



Community Development Department

Memo

To: City Council

From: Katie Herlihy, Community Development Director

Date: June 24, 2025

Re: Item 8B - Wharf Public Input

Staff wishes to note the addition of Attachment 4 Item 8B findings of Capitola Wharf Community Meeting. This item was provided by the project consultant.

COMMUNITY INPUT

& KEY TAKE AWAYS FROM THE COMMUNITY MEETING

MAY 20TH 2025





COMMUNITY MEETING

INTENTION

Community Meeting Overview – May 20, 2025

- **New Brighton Middle School, hosted by:** *Fuse Architecture, Moffatt & Nichol & Capitola City Staff*
- **Purpose:** Public discussion of the seven proposed options for the Capitola Wharf Master Plan.
- **Format:** Two-hour meeting with open dialogue between the project team and community members.
- **Focus:** Understanding how each option might integrate into daily life and reflect community values.
- **Intended Outcome:**
 - Meaningful, direct public input
 - Feedback aligned with recent public survey findings
 - Reinforced shared priorities of local residents and the broader County.

OPTION 03 | EXISTING FISHING CONCESSION

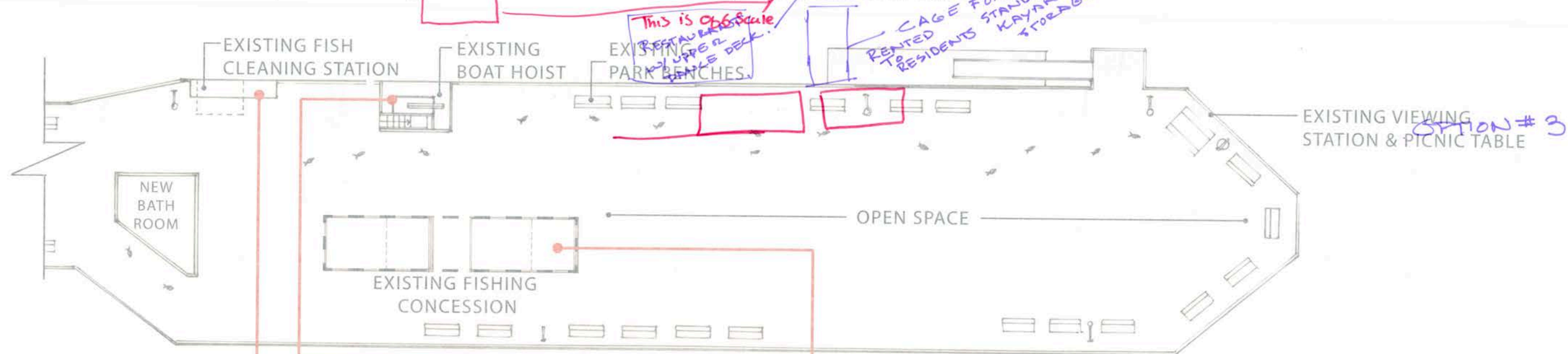
A. Keep Existing Fixed Low-Cost Structure For Fishing Concession With Boat Rental / Uncovered Boat Storage & Repair Area / Mooring Buoys, Dingy Service and Hoist. *Not in this location*

B. Additional Public Restroom

C. Keep Existing Benches (40), Picnic Tables (4), Viewing Station (4), Fish Cleaning Station (1), Bathrooms Near the Entrance (3), Bikeracks (10) & Boat Hoist.

*** Option 03 | Please Note: ***

Wharf Is Shown As It Is Today With A Fishing Concession & No Other Leased Space. A Public Bathroom Is Added



*ADA ACCESS THROUGHOUT
BOARDS ARE DIFFICULT
FOR ANYONE TO WALK ON

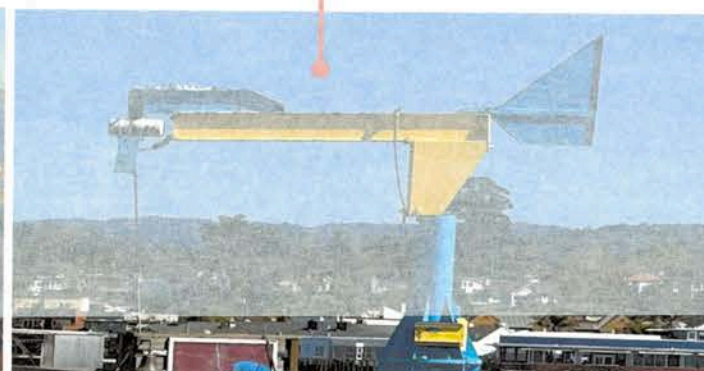
TOTAL ESTIMATE: (+/-) \$600k

Public Restroom: (+/-) \$600k

Any Necessary Engineering: T.b.d.



FISH CLEANING STATION
(SHOWN IN PROGRESS)



BOAT HOIST



FISHING CONCESSION



RENTAL BOAT STORAGE

TING FISHING CONCESSION

Structure For Fishing Concession With Boat Rental / Uncovered Boat Storage & Hoisting Service And Hoist.

↓ NOT in this location

Tables (4), Viewing Station (4),

Booms Near the Entrance (3), Bikeracks (10) & Boat Hoist

*

A Fishing Concession & No Other Leased Space. A Public Bathroom Is Added

EXISTING BOAT HOIST

EXISTING PARK BENCHES

FISH TANK

FOR CATCH & RELEASE

DECK SHOULD BE AVAILABLE TO RENT OUT FOR PRIVATE EVENTS

CAGE FOR STAND UP KAYAK STORAGE RENTED TO RESIDENTS

* ADA ACCESS THROUGHOUT
BOARDS ARE DIFFICULT
FOR ANYONE TO WALK ON

TOTAL ESTIMATE: (+/-) \$600k

Public Restroom: (+/-) \$600k

Any Necessary Engineering: T.b.d.

3M

Each

: (+/-) \$150k

no mobile vendors take away from village businesses

EXISTING VIEWING STATION & PICNIC TABLE

OPTION # 3

Option 03 - Meeting Discussion Highlights / Enlarged Community Notes:

- Request for Fish Tank for viewing or catch & release
- Request for a restaurant with public viewing deck / or for private events
- Request for a large cage to offer rentable kayaks & stand up paddle boards
- There was a request for no mobile vendors as they believed it took away from the village businesses

OPTION 05 | FISHING CONCESSION & MOBILE VENDORS

Comments: Dominique Bertrand

A. New Larger Enclosed Fishing Concession with Enclosed Boat Storage & Boat Repair

C. Dedicated Areas For Mobile Vendors

D. New Stage (1)

E. Fixed Lifeguard Station With Marine Rescue Watercraft Storage (Jetski)

F. Additional Public Restroom

G. Keep Existing Park Benches (40), Picnic Tables (4), Viewing Stations (4)

Fish Cleaning Station (1), Bathroom near entrance (3), Bike Racks (10), Boat Hoist & Buoys

TOTAL ESTIMATE: 2.5- 3M

Mobile Vendors: (+/-) \$120k / Each

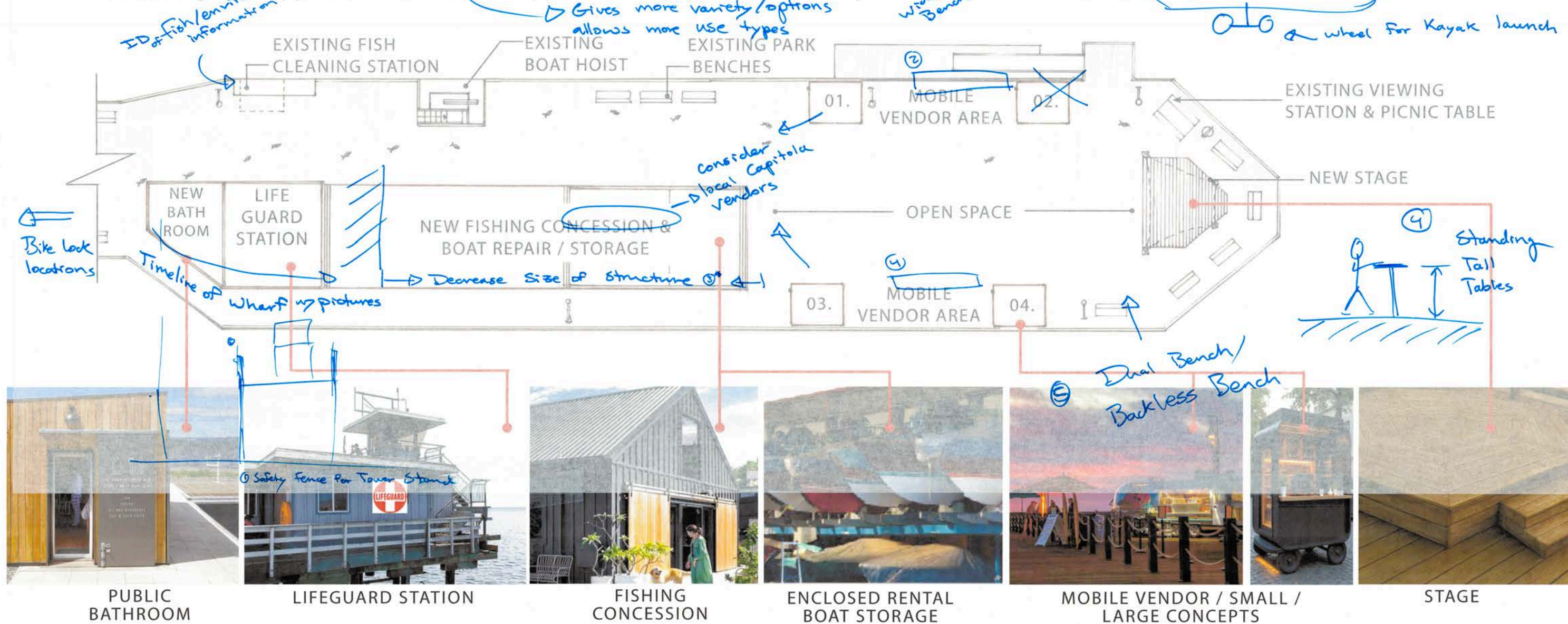
Enhanced Public Space / Park: (+/-) \$150k

Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Fixed Boat Storage & Fishing Concession: (+/-) \$650k

Any Necessary Engineering: T.b.d.



PUBLIC BATHROOM

LIFEGUARD STATION

FISHING CONCESSION

ENCLOSED RENTAL BOAT STORAGE

MOBILE VENDOR / SMALL / LARGE CONCEPTS

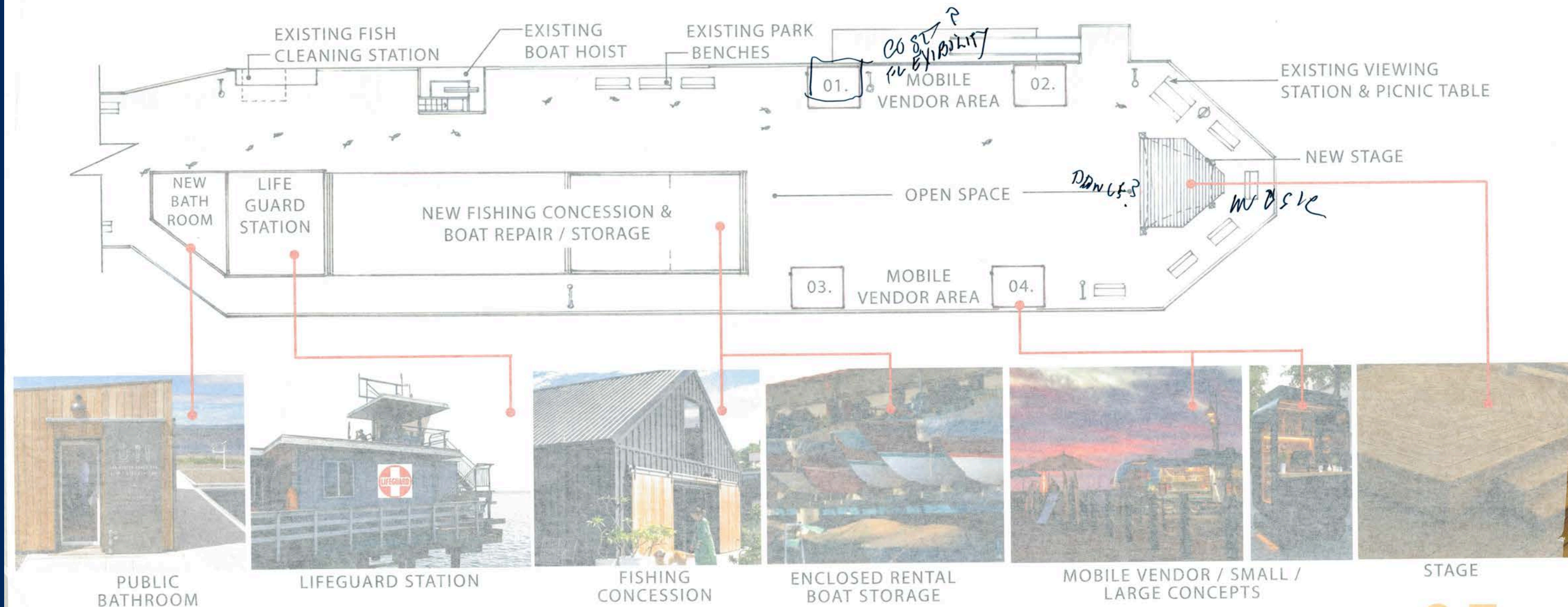
STAGE

OPTION 05 | FISHING CONCESSION & MOBILE VENDORS

- A.** New Larger Enclosed Fishing Concession with Enclosed Boat Storage & Boat Repair
 - C.** Dedicated Areas For Mobile Vendors
 - D.** New Stage (1)
 - E.** Fixed Lifeguard Station With Marine Rescue Water Craft Storage (Jetski).
 - F.** Additional Public Restroom
 - G.** Keep Existing Park Benches (40), Picnic Tables (4), Viewing Stations (4)
- Fish Cleaning Station (1), Bathroom near entrance (3), Bike Racks (10), Boat Hoist & Bouys

TOTAL ESTIMATE: 2.5- 3M

Mobile Vendors: (+/-) \$120k / Each
 Enhanced Public Space / Park: (+/-) \$150k
 Public Restroom: (+/-) \$600k
 Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
 Fixed Boat Storage & Fishing Concession: (+/-) \$650k
 Any Necessary Engineering: T.b.d.

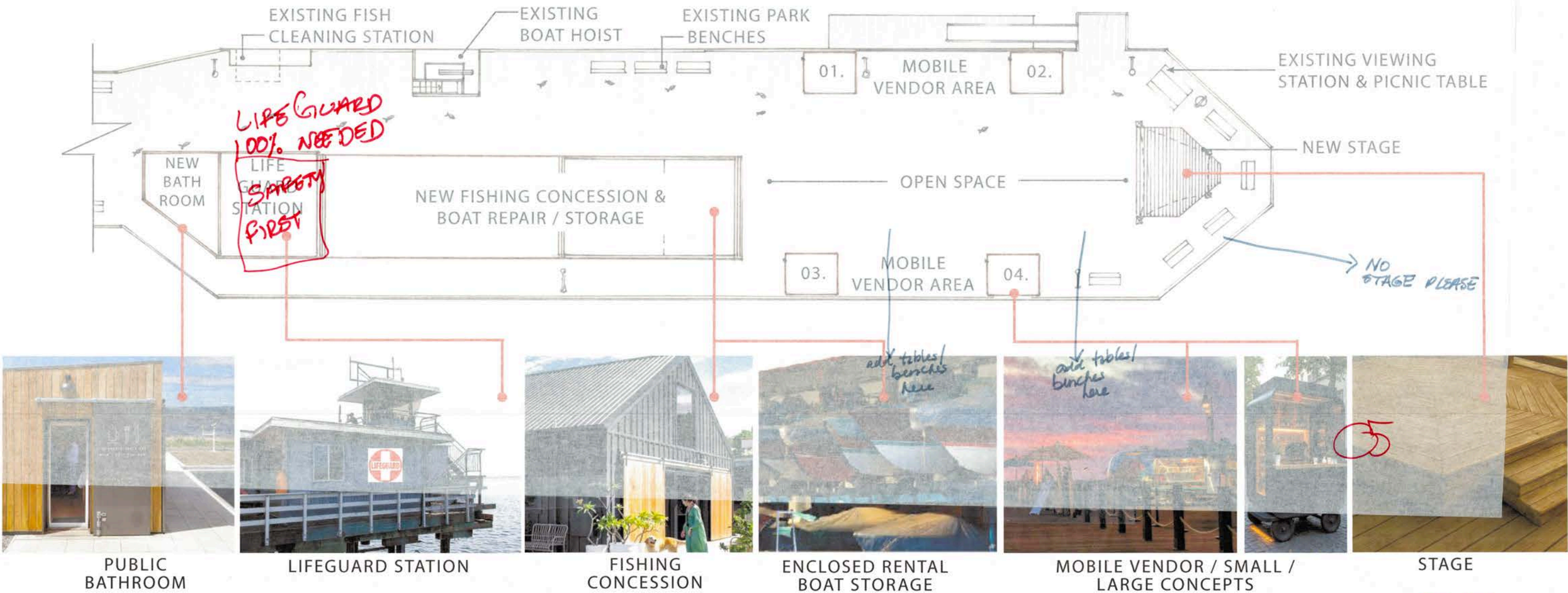


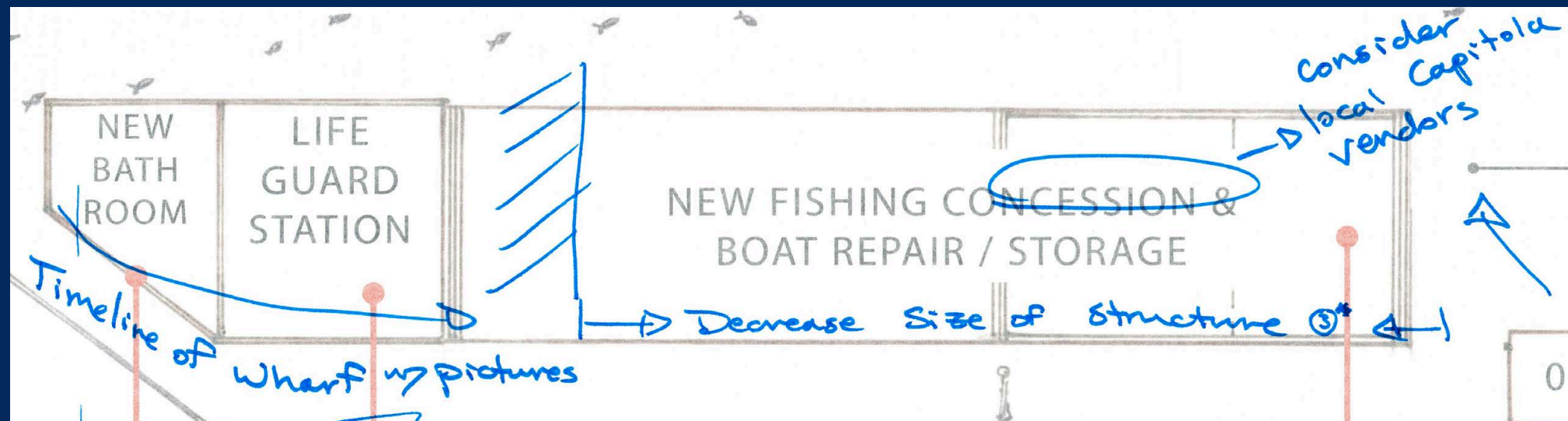
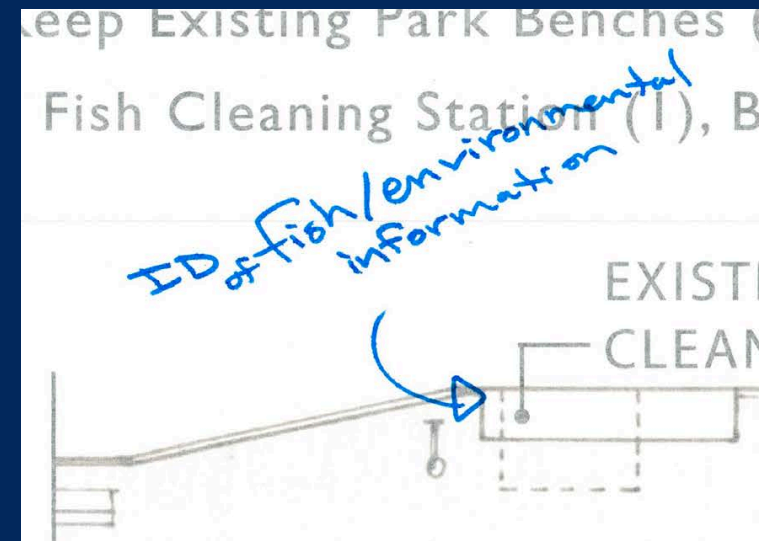
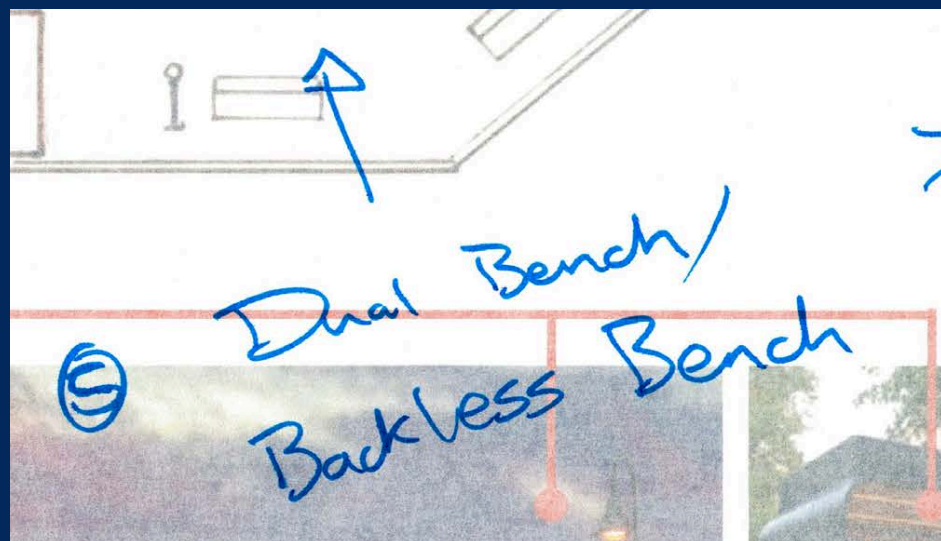
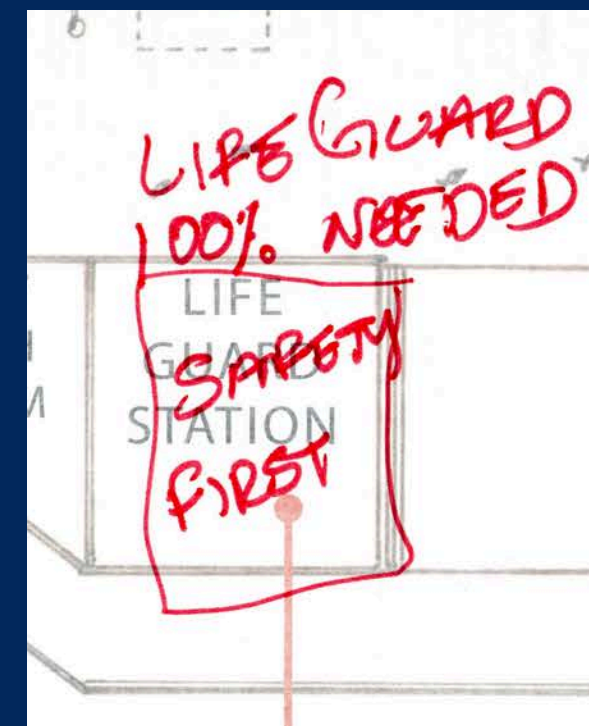
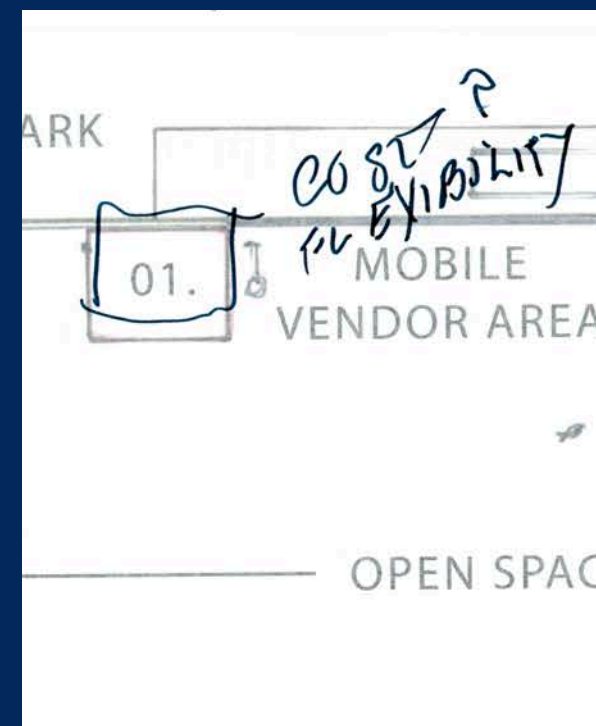
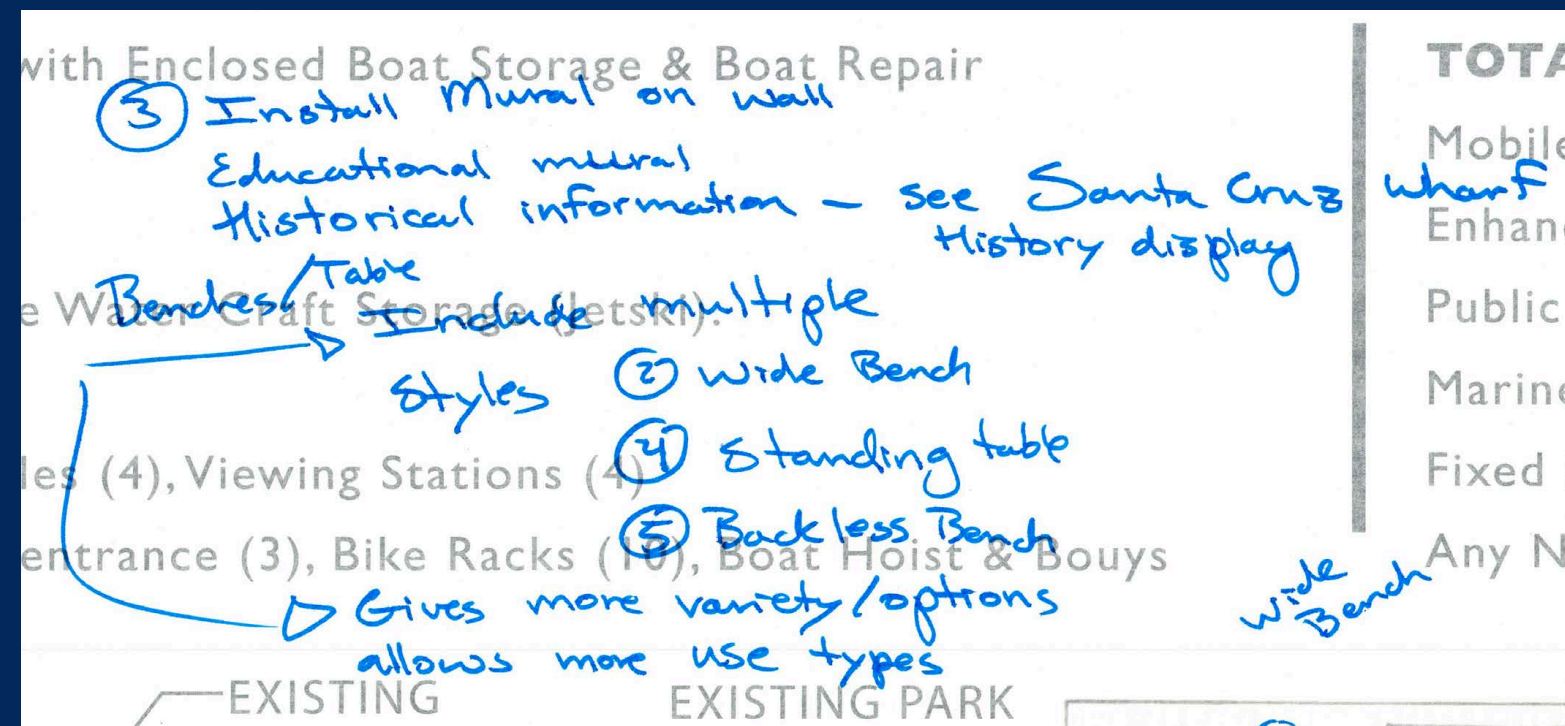
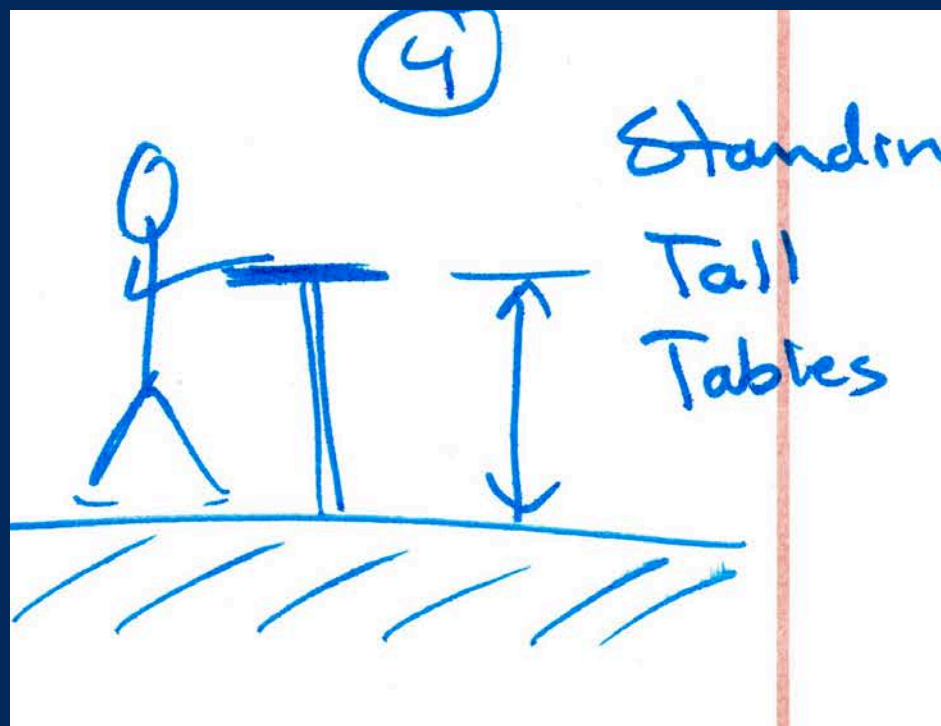
OPTION 05 | FISHING CONCESSION & MOBILE VENDORS

- A. New Larger Enclosed Fishing Concession with Enclosed Boat Storage & Boat Repair
- C. Dedicated Areas For Mobile Vendors
- D. New Stage (1)
- E. Fixed Lifeguard Station With Marine Rescue Water Craft Storage (Jetski).
- F. Additional Public Restroom
- G. Keep Existing Park Benches (40), Picnic Tables (4), Viewing Stations (4)
Fish Cleaning Station (1), Bathroom near entrance (3), Bike Racks (10), Boat Hoist & Bouys

TOTAL ESTIMATE: 2.5- 3M
Mobile Vendors: (+/-) \$120k / Each
Enhanced Public Space / Park: (+/-) \$150k
Public Restroom: (+/-) \$600k
Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
Fixed Boat Storage & Fishing Concession: (+/-) \$650k
Any Necessary Engineering: T.b.d.

no mobile vendors take away from village business





Option 05 - Meeting Discussion Highlights / Enlarged Community Notes:

- Would like ID of Fish & Environmental Information integrated into Fish Cleaning Station.
- Request installation of a mural on buildings / Educational or Historical / Timeline of Wharf Photos
- Request for multiple styles of wide benches / tables / backless benches / tall tables
- Safety fence for Lifeguard tower / Lifeguard Station a must "100% Needed"
- Would like to see a decrease in the size of the proposed structure
- Would like to see priority given to local vendors / existing retail

OPTION 06 | FISHING CONCESSION & FLEXIBLE MARKETSPACE

- A. Fishing Concession & Enclosed Rental Boat Storage & Boat Repair
- B. Flexible Open Air Market (1e: Fish Market, Food & Beverage)
- C. New Stage (1) & New Wide Benches (2) & Planters (2)
- D. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (4), Viewing Stations (4), Fish Cleaning Station (1), Bathrooms Near Entrance (3 Stall), Bike rack (10), Boat Hoist & Bouys

TOTAL ESTIMATE: 2.5M - 3.2M

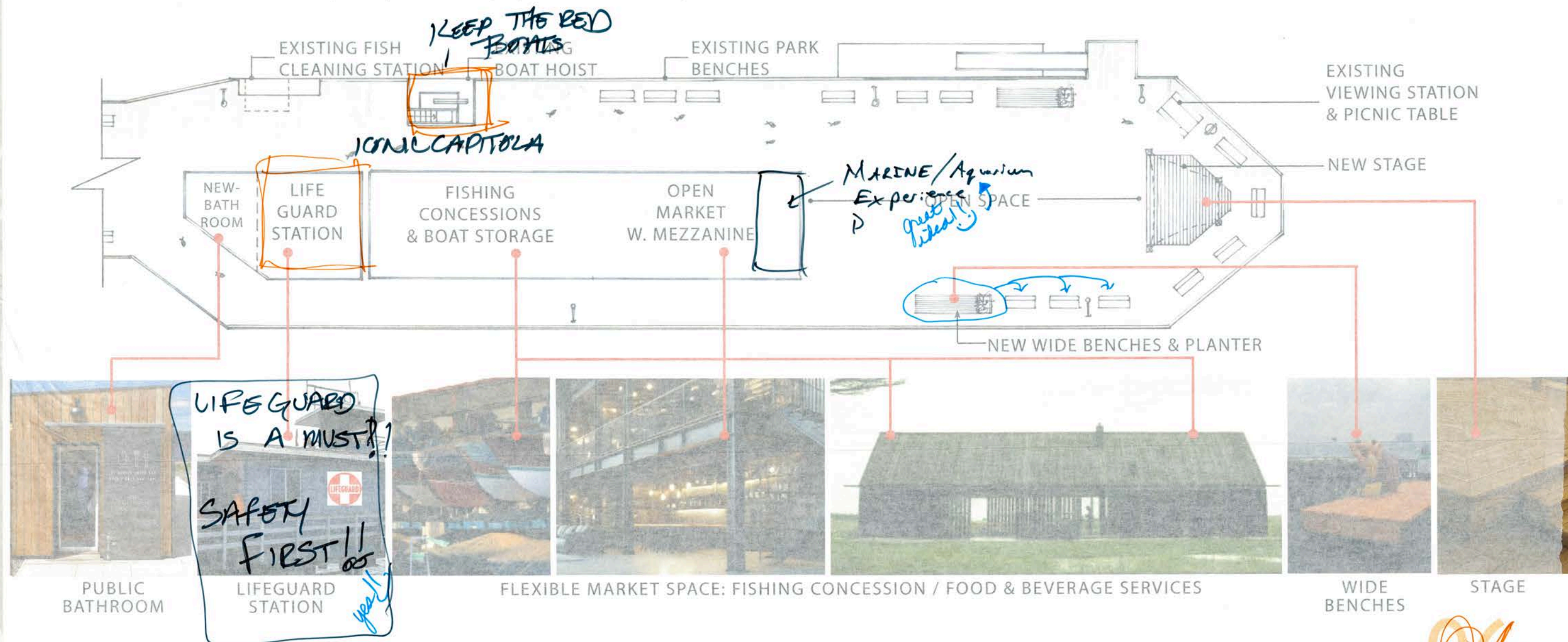
Enhanced Public Space / Park: (+/-) \$150k

Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Indoor Market Space / Food + Fish Concession: (+/-) 1.2m

Any Necessary Engineering: T.b.d.



OPTION 06 | FISHING CONCESSION & FLEXIBLE MARKETSPACE

- A. Fishing Concession & Enclosed Rental Boat Storage & Boat Repair
- B. Flexible Open Air Market (1e: Fish Market, Food & Beverage)
- C. New Stage (1) & New Wide Benches (2) & Planters (2)
- D. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- E. Additional Public Restroom

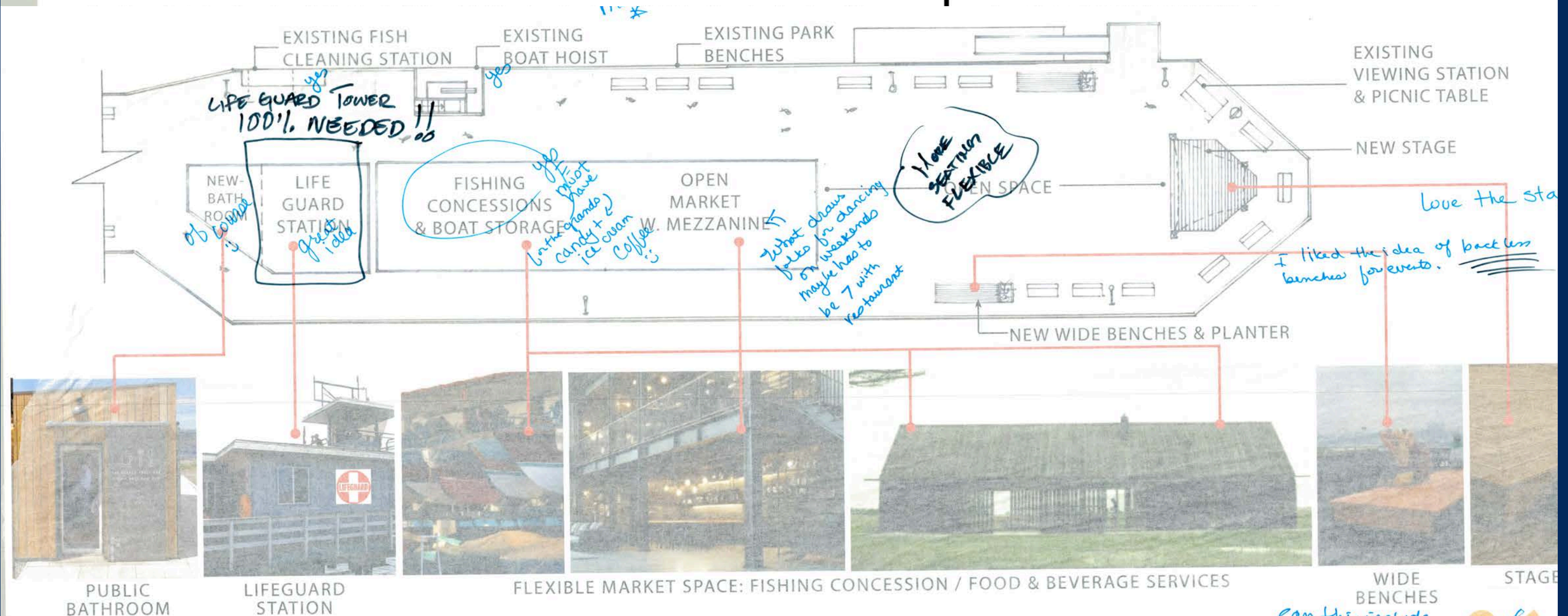
TOTAL ESTIMATE: 2.5M - 3.2M

Enhanced Public Space / Park: (+/-) \$150k

Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Indoor Market Space / Food + Fish Consession: (+/-) 1.2m



OPTION 06 | FISHING CONCESSION & FLEXIBLE MARKETSPACE

Thank you for the open house!

A. Fishing Concession & Enclosed Rental Boat Storage & Boat Repair

B. Flexible Open Air Market (ie: Fish Market, Food & Beverage)

C. New Stage (1) & New Wide Benches (2) & Planters (2)

D. Lifeguard Station With Marine Rescue Watercraft Storage (Jetski)

E. Additional Public Restroom

F. Keep Existing Benches (40), Picnic Tables (17), Viewing Stations (1), Fish Cleaning Station (1), Bathrooms, New Entrance (3 Stall), Bike Rack (10), Boat Hoist & Bouys

* ~~Enter on to~~
* Public posting of the water efficient / energy portions of the project.

TOTAL ESTIMATE: 2.5M - 3.2M

Enclosed Public Space / Park: (+/-) \$150k

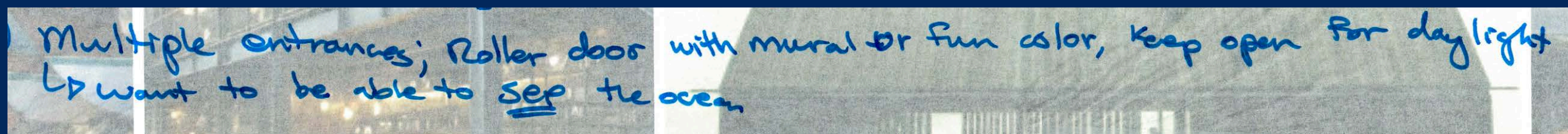
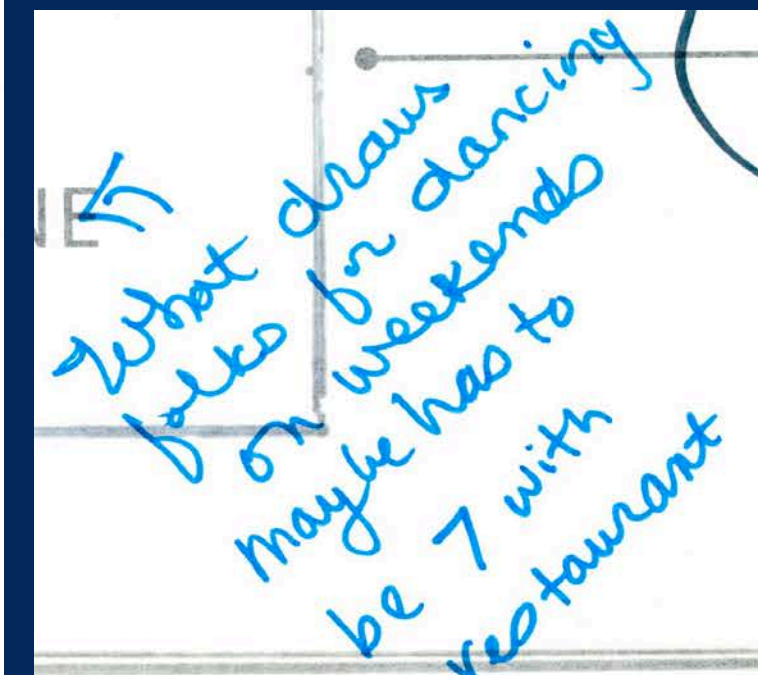
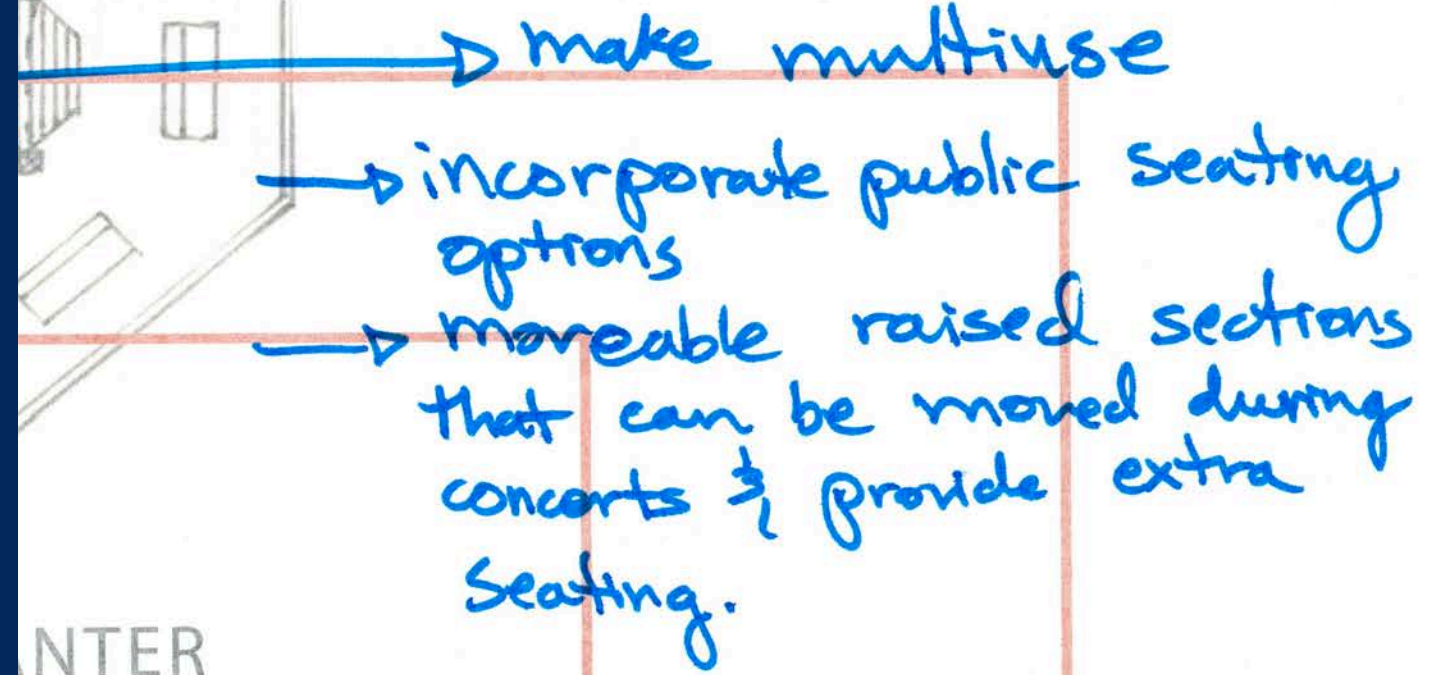
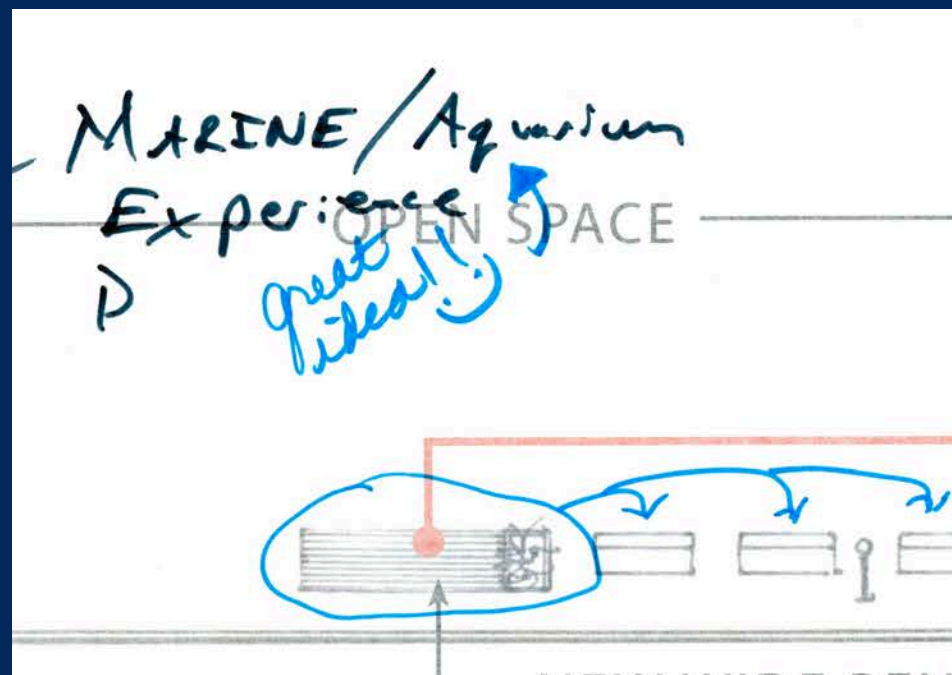
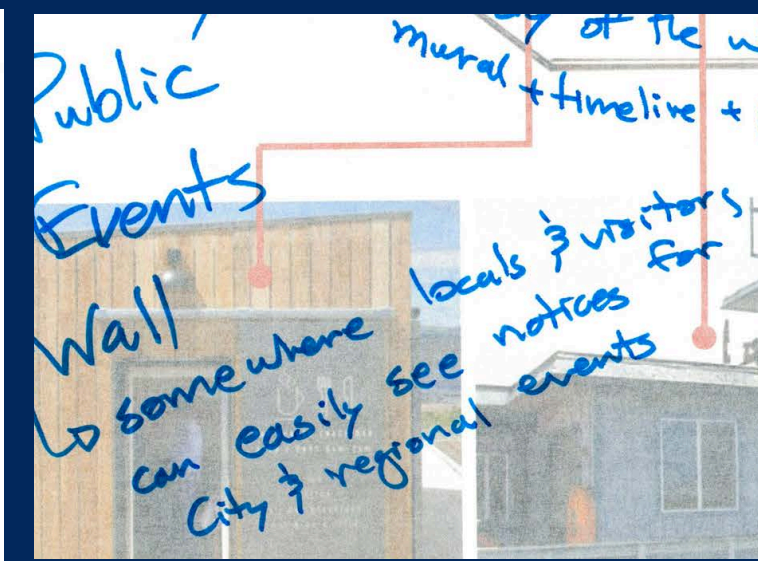
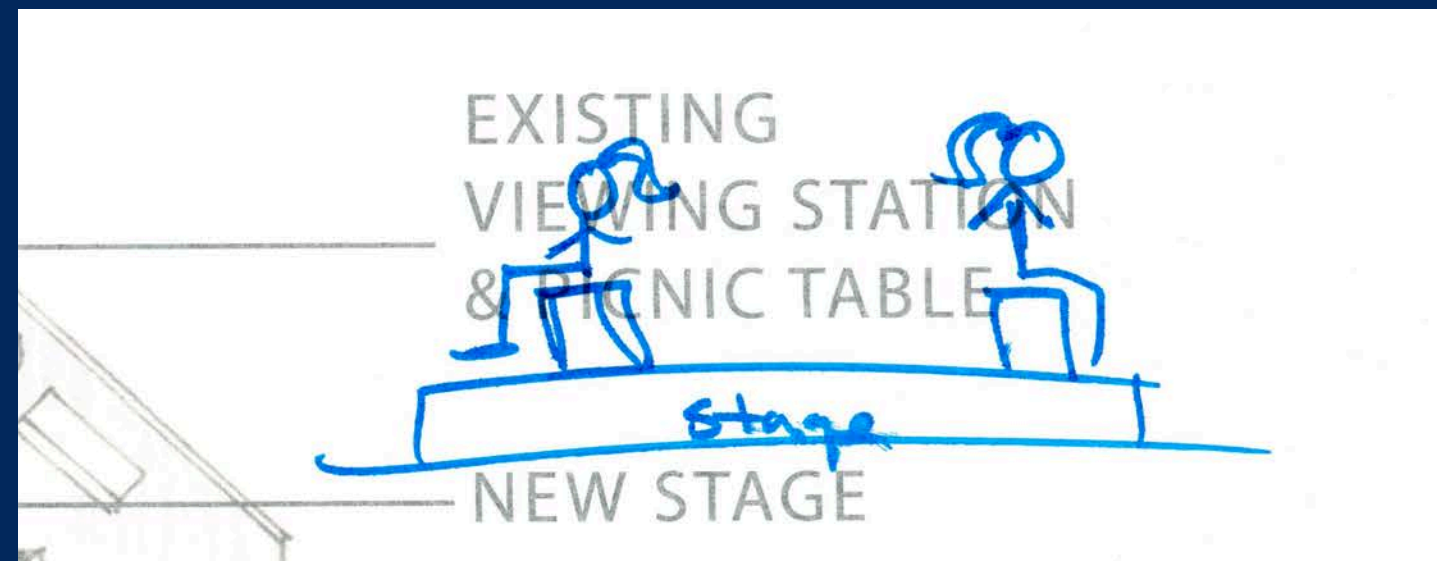
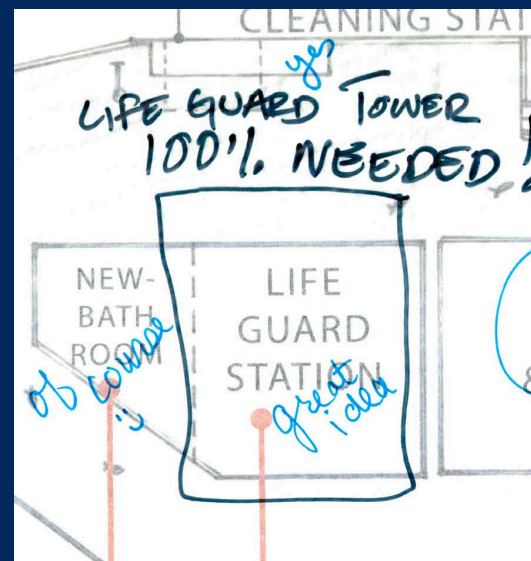
Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Indoor Market Space / Food + Fish Concession: (+/-) 1.2m

Any Necessary Engineering: T.b.d.





Option 06 - Meeting Discussion Highlights / Enlarged Community Notes:

- Lifeguard Station "100% Needed" / Lifeguard Station "A Must!!" / "Safety First"
- Would like to make the stage a multi use with benches / public seating / Dancing on the weekends
- Keep Boat Rentals & have full restaurant / with multiple roll up doors for indoor & outdoor experience
- Central posting for Public events
- Marine / Aquarium Experience

OPTION 07 | PERMANANT STRUCTURE

- A. Fishing Concession & Enlosed Rental Boat Storage & Boat Repair, Mooring Buoys, Dingy Service & Boat Hoist
- B. Full Restaurant
- C. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- D. New Stage (1)
- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (4), Viewing Stations (4) , Fish Cleaning Station (1), Bathrooms Near Entrance (3 Stall) & Bike rack (10), Boat Hoist (1) & Bouys

TOTAL ESTIMATE: 5.5M - 6.2M

Enhanced Public Space / Park: (+/-) \$250k

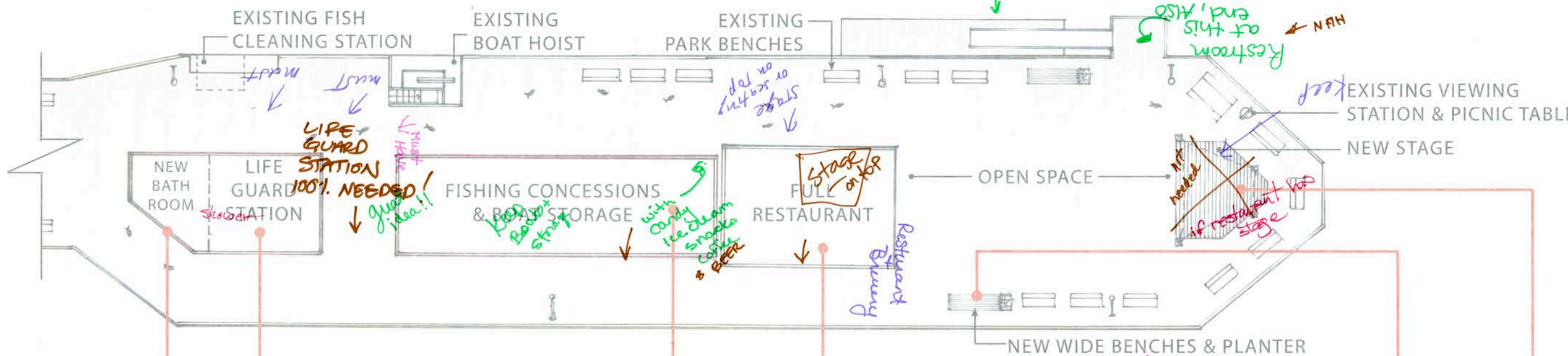
Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Permanent Boat Storage & Fishing Concession: (+/-) \$1.2k

Permanent Restaurant: (+/-) \$3.3m

Any Necessary Engineering: T.b.d.



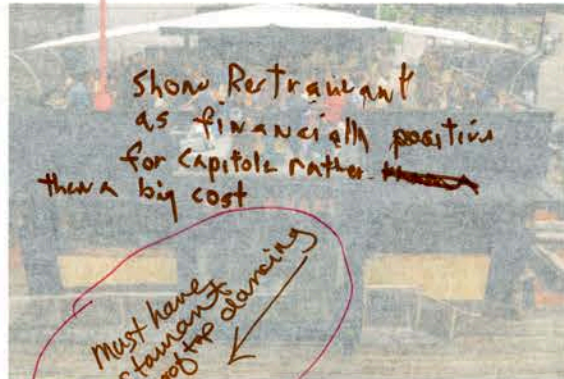
PUBLIC BATHROOM



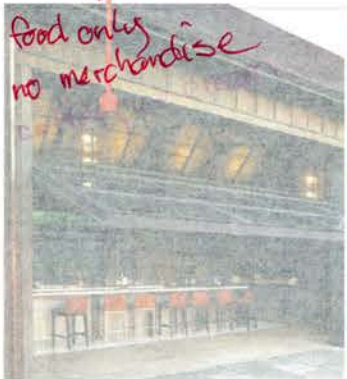
LIFEGUARD STATION



ENCLOSED RENTAL BOAT STORAGE



FULL RESTAURANT



PLANTERS & BENCHES



A. Fishing Concession & Enlosed Rental Boat Storage & Boat Repair, Mooring Buoys, Dingy Service & Boat Hoist

- ### B. Full Restaurant

- C. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- D. New Stage (1)
- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (4), Viewing Stations (4), Fish Cleaning Station (1), Bathrooms Near Entrance (3 Stall) & Bike rack (10), Boat Hoist (1) & Bouys

Enhanced Public Space / Park: (+/-) \$250k

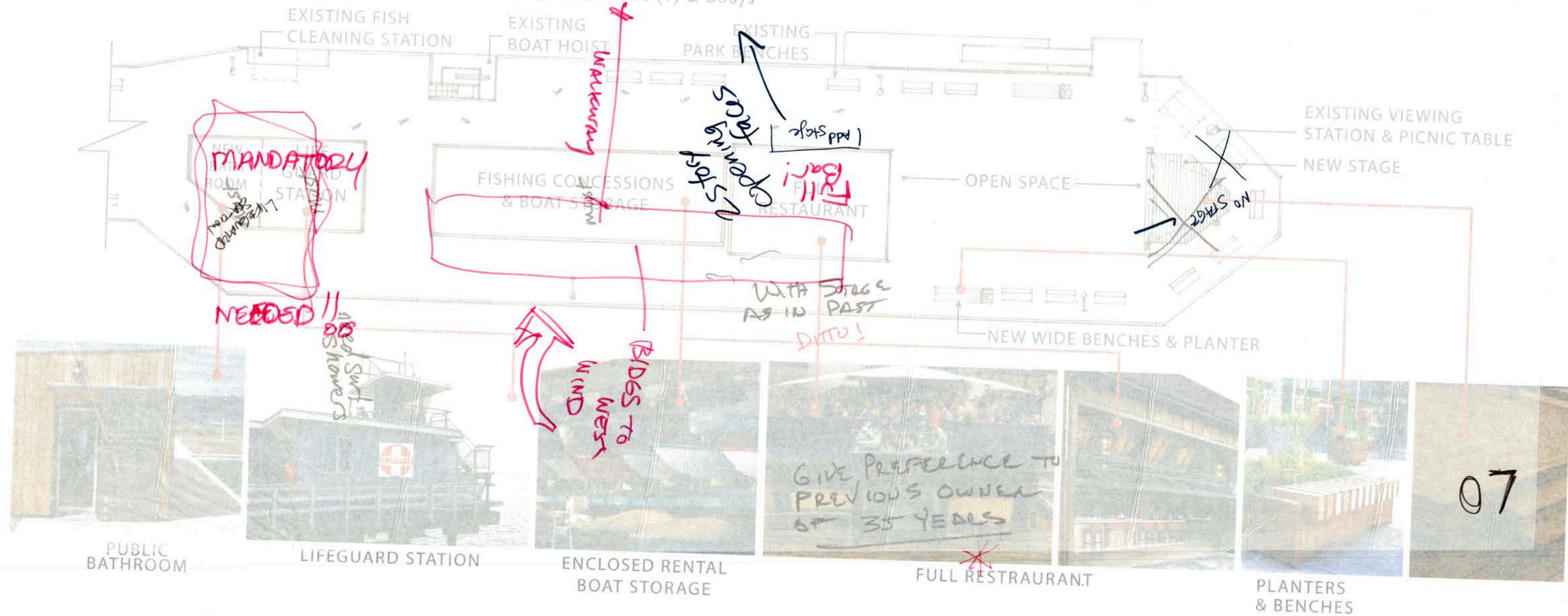
Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Permanent Boat Storage & Fishing Concession: (+/-) \$1.2k

Permanent Restructuring: (+/-) \$3.3m

Any Necessary Engineering: T.b.d.

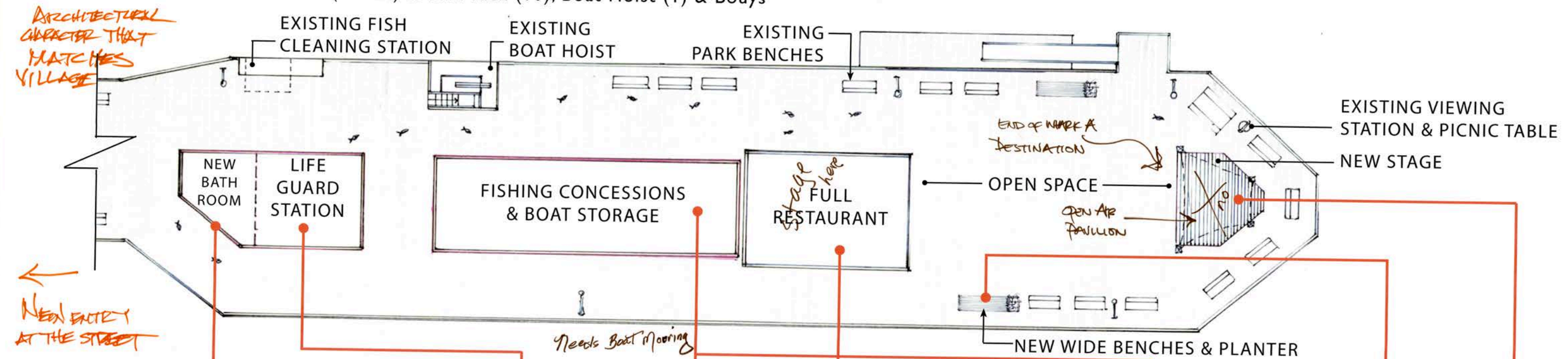


OPTION 07 | PERMANANT STRUCTURE

- A. Fishing Concession & Enlosed Rental Boat Storage & Boat Repair, Mooring Buoys, Dingy Service & Boat Hoist
- B. Full Restaurant
- C. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- D. New Stage (1)
- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (4), Viewing Stations (4) , Fish Cleaning Station (1), Bathrooms Near Entrance (3 Stall) & Bike rack (10), Boat Hoist (1) & Bouys

TOTAL ESTIMATE: 5.5M - 6.2M

- Enhanced Public Space / Park: (+/-) \$250k
- Public Restroom: (+/-) \$600k
- Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
- Permanent Boat Storage & Fishing Concession: (+/-) \$1.2k
- Permanent Restaurant: (+/-) \$3.3m
- Any Necessary Engineering: T.b.d.



PUBLIC BATHROOM



LIFEGUARD STATION



ENCLOSED RENTAL BOAT STORAGE

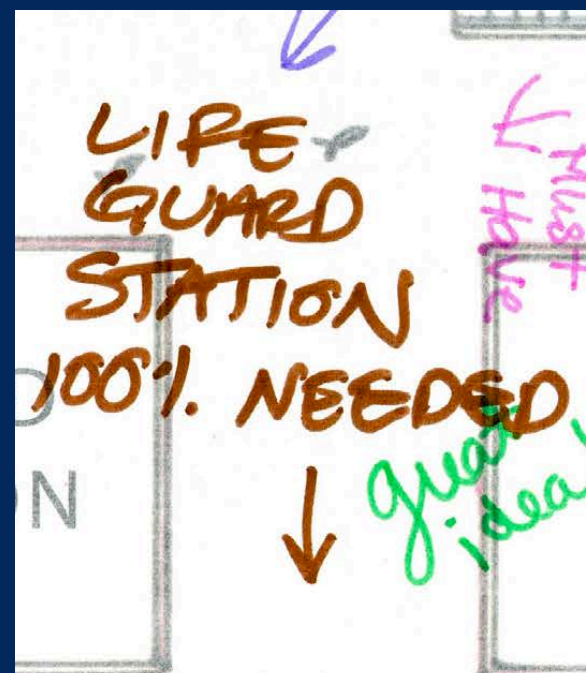


FULL RESTAURANT

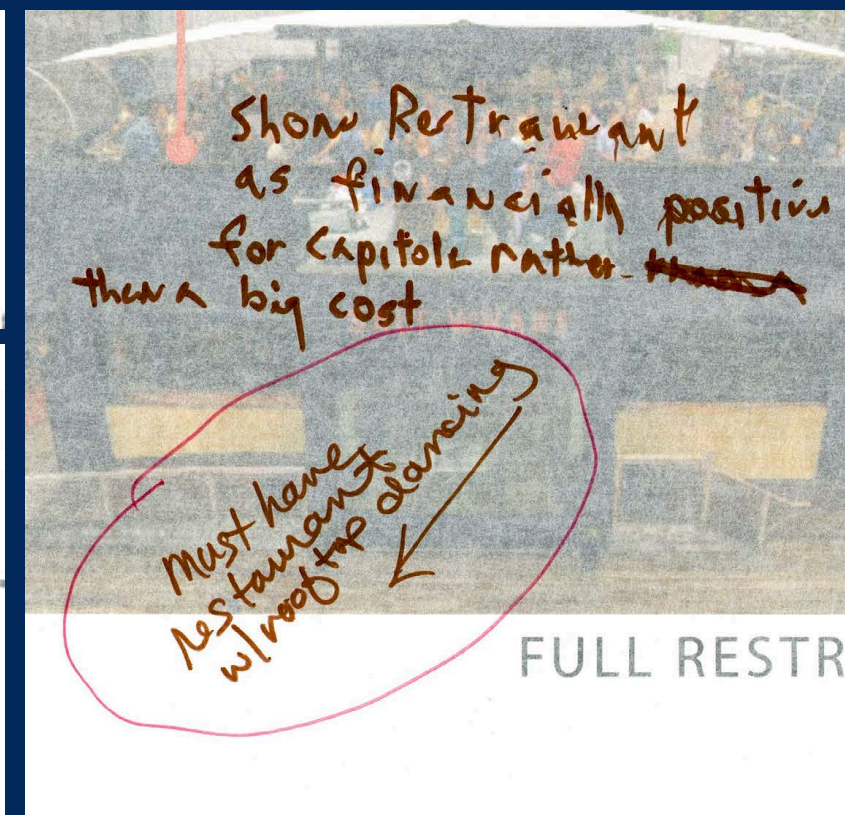
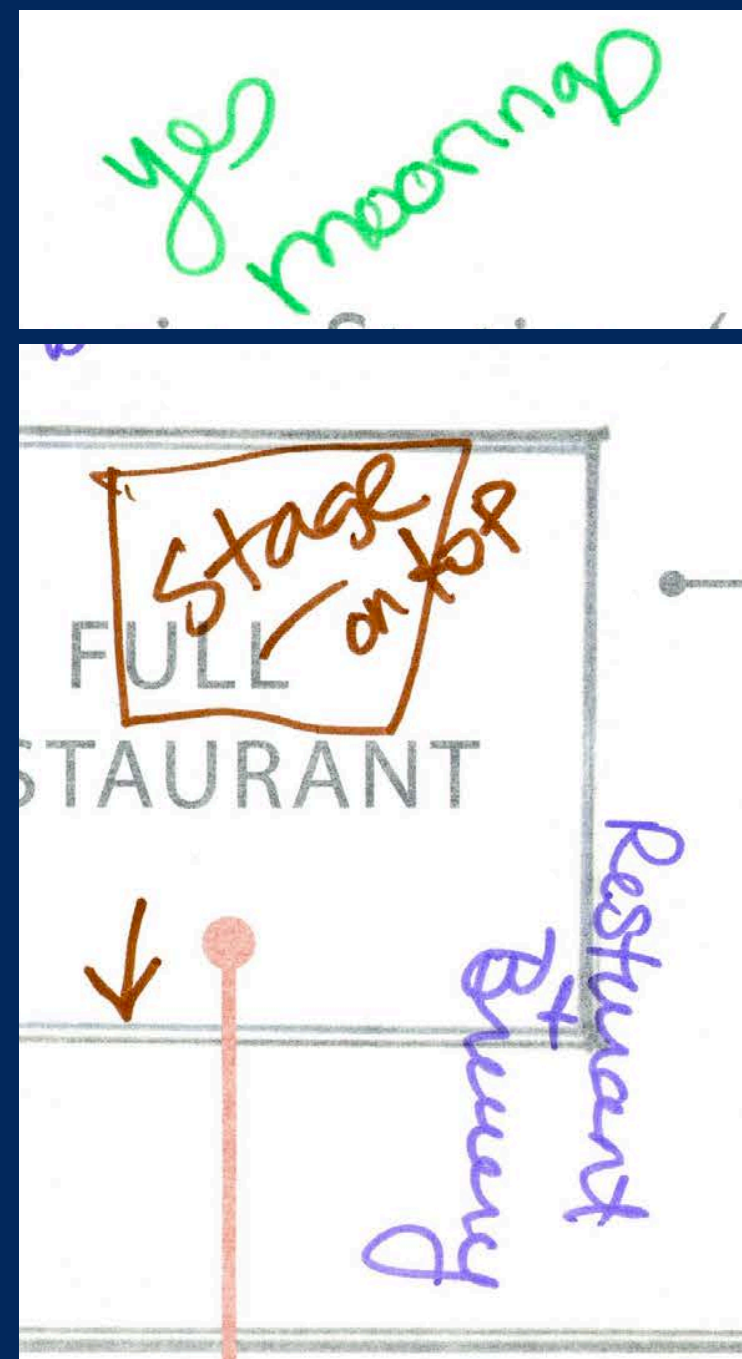


PLANTERS & BENCHES

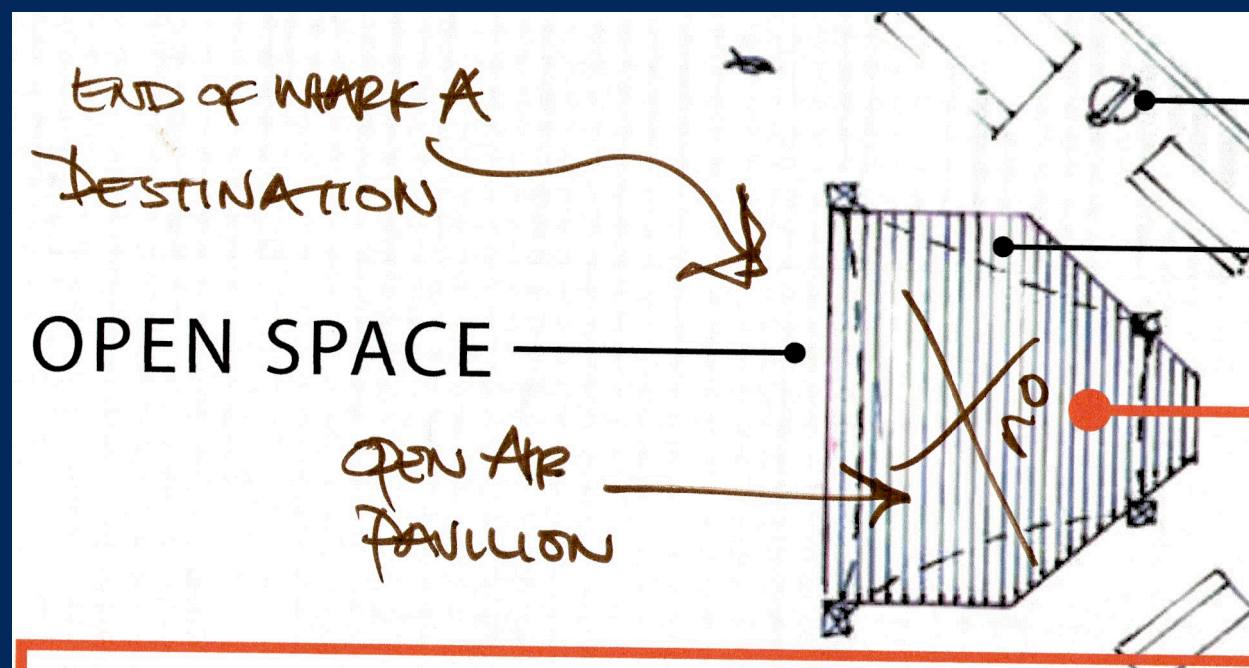




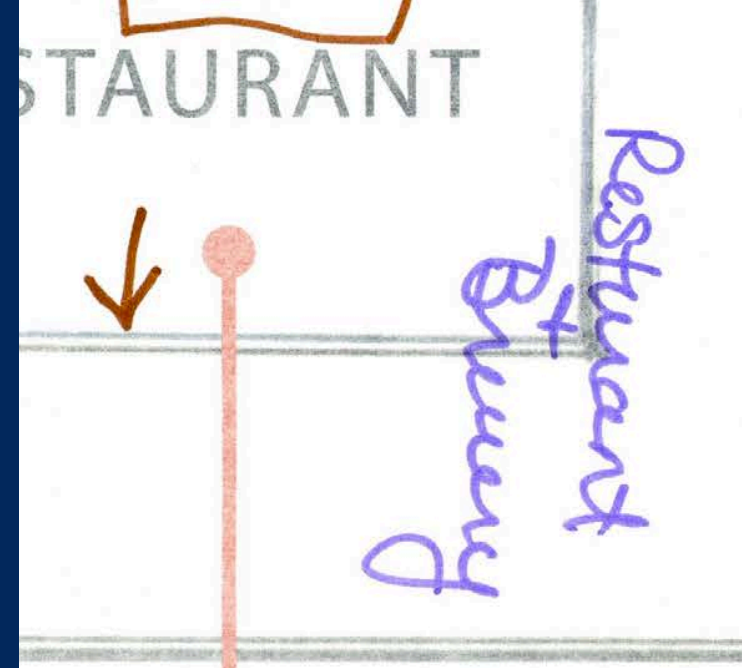
Needs Boat Mooring



ARCHITECTURE CHARACTER THAT MATCHES VILLAGE



Needs Boat Mooring



ARCHITECTURE CHARACTER THAT MATCHES VILLAGE

Option 07 - Meeting Discussion Highlights / Enlarged Community Notes:

- Lifeguard Station "100% Needed"
- Stage is not needed if there is a restaurant with a rooftop stage
- Needs to have Boat Moorings & Services / Full Bar & Restaurant or Brewery
- There are concerns about cost feasibility
- Two Story Structures with roof top dancing
- Would like all architecture to match village charecture.



COMMUNITY MEETING

OBSERVATIONS & FINDINGS

SUMMARY

Community Meeting Summary – May 20, 2025

- **Strong public engagement:** especially around Options 6 and 7 of the Capitola Wharf Master Plan.
- **Options 06 & 07 received the most interest and feedback** in both open discussion and small group sessions.
- **Attendees emphasized:**
 - Balance of functionality, character, and public benefit
 - Improved public access
 - Resilient infrastructure
 - Support for local vendors
 - Preservation of the wharf's historic identity
- **Participants joined a hands-on sketch activity to suggest enhancements and to highlight key features.**
- **The sketches prompted deeper collaboration and visual idea sharing.**
- **Feedback from the meeting aligned closely with trends from the online public survey.**
- **Key Take-Away:** *Reinforced confidence that the results of the Survey reflects community values and aspirations.*