

PRELIMINARY PLANS NOT FOR CONSTRUCTION

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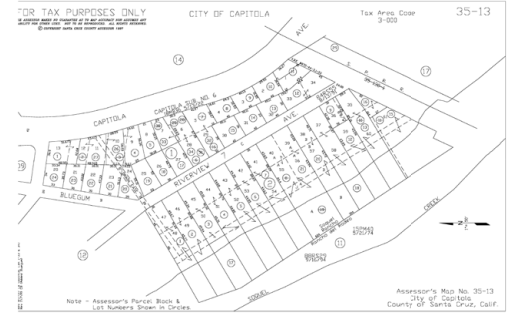
PRELIMINARY PLANS NOT FOR CONSTRUCTION

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA MECHANICAL, 2019 CALIFORNIA ELECTRICAL, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA GREEN BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE AND THE 2019 CALIFORNIA ENERGY CODE. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND THE REQUIREMENTS OF THE REFERENCED STANDARDS OF THESE NOTES, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN. ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH SCVMC TITLE 18
2. THE CONTRACTOR SHALL VERIFY ALL THE INFORMATION IN THE DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO ORDERING MATERIALS OR COMMENCING WITH WORK. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL NOTIFY THE DESIGNER IF THERE ARE ANY OBSERVED DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK EXCEPT THOSE ITEMS NOTED AS N/C (NOT IN CONTRACT). IF HIDDEN OR UNUSUAL SITUATIONS ARE ENCOUNTERED DURING CONSTRUCTION, WHICH COULD NOT HAVE BEEN FORESEEN PRIOR TO CONSTRUCTION, NOTIFY THE DESIGNER BEFORE PROCEEDING WITH WORK.
4. THE CONTRACTOR SHALL NOT ENCLUMBER ANY PUBLIC OR PRIVATE PROPERTY OTHER THAN THE SITE WITHOUT ENCROACHMENT PERMITS OR WRITTEN PERMISSION FROM THE OWNERS OF THE PROPERTY TO BE ENCUMBERED.
5. THE CONTRACTORS SHALL PROVIDE FENCING, BARRICADES, WARNINGS SIGNS/SIGNALS OR OTHER PROTECTIVE MEASURES AS NEEDED TO PROVIDE FOR THE PUBLIC SAFETY.
6. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS AND AT THE END OF THE WORK PROVIDE THE OWNER WITH ALL THE ORIGINAL SIGNED DOCUMENTS FROM THE INSPECTING ENTITY.
7. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS FOR SIMILAR CONDITIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. SCALING DRAWINGS TO DETERMINE DIMENSIONS IS NOT VALID.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED TO PROTECT LIFE AND PROPERTY.
9. ALL REQUIREMENTS OF THE FIRE PROTECTION DISTRICT SHALL BE MET BY THE FIRE SPRINKLER SYSTEM'S DESIGNER/INSTALLER.
10. JOB COPIES OF BUILDING, FIRE SYSTEM PLANS AND PERMITS SHALL BE ON-SITE DURING INSPECTIONS.
11. ROOF EXTERIOR WALL COVERINGS SHALL BE NO LESS THAN CLASS 'A' RATED.
12. THE DESIGNER IS NOT RESPONSIBLE FOR THE SELECTION OF MATERIALS, MANUFACTURERS, FINISHES, CONTRACTORS OR SUBCONTRACTORS OTHER THAN THOSE SPECIFIED IN THESE PLANS AND SPECIFICATIONS. DEVIATION FROM THE CONSTRUCTION METHODS OR TYPES OF MATERIALS, MANUFACTURERS, FINISHES, CONTRACTORS OR SUBCONTRACTORS SPECIFIED IN THE AFOREMENTIONED PLANS AND SPECIFICATIONS SHALL VOID ANY DESIGNER'S WARRANTIES, WRITTEN OR WRITTEN. THE OWNER IS RESPONSIBLE FOR SELECTION OF ALL MATERIALS, MANUFACTURERS, FINISHES, CONTRACTORS OR SUBCONTRACTORS NOT SPECIFIED IN THE PLANS AND SPECIFICATIONS AND IS THEREFORE RESPONSIBLE FOR THE PERFORMANCE, LONGEVITY AND SUCCESSFUL INTEGRATION OF THE MATERIALS AND FINISHES INTO THE PROJECT AS WELL AS THE QUALITY OF WORKMANSHIP ACHIEVED. OWNER SHALL SUPPLY A COMPLETE COPY OF THE PLANS AND SPECIFICATIONS TO THE GENERAL CONTRACTOR OR ALL SUBCONTRACTORS IF THE OWNER ASSUMES THE RESPONSIBILITIES OF THE GENERAL CONTRACTOR.
13. IN AS MUCH AS THE REMODELING AND/OR REHABILITATION OF EXISTING BUILDINGS REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS AND BECAUSE SOME OF THESE ASSUMPTIONS CANNOT BE VERIFIED WITHOUT EXPENDING GREAT SUMS OF ADDITIONAL MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF BUILDING, THE OWNER AGREES, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, TO HOLD HARMLESS AND INDEMNIFY THE DESIGN PROFESSIONAL AGAINST ANY AND ALL DAMAGES, AWARDS AND COSTS OF DEFENSE ARISING OUT OF PROFESSIONAL SERVICES PROVIDED HEREIN.
14. CONTRACTOR TO PROTECT EXISTING AND NEW STRUCTURES FROM ALL POTENTIAL WEATHER RELATED DAMAGE.
15. FOR BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, ALL EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.0GPM WILL SHALL BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY FAUCETS WITH A FLOW RATE GREATER THAN 2.2GPM SHALL BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.8GPM AT 60 PSI (CALIFORNIA CIVIL CODE ARTICLE 1101.4, CAL GREEN SECTION 4.303.1)



December 7, 2022
 0 20 40 80
 Feet
 North Arrow



OWNER INFORMATION:
 BRIDGET TAYLOR
 417 RIVERVIEW AVE
 CAPITOLA, CA 95010
 1 (408) 497-4503
 BCT@COMCASTNET

DESIGN CONSULTANT:
 BELL BUILT INC.
 CADE BELL
 825 ALFADEL LANE
 SOQUEL, CA, 95073

PH: 831-818-9550
 EMAIL: BELLBUILT@GMAIL.COM
 CL: 1016072

ENGINEER:

PROJECT DESCRIPTION:
 FOUNDATION:
 LIFT (E) HOUSE
 REPAIR (E) PIER FOOTINGS PER PLAN
 SET HOUSE BACK DOWN, (N) RIDGE ELEVATION WILL BE APPROX. 1 FT HIGHER

EXTERIOR:
 REPLACE BACK BRICK PATIO IN KIND WITH NEW BRICK PATIO
 REPLACE FRONT LANDING W/ (N) PORCH PER PLAN
 STUCCO @ RAISED HOUSE LOCATION

INTERIOR:
 REMODEL KITCHEN AREA
 REMOVE (E) HALF BATH CHANGE TO LAUNDRY ROOM,
 REMODEL (E) FULL BATH
 ADD (N) FULL BATH
 REMOVE (E) FIREPLACE

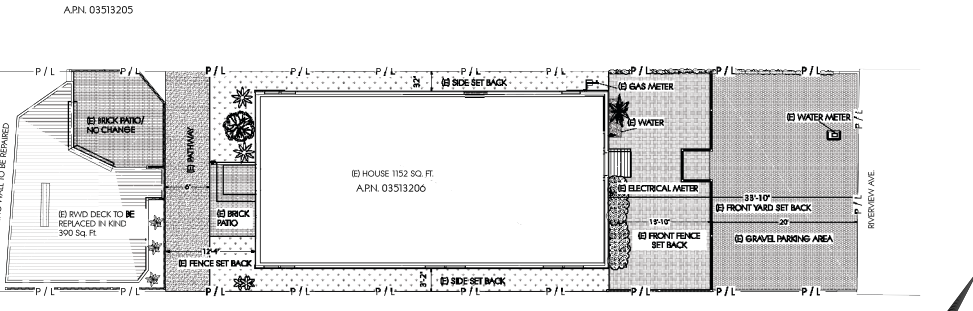
(E) HOUSE IS 1152 SQ.FT.
 NO INCREASE TO SQUARE FOOTAGE.

OCCUPANCY GROUP—RM-L
CONSTRUCTION TYPE—
 SPRINKLER—NO

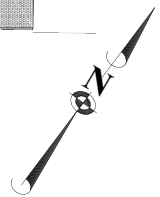
AREA TOTALS:
 LOT COVERAGE
 ZONE DISTRICT O20
 PARCEL AREA 5401.44

DECK AREA CALCULATIONS:		
(E)	(N)	TOTAL
(E) HOME 1152 SQ. FT.	0 SQ.FT.	1152 SQ.FT.
TOTAL (E) HOUSE AREA 1152 SQ. FT.		

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E-1	ELECTRICAL
P-1	PLUMBING & MECHANICAL
S-1	STRUCTURAL DETAILS
F-1	FLASHING DETAILS
BMP	BEST MANAGEMENT PRACTICE



APN 03513207
 APN 03513206
 PLOT PLAN VIEW 1/8 IN = 1 FT



SIGNATURE: *Cade Bell* PRINTED NAME: CADE BELL CL: 1016072

PLOT PLAN & GENERAL NOTES



REVISION TABLE	DESCRIPTION
NUMBER	DATE

PLANS PREPARED FOR:
 BRIDGET TAYLOR
 417 RIVERVIEW AVE
 CAPITOLA, CA 95010
 APN 03513206

PROJECT OVERVIEW

DRAWINGS PROVIDED BY:
 BELL BUILT INC.
 825 ALFADEL LANE
 SOQUEL, CA 95073
 831-818-9550 CL: 1016072

DATE:
 2/14/2024

SCALE:

SHEET:

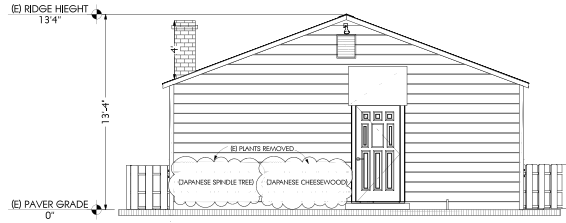
A-1

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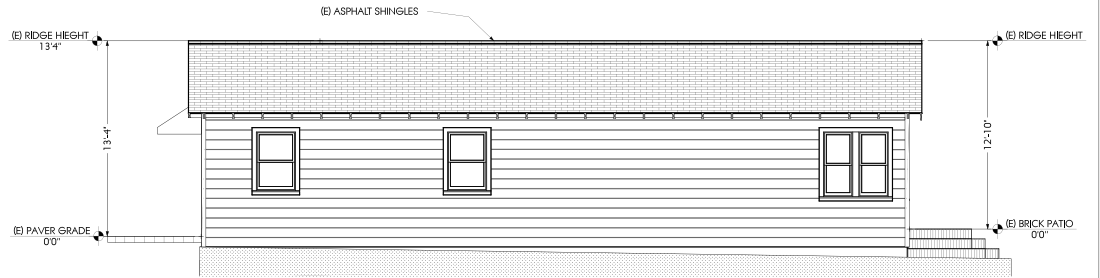
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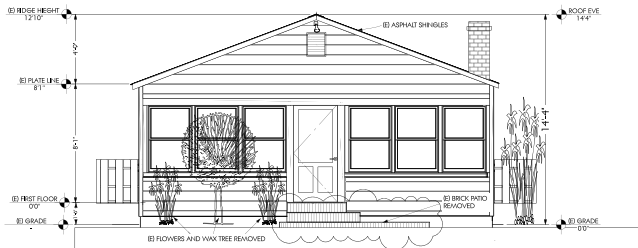
- (E) NORTH ELEVATION NOTES
1. (E) 4" / 12" ROOF PITCH
 2. (E) ASPHALT SHINGLE
 3. (E) SHIP LAP FINISH
 4. (E) ENTRY DOOR REPLACED
 5. (E) FRONT STEP REPLACED
 6. (E) PLANT REMOVED

(D) A-2 (E) EAST ELEVATION
1/4 IN = 1 FT



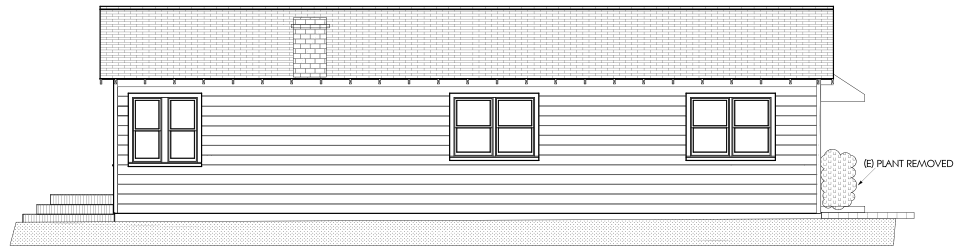
- (E) NORTH ELEVATION NOTES
1. (E) 4.5" / 12" ROOF PITCH
 2. (E) ASPHALT SHINGLE
 3. (E) SHIP LAP FINISH
 4. (E) WINDOWS TO REMAIN

(C) A-2 (E) NORTH ELEVATION
1/4 IN = 1 FT



- (E) WEST ELEVATION NOTES
1. (E) 4.5" / 12" ROOF PITCH
 2. (E) ASPHALT SHINGLE
 3. (E) SHIP LAP FINISH
 4. (E) WINDOWS TO REMAIN
 5. (E) DOOR REPLACED
 6. (E) PATIO REMOVED
 7. (E) VEGETATION REMOVED

(B) A-2 (E) WEST ELEVATION
1/4 IN = 1 FT



- (E) SOUTH ELEVATION NOTES
1. (E) 4.5" / 12" ROOF PITCH
 2. (E) ASPHALT SHINGLE ROOF
 3. (E) SHIP LAP FINISH
 4. (E) WINDOWS TO REMAIN
 5. (E) CHIMNEY REBUILT

(A) A-2 (E) SOUTH ELEVATION
1/4 IN = 1 FT

REVISION TABLE	DESCRIPTION
NUMBER	DATE

PLANS PREPARED FOR:
BRIDGET TAYLOR
417 RIVERVIEW AVE
CAPITOLA, CA 95010
APN 0351 3206

(E) ELEVATIONS

DRAWINGS PROVIDED BY:
BELL BUILT INC.
825 ALFARDEL LANE
SOUQUEL, CA 95073
831-818-9599 CL 1016072

DATE:
2/14/2024

SCALE:

SHEET:

A-2

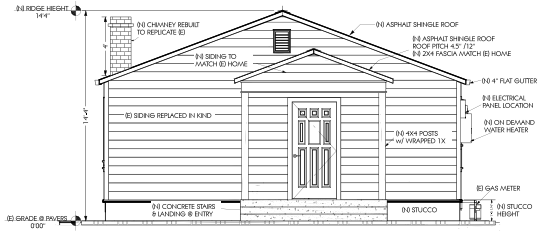
Signature: *Cade Bell* Printed Name: Cade Bell CL 1016072 (E) ELEVATIONS

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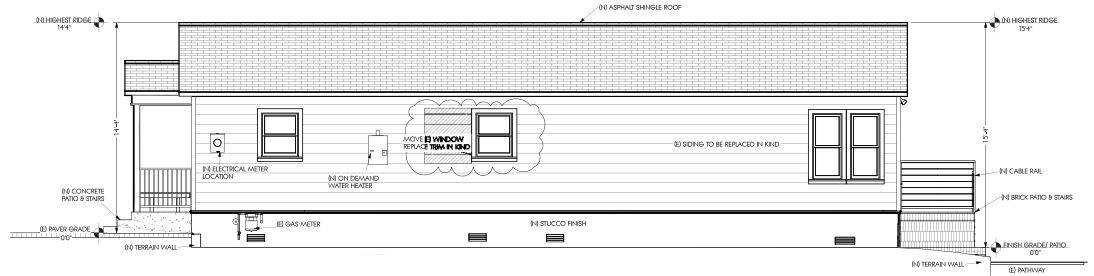
PRELIMINARY PLANS NOT FOR CONSTRUCTION



(N) EAST ELEVATION NOTES

1. (E) 4.5' / 12' ROOF PITCH REMAIN
2. (N) ASPHALT SHINGLE
3. (E) HOUSE LIFTED 1' FOOT
4. (N) SHIP LAP SIDING WILL MATCH EXISTING (WHEN NEEDED)
5. (N) DOOR TRIM REPLACED IN KIND
6. (N) STUCCO FROM GRADE OF (N) FND TO RAISED FLOOR
7. (N) FRONT DOOR SIMILAR IN DESIGN
8. (N) FRONT PATIO AND STAIRS WILL BE CONCRETE
9. (N) PORCH POSTS WRAPPED W/ 1X MATERIAL
10. (N) PORCH UPPER WALL WILL BE SIDING MATCHING (E) HOME
11. (N) PORCH ROOF WILL MATCH HOME 4.5 / 12
12. (N) PORCH ROOF WILL BE ASPHALT SHINGLES
13. ANY ROTTED MATERIALS TO BE PLACED IN KIND

(N) EAST ELEVATION
1/4" = 1' FT



(N) NORTH ELEVATION NOTES

1. (E) 4.5' / 12' ROOF PITCH REMAIN
2. (N) ASPHALT SHINGLE
3. (N) 2X FASCIA
4. (N) 4" GUTTER
5. (N) SHIP LAP SIDING WILL MATCH EXISTING (WHEN NEEDED)
6. (N) WINDOW TRIM TO MATCH IN KIND
7. (E) KITCHEN WINDOW MOVED TO THE RIGHT
8. (N) ELECTRICAL METER, AND ON DEMAND WATER HEATER LOCATION
9. (E) HOUSE LIFTED 1' FOOT
10. (N) STUCCO FROM GRADE OF (N) FND TO RAISED FLOOR
11. (N) BREAK AWAY VENTS @ FOUNDATION
12. ANY ROTTED MATERIALS TO BE PLACED IN KIND

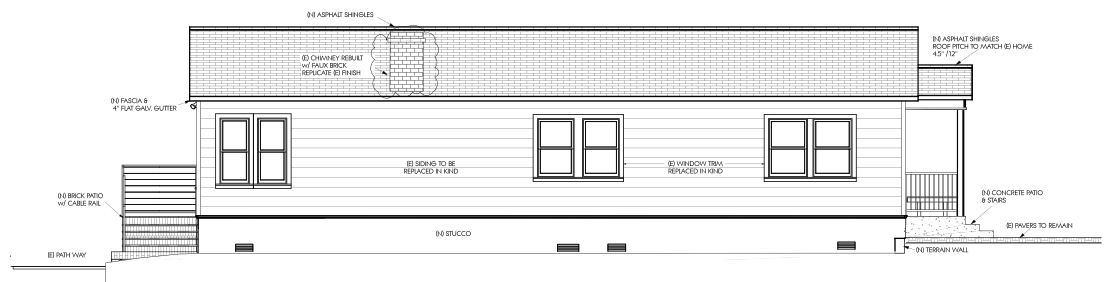
(N) NORTH ELEVATION
1/4" = 1' FT



(N) WEST ELEVATION NOTES

1. (E) 4.5' / 12' ROOF PITCH REMAIN
2. (N) ASPHALT SHINGLE
3. (N) SHIP LAP SIDING WILL MATCH EXISTING (WHEN NEEDED)
4. (N) WINDOW TRIM TO MATCH IN KIND
5. (E) WINDOWS TO REMAIN
6. (N) BACK DOOR
7. DOOR AND WINDOW TRIM REPLACED IN KIND
8. (N) BRICK BACK PATIO WIDTH OF HOUSE
9. (N) BRICK STEPS REPLICATING EXISTING
10. (N) CABLE RAIL @ STAIRS
11. (E) HOUSE LIFTED 1' FOOT
12. (N) STUCCO FROM GRADE OF (N) FND TO RAISED FLOOR
13. (N) BREAK AWAY VENTS @ FOUNDATION
14. ANY ROTTED MATERIALS TO BE PLACED IN KIND

(N) WEST ELEVATION
1/4" = 1' FT



(N) SOUTH ELEVATION NOTES

1. (E) 4.5' / 12' ROOF PITCH REMAIN
2. (N) ASPHALT SHINGLE
3. (E) CHIMNEY TO BE REBUILT W/ FAUX BRICK OR SIMILAR MATCHING (E) SIZE AND DIMENSIONS
4. (N) 2X FASCIA
5. (N) 4" GUTTER
6. (N) SHIP LAP SIDING WILL MATCH (E) SIZES DIMENSIONS
7. (N) WINDOW TRIM TO MATCH IN KIND
8. (E) HOUSE LIFTED 1' FOOT
9. (N) STUCCO FROM GRADE OF (N) FND TO RAISED FLOOR
10. (N) BREAK AWAY VENTS @ FOUNDATION
11. ANY ROTTED MATERIALS TO BE PLACED IN KIND

(N) SOUTH ELEVATION
1/4" = 1' FT

Signature: *Cade Bell* Printed Name: Cade Bell CL 1016072 (N) LIFTED ELEVATION

REVISION TABLE	DESCRIPTION
NUMBER	DATE

PLANS PREPARED FOR:
BRIDGET TAYLOR
417 RIVERVIEW AVE
CAPITOLA, CA 95010
APN 0351 3200

(N) LIFTED ELEVATION

DRAWINGS PROVIDED BY:
BELL BUILT INC.
825 ALFADEL LANE
SOUQUEL, CA 95073
831-818-9590 CL 1016072

DATE:
2/14/2024

SCALE:

SHEET:

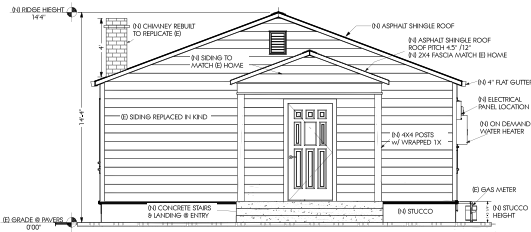
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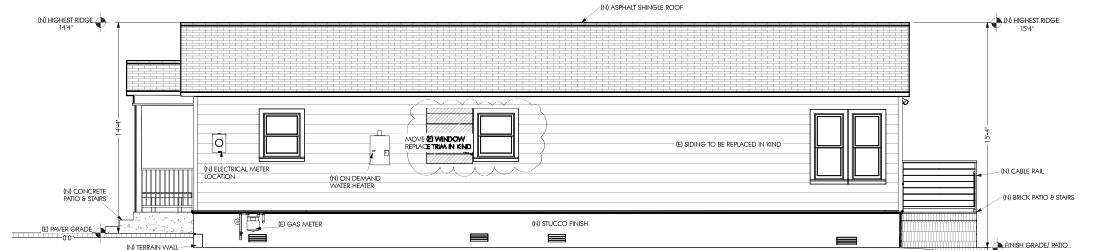
(N) PROPOSED EAST ELEVATION
1/4 IN = 1 FT



(E) EAST ELEVATION



(E) NORTH ELEVATION



(N) NORTH PROPOSED ELEVATION
1/4 IN = 1 FT



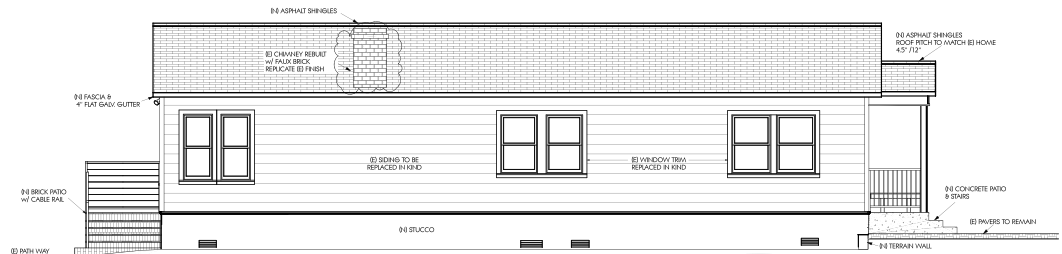
(N) PROPOSED WEST ELEVATION
1/4 IN = 1 FT



(E) WEST ELEVATION



(E) SOUTH ELEVATION



(N) PROPOSED SOUTH ELEVATION
1/4 IN = 1 FT



REVISION TABLE	DESCRIPTION
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PLANS PREPARED FOR:
BRIDGET TAYLOR
417 RIVERVIEW AVE
CAPRIOLA, CA 95010
APN 0351 3206

(E) PHOTO ELEVATION/ (N)
PROPOSED ELEVATION

DRAWINGS PROVIDED BY:
BELL BUILT INC.
825 ALFARDEL LANE
SOUQUEL, CA 95073
831-818-9559 CL 1016072

DATE:
2/14/2024

SCALE:

SHEET:

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Signature: *Gade Bell*

Printed Name: Gade Bell CL 1016072

(E) PHOTO ELEVATION/ (N) PROPOSED ELEVATION

PRELIMINARY PLANS NOT FOR CONSTRUCTION

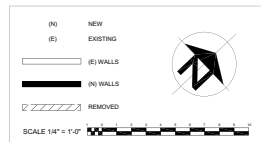
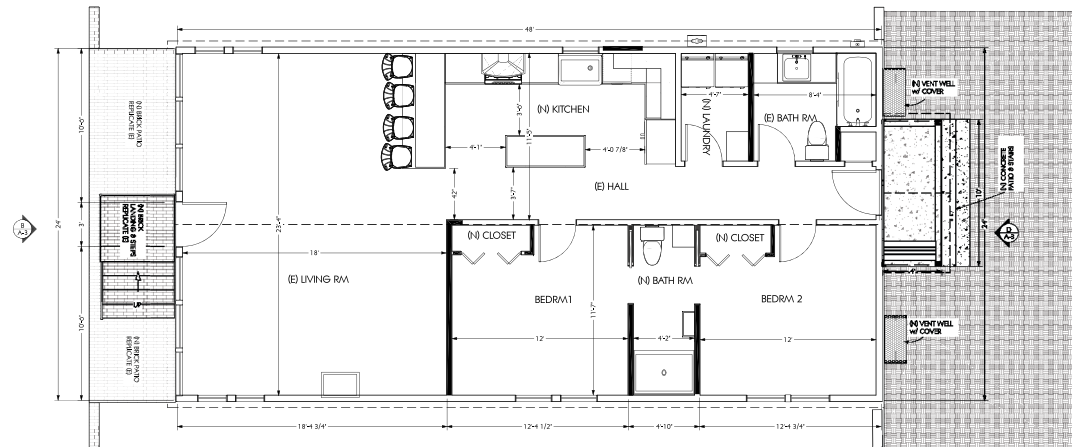
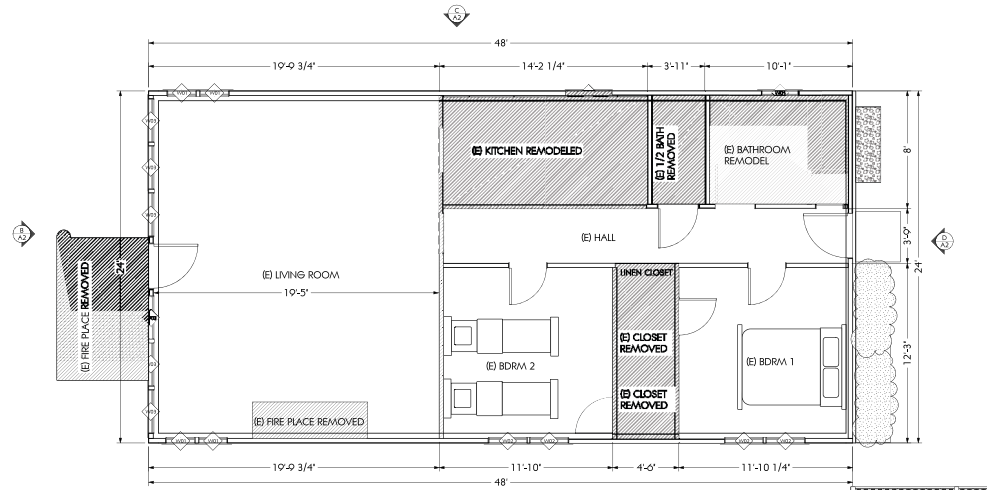
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WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	EGRESS	DESCRIPTION
W01	2045DH	4	1	2045DH		DOUBLE HUNG
W02	2840DH	4	1	2840DH		DOUBLE HUNG
W03	3047DH	6	1	3047DH		DOUBLE HUNG
W04	2630DH	1	1	2630DH		DOUBLE HUNG
W05	2830DH	1	1	2830DH		DOUBLE HUNG

DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	MANUFACTURER	COMMENTS
D01	11068	1	1	11068 R IN	HINGED-DOOR P04		
D02	2668	2	1	2668 L IN	HINGED-DOOR P04		
D03	2668	2	1	2668 R IN	HINGED-DOOR P04		
D04	2868	1	1	2868 L IN	HINGED-DOOR P04		
D05	2868	1	1	2868 R IN	HINGED-DOOR P04		
D06	3068	1	1	3068 L EX	EXT. HINGED-DOOR E03		
D07	3068	1	1	3068 R EX	EXT. HINGED-DOOR E08		



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417 RIVERVIEW AVE
CAPITOLA, CA 95010
APN 0351 3206

(E) PLAN (N) PLAN

DRAWINGS PROVIDED BY:
BELL BUILT INC.
825 ALFARDEL LANE
SOCUELI, CA 95073
831-818-9599 CL 1016072

DATE:
2/14/2024

SCALE:

SHEET:

A-5

Signature: *Cade Bell*

Printed Name: Cade Bell CL 1016072

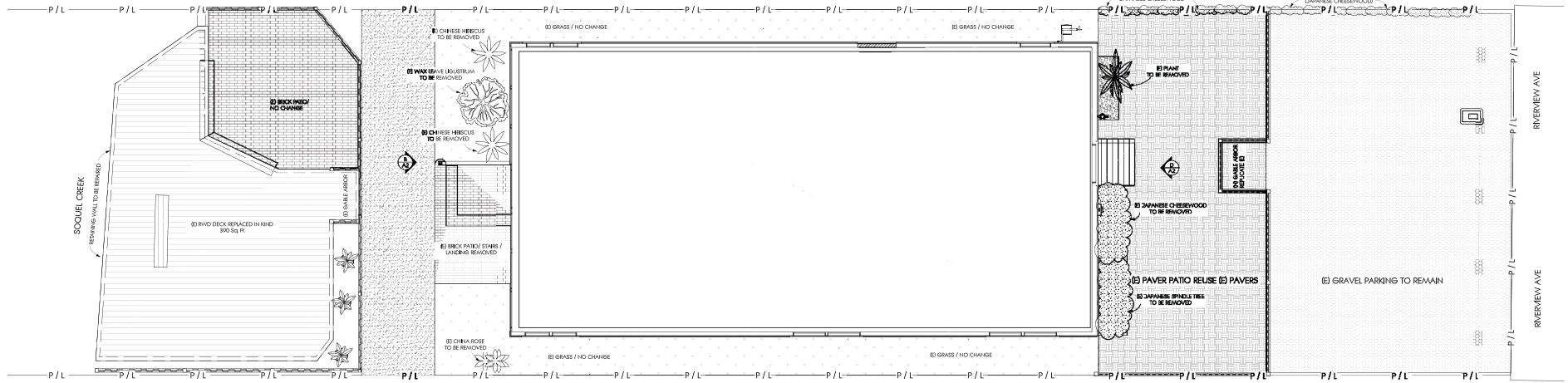
(E) PLAN (N) PLAN

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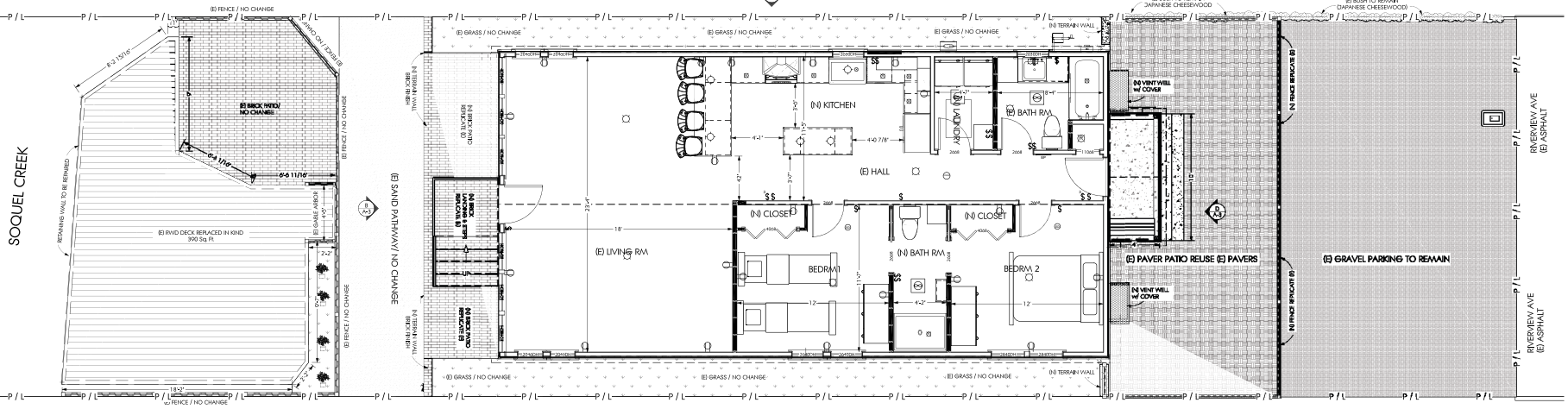
(E) LANDSCAPE PLANTS REMOVED

EAST: JAPANESE CHEESEWOOD BUSH, JAPANESE SPINDLE TREE
 NORTH: NONE, ONLY DIRT REMOVED AS NEEDED
 WEST: 2 CHINESE HIBISCUS PLANTS, 1 WAX LEAF TREE, 1 CHINA ROSE PLANT
 SOUTH: NONE, ONLY DIRT REMOVED AS NEEDED

(E) LANDSCAPE 1/4 IN - 1 FT

(N) HARDSCAPE

EAST: (N) PAVER LANDING AND STEPS TO MATCH (E) PAVERS, 2 VENT WELLS FOR FOUNDATION AIR MOVEMENT.
 NORTH: (N) TERRAIN WALL @ EAST END TO EXPOSE (E) FOUNDATION VENTS ALONG HOUSE
 WEST: (N) BRICK PATIO WIDTH OF HOME, (N) BRICK LANDING AND STEPS TO REPLICATE (E), ADD POSSIBLE TERRAIN WALL @ PATHWAY TO HOLD (E) LANDSCAPE
 SOUTH: TERRAIN WALL @ EAST END TO EXPOSE (E) FOUNDATION VENTS ALONG HOUSE



(N) LANDSCAPE 1/4 IN - 1 FT

Signature: *Cade Bell*

Printed Name: Cade Bell CL 1016072

(E) & (N) LANDSCAPE



REVISION TABLE	REVISION BY	DESCRIPTION
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 417 RIVERVIEW AVE
 CAPITOLA, CA 95010
 APN 0351 3206

(E) & (N) LANDSCAPE

DRAWINGS PROVIDED BY:
 BELL BUILT INC.
 825 ALFARDEL LANE
 SOQUEL, CA 95073
 831-818-9559 CL 1016072

DATE:
 2/14/2024

SCALE:

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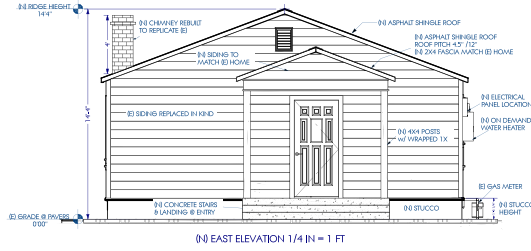
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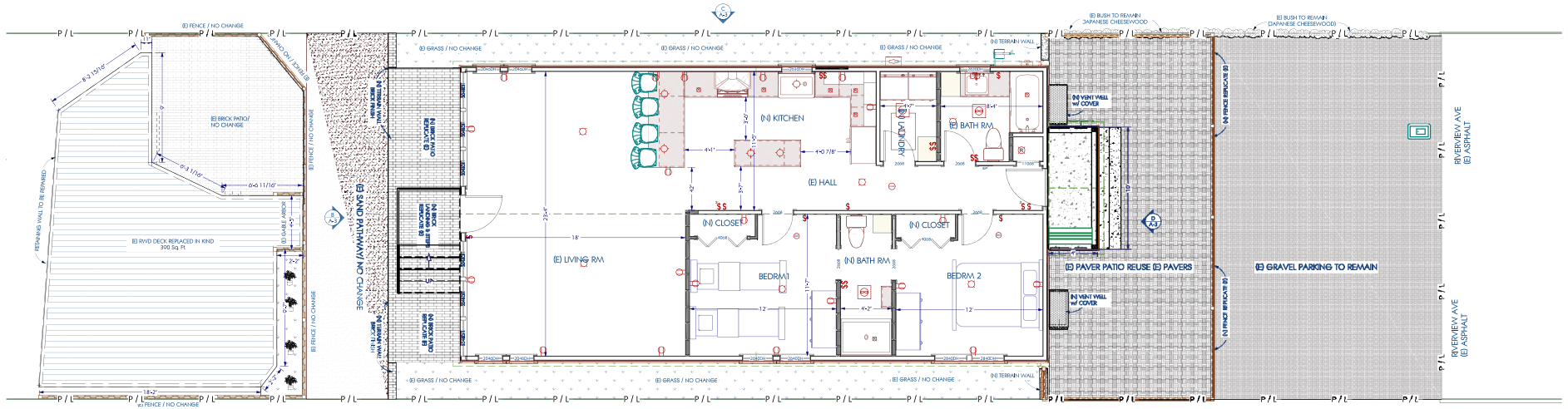
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3D VIEW OF PROPOSED PORCH
EAST 1/4 IN = 1 FT

PROPOSED FRONT PORCH DESCRIPTION

- 1. PORCH SIZE - 4' W X 10' L
- 2. ROOF PITCH 4.5/ 12" MATCH (E) HOME
- 3. FASCIA TO MATCH (E) HOME
- 4. FINISH SIDING WILL MATCH (E) HOME
- 5. PORCH FLOOR SURFACE WILL BE CONCRETE
- 6. STEPS WILL BE CONCRETE
- 7. 4X4 POSTS WRAPPED WITH 1X FINISH WOOD
- 8. SIMPLE RAILING @ EACH SIDE OF PORCH



REVISION TABLE		
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PLANS PREPARED FOR:
BRIDGET TAYLOR
 417 RIVERVIEW AVE
 CAPITOLA, CA 95010
 APN 0351 3206

FRONT ENTRY PORCH

DRAWINGS PROVIDED BY:
BELL BUILT INC.
 825 ALFADEL LANE
 SOQUEL, CA 95073
 831-481-8959 CL 1016072

DATE:
 2/14/2024

SCALE:

SHEET:
A-15

Signature: *Gade Bell* Printed Name: Gade Bell CL 1016072 FRONT ENTRY PORCH