

BENCH MARK:
CITY OF SANTA CRUZ COUNTY BENCH #909, A BRASS DISC SOUTHERLY OF THE RR TRACKS AND EASTERLY OF MONTEREY AVENUE...
ELEVATION = 66.696' (NAVD88)

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS AND THE BEARING OF THE WESTERLY SIDE OF CAPITOLA AVENUE AS SHOWN ON THAT CERTAIN CORNER RECORD #1141, FILED FOR RECORD, NOVEMBER 5, 2021, SANTA CRUZ COUNTY RECORDS. BEARING-NORTH 17°30'00" WEST

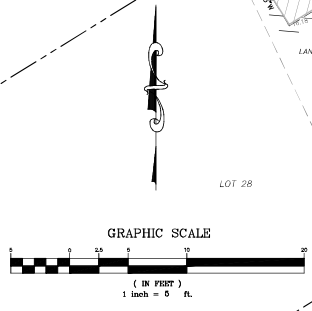
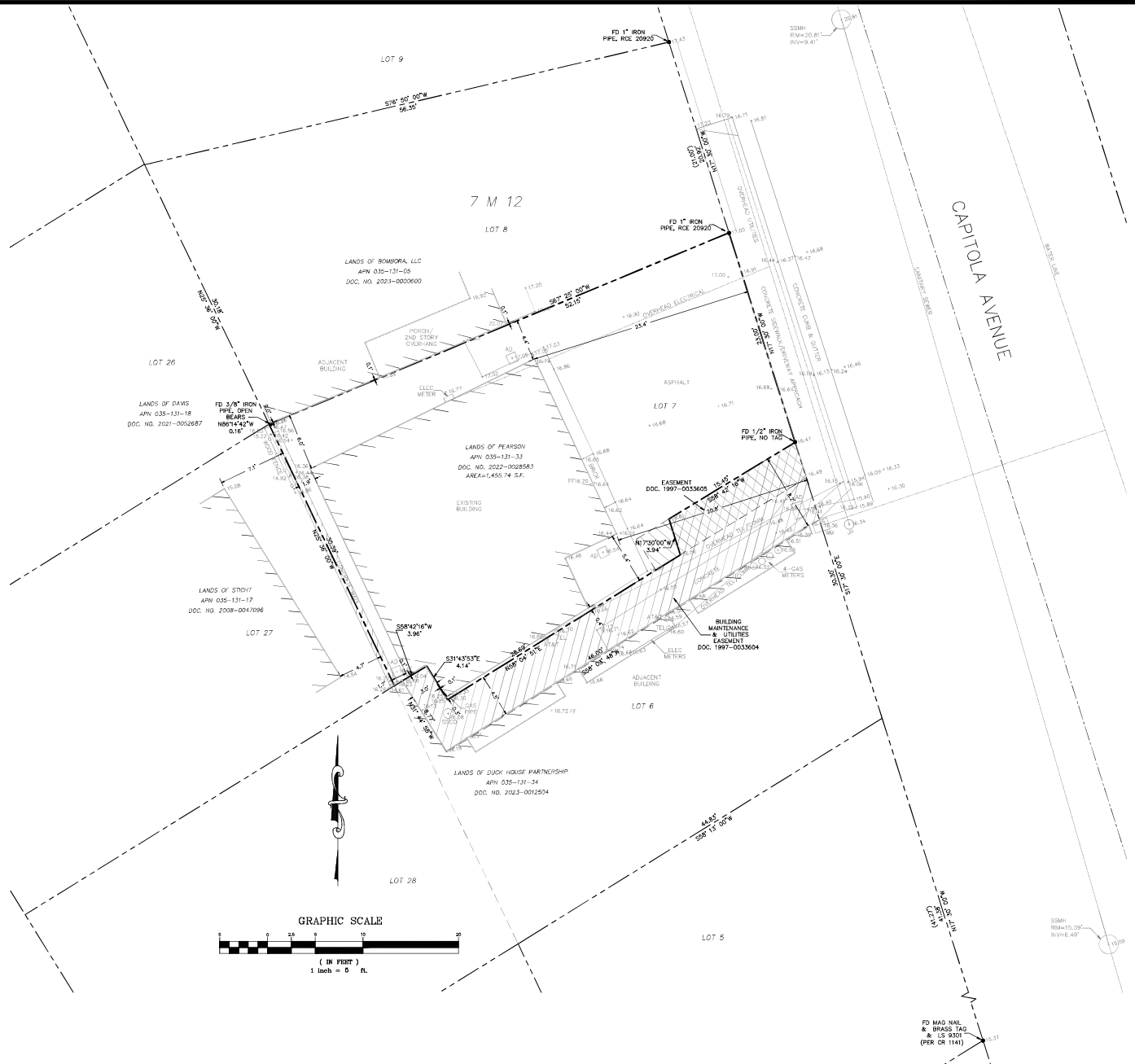
LEGEND


- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT/RIGHT OF WAY LINE
- ▨ BUILDING & UTILITY EASEMENT
DOC. 1997-0033604
- ▨ EASEMENT
DOC. 1997-0033605
- ▨ BUILDING FOOTPRINT
- JP JOINT UTILITY POLE
- SSMH SANITARY SEWER MANHOLE
- CO CLEANOUT
- FF FINISH FLOOR
- GFS GARAGE FINISH SLAB
- AD AREA DRAIN
- WM WATER METER

NOTE:
MEASURED DISTANCES FROM SIDE OF THE BUILDING TO THE PROPERTY LINES ARE TO THE FACE OF SIDING AND WOOD TRIM.

NOTE:
THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, IF ANY, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, PILINGS, UNDERGROUND TANKS AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.


ATTENTION:
THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.





Kevin M. Smith
KEVIN M. SMITH, P.L.S. 8237
DATE: 08/22/23

KEVIN SMITH
LAND SURVEYING
111 DELVIEW AVENUE
SANTA CRUZ, CA 95062
(831) 588-0154



TOPOGRAPHIC SURVEY
FOR: ED PEARSON
413 CAPITOLA AVENUE, CAPITOLA, CA 95010
APN 035-131-33

SHEET	1
OF	1
DATE	SEPTEMBER 2023
JOB NO.	K23041



STUDIO DESIGN

INTERIORS
RENDELLE +
ADDITIONS
NEW CONSTRUCTION
638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032
T 408.292.3252
F 253.399.1125

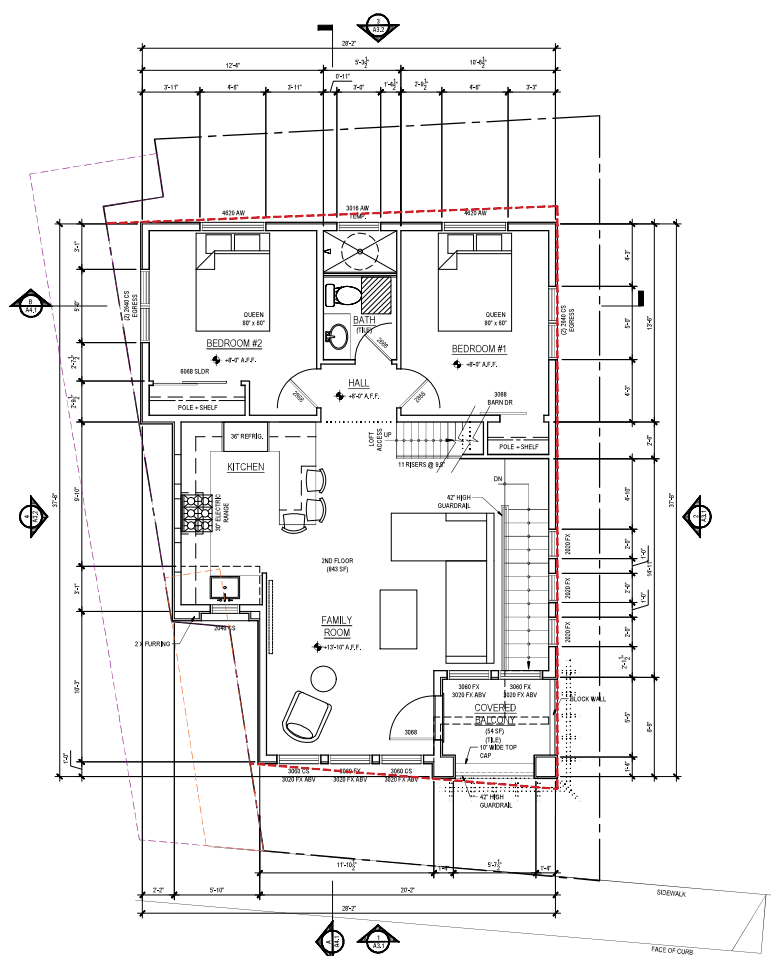
413 CAPITOLA AVE.
CAPITOLA
CALIFORNIA
95010

24 AUGUST 2023
21 NOVEMBER 2023
PLANNING SUBMITTAL
06 FEBRUARY 2024
PLANNING SUBMITTAL II

SCALE: 3/4" = 1'-0"

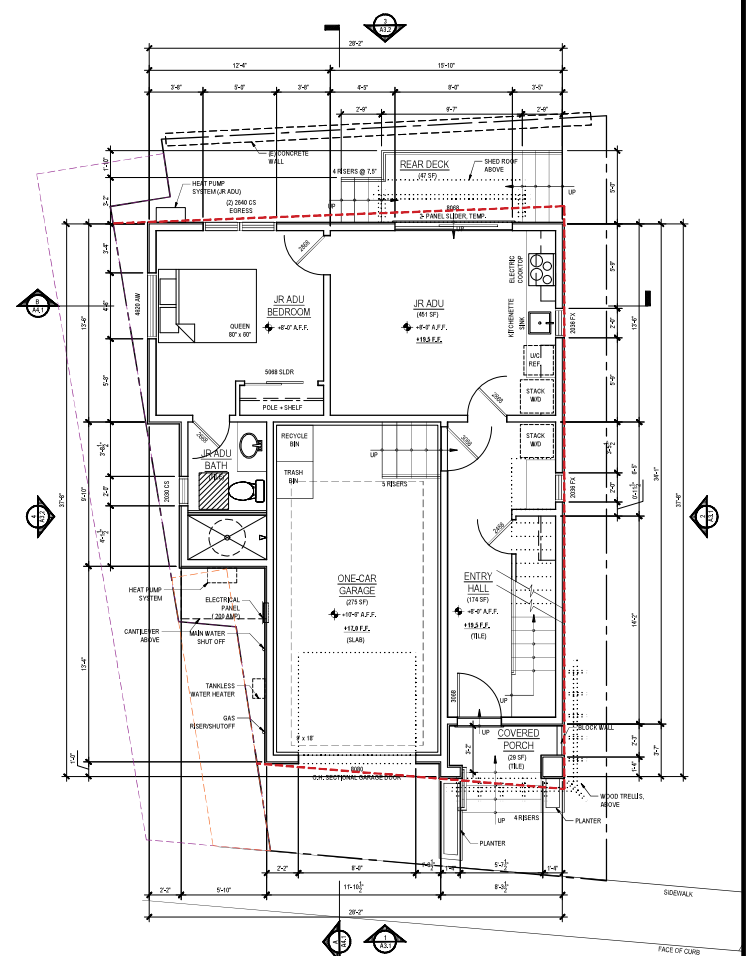
PROPOSED FIRST +
SECOND FLOOR PLANS

A2.1



PROPOSED SECOND FLOOR PLAN

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	MAINTENANCE + UTILITY EASEMENT
	2ND EASEMENT

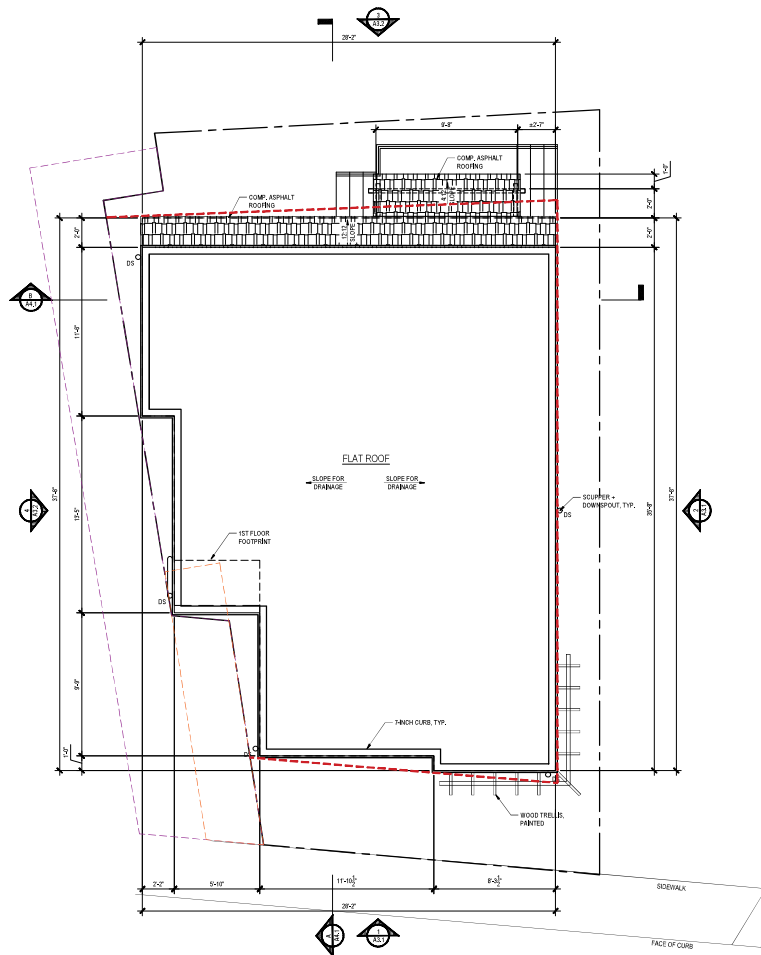


PROPOSED FIRST FLOOR PLAN

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	MAINTENANCE + UTILITY EASEMENT
	2ND EASEMENT

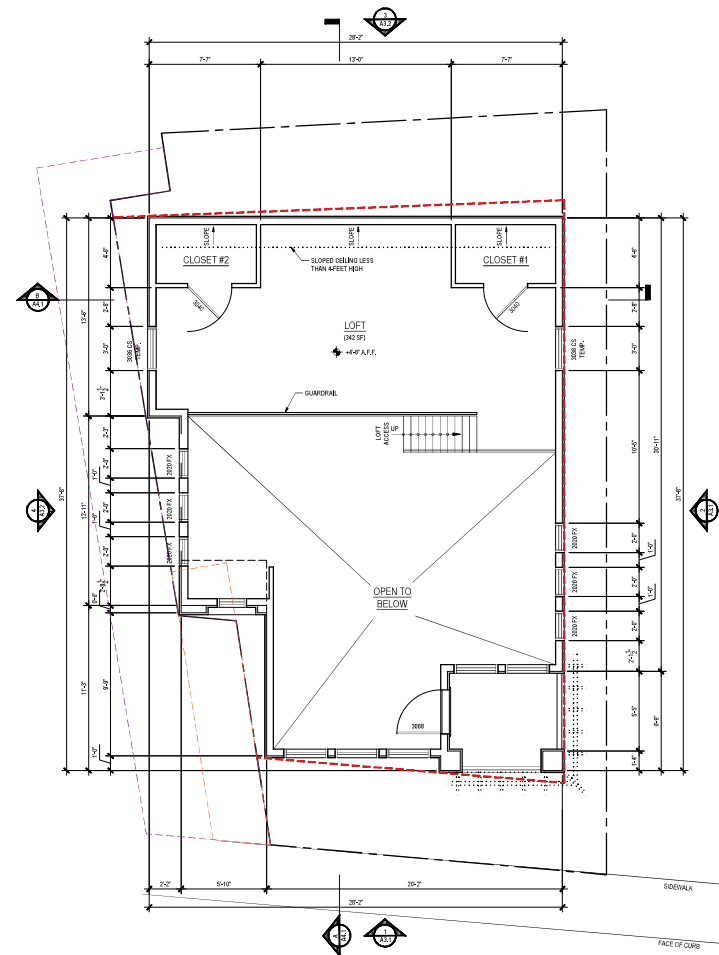


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PROPOSED ROOF PLAN
 NORTH

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	MAINTENANCE + UTILITY EASEMENT
	2ND EASEMENT



PROPOSED LOFT PLAN
 NORTH

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	MAINTENANCE + UTILITY EASEMENT
	2ND EASEMENT

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SCALE: 1/4" = 1'-0"

PROPOSED LOFT + ROOF
 PLANS

A2.2



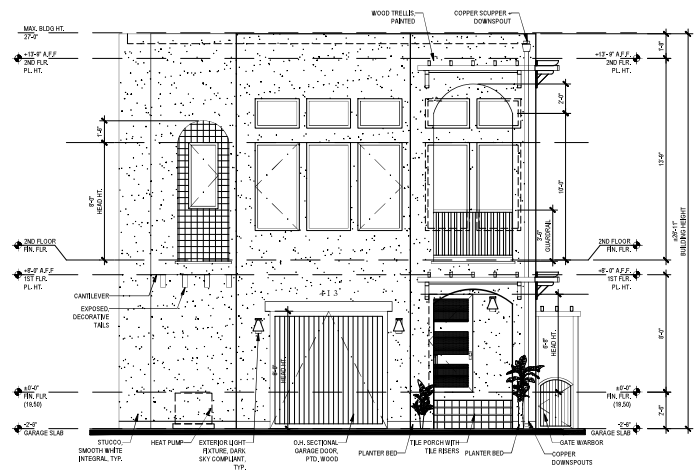
STUDIO DESIGN

INTERIORS
REMODEL +
ADDITIONS
NEW CONSTRUCTION

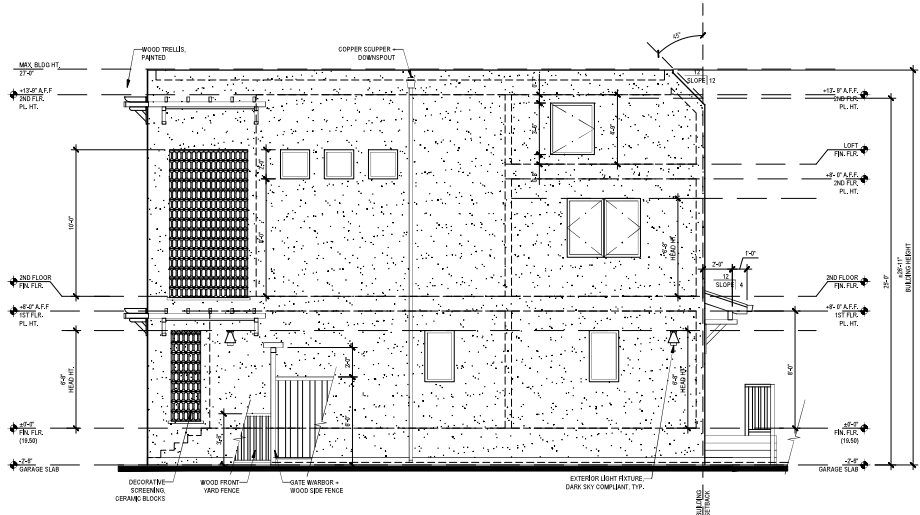
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PROPOSED MATERIALS	
WINDOWS	ALUMINUM CLAD EXTERIOR WOOD INTERIOR, PELLA LIFESTYLE COLOR: SOFT LINEN FIBERGLASS COMPOSITE PILLOW FINISH - COLOR: TAN
ROOFING	BUILT UP ROOF-18 PLY SINGLE PLY SMA ROOF SYSTEM OVER A CLASS 'A' SECURBOARD COVER BOARD OVER A TAMPED INSULATION SYSTEM COMP. ASPHALT, TAPERED, BARK WOOD
SCUPPER + DOWNSPOUTS	COPPER
STUCCO	SMOOTH WHITE INTERNAL (SIMILAR TO BENJAMIN MOORE SIMPLE WHITE)
TRELLIS + WOOD ACCENTS	WOOD PAINTED - FALLOW - BALL DRAWING ROOM BLUE
GARAGE DOOR	WOOD PAINTED - FALLOW - BALL DRAWING ROOM BLUE
DECORATIVE STUCCO	CERAMIC, BOW BOW COLLECTION SANDICOTTO
PAVING	METAL BRONZE
PORCH	TILE WITH TILE RISERS
DECK + GUARDRAIL	REDWOOD, STAINED
EXTERIOR SCREENING	WOW BROWN + UPN, COTTA + SAND (SEE SPEC BOOK)
EXTERIOR LIGHTING	HUDSON VALLEY LIGHTING GROUP SEMI-DARK SKY COMPLIANT OR APPROVED E.Q.
ADDRESS NUMBERS	OB. RUBBED BRONZE, MODERN FONT
FRONT DOOR	WOOD, STAINED MAPLE W/ PROTECTED GLASS



1 - PROPOSED NE ELEVATION (FRONT)



2 - PROPOSED NW ELEVATION (SIDE)

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SCALE: 3/4" = 1'-0"

PROPOSED EXTERIOR
ELEVATIONS

A3.1



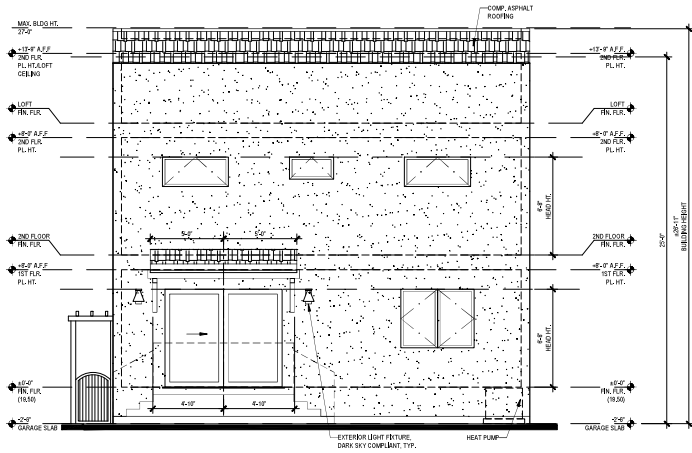
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INTERIORS
REMODEL +
ADDITIONS
NEW CONSTRUCTION

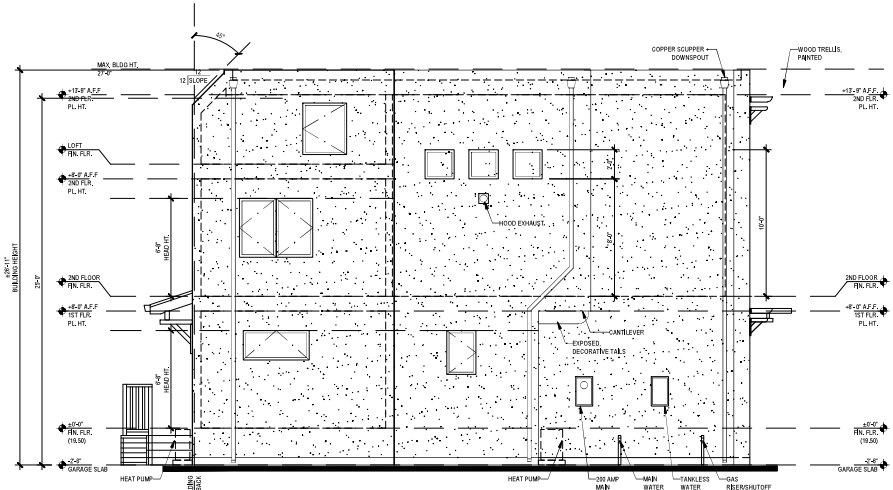
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PROPOSED MATERIALS	
WINDOWS -	ALUMINUM CLAD EXTERIOR WOOD INTERIOR, PELLA LIFESTYLE, COLOR: SOFT LINEN FIBERGLASS COMPOSITE PILUMBERIAN - COLOR: TAN
ROOFING -	BUILT UP ROOF - 18 PLY SINGLE PLY SMA ROOF SYSTEM OVER A CLASS 'A' SECURWOOD COVER BOARD OVER A TAMPED INSULATION SYSTEM COMP. ASPHALT, TAMPOLINE, BARK WOOD
SUPPER -	COPPER
DOWNSPOUTS -	COPPER
STUCCO -	SMOOTH, WHITE, INTEGRAL (SIMILAR TO BENJAMIN MOORE SIMPLE WHITE)
TRELLIS -	WOOD, PAINTED - FALLOW - BALL, DRAWING ROOM BLUE
WOOD ACCENTS -	WOOD, PAINTED - FALLOW - BALL, DRAWING ROOM BLUE
GARAGE DOOR -	WOOD, PAINTED - FALLOW - BALL, DRAWING ROOM BLUE
DECORATIVE STUCCO -	CERAMIC, BOW BOW COLLECTION, SANDCOTTO
PAVING -	METAL BRONZE
PORCH -	TRILE WITH TILE RISERS
DECK + QUADRIL -	REDWOOD, STAINED
EXTERIOR SCREENING -	BOW BOW PLY - UPPL, COTTA - SAND (SEE MFG BOOK)
EXTERIOR LIGHTING -	HUDSON VALLEY LIGHTING GROUP SEMI-RECESSED COMPLIANT OR APPROVED EQL
ADDRESS NUMBERS -	08, RUBBED BRONZE, MODERN FONT
FRONT DOOR -	WOOD, STAINED MAPLE W/ PROTECTED GLASS



3 - PROPOSED SW ELEVATION (REAR)



4 - PROPOSED SE ELEVATION (SIDE)

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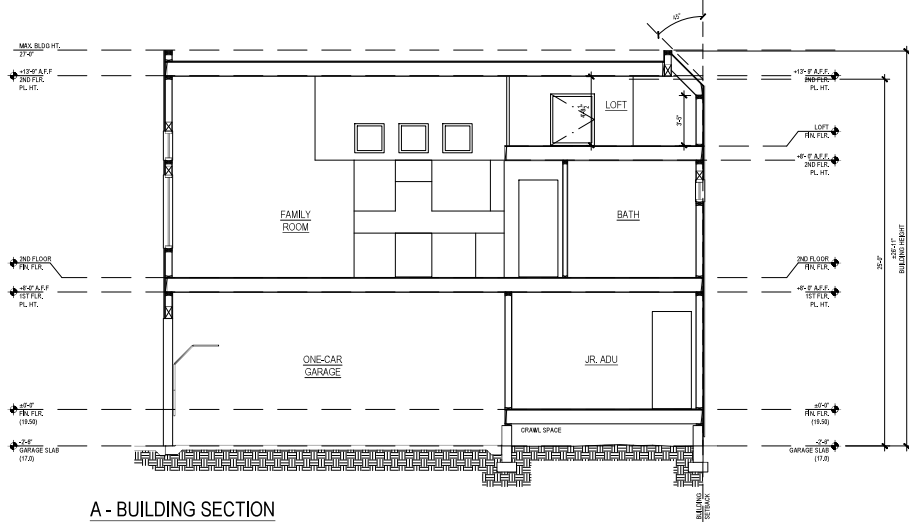
PROPOSED EXTERIOR
ELEVATIONS

A3.2

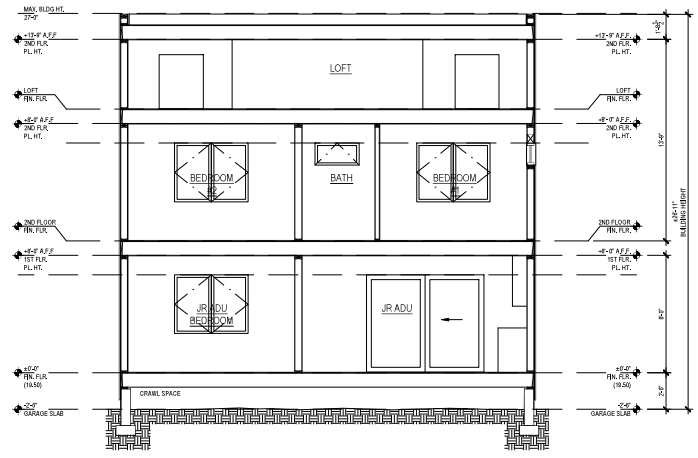


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A - BUILDING SECTION



B - BUILDING SECTION

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PROPOSED BUILDING
SECTIONS

A4.1

SANTA CRUZ COUNTY SANITATION DISTRICT GENERAL NOTES

- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- INSTALL SEWER SYSTEM AND CONNECTIONS IN ACCORDANCE WITH ALL REQUIREMENTS OF THE SANTA CRUZ COUNTY SANITATION DISTRICT.
- ALL SEWER INSTALLATIONS SHALL CONFORM TO THE COUNTY OF SANTA CRUZ DESIGN CRITERIA.
- A SANITARY SEWER PERMIT SHALL BE REQUESTED FROM PUBLIC WORKS - SANITATION EITHER BY PHONE: 831-454-2160, OR EMAIL: DPW.LATERALPROGRAMS@SANTACRUZCOUNTY.US FOR THE NEW SANITARY SEWER LATERAL AND CONNECTION TO SANITATION DISTRICT MAIN PRIOR TO ANY WORK. EITHER CSE, OR CLASS A CONTRACTOR LICENSING IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY WITH RESPECT TO THE SEWER IMPROVEMENTS. INSPECTIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE SANITATION DISTRICT INSPECTOR (831-454-2160 OR LEAVE MESSAGE AT 831-454-2895) BEFORE 9:00 A.M. AT LEAST 24 HOURS PRIOR TO THE CONNECTION OF ANY BUILDING SEWER TO THE SEWER LATERAL, OR TO THE ABANDONMENT THEREOF. IN THE CASE OF ABANDONMENT, NO DEMOLITION PERMITS WILL BE ISSUED UNTIL SAND SEWER LINE HAS BEEN ABANDONED.
- EACH NEW SANITARY SEWER LATERAL NOT IMMEDIATELY CONNECTED TO A BUILDING SHALL BE MARKED WITH A 2" X 4" X 5' REDWOOD STAKE MARKER, TO 12" ABOVE FINISH GRADE. AT THE END OF EACH NEW LATERAL, STUB OUT, AN 'S' SHALL BE PAINTED ON THE MARKER AND THE END OF EACH LATERAL SHALL BE PROPERLY CAPPED. ALL LATERALS INSTALLED IN NEW DEVELOPMENTS SHALL ALSO BE MARKED BY STAMPING AN 'S' IN THE CURB JUST ABOVE THE LATERAL.
- INSULATED COPPER WIRE (NO. 10) SHALL BE PLACED ALONG TOP OF ALL GRAVITY AND FORCE MAINS. THE WIRE SHALL RUN BETWEEN MANHOLES, CLEANOUTS, OR OTHER APPROPRIATE FACILITIES, BROUGHT TO THE SURFACE AND BOLTED OR OTHERWISE SECURELY AFFIXED TO THE MANHOLE OR CLEANOUT COVER OR OTHER APPROPRIATE METAL STRUCTURE.

CITY OF CAPITOLA GENERAL NOTES

- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS PROVIDED BY THE CITY OF CAPITOLA.
- UNLESS OTHERWISE AGREED UPON WITH THE CITY OF CAPITOLA, DURING CONSTRUCTION, ANY CONSTRUCTION ACTIVITY SHALL BE SUBJECT TO A CONSTRUCTION NOISE CURFEW, EXCEPT WHEN OTHERWISE SPECIFIED IN THE BUILDING PERMIT ISSUED BY THE CITY. CONSTRUCTION NOISE SHALL BE PROHIBITED BETWEEN THE HOURS OF NINE P.M. AND SEVENTHENTH A.M. ON WEEKDAYS, CONSTRUCTION NOISE SHALL BE PROHIBITED ON WEEKENDS WITH THE EXCEPTION OF SATURDAY WORK BETWEEN NINE A.M. AND FOUR P.M. OR EMERGENCY WORK APPROVED BY THE BUILDING OFFICIAL, §9.12.010B.
- A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EARLY VISIBLE FROM OFF-SITE DURING THE ENTIRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
- UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 90% RELATIVE COMPACTION.
- CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THE TERMS "INSTALL," "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
- PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF/CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100 SHALL BE OBSERVED.
- THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT **24 HOURS IN ADVANCE** OF THE COMMENCEMENT OF WORK. A PRE-CONSTRUCTION INSPECTION MUST BE CONDUCTED BY THE GRADING OFFICIAL, OR APPOINTED STAFF TO VERIFY COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. ALL BMPs, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT PROJECT DURATION.
- KEEP WORK SITE CLEAR OF DEBRIS AND BE AWARE OF TRACKING MUD, DRIT, GAVEL INTO THE STREET, AND SWEEP DAILY. COVER ALL STOCKPILES AND EXCAVATION SPILLS. PRACTICE GOOD HOUSEKEEPING AND MAINTAIN TEMPORARY CONSTRUCTION BMPs.
- PRIOR TO ANY WORK IN THE CITY ROAD RIGHT OF WAY, AN ENCROACHMENT PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR PERFORMING THE WORK. NO MATERIAL OR EQUIPMENT STORAGE MAY BE PLACED IN THE ROAD RIGHT-OF-WAY.

RAMSEY CIVIL ENGINEERING NOTES:

- SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY KEVIN SMITH LAND SURVEYING, JOB NO. K23041, DATED SEPTEMBER 2022.
- ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT BY [REDACTED] DATED [REDACTED] PROJECT NO. [REDACTED] AND ANY SUBSEQUENT ADDENDUM LETTERS. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE GEOTECHNICAL INVESTIGATION REPORT.
- REFER TO ABOVE REFERENCED GEOTECHNICAL REPORT FOR ONSITE SOIL PREPARATION (OVEREXCAVATION AND RECOMPACTION REQUIRED) BELOW CONCRETE FOOTINGS, SLABS, AND PAVEMENT.
- ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022 AND THE LATEST CITY OF CAPITOLA STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS PRIOR TO PERFORMING ANY WORK ON SITE.
- NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING, INC.
- EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC AND DIRECTED TO GRADE TO DRAIN.
- ALL COMPACTION TO BE DETERMINED USING THE LATEST EDITION OF ASTM D1557.
- THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL PERFORM THEIR OWN FIELD INVESTIGATION PRIOR TO CONSTRUCTION TO VERIFY UTILITY LOCATIONS. CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED. IF AT ANY TIME THE CONTRACTOR IS UNSURE OF UTILITY LOCATIONS, A CERTIFIED UNDERGROUND UTILITY LOCATOR SHALL BE OBTAINED AT THE COST OF THE CONTRACTOR, FOR ONSITE UTILITIES, OR CONTACT U.S.A. (OR 811) FOR OFFSITE UTILITIES.
- ALL UTILITY STRUCTURES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT, INCLUDING, BUT NOT LIMITED TO CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
- ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
- CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A REGULATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONALS AND CITY REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

IMPERVIOUS AREA BREAKDOWN		
ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
BUILDING AREA	655	926
CONCRETE	183	670
ASPHALT	771	0
TOTAL	1,609	1,596

PER THE CITY OF CAPITOLA DESIGN CRITERIA THIS PROJECT IS CONSIDERED A BASIC SITE PROJECT (<2,500 SF).

ESTIMATED EARTHWORK QUANTITIES	
47	CUBIC YARDS EXCAVATION
54	CUBIC YARDS EMBANKMENT
7	CUBIC YARDS NET EMBANKMENT (FILL)
NOTES	
1. ESTIMATE DOES NOT INCLUDE UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION IF REQUIRED BY SITE CONDITIONS.	
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.	
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.	
4. EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL SITE.	

RAMSEY CIVIL ENGINEERING, INC.
 CIVIL ENGINEERING
 PROJECT MANAGEMENT
 CONSTRUCTION SUPPORT
 GSD AND GSP SERVICES

2905 KNISTLE COURT
 SANTA CRUZ, CA 95065
 TEL (831) 462-2905
 www.ramseycivilengineering.com



DAVID RAMSEY DATE
 REC# 73735

APN# 035-411-33

PLAN TYPE
 RESIDENTIAL

NOTES
PEARSON RESIDENCE
 413 CAPITOLA AVENUE, CAPITOLA, CA. 95010

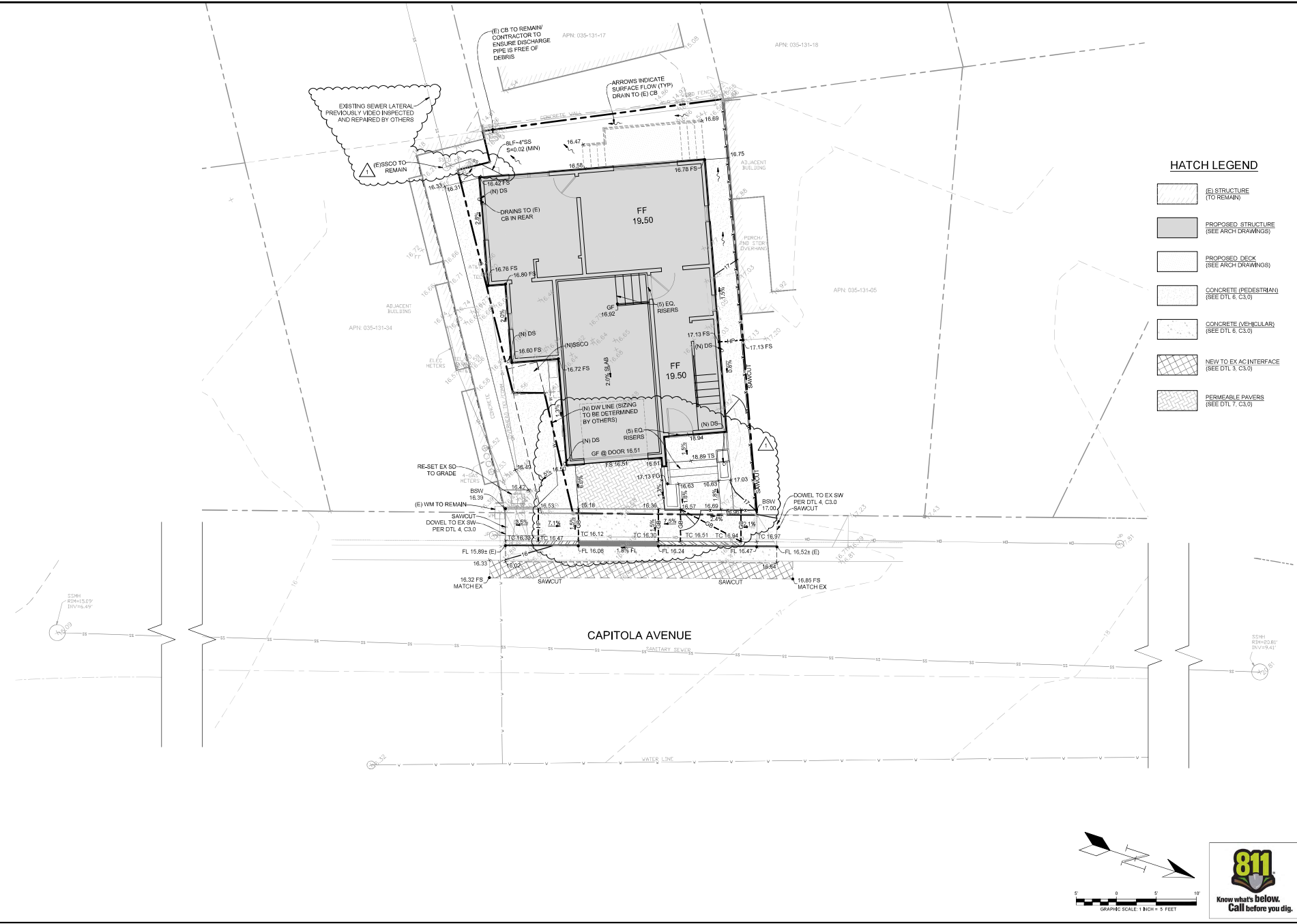
DATE	11/02/2023
SCALE	AS NOTED
PROJECT NO.	22-261
SHEET	

CITY COMMENTS BY: [REDACTED]
 DATE: [REDACTED]
 REVISION BLOCK



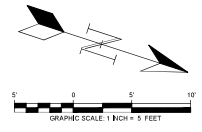
DRAWN BY: GS
 DESIGNED BY: DMR
 DATE: 11/02/2023
 SCALE: AS NOTED
 PROJECT NO: 22-261
 SHEET: **C1.1**

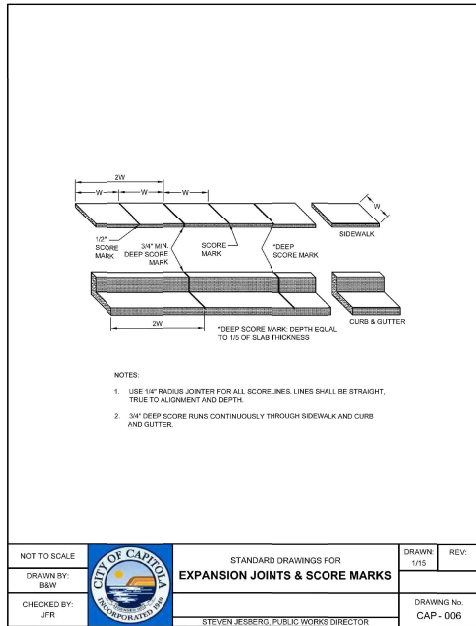
DATE	11/02/2023
DRAWN BY	GS
DESIGNED BY	DMR
DATE	11/02/2023
SCALE	AS NOTED
PROJECT NO.	22-261
SHEET	



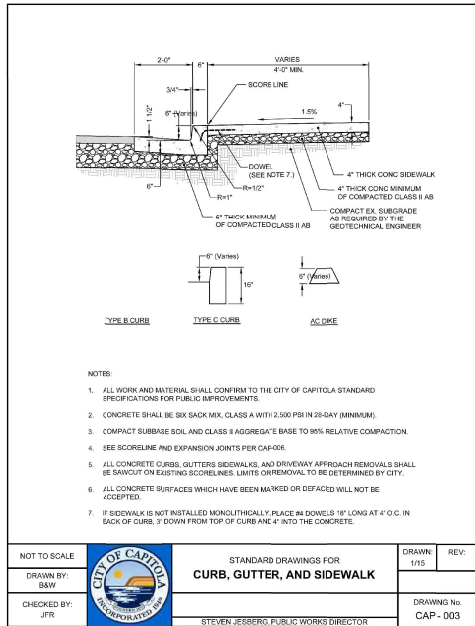
HATCH LEGEND

- (E) STRUCTURE (TO REMAIN)
- PROPOSED STRUCTURE (SEE ARCH DRAWINGS)
- PROPOSED DECK (SEE ARCH DRAWINGS)
- CONCRETE (PEDESTRIAN) (SEE DTL 6, C3.0)
- CONCRETE (VEHICULAR) (SEE DTL 6, C3.0)
- NEW TO EX AC INTERFACE (SEE DTL 3, C3.0)
- PERMEABLE PAVERS (SEE DTL 7, C3.0)

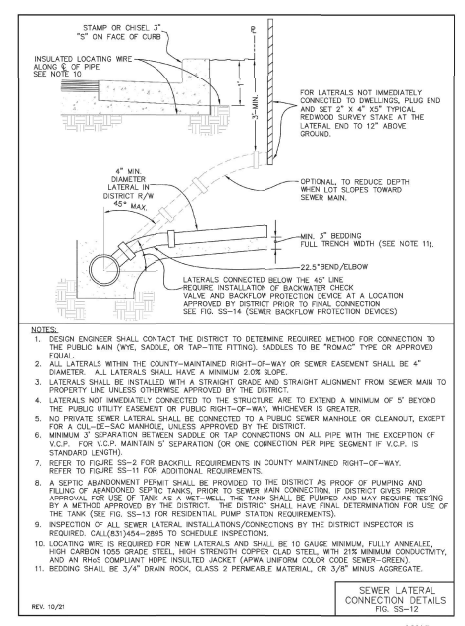




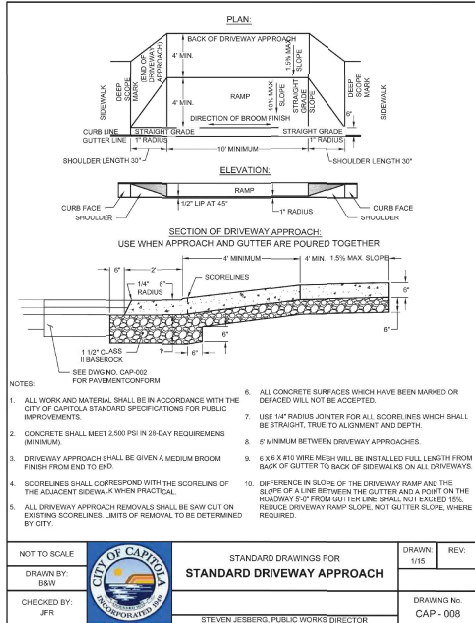
NOT TO SCALE		STANDARD DRAWINGS FOR EXPANSION JOINTS & SCORE MARKS	DRAWN: 1/15	REV:
DRAWN BY: B&W		STEVEN JESSEBO, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 006	
CHECKED BY: JFR				



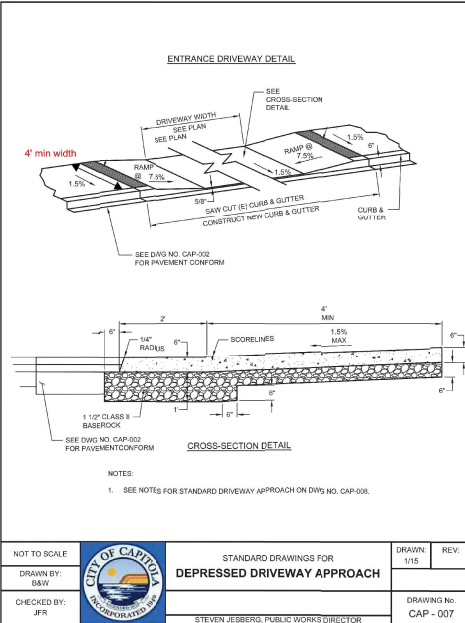
NOT TO SCALE		STANDARD DRAWINGS FOR CURB, GUTTER, AND SIDEWALK	DRAWN: 1/15	REV:
DRAWN BY: B&W		STEVEN JESSEBO, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 003	
CHECKED BY: JFR				



NOT TO SCALE		STANDARD DRAWINGS FOR SEWER LATERAL CONNECTION DETAILS	DRAWN: 1/15	REV: 10/21
DRAWN BY: B&W		STEVEN JESSEBO, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 007	
CHECKED BY: JFR				



NOT TO SCALE		STANDARD DRAWINGS FOR STANDARD DRIVEWAY APPROACH	DRAWN: 1/15	REV:
DRAWN BY: B&W		STEVEN JESSEBO, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 008	
CHECKED BY: JFR				



NOT TO SCALE		STANDARD DRAWINGS FOR DEPRESSED DRIVEWAY APPROACH	DRAWN: 1/15	REV:
DRAWN BY: B&W		STEVEN JESSEBO, PUBLIC WORKS DIRECTOR	DRAWING No. CAP - 007	
CHECKED BY: JFR				

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DAVID RAMSEY DATE
RCH 73735

APN# 035-431-33
PLAN TYPE
RESIDENTIAL

PEARSON RESIDENCE
413 CAPITOLA AVENUE, CAPITOLA, CA. 95010

DATE: 11/02/2023
SCALE: AS NOTED
PROJECT NO: 22-261
SHEET: C3.1

