

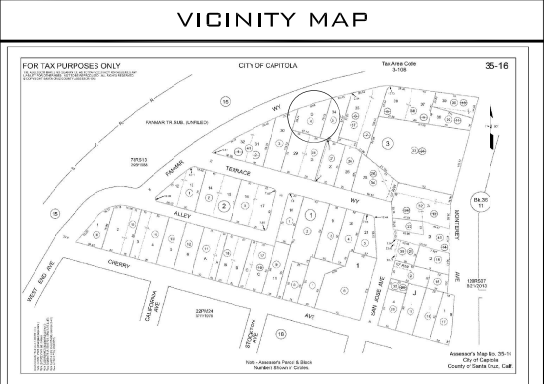
APPLICABLE CODES	
California Building Code	2022 Edition
California Residential Code	2022 Edition
California Fire Code	2022 Edition
California Mechanical Code	2022 Edition
California Plumbing Code	2022 Edition
California Electric Code	2022 Edition
California Energy Code	2022 Edition

DEFERRED SUBMITTALS

PROJECT INFO
<p>PROJECT DATA:</p> <p>APN: 035163004 ADDRESS: 203 FANMAR WAY CAPITOLA, CA 95010</p> <p>FLOOD ZONE: NO BUILDING OCCUPANCY: R3/U CONSTRUCTION TYPE: VB STORIES: 2 HISTORIC: NO</p> <p>FLOOR AREA SUMMARY:</p> <p>LOT AREA: 2,625 S.F. EXISTING LIVING: 784 S.F. EXISTING PATIO: 144 S.F. EXISTING GARAGE: 255 S.F.</p> <p>PROPOSED 2ND FLOOR ADDITION: 381 S.F. PROPOSED 2ND FLOOR DECK: 56 S.F. FLOOR AREA PER CAPITOLA GUIDELINES: 1,460 (55%) GROSS FLOOR AREA OF ALL STORIES: 1,640 S.F. (62.7%) LOT COVERAGE: 1,183 S.F. (45%)</p>
SCOPE OF WORK
<p>REMODEL OF EXISTING 2 BEDROOM / 1 BATH 784 S.F. SINGLE FAMILY DWELLING – REMOVING 61 L.F. OF WALL, 1 BATHROOM & 1 BEDROOM – ADDITION OF 381 S.F., 2ND STORY LIVING W/ 1 BEDROOM & 1 BATH ALONG WITH A 56 S.F., 2ND FLOOR DECK – PROPOSED HOME WILL BE A 2 BED / 2 BATH SINGLE FAMILY DWELLING</p>
PROJECT INFO
<p>DESIGNS PRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF SOUTH BAY DESIGN AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THIS DRAWING AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION OF SOUTH BAY DESIGN</p>

SHEET INDEX
A0) COVER SHEET A1) ARCHITECTURAL SITE PLAN BMP1,2) BEST MANAGEMENT/STORMWATER A2) EXISTING FLOOR PLAN/ELEVATIONS A3) PROPOSED FLOOR PLAN A4) PROPOSED ELEVATIONS 1) SURVEYOR SITE PLAN L1) LANDSCAPING PLAN

PROJECT DIRECTORY
<p>OWNER: MARGARETICH RESIDENCE 203 FANMAR WAY CAPITOLA, CA 95010 408-931-1749D</p> <p>DESIGNER: ALEX VALLES SOUTH BAY DESIGN P.O. BOX 27 HOLLISTER, CA 95024</p>



PROPOSED PROJECT:
 203 FANMAR WAY
 CAPITOLA, CA 95010

REVISIONS

SOUTH BAY DESIGN

SOUTH BAY DESIGN

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 PRINCIPAL OWNER
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 408-931-1749
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REMODEL & ADDITION RESIDENCE
 MARGARETICH RESIDENCE
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 CAPITOLA, CA 95010

COVER SHEET

DRAWN BY	AV.
CHECKED	
DATE	10.3.23
SCALE	
JOB NO.	
SHEET	AD

ARCHITECTURAL GENERAL NOTES

VENTILATION

1. LOCATION AND SIZE OF FOUNDATION VENTS TO CONFORM TO CRC R405.
2. PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/100 OF THE ATTIC AREA. CRC R366.2.
3. BATHROOMS AND LAUNDRY ROOMS SHALL BE MECHANICALLY VENTILATED (50 CFM CFM). THE POINT OF DISCHARGE MUST BE 3' MIN. ABOVE ANY BUILDING OPENINGS WITHIN 10'. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH CLEAR OPEN AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM/CRC.

ACCESS

4. PROVIDE UNOBSTRUCTED 18" MIN. BY 24" MIN. ACCESS TO ALL UNDER FLOOR SPACES WHERE JOISTS OR SUB FLOOR IS UN-TREATED. CRC R404.
5. PROVIDE 22" MIN. BY 30" MIN. ACCESS TO ALL ATTIC SPACES WITH 30" CLEAR HEIGHT OR MORE. CRC R307. FIRE PROTECTION
6. ALL GARAGE WALLS COMMON WITH LIVING AREA TO BE 1/2" GYPSUM BOARD MINIMUM FROM FOUNDATION TOP OF SHEATHING ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. GARAGE SUPPORTING HABITABLE ROOMS ABOVE TO BE OF 1 HOUR CONSTRUCTION WITH 5/8" TYPE "X" GYPSUM BOARD MINIMUM. DOORS FROM GARAGE TO LIVING AREA TO BE 1/8" MIN. SOLID WOOD DOOR OR 2 1/2" MINUTE PREPARED WITH SELF-CLOSING AND SELF-LATCHING DEVICES AND WEATHER STRIPPING. PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS & STRUCTURES (BEAMS, POSTS, ETC.) AT GARAGE SIDE OF THE WALL SUPPORTING 5/8" TYPE "X" GYPSUM BOARD.
7. USABLE SPACE UNDER STAIRS AT R2 AND R3 TO BE 1/2" GYPSUM BOARD MIN. AT ALL WALLS AND CEILING PER CRC.
8. PROVIDE 6" MINIMUM CLEARANCE AT BACK OF FURNACE AND 12" TOTAL CLEARANCE ON SIDES OF FURNACE.
9. INSTALL ZERO CLEARANCE PRE-AD FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION RECOMMENDATIONS AND ITS LISTING PER CRC. VERIFY HEARTH EXTENSION MATERIAL AND THICKNESS MEET MANUFACTURERS SPECIFICATIONS. FIRE STOPPING WITH NON-COMBUSTIBLE MATERIALS SHALL BE PROVIDED AROUND THE CHIMNEY OPENINGS AT THE CEILING PER CRC.
10. TOP OF FIREPLACE CHIMNEYS TO EXTEND 2 FEET MIN. ABOVE ANY ADJACENT ROOFING WITH 10 FEET MEASURED HORIZONTALLY OF CHIMNEY AND 3 FEET MIN. ABOVE ANY ADJACENT ROOFING MATERIAL PER CRC.

GLAZING

11. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS.
12. VIEW 8' WINDOWS MEET EGRESS REQUIREMENTS (CRC R301). AT LEAST ONE ESCAPE ROUTE FROM EACH SLEEPING ROOM, 20" CLEAR WIDTH, 24" CLEAR HEIGHT, AND 57 SQ. FT. CLEAR OPENING, THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR (CRC).
13. SKYLIGHT DESIGN TO CARRY ALL TRIBUTARY ROOF LOADS AS SPECIFIED IN CRC R301.
14. CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC R306.
15. GLASS SHOWER AND TUB ENCLOSURES, AND WINDOWS OVER SHOWERS AND TUBS TO BE SAFETY GLASS. CRC R308.4.5.
16. GLAZING IN ANY DOOR, OR GLAZING WITHIN 24" OF ANY DOOR AND WITHIN 60" OF FLOORS TO BE TEMPERED GLASS CRC R308.4.1 AND R308.4.2. GLAZING WITHIN 18" OF THE FLOOR AS PER CRC R308.4.3 OR AT ENCLOSED WALLS AT STAIRWAYS AS PER CRC R308.4.6 AND R308.4.7 TO BE TEMPERED GLASS.

STAIRS

17. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 5 1/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". THE RUN SHALL NOT BE LESS THAN 10", THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". CRC R311.7.3. HEADROOM AT STAIRWAYS TO BE 6'8" MIN. MEASURED VERTICALLY AT ALL POINTS FORMED BY A PLANE TANGENT TO ALL TREAD NOSINGS. CRC R311.7.2. NOSING DIMENSION AND PROFILE PER CRC R311.7.3.3, 1A.
18. GUARDRAILS SHALL HAVE MINIMUM OF 42" IN HEIGHT. CRC R312.2. OPEN GUARDS SHALL HAVE BALUSTERS SUCH THAT 4" DIAMETER SPHERE CANNOT PASS THROUGH. CRC R312.1.3. FOR R2 AND R3 OCCUPANCY. OPENINGS FOR MEDICAL EQUIPMENT ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW PASSAGE OF A SPHERE OF 4 1/8" OR MORE IN DIAMETER. CRC R312.1.3 B. 2.
19. HANDRAILS TO BE 34" TO 38" ABOVE TREAD NOSING. CIRCULAR HANDRAIL TO BE WITH 1 1/4" TO MAX. 2 1/2" CROSS SECTION. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OF FLIGHT WITH FOUR RISERS OR MORE. CRC R311.7.4.

BATHROOMS

20. TOILETS TO HAVE A MINIMUM CLEAR STALL SPACE OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT. INSTALL MAX. 1.20 GALLON PER FLUSH TOILETS.
21. SHOWERS TO HAVE A MINIMUM AREA OF 102 SQ. IN. AND A MINIMUM CLEAR HORIZONTAL DIMENSION OF 30". MEASURED AT THE TOP OF THE CURB. WALLS SHALL BE CEMENT-BASED BACKER BOARDS TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET. CRC R317.2. PROVIDE INDIVIDUAL PRESSURE BALANCE OR TEMPERATURE CONTROL AT EACH SHOWER OR TUBSHOWER.
22. INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. WALLS SHALL BE CEMENT-BASED BACKER BOARDS TO THE CEILING AT SHOWERS AND TUBSHOWERS.

GENERAL

23. VAULTED CEILINGS SHALL BE PROVIDED WITH A VAPOR BARRIER BENEATH THE INSULATION AND A 1" MIN. AIR SPACE ABOVE THE INSULATION. THE AIR SPACE SHALL BE VENTILATED AS PER CRC R305.
24. FURNACES AND WATER HEATERS IN GARAGES SHALL BE MOUNTED UPON PLATFORMS NOT LESS THAN 18" ABOVE THE GARAGE FLOOR.
25. WATER HEATER SHALL BE STRAPPED FOR SEISMIC LOAD AT POINTS BETWEEN THE UPPER ONE THIRD AND LOWER ONE THIRD OF ITS HEIGHT. THE LOWER STRAP SHALL BE A MINIMUM OF 4 INCHES ABOVE THE WATER HEATER CONTROLS. SEE CPC.
26. PROVIDE ROOF DRAINS AND OVERFLOW DRAINS AT FLAT ROOFS AS PER CRC R303.4 AND CPC.

PERFORMANCE

27. PROVIDE FABRICATORS CERTIFICATE FOR GLULAM BEAMS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL AT TIME OF DELIVERY AND PRIOR TO INSTALLATION AS PER CRC.
28. ALL HARDWOOD FLOORING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NORTAM SPECIFICATIONS AND RECOMMENDATIONS.
29. ALL TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.
30. ALL PLUMBING WORK SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, SAFETY ORDERS OF THE STATE OF CALIFORNIA AND ALL LOCAL CODES AND ORDINANCES.
31. ALL H.V.A.C. WORK SHALL BE IN CONFORMANCE WITH APPLICABLE CODES, THE CALIFORNIA MECHANICAL CODE, AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA.
32. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIA ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. TOXIC MATERIALS REMOVAL

TOXIC MATERIALS REMOVAL

33. ALL HANDLING AND REMOVAL OF TOXIC MATERIALS TO BE DONE BY A CERTIFIED WASTE CONTRACTOR. CERTIFICATION TO BE DONE BY THE STATE OF CALIFORNIA AND REGISTERED WITH THE LOCAL BUILDING OFFICIAL.
34. FOR ALL NEW CONSTRUCTION, ALL DWELLINGS SHALL COMPLY WITH THE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE. BUILDERS SHALL BE DESIGNER TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE CODE. FOR SITE DEVELOPMENT PER CGSBC SECTION 4.19E FOR WATER EFFICIENCY AND CONSERVATION PER CGSBC SECTION 4.301 FOR INDOOR AIR QUALITY PER CGSBC SECTION 5.06

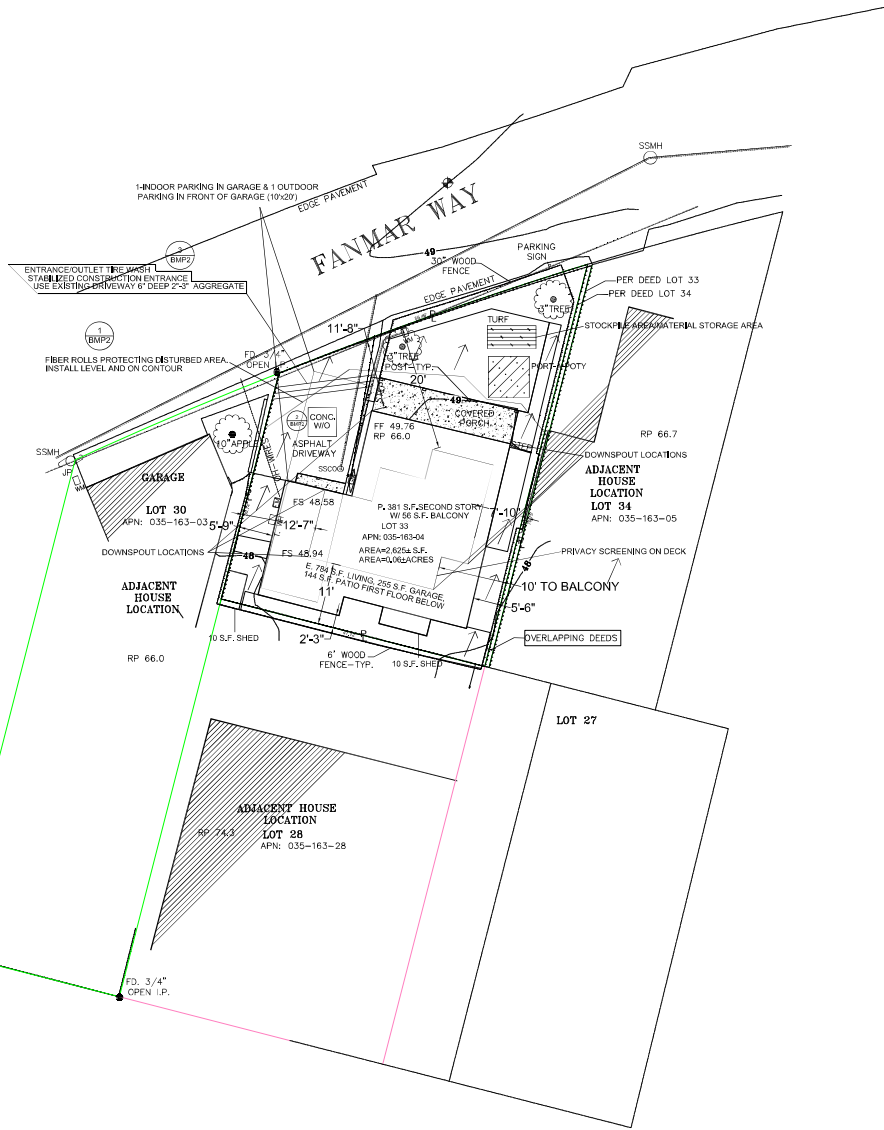
DETAIL LEGEND FOUND ON SHEETS BMP-1 & BMP-2

BMP-1-1	SILT FENCE N/A
BMP-1-2	SILT FENCE N/A
BMP-1-3	STABILIZED CONSTRUCTION ENTRANCE/EXIT N/A
BMP-1-4	VELOCITY DISSIPATION DEVICES N/A
BMP-2-1	FIBER ROLLS
BMP-2-2	CONCRETE WASTE MANAGEMENT
BMP-2-3	ENTRANCE/OUTLET TIRE WASH
BMP-2-4	STORM DRAIN INLET PROTECTION
BMP-2-5	GEOTEXTILES AND MATS
BMP-2-6	STORM DRAIN INLET PROTECTION
BMP-2-7	GEOTEXTILES AND MATS
BMP-2-8	VELOCITY DISSIPATION DEVICES

→ - SLOPE ARROWS

FLOOR AREA FOR FAR PURPOSES: 1,460 (55%)
GROSS FLOOR AREA OF ALL STORIES: 1,640 S.F. (62.7%)
LOT COVERAGE: 1,183 S.F. (45%)

DRAINAGE TO DISPERSE INTO EXISTING LANDSCAPE AREAS



REVISIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

SOUTH BAY
DESIGN

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SITE PLAN

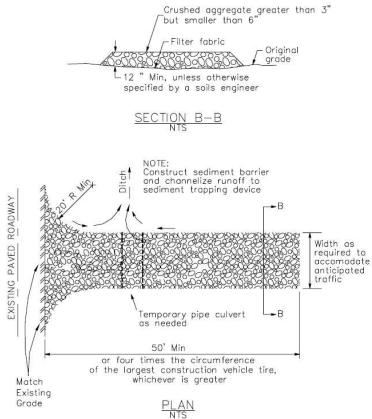
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SHEET
A 1

3

Stabilized Construction Entrance/Exit

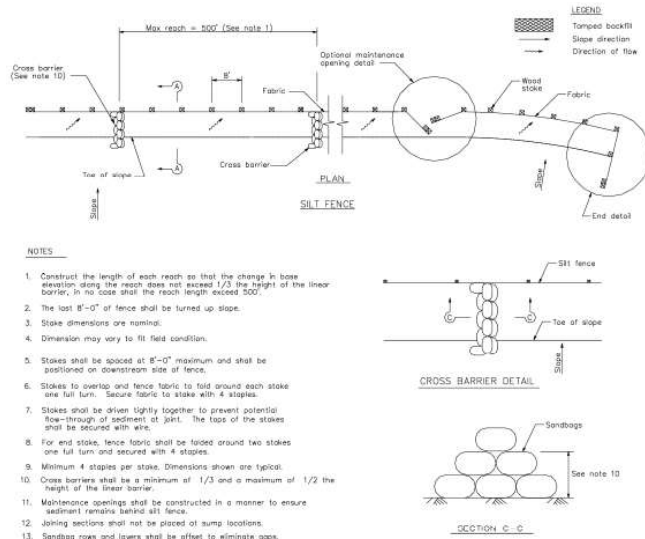
CASQA Detail TC-1



1

Silt Fence

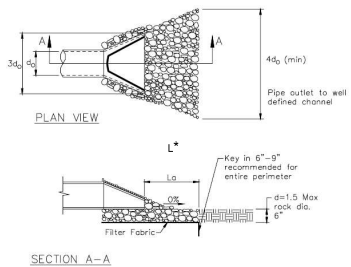
CASQA Detail SE-1



4

Velocity Dissipation Devices

CASQA Detail EC-10

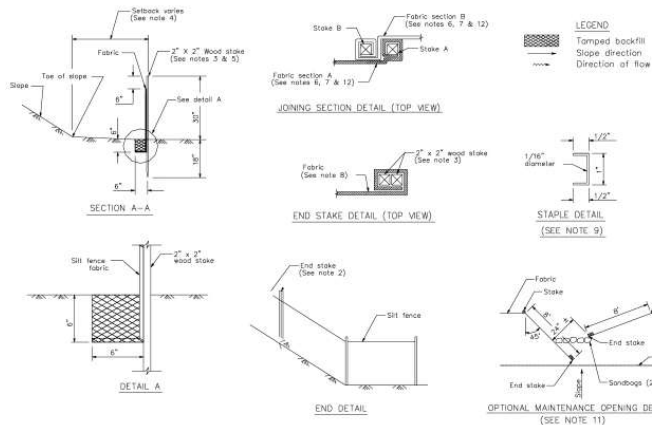


* Length per ABAG Design Standards

2

Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction area entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

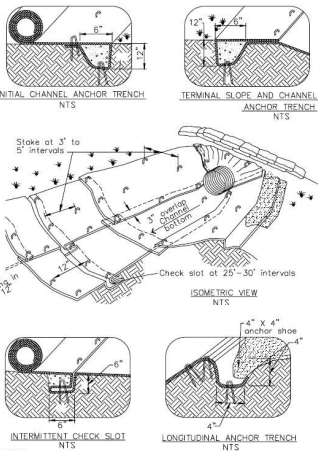
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Project Information
 REMODEL & ADDITION
 MARGARETICH RESIDENCE
 203 FANMAR WAY
 CAPITOLA, CA 95010

7

Geotextiles and Mats

CASQA Detail EC-7



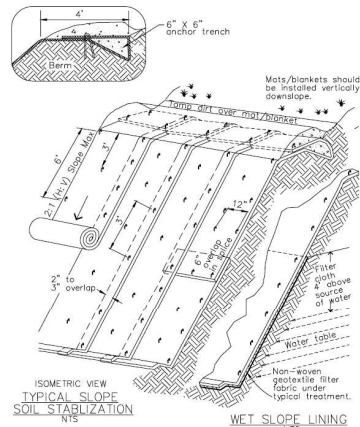
- NOTES:
1. Check slots to be constructed per manufacturer's specifications.
 2. Staking or stapling layout per manufacturer's specifications.
 3. Install per manufacturer's recommendations.

TYPICAL INSTALLATION DETAIL

5

Geotextiles and Mats

CASQA Detail EC-7



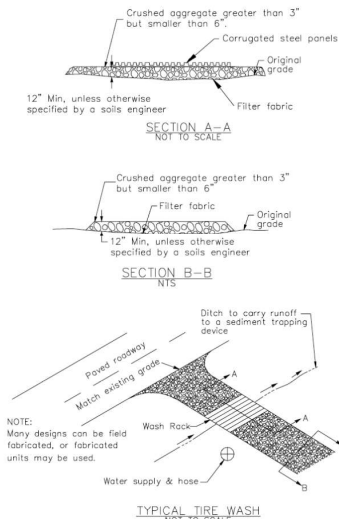
- NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
 2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
 3. Install per manufacturer's recommendations.

TYPICAL INSTALLATION DETAIL

3

Entrance/Outlet Tire Wash

CASQA Detail TC-3

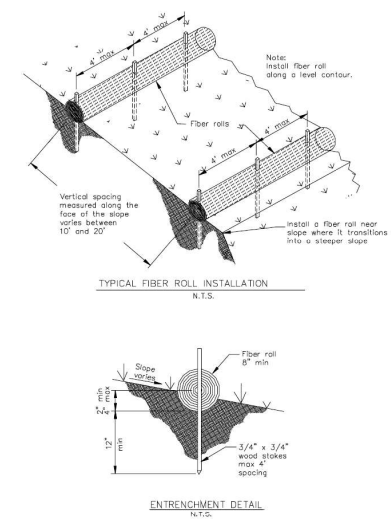


- NOTE:
- Many designs can be field fabricated, or fabricated units may be used.

1

Fiber Rolls

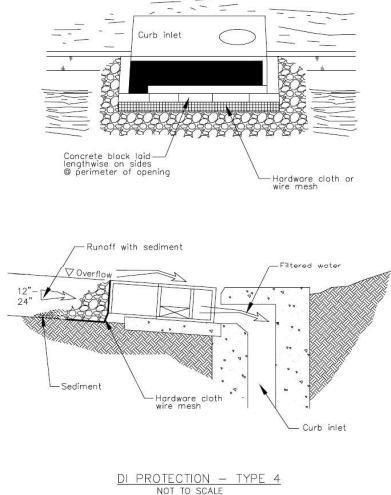
CASQA Detail SE-5



8

Storm Drain Inlet Protection

CASQA Detail SE-10

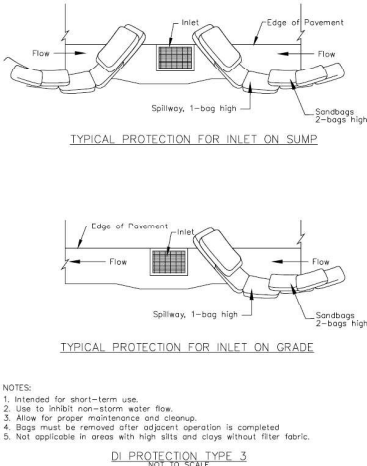


Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

6

Storm Drain Inlet Protection

CASQA Detail SE-10

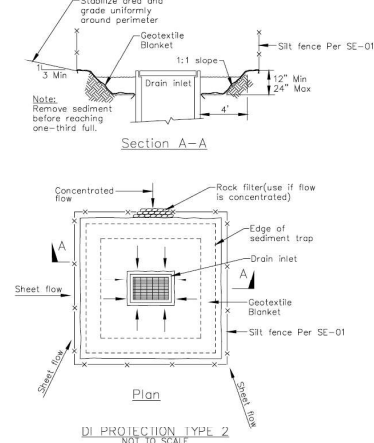


- NOTES:
1. Intended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Bags must be removed after adjacent operation is completed.
 5. Not applicable in areas with high silt and clays without filter fabric.

4

Storm Drain Inlet Protection

CASQA Detail SE-10

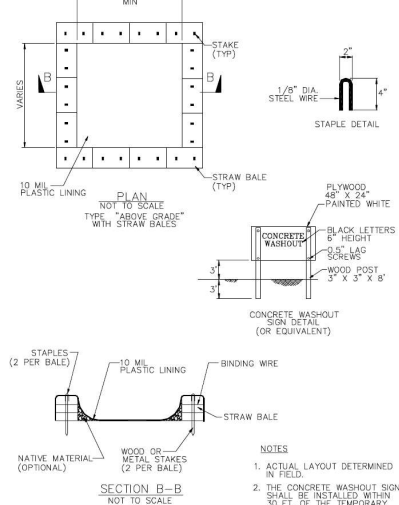


- Notes:
1. For use in cleared and grubbed and in graded areas.
 2. Shape basin so that longest inflow area faces longest length of trap.
 3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

2

Concrete Waste Management

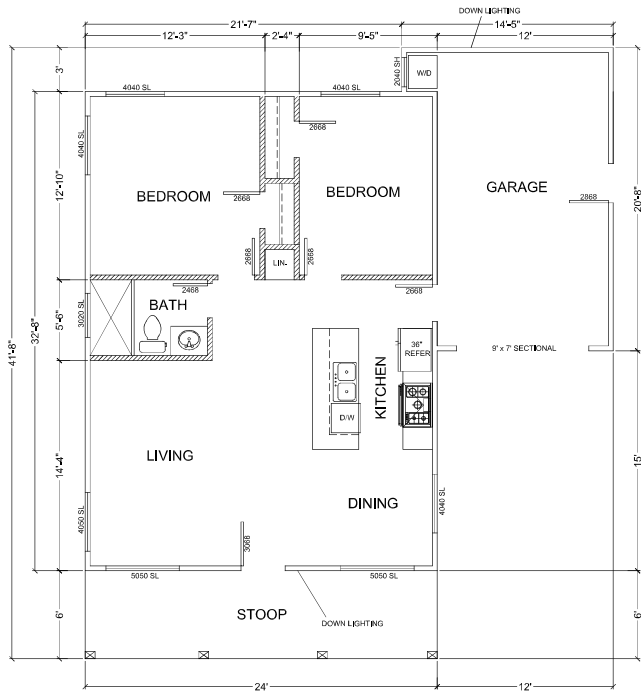
CASQA Detail WM-8



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 50 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

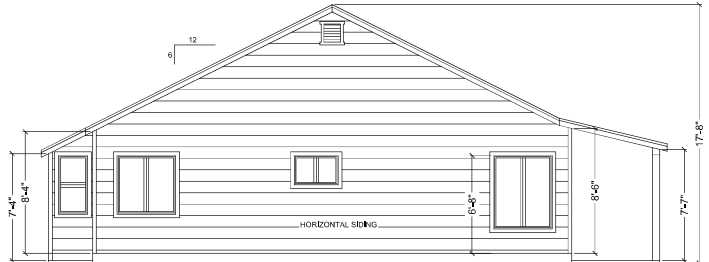
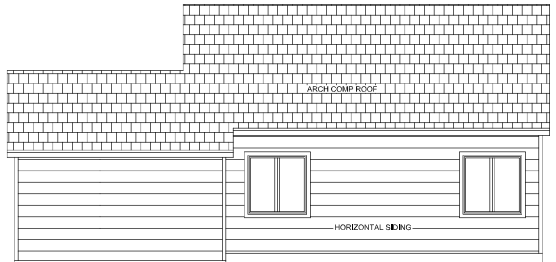
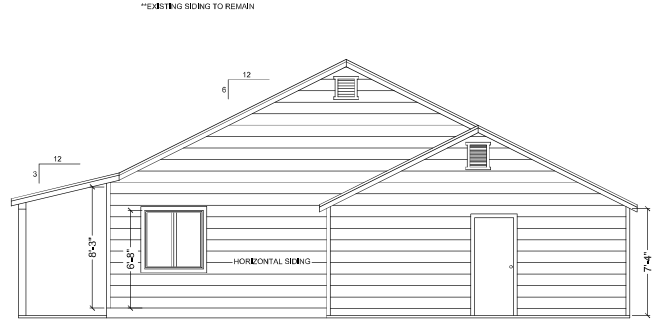
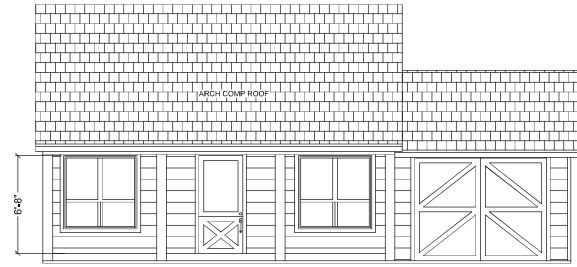
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CAPITOLA, CA 95010

Project Information



WALL LEGEND

(E) EXISTING WALL TO REMAIN -	
(E) WALL TO BE DEMO'D -	



REVISIONS

SOUTH BAY
DESIGN

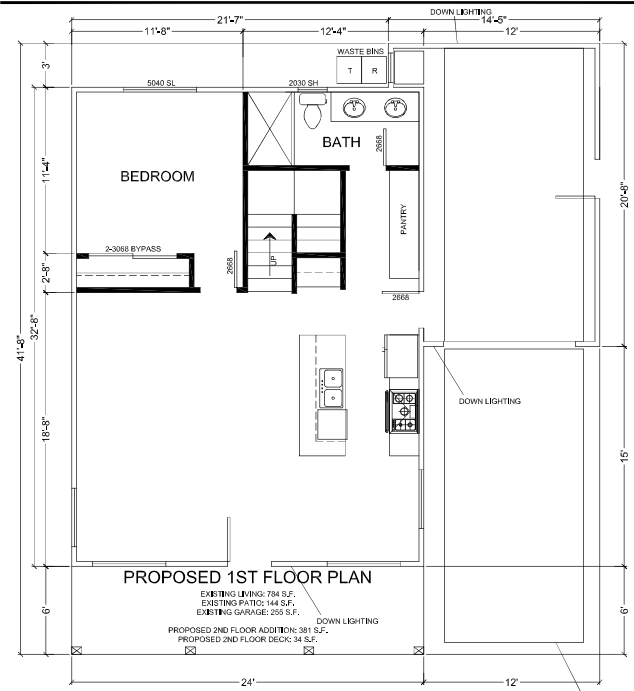
SOUTH BAY DESIGN
 PRINCIPAL OWNER
 ALEX VALLES
 703 ROCK ST
 HOLLISTER, CA 95024
 531.371.2617
 sbdesign07@yahoo.com

REMODEL & ADDITION
 MARGARETICH RESIDENCE
 203 FANMAR WAY
 CAPITOLA, CA 95010

EXISTING FLOOR PLAN /
 ELEVATIONS

DRAWN BY
 A.V.
 CHECKED
 DATE
 10.3.23
 SCALE
 1/4" = 1'-0"
 JOB NO.

SHEET
A2

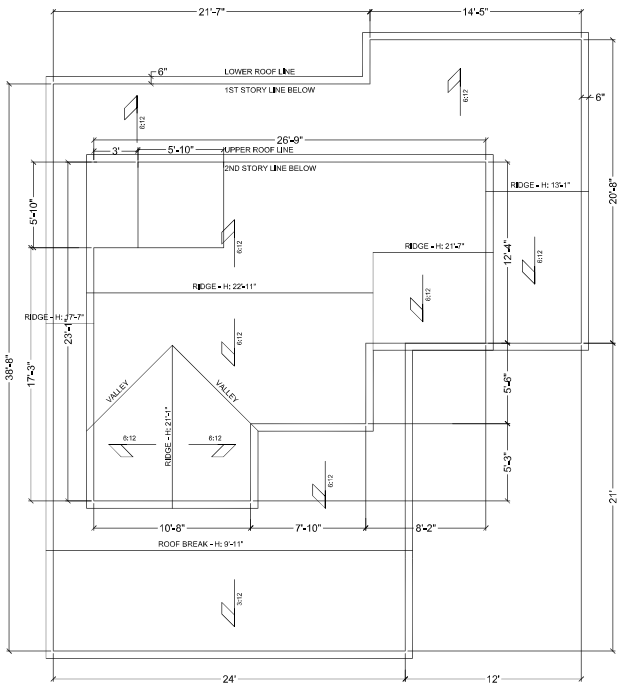
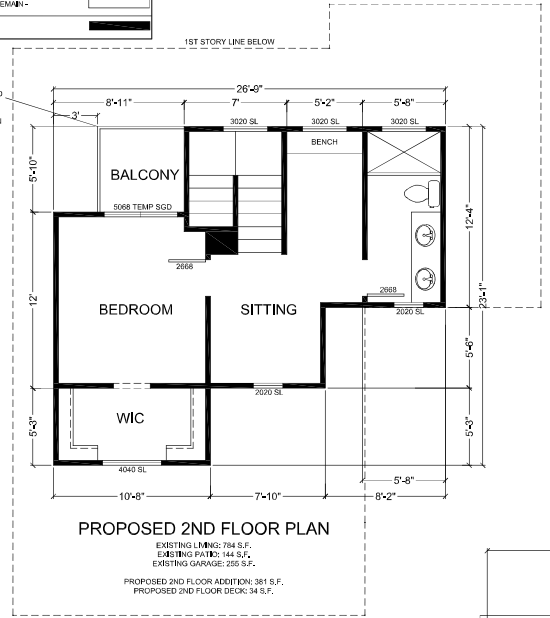


WALL LEGEND

(E) EXISTING WALL TO REMAIN -

(P) PROPOSED 2x WALL -

THE PROPOSED BALCONY IS REQUIRED TO BE 10 FEET FROM THE SIDE SETBACK AND HAVE A PERMANENT PRIVACY SCREEN PERMISSANT TO SECTION 17.16.050 A 11.



REVISIONS	

SOUTH BAY DESIGN
 ALEX VALLES
 PRINCIPAL OWNER
 P.O. BOX 27
 HOLISTER, CA 95024
 531.317.2617
 sbdesign7@yahoo.com

REMODEL & ADDITION RESIDENCE
MARGARETTECH RESIDENCE
 203 FANMAR WAY
 CAPITOLA, CA 95010

PROPOSED FLOOR PLAN / ROOF PLAN

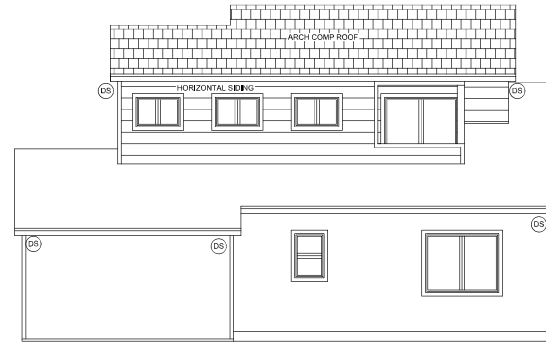
DRAWN BY	AV.
CHECKED	
DATE	10.3.23
SCALE	1/4" = 1'-0"
JOB NO.	

SHEET
A3

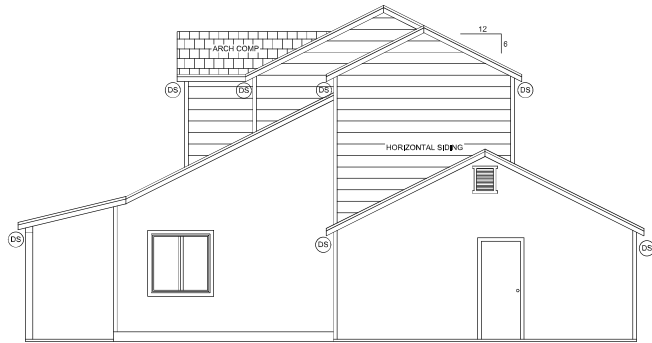


PROPOSED FRONT ELEVATION

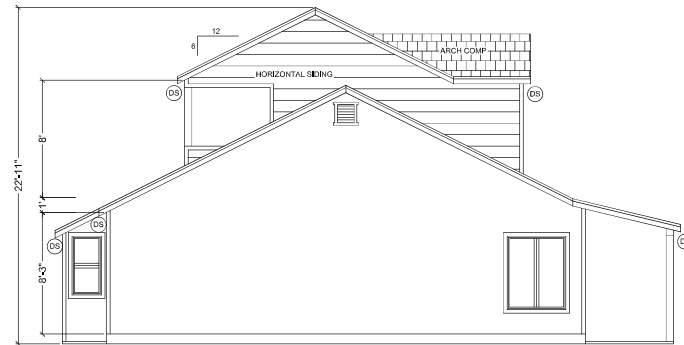
** SEE PROVIDED MATERIAL & COLOR BOARD FOR SPECIFICS
 (DS) - DOWNSPOUT LOCATION



PROPOSED REAR ELEVATION



PROPOSED RIGHT ELEVATION



PROPOSED LEFT ELEVATION

REVISIONS	
1	
2	
3	
4	
5	
6	
7	


SOUTH BAY DESIGN
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REMODEL & ADDITION RESIDENCE
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CAPITOLA, CA 95010

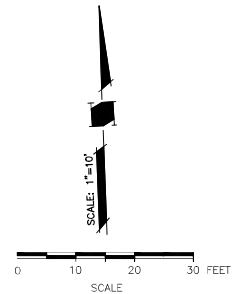
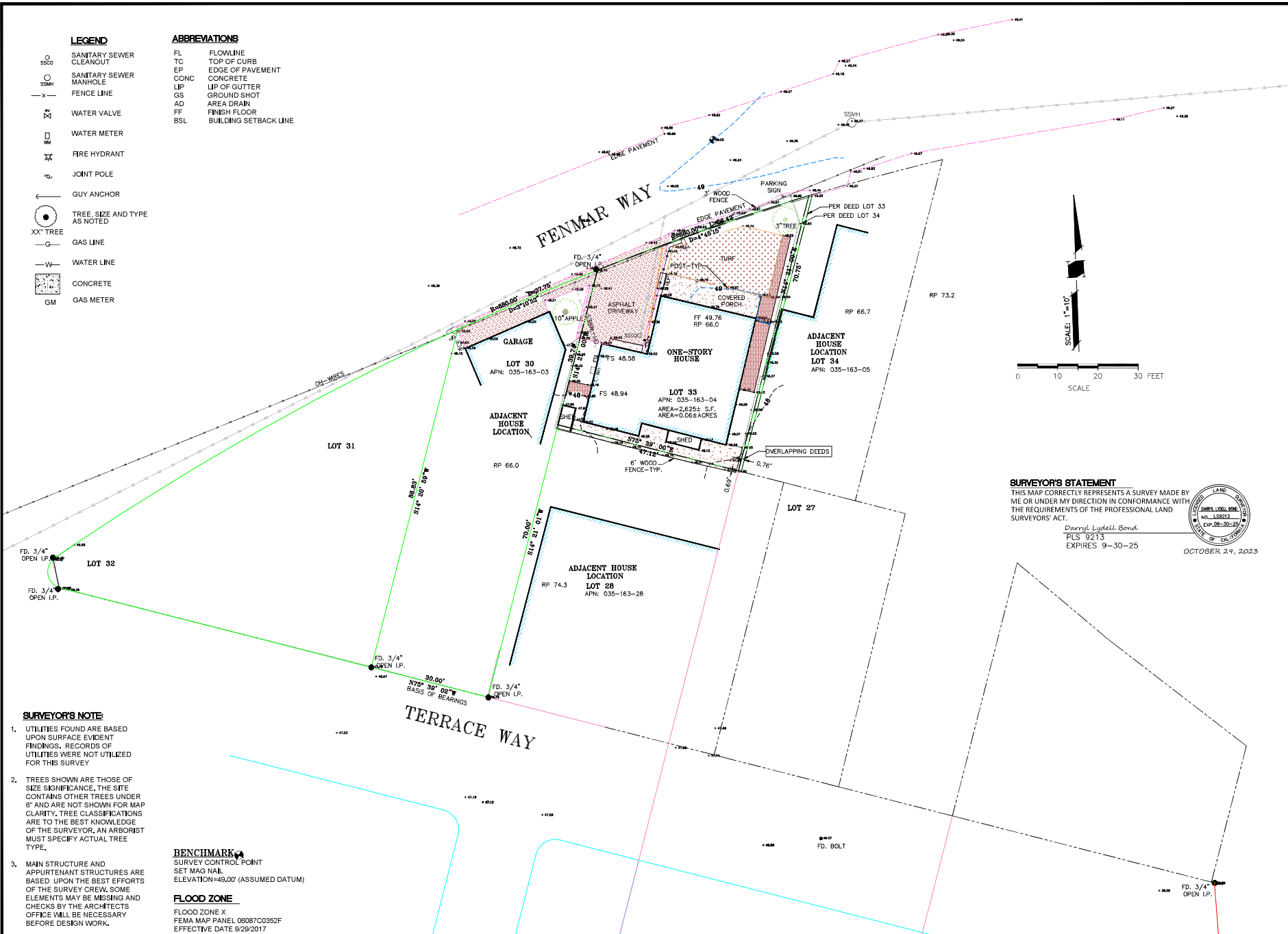
PROPOSED ELEVATIONS

DRAWN BY	AV.
CHECKED	
DATE	10.3.23
SCALE	1/4" = 1'-0"
JOB NO.	

SHEET
A4

- LEGEND**
- SSWC
SANITARY SEWER CLEANOUT
 - SSMH
SANITARY SEWER MANHOLE
 - X- FENCE LINE
 - ⊕ WATER VALVE
 - ⊞ WATER METER
 - ⊞ FIRE HYDRANT
 - ⊞ JOINT POLE
 - ⊞ GUY ANCHOR
 - TREE, SIZE AND TYPE AS NOTED
 - G- GAS LINE
 - W- WATER LINE
 - ▭ CONCRETE
 - GM GAS METER

- ABBREVIATIONS**
- FL FLOWLINE
 - TC TOP OF CURB
 - EP EDGE OF PAVEMENT
 - CONC CONCRETE
 - LIP LIP OF GUTTER
 - GS GROUND SHOT
 - AD AREA DRAIN
 - FF FINISH FLOOR
 - BSL BUILDING SETBACK LINE



SURVEYOR'S STATEMENT
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.
 Darryl Lydell Bond
 PLS 9213
 EXPIRES 9-30-25
 OCTOBER 29, 2023



- SURVEYOR'S NOTE**
- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY.
 - TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
 - MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.

BENCHMARK
 SURVEY CONTROL POINT
 SET MAG NAIL
 ELEVATION=49.00' (ASSUMED DATUM)

FLOOD ZONE
 FLOOD ZONE X
 FEMA MAP PANEL 06087C0352F
 EFFECTIVE DATE 9/28/2017

NNR ENGINEERING SERVICES CO.
 DARRYL LYDELL BOND PLS 9213
 535 WEBSTER DRIVE, SAN JOSE, CA 95123
 (408) 248-9813
 nnrengineering@comcast.com

TOPOGRAPHICAL SURVEY
203 FENMAR WAY
 SANTA CRUZ COUNTY CALIFORNIA

DATE	BY	CHK	SCALE	SHEET NUMBER
10-29-2023	DLB		1"=10'	1

SHEET NO. **1**
 OF 1 SHEETS
 JOB NO.
 CAD FILE:



SITE ADDRESS: 203 FANMAR WAY CAPITOLA, CA 95010		
CLIENT: PETE MARGARETICH 408-391-7490		
DRAWN BY:		Cathleen's Garden Creations Owner: Cathleen Quinn 831-325-9137 www.cathleensgardencreations.com
DRAWING # 1/1	DATE: NOVEMBER 2023	Produced on a 24"X36" size sheet Scale: 1/4" = 1'

Scale 1" = 4'
4 0 4 8 12 16 feet



PLANT LIST

CODE	PLANT	EXISTING PLANT SIZE (APPROXIMATE HEIGHT X WIDTH IN FEET)
AL	ALSTROEMERIA SP.	2' X 2'
ALB	ALBIZIA JULIBRISSEGH 'GAMBER CHOCOLATE'	30' X 8' CANOPY WITH A TRUNK DIAMETER OF 2 1/2"
AR	ARTEMISA MARITIMA	1' X 2'
DI	DIPTERIS VEGATA	2' X 2'
FE	FESTUCA GLAUCA 'Elijah Blue'	1' X 1'
LE	LEMON RUSH	6' X 5'
LI	LIMONIAN PEREZII	2' X 3'
LO	LOROPETALUM QIINENGIG	4' X 3'
PE	PENNISETUM ORIENTALE	3' X 2'
REJ	KEWAKANIKAS SP.	1' X 1'
SA	SALVIA LEUCANTHA	2' X 3'
ZA	ZANTEDESCHIA AETHIOPICA	2' X 1'

KEY

PROPERTY LINE	-----
6' WOOD FENCE	=====
3' WOOD FENCE	-----
3/4" DRIP IRRIGATION TUBE	~~~~~
(NOT LINES 1/4" IRRIGATION TUBE AND BRITER LEADING TO EACH PLANT)	

SHEET
L1