 S.F.
TOTAL PROPOSED:	3949 S.F.
ADDED IMPERVIOUS COVERAGE:	-287 S.F.

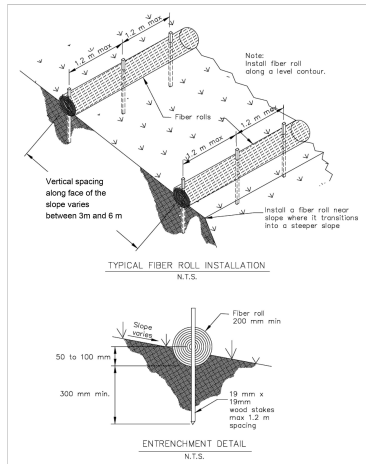


EROSION CONTROL NOTE:

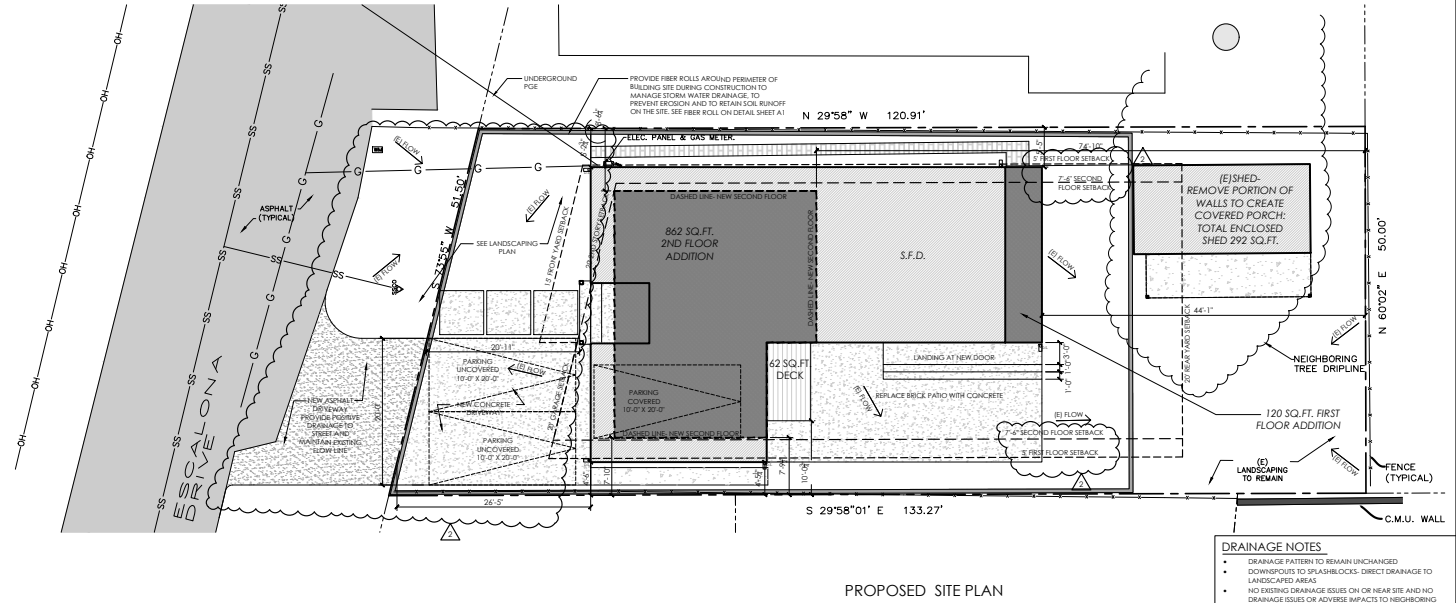
FIBER ROLL SHALL BE PLACED AROUND PERIMETER AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION UNLESS DEEMED UNNECESSARY DUE TO SITE CONDITIONS.

Fiber Rolls

SC-5



FIBER ROLL DETAIL



PROPOSED SITE PLAN

DRAINAGE NOTES

- DRAINAGE PATTERN TO REMAIN UNCHANGED
- DOWNSPOUTS TO SPLASHBLOCKS. DIRECT DRAINAGE TO LANDSCAPED AREAS
- NO EXISTING DRAINAGE ISSUES ON OR NEAR SITE AND NO DRAINAGE ISSUES OR ADVERSE IMPACTS TO NEIGHBORING PROPERTIES, ROADWAYS, OR DRAINAGE PATHWAYS ARE ANTICIPATED RESULTING FROM PROPOSED IMPROVEMENTS. SEE RUNOFF SHALL NOT DRAIN ONTO ADJACENT PROPERTIES

EXISTING AND PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



VALERIE HART RESIDENTIAL DESIGN

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mecozi residence

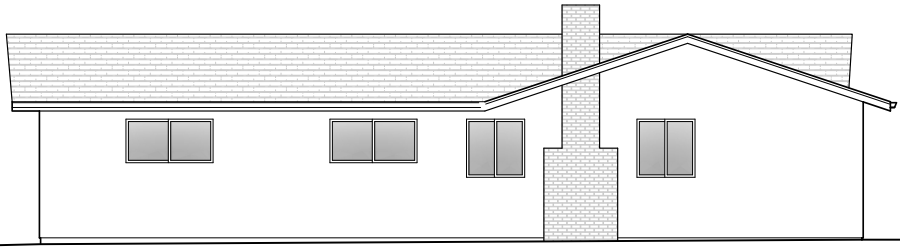
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apn: 036-142-12

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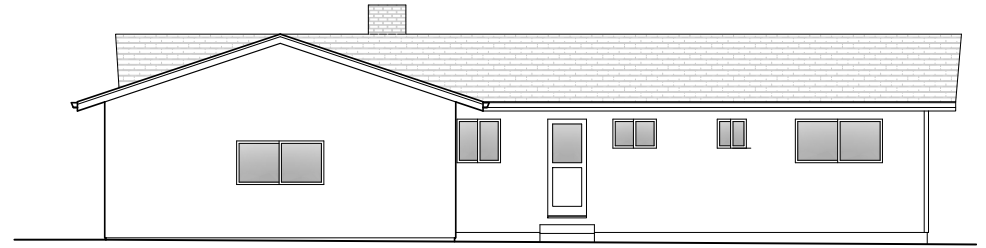
SHEET: **A1**

MECOZI RESIDENCE

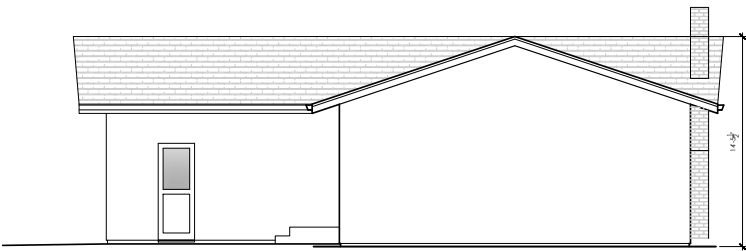
MECOZI RESIDENCE



EXISTING NORTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"



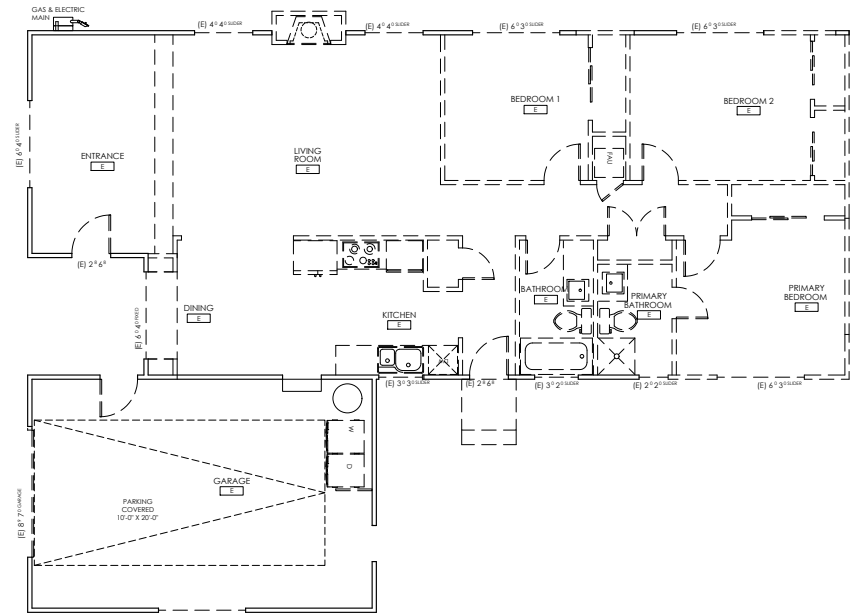
EXISTING SOUTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH-WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH-WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	DEMO WALL
	EXISTING WALL
	NEW 2 X 4 STUD WALL
	NEW 2 X 6 STUD WALL

EXISTING FLOOR PLAN & ELEVATIONS

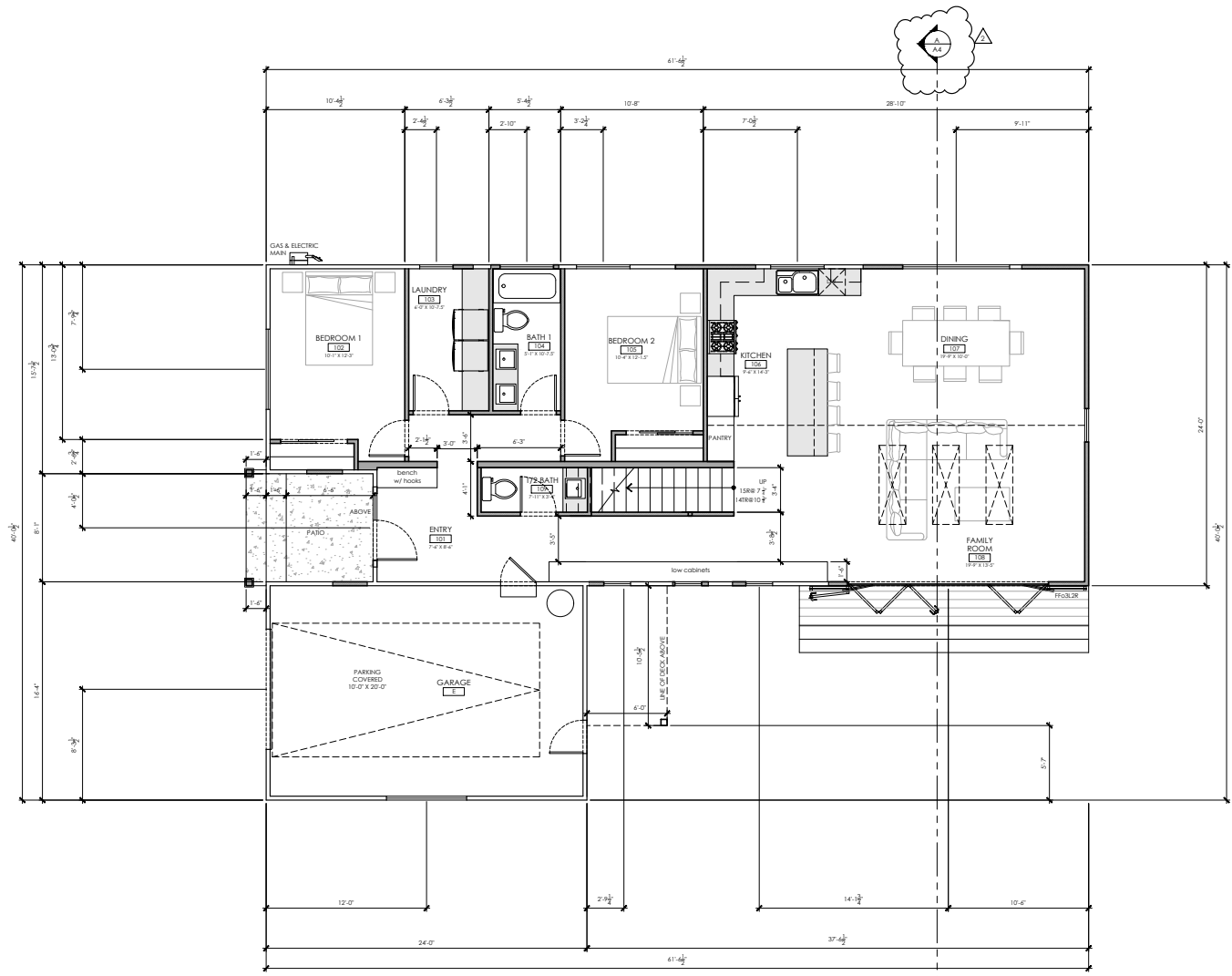
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SHEET: **E1**



PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



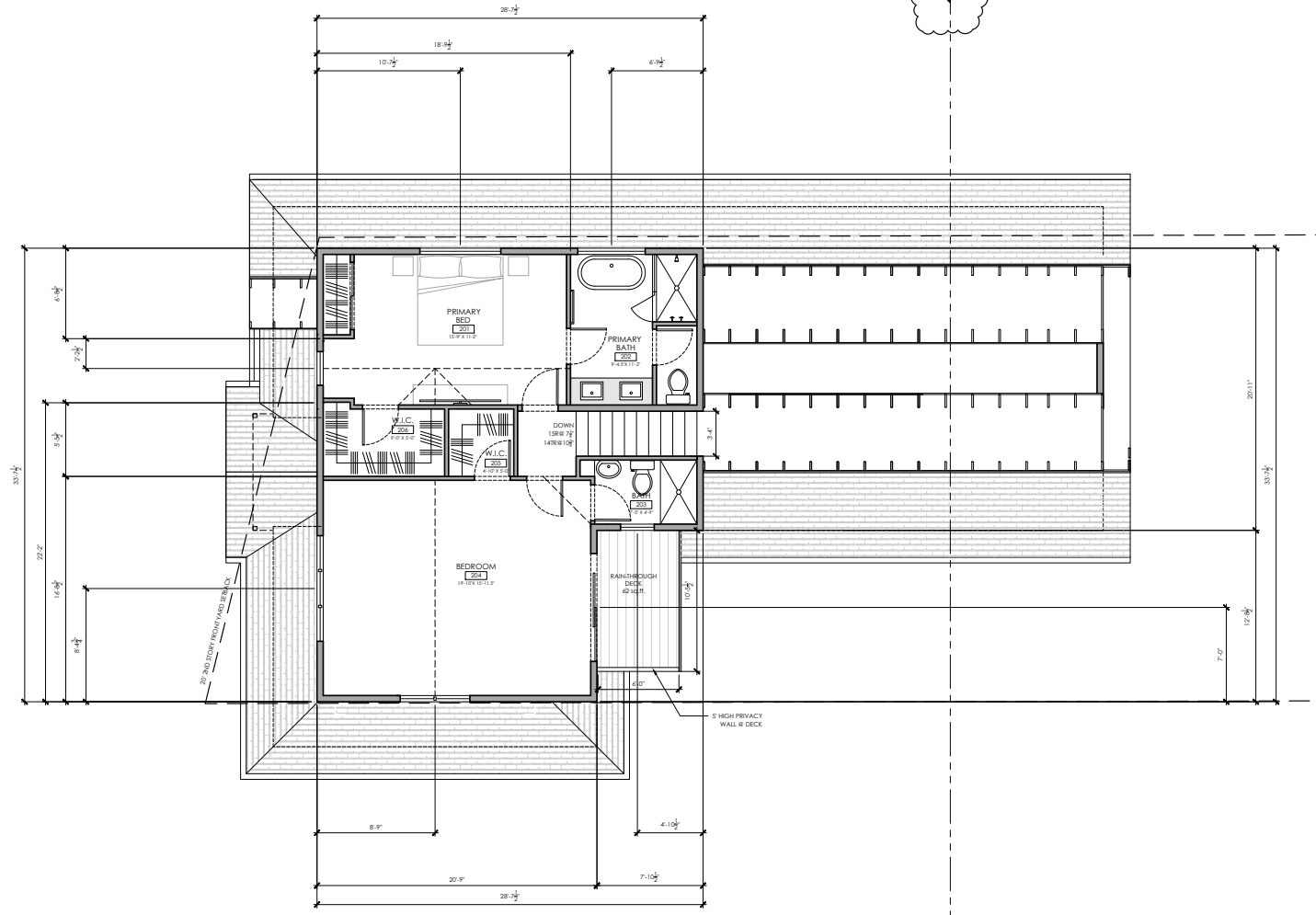
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SHEET: **A2**

WALL LEGEND	
	EXISTING STUD WALL
	NEW 2 X 4 STUD WALL
	NEW 2 X 6 STUD WALL



WALL LEGEND	
	EXISTING STUD WALL
	NEW 2 X 4 STUD WALL
	NEW 2 X 6 STUD WALL

PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

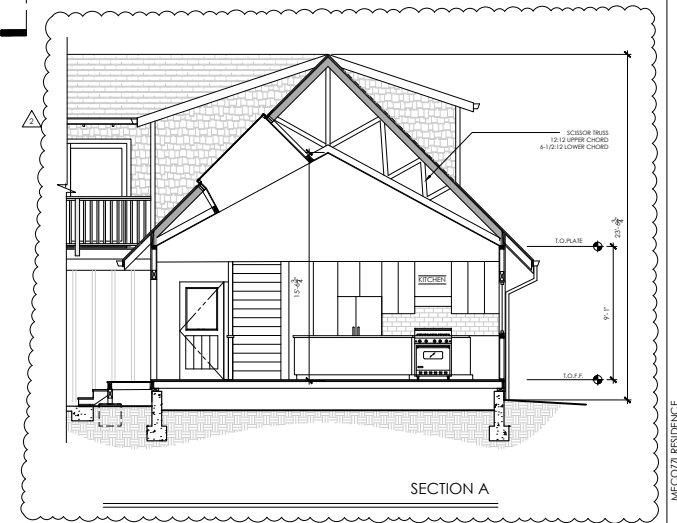
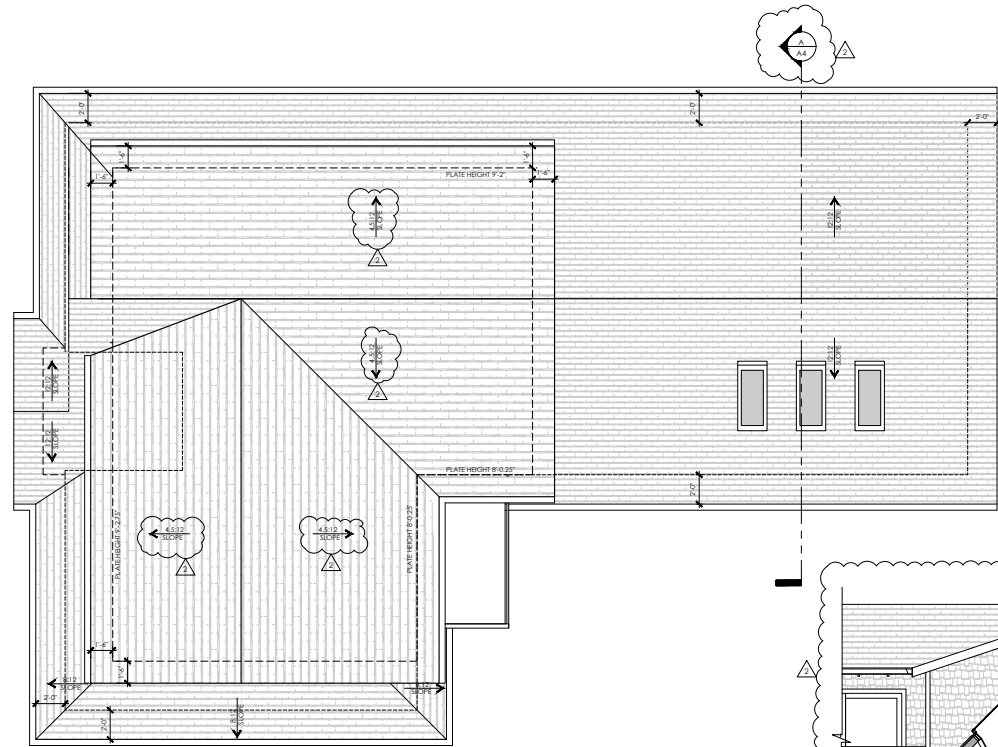


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SHEET: **A3**



PROPOSED ROOF PLAN AND SECTION

SCALE: 1/4" = 1'-0"



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SHEET: **A4**



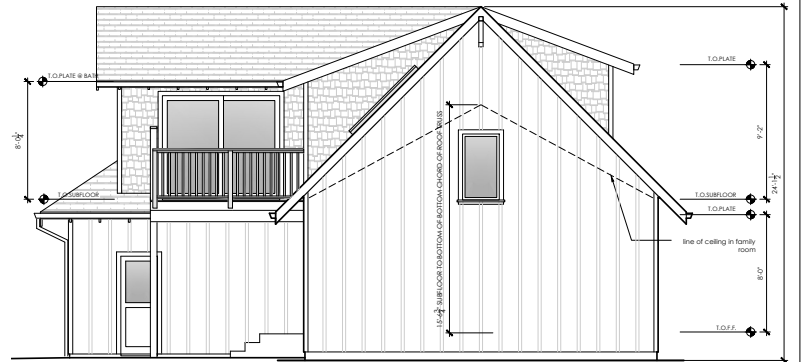
PROPOSED NORTH-EAST ELEVATION



PROPOSED NORTH-WEST ELEVATION



PROPOSED SOUTH-EAST ELEVATION



PROPOSED SOUTH-WEST ELEVATION

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

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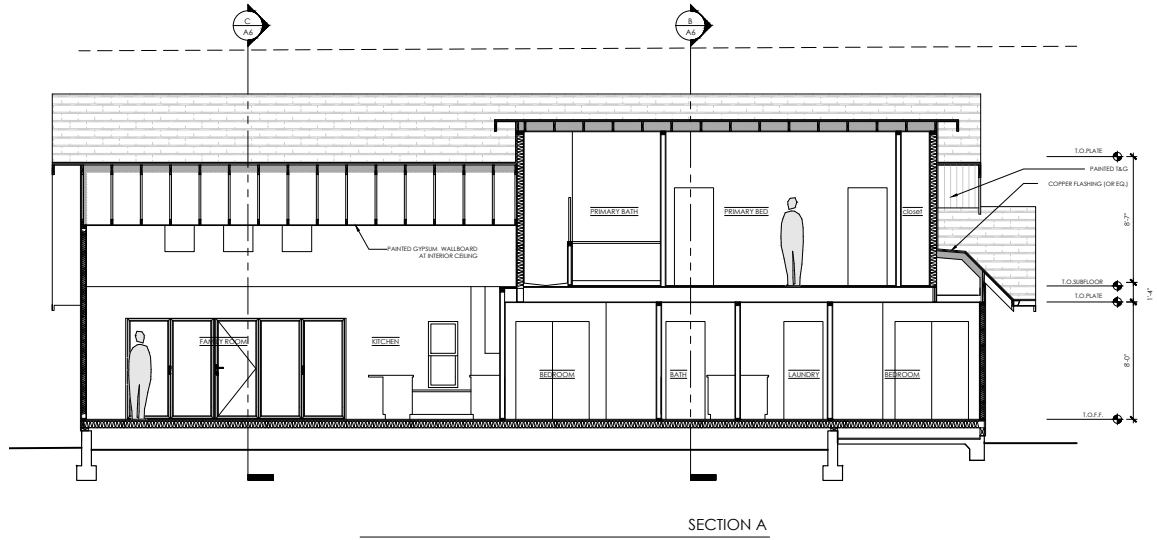
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mecozi residence

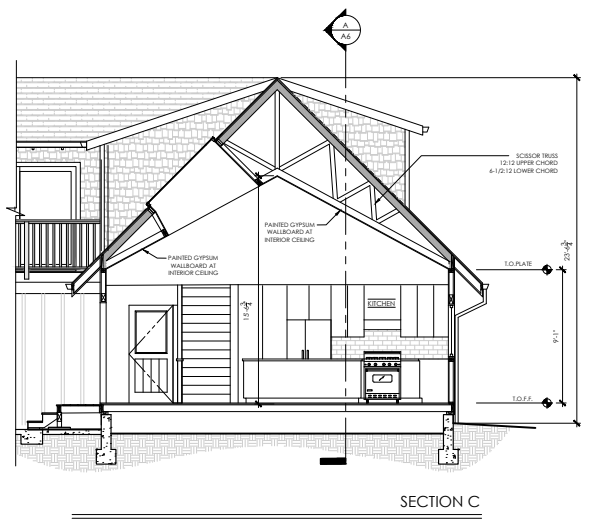
605 Escalona Drive, Capitola, CA 95010
apn: 036-142-12

planning submittal: AUGUST 11, 2023
planning submittal PC1: SEPTEMBER 18, 2023
planning submittal PC2: DECEMBER 19, 2023

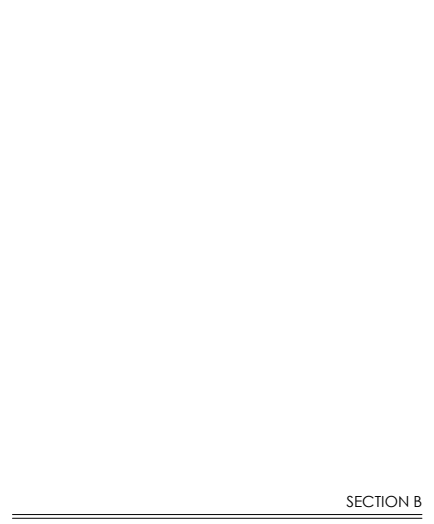
SHEET: **A5**



SECTION A



SECTION C



SECTION B

PROPOSED SECTIONS

SCALE: 1/4" = 1'-0"

VALERIE HART RESIDENTIAL DESIGN
 3680 N. RODEO GULCH ROAD, SOQUEL, CA 95073
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mecozi residence
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SHEET: A6