



Community Development Department

Memo

To: City Council

From: Katie Herlihy, Community Development Director

Date: June 24, 2025

Re: Item 8B - Wharf Public Input

Staff wishes to note the addition of Attachment 4 Item 8B findings of Capitola Wharf Community Meeting. This item was provided by the project consultant.

COMMUNITY INPUT

& KEY TAKE AWAYS FROM THE COMMUNITY MEETING

MAY 20TH 2025





COMMUNITY MEETING

INTENTION

Community Meeting Overview – May 20, 2025

- **New Brighton Middle School, hosted by:** *Fuse Architecture, Moffatt & Nichol & Capitola City Staff*
- **Purpose:** Public discussion of the seven proposed options for the Capitola Wharf Master Plan.
- **Format:** Two-hour meeting with open dialogue between the project team and community members.
- **Focus:** Understanding how each option might integrate into daily life and reflect community values.
- **Intended Outcome:**
 - Meaningful, direct public input
 - Feedback aligned with recent public survey findings
 - Reinforced shared priorities of local residents and the broader County.

OPTION 03 | EXISTING FISHING CONCESSION

*ADA ACCESS THROUGHOUT
BOARDS ARE DIFFICULT
FOR ANYONE TO WALK ON

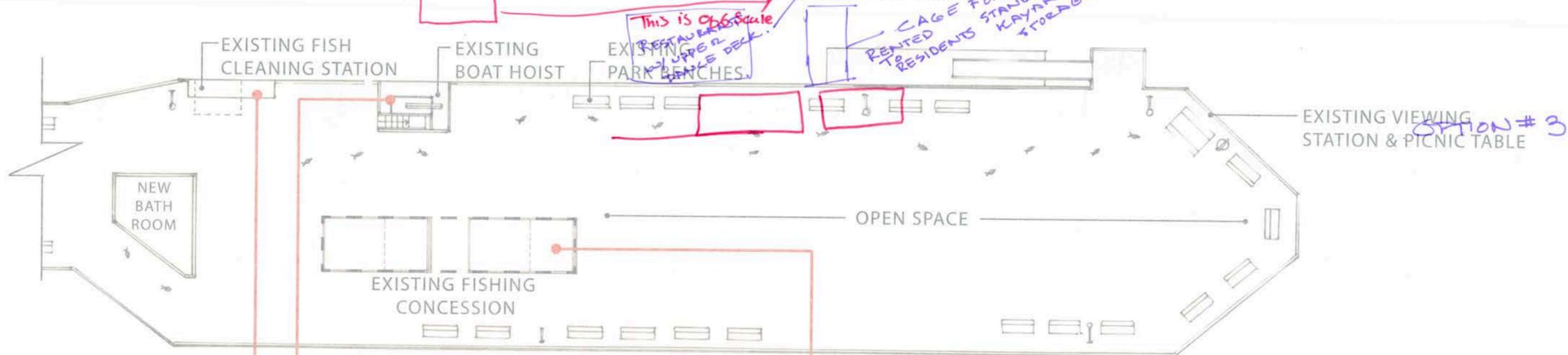
- A. Keep Existing Fixed Low-Cost Structure For Fishing Concession With Boat Rental / Uncovered Boat Storage & Repair Area / Mooring Buoys, Dingy Service and Hoist. *NOT in this location*
 - B. Additional Public Restroom
 - C. Keep Existing Benches (40), Picnic Tables (4), Viewing Station (4),
Fish Cleaning Station (1), Bathrooms Near the Entrance (3), Bikeracks (10) & Boat Hoist
- *** Option 03 | Please Note: ***

TOTAL ESTIMATE: (+/-) \$600k

Public Restroom: (+/-) \$600k

Any Necessary Engineering: T.b.d.

Wharf Is Shown As It Is Today With A Fishing Concession & No Other Leased Space. A Public Bathroom Is Added



FISH CLEANING STATION
(SHOWN IN PROGRESS)



BOAT HOIST



FISHING CONCESSION



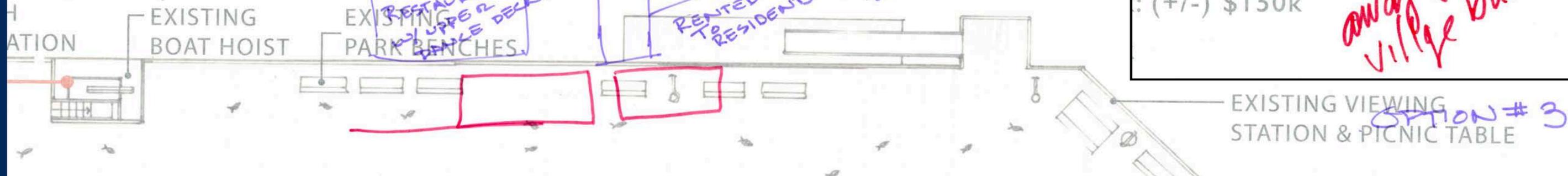
RENTAL BOAT STORAGE

TING FISHING CONCESSION

Structure For Fishing Concession With Boat Rental / Uncovered Boat Storage & Hoisting Service *NOT in this location*

Tables (4), Viewing Station (4),
Booms Near the Entrance (3), Bikeracks (10) & Boat Hoist

A Fishing Concession & No Other Leased Space, A Public Bathroom Is Added



* ADA ACCESS THROUGHOUT
BOARDS ARE DIFFICULT
FOR ANYONE TO WALK ON

TOTAL ESTIMATE: (+/-) \$600k

Public Restroom: (+/-) \$600k

Any Necessary Engineering: T.b.d.

3M
Each
: (+/-) \$150k
No mobile vendors take away from village businesses

Option 03 - Meeting Discussion Highlights / Enlarged Community Notes:

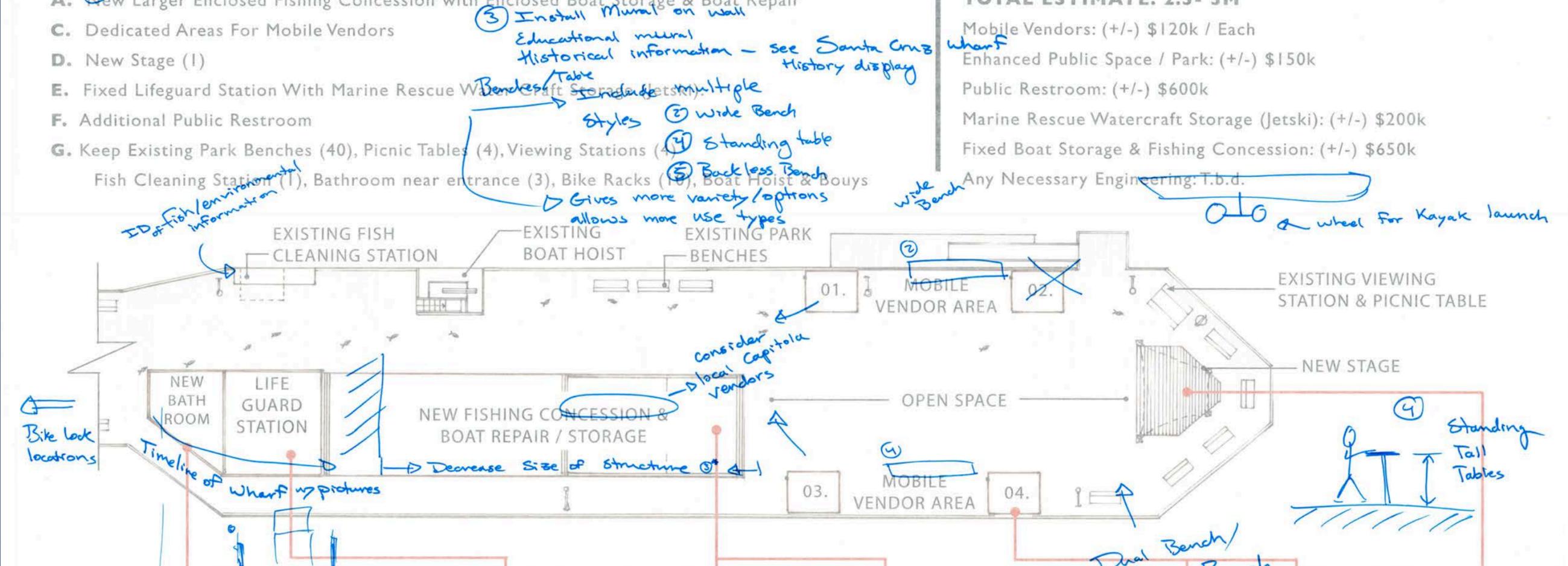
- Request for Fish Tank for viewing or catch & release
- Request for a restaurant with public viewing deck / or for private events
- Request for a large cage to offer rentable kayaks & stand up paddle boards
- There was a request for no mobile vendors as they believed it took away from the village businesses

OPTION 05 | FISHING CONCESSION & MOBILE VENDORS

Comments: *Dominique Bertrand*

- A. New Larger Enclosed Fishing Concession with Enclosed Boat Storage & Boat Repair
- C. Dedicated Areas For Mobile Vendors
- D. New Stage (1)
- E. Fixed Lifeguard Station With Marine Rescue Watercraft Storage
- F. Additional Public Restroom
- G. Keep Existing Park Benches (40), Picnic Tables (4), Viewing Stations (4)
Fish Cleaning Station (1), Bathroom near entrance (3), Bike Racks (10), Boat Hoist & Bouys

TOTAL ESTIMATE: 2.5- 3M
 Mobile Vendors: (+/-) \$120k / Each
 Enhanced Public Space / Park: (+/-) \$150k
 Public Restroom: (+/-) \$600k
 Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
 Fixed Boat Storage & Fishing Concession: (+/-) \$650k
 Any Necessary Engineering: T.b.d.



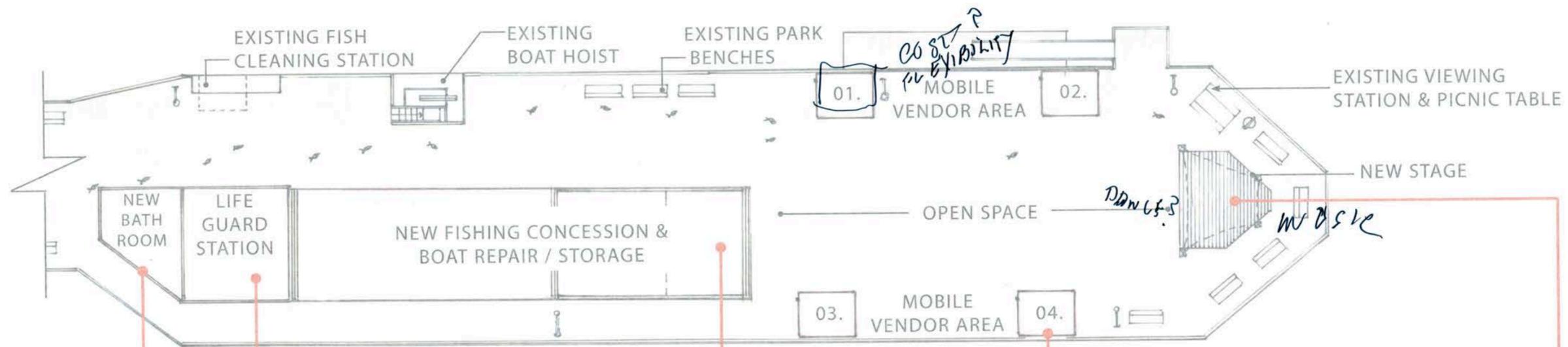
PUBLIC BATHROOM LIFEGUARD STATION FISHING CONCESSION ENCLOSED RENTAL BOAT STORAGE MOBILE VENDOR / SMALL / LARGE CONCEPTS STAGE

OPTION 05 | FISHING CONCESSION & MOBILE VENDORS

- A. New Larger Enclosed Fishing Concession with Enclosed Boat Storage & Boat Repair
- C. Dedicated Areas For Mobile Vendors
- D. New Stage (1)
- E. Fixed Lifeguard Station With Marine Rescue Water Craft Storage (Jetski).
- F. Additional Public Restroom
- G. Keep Existing Park Benches (40), Picnic Tables (4), Viewing Stations (4)
Fish Cleaning Station (1), Bathroom near entrance (3), Bike Racks (10), Boat Hoist & Bouys

TOTAL ESTIMATE: 2.5- 3M

- Mobile Vendors: (+/-) \$120k / Each
- Enhanced Public Space / Park: (+/-) \$150k
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- Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
- Fixed Boat Storage & Fishing Concession: (+/-) \$650k
- Any Necessary Engineering: T.b.d.



PUBLIC BATHROOM



LIFEGUARD STATION



FISHING CONCESSION



ENCLOSED RENTAL BOAT STORAGE



MOBILE VENDOR / SMALL / LARGE CONCEPTS



STAGE

05.

OPTION 05 | FISHING CONCESSION & MOBILE VENDORS

- A. New Larger Enclosed Fishing Concession with Enclosed Boat Storage & Boat Repair
- C. Dedicated Areas For Mobile Vendors
- D. New Stage (1)
- E. Fixed Lifeguard Station With Marine Rescue Water Craft Storage (Jetski).
- F. Additional Public Restroom
- G. Keep Existing Park Benches (40), Picnic Tables (4), Viewing Stations (4)
Fish Cleaning Station (1), Bathroom near entrance (3), Bike Racks (10), Boat Hoist & Bouys

TOTAL ESTIMATE: 2.5- 3M

Mobile Vendors: (+/-) \$120k / Each

Enhanced Public Space / Park: (+/-) \$150k

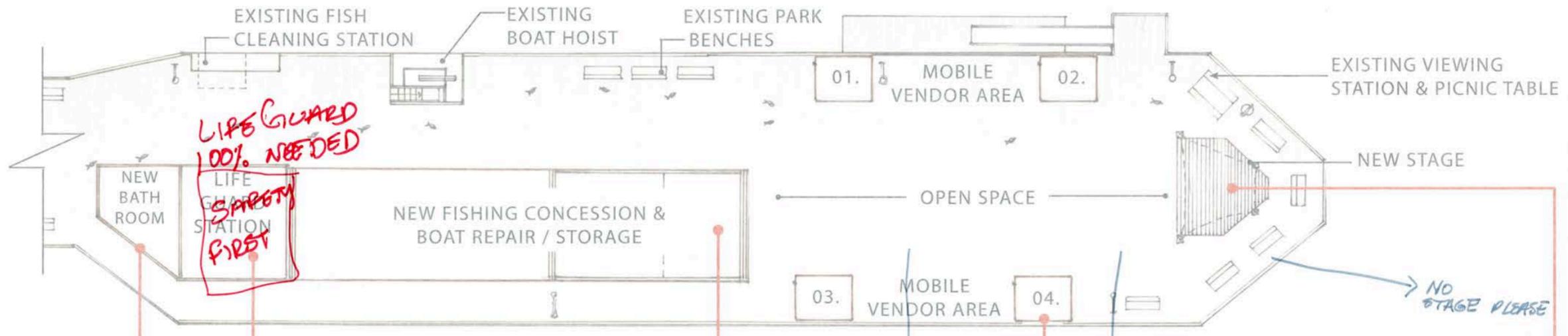
Public Restroom: (+/-) \$600k

Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k

Fixed Boat Storage & Fishing Concession: (+/-) \$650k

Any Necessary Engineering: T.b.d.

No mobile vendors take away from village busies



PUBLIC BATHROOM



LIFEGUARD STATION



FISHING CONCESSION



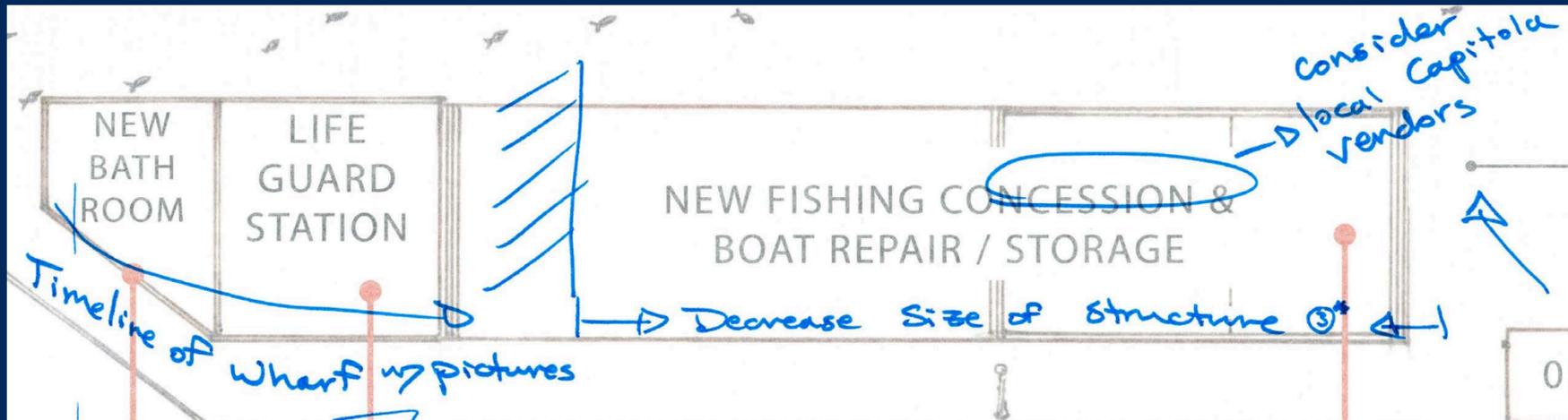
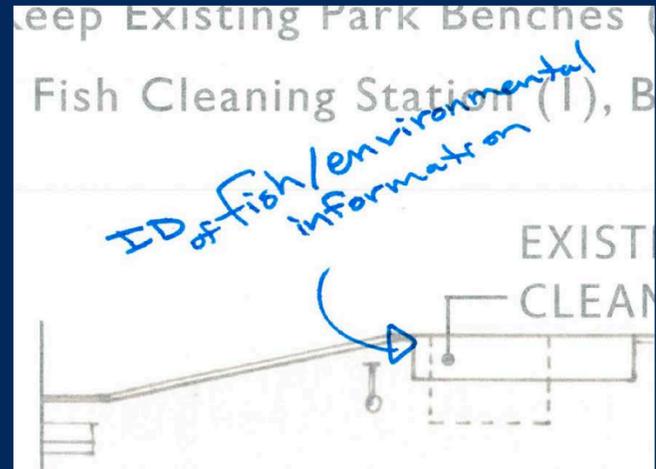
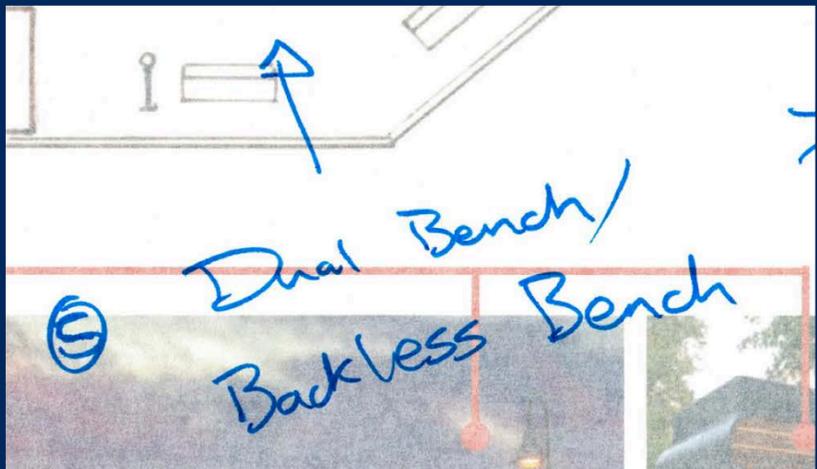
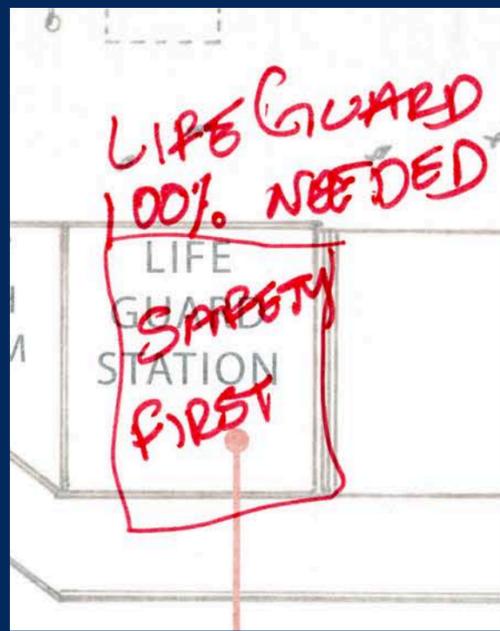
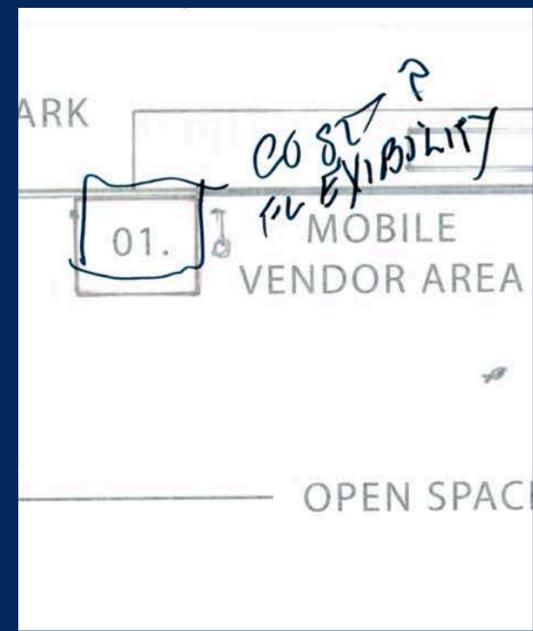
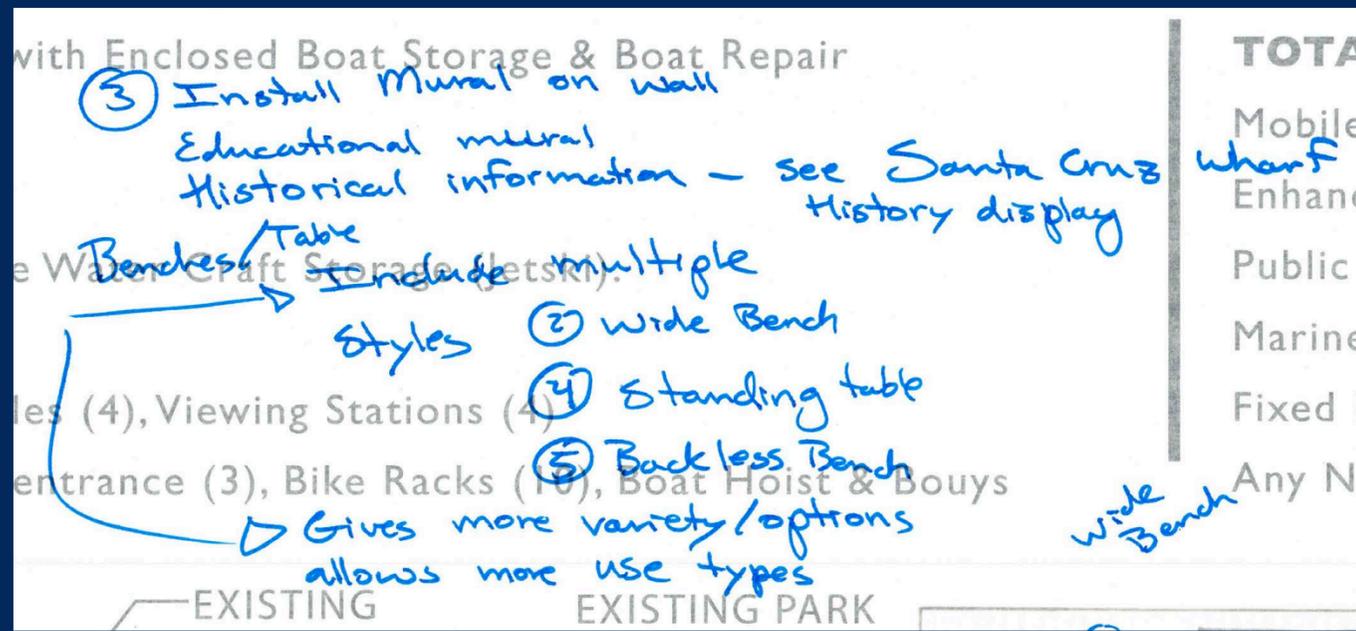
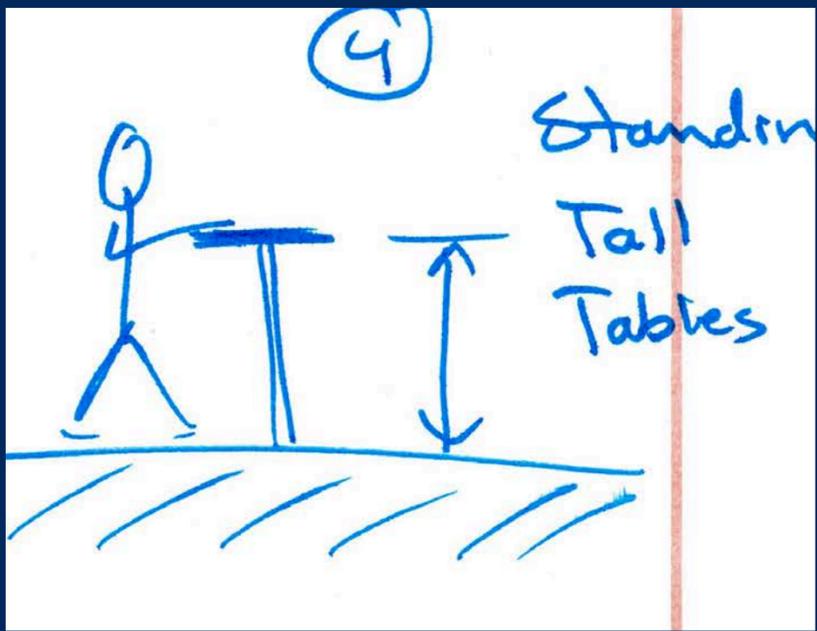
ENCLOSED RENTAL BOAT STORAGE



MOBILE VENDOR / SMALL / LARGE CONCEPTS



STAGE



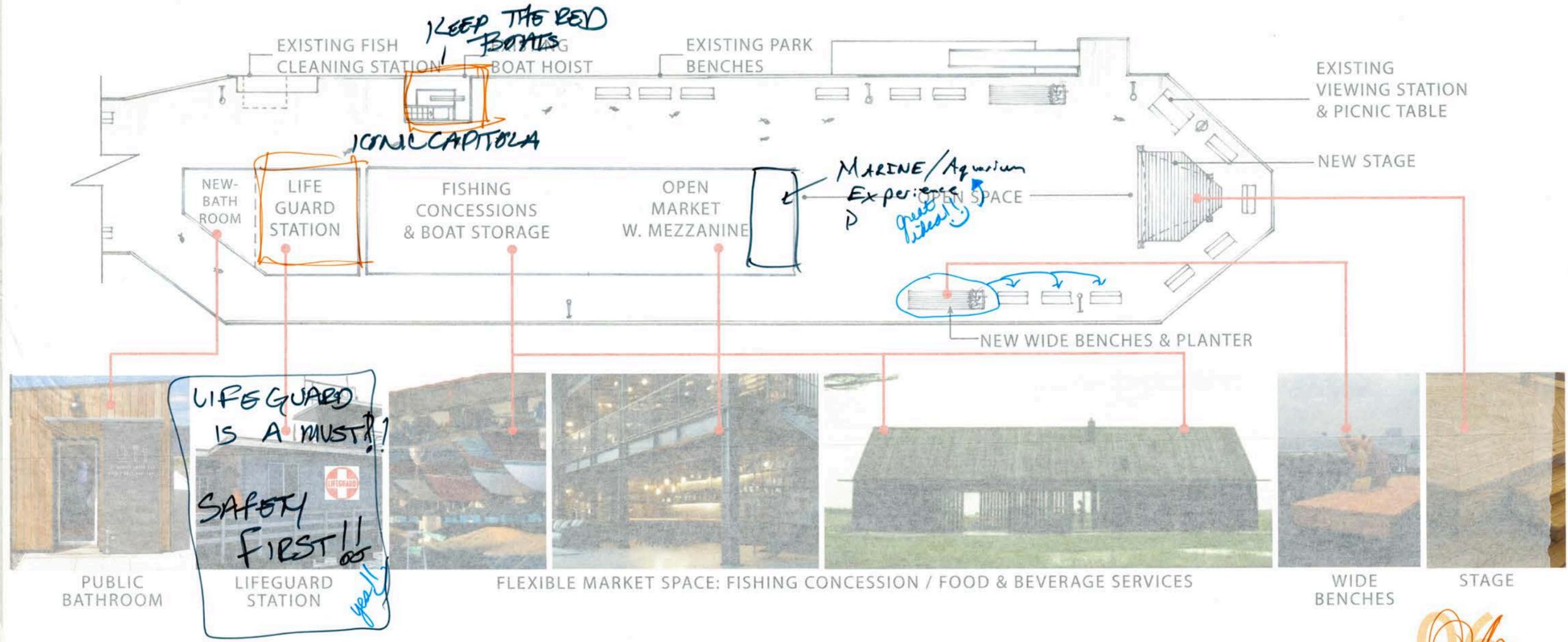
Option 05 - Meeting Discussion Highlights / Enlarged Community Notes:

- Would like ID of Fish & Environmental Information integrated into Fish Cleaning Station.
- Request installation of a mural on buildings / Educational or Historical / Timeline of Wharf Photos
- Request for multiple styles of wide benches / tables / backless benches / tall tables
- Safety fence for Lifeguard tower / Lifeguard Station a must "100% Needed"
- Would like to see a decrease in the size of the proposed structure
- Would like to see priority given to local vendors / existing retail

OPTION 06 | FISHING CONCESSION & FLEXIBLE MARKETSPACE

- A. Fishing Concession & Enclosed Rental Boat Storage & Boat Repair
- B. Flexible Open Air Market (1e: Fish Market, Food & Beverage)
- C. New Stage (1) & New Wide Benches (2) & Planters (2)
- D. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (4), Viewing Stations (4), Fish Cleaning Station (1), Bathrooms Near Entrance (3 Stall), Bike rack (10), Boat Hoist & Bouys

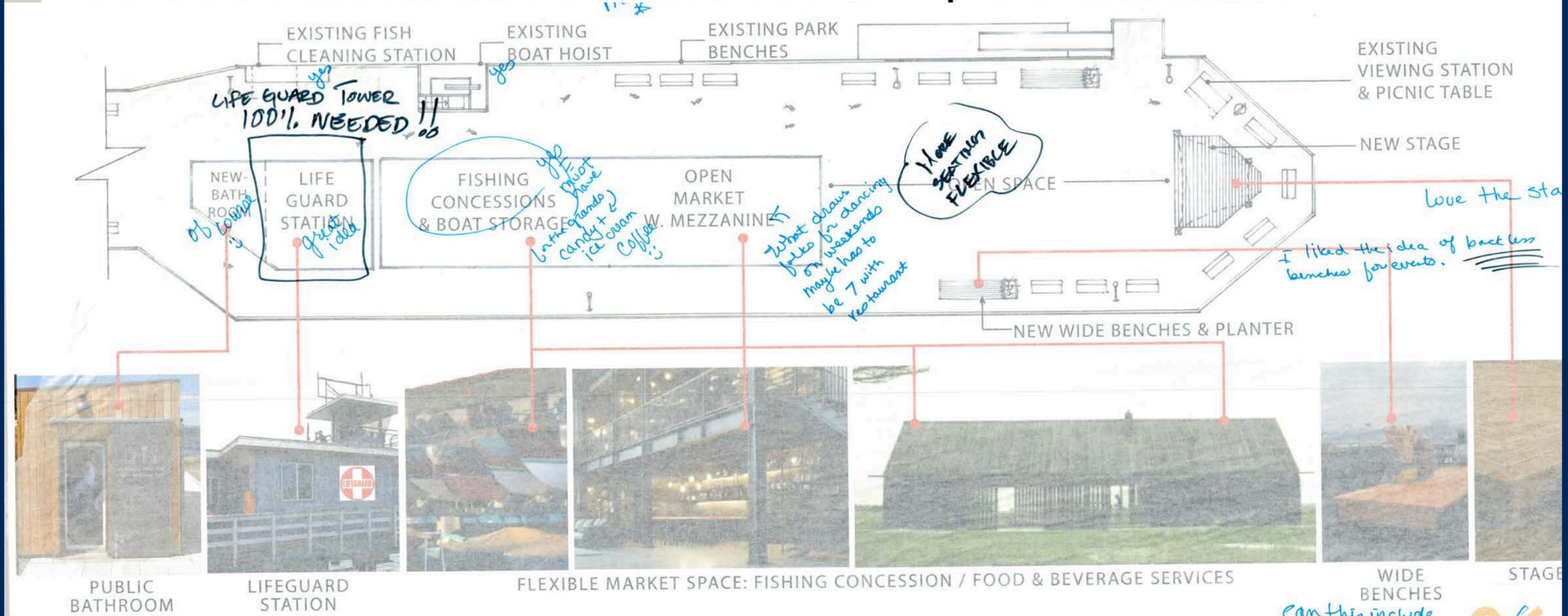
TOTAL ESTIMATE: 2.5M - 3.2M
 Enhanced Public Space / Park: (+/-) \$150k
 Public Restroom: (+/-) \$600k
 Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
 Indoor Market Space / Food + Fish Concession: (+/-) 1.2m
 Any Necessary Engineering: T.b.d.



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- A. Fishing Concession & Enclosed Rental Boat Storage & Boat Repair
- B. Flexible Open Air Market (1e: Fish Market, Food & Beverage)
- C. New Stage (1) & New Wide Benches (2) & Planters (2)
- D. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- E. Additional Public Restroom

TOTAL ESTIMATE: 2.5M - 3.2M
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 Public Restroom: (+/-) \$600k
 Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
 Indoor Market Space / Food + Fish Concession: (+/-) 1.2m



PUBLIC BATHROOM



LIFEGUARD STATION



FLEXIBLE MARKET SPACE: FISHING CONCESSION / FOOD & BEVERAGE SERVICES



WIDE BENCHES



STAGE

Can this include 2 vendors for event weekends

06

Thank you!

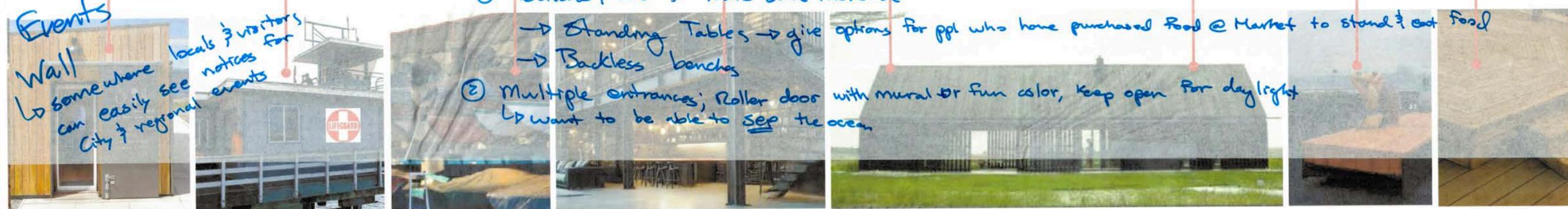
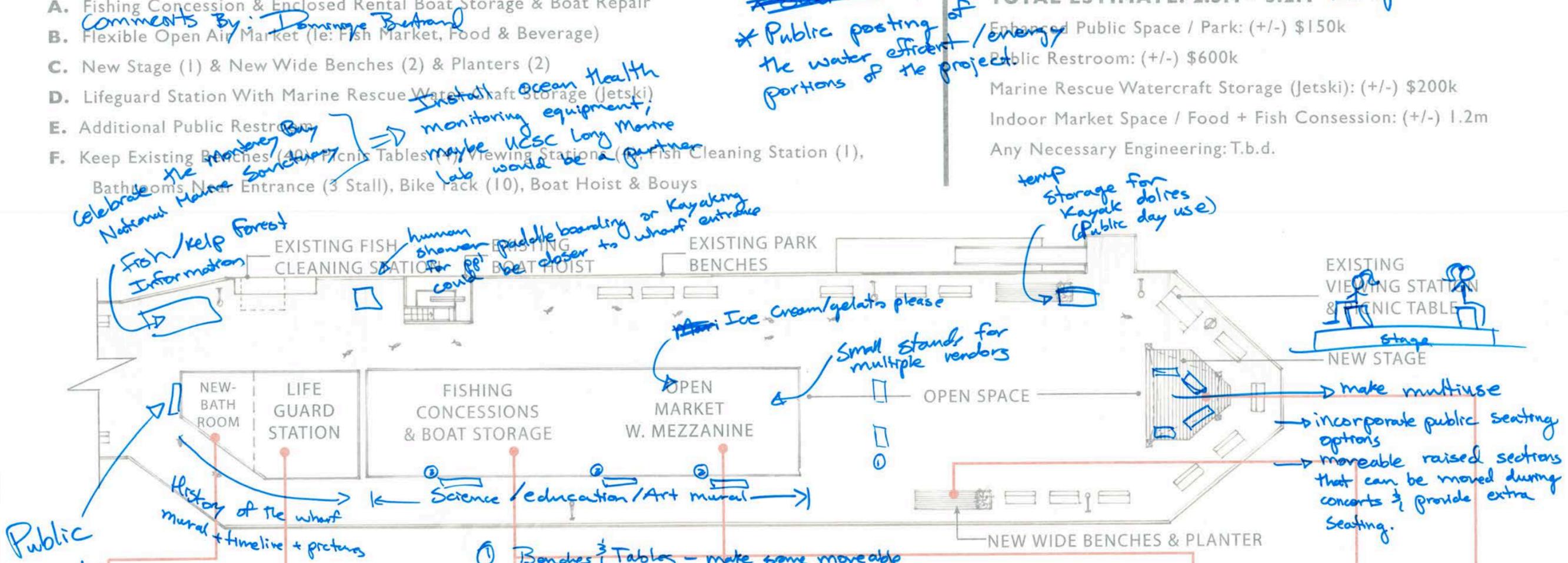
OPTION 06 | FISHING CONCESSION & FLEXIBLE MARKETSPACE

Thank you for the open house!

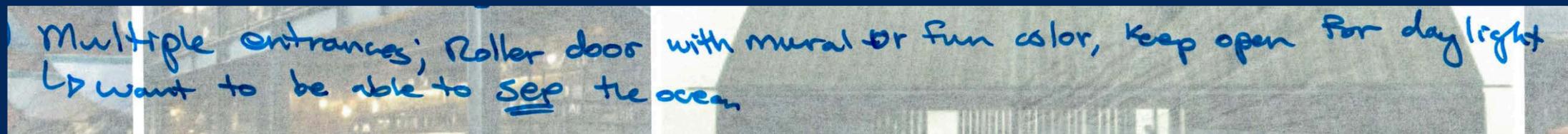
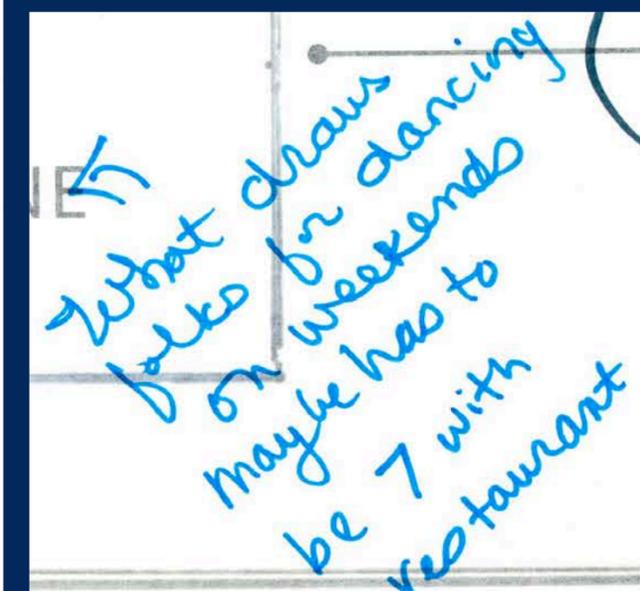
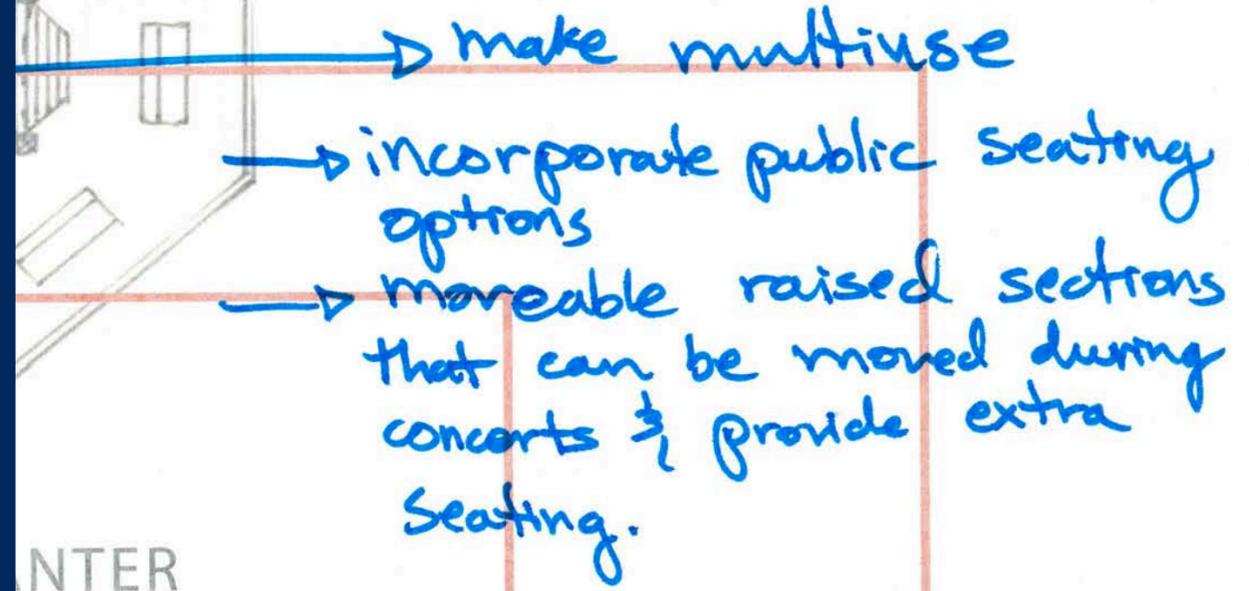
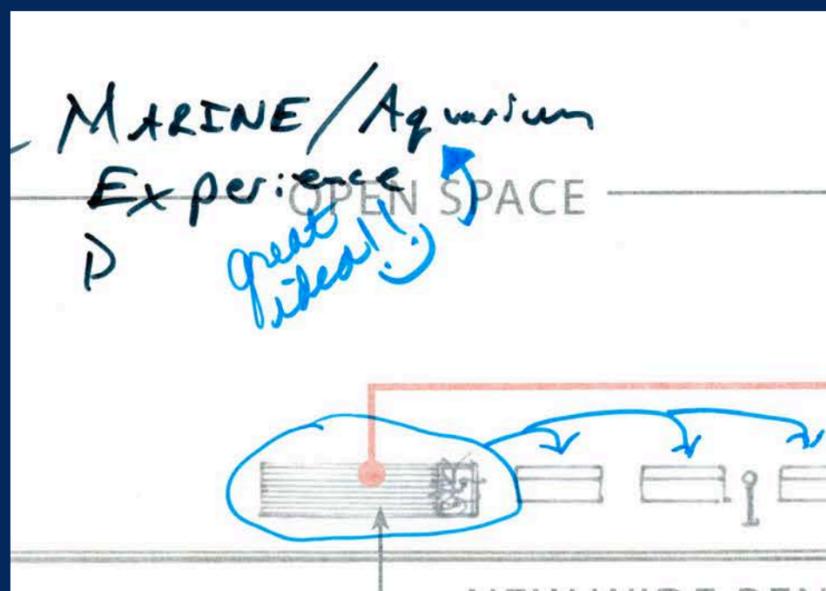
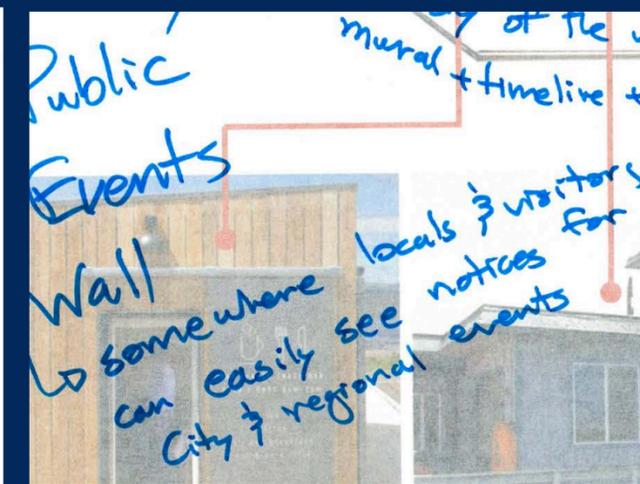
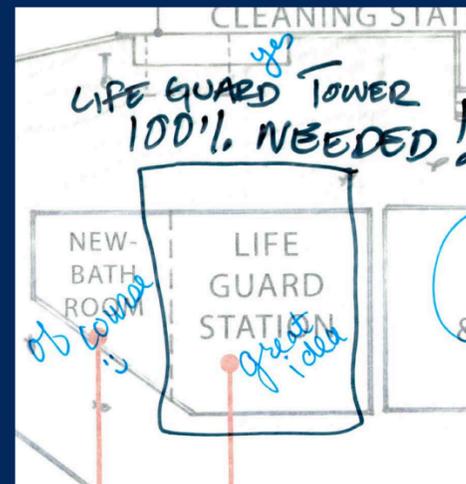
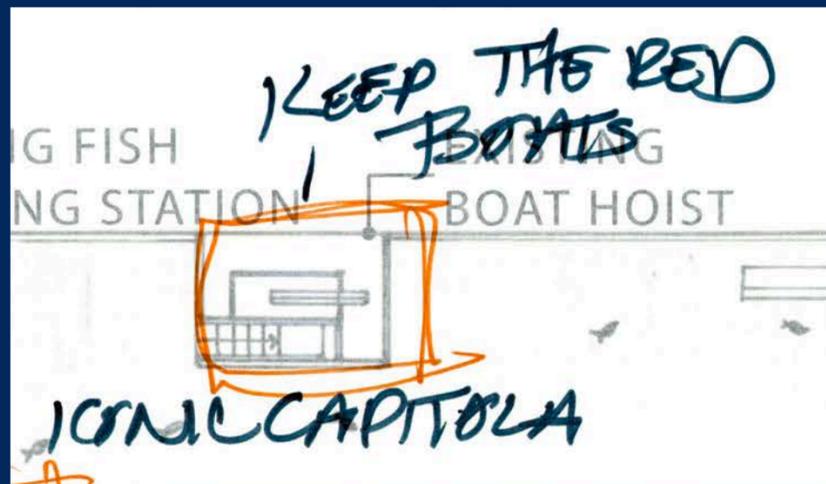
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- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (40), Viewing Stations (4), Fish Cleaning Station (1), Bathrooms, New Entrance (3 Stall), Bike Rack (10), Boat Hoist & Bouys

~~* Enter on to~~
 * Public posting of the water efficient / energy portions of the project

- TOTAL ESTIMATE: 2.5M - 3.2M**
- Expanded Public Space / Park: (+/-) \$150k
 - Public Restroom: (+/-) \$600k
 - Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
 - Indoor Market Space / Food + Fish Concession: (+/-) 1.2m
 - Any Necessary Engineering: T.b.d.



PUBLIC BATHROOM LIFEGUARD STATION FLEXIBLE MARKET SPACE: FISHING CONCESSION / FOOD & BEVERAGE SERVICES WIDE BENCHES STAGE



Option 06 - Meeting Discussion Highlights / Enlarged Community Notes:

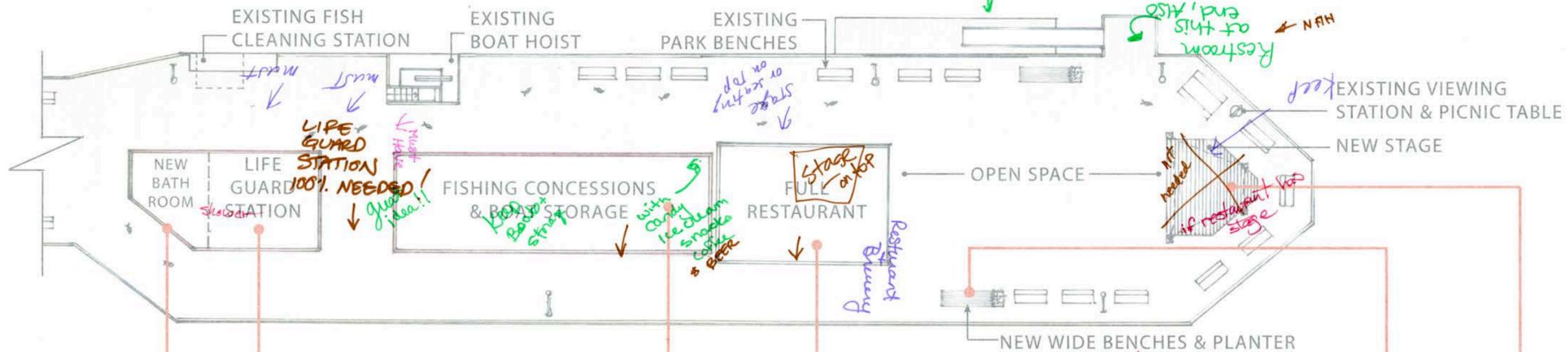
- o Lifeguard Station "100% Needed" / Lifeguard Station "A Must!!" / "Safety First"
- o Would like to make the stage a multi use with benches / public seating / Dancing on the weekends
- o Keep Boat Rentals & have full restaurant / with multiple roll up doors for indoor & outdoor experience
- o Central posting for Public events
- o Marine / Aquarium Experience

OPTION 07 | PERMANANT STRUCTURE

- A. Fishing Concession & Enlosed Rental Boat Storage & Boat Repair, Mooring Buoys, Dingy Service & Boat Hoist
- B. Full Restaurant
- C. Lifeguard Station With Marine Rescue Water Craft Storage (Jetski)
- D. New Stage (1)
- E. Additional Public Restroom
- F. Keep Existing Benches (40), Picnic Tables (4), Viewing Stations (4) , Fish Cleaning Station (1), Bathrooms Near Entrance (3 Stall) & Bike rack (10), Boat Hoist (1) & Bouys

TOTAL ESTIMATE: 5.5M - 6.2M

- Enhanced Public Space / Park: (+/-) \$250k
- Public Restroom: (+/-) \$600k
- Marine Rescue Watercraft Storage (Jetski): (+/-) \$200k
- Permanent Boat Storage & Fishing Concession: (+/-) \$1.2k
- Permanent Restaurant: (+/-) \$3.3m
- Any Necessary Engineering: T.b.d.



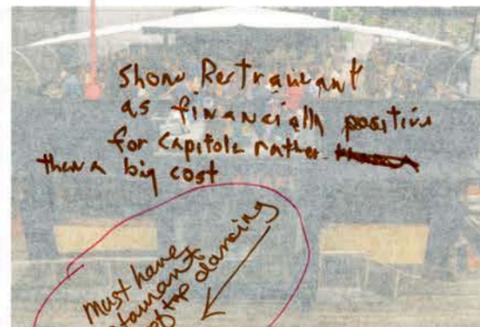
PUBLIC BATHROOM



LIFEGUARD STATION



ENCLOSED RENTAL BOAT STORAGE



FULL RESTAURANT



PLANTERS & BENCHES

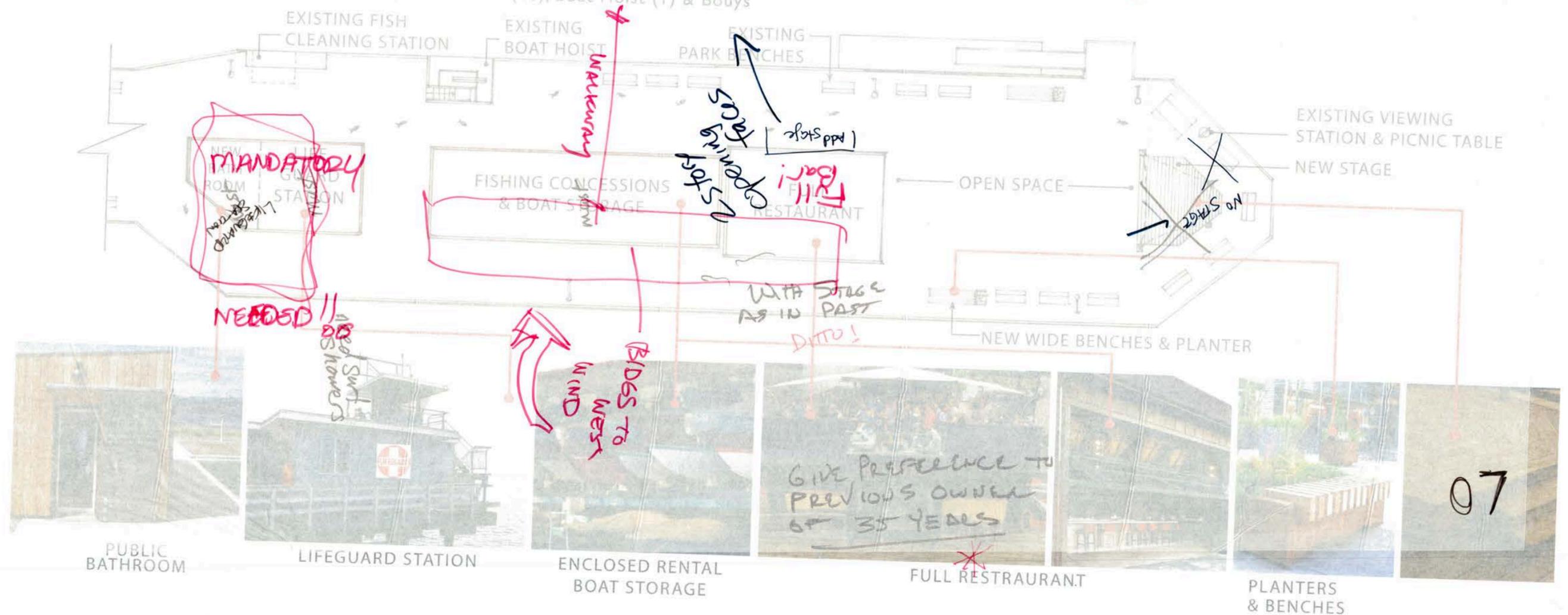


OPTION 07 | PERMANANT STRUCTURE

- A. Fishing Concession & Enlosed Rental Boat Storage & Boat Repair, Mooring Buoys, Dingy Service & Boat Hoist
- B. Full Restaurant
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- D. New Stage (1)
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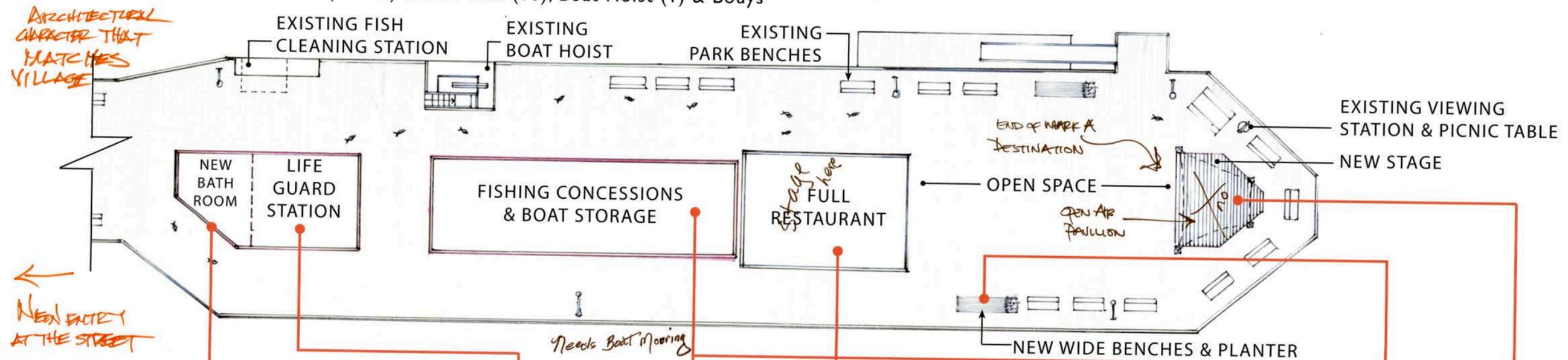


OPTION 07 | PERMANANT STRUCTURE

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PUBLIC BATHROOM



LIFEGUARD STATION



ENCLOSED RENTAL BOAT STORAGE

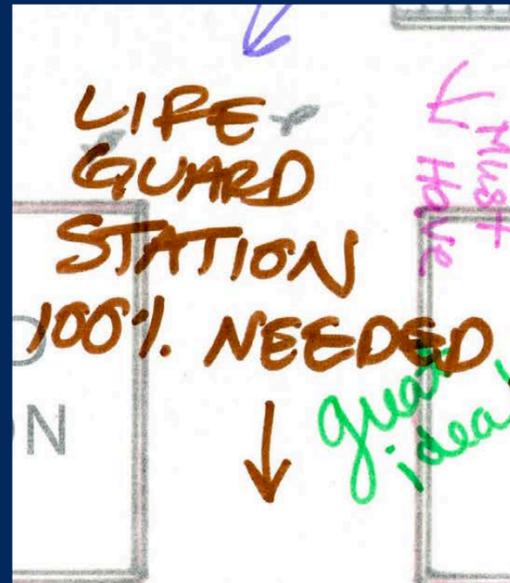


FULL RESTAURANT

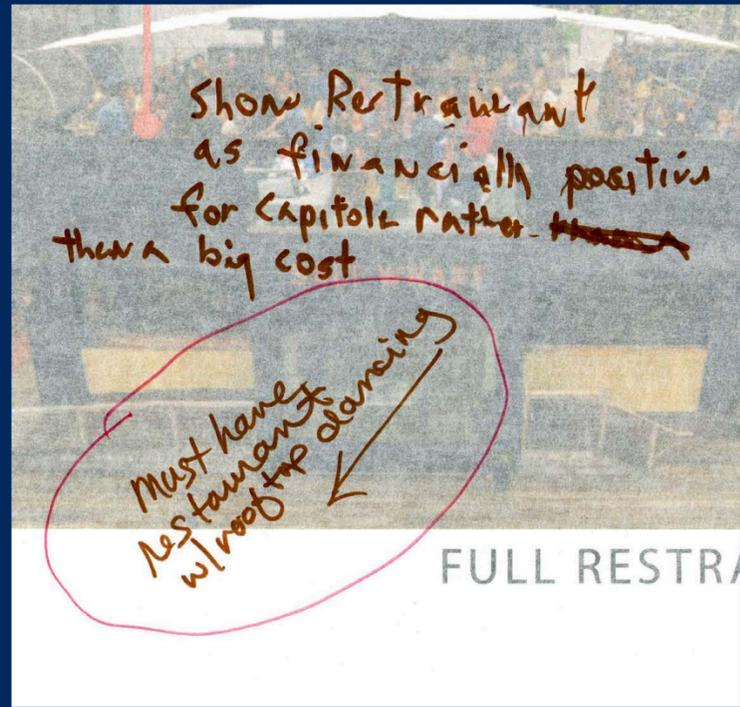
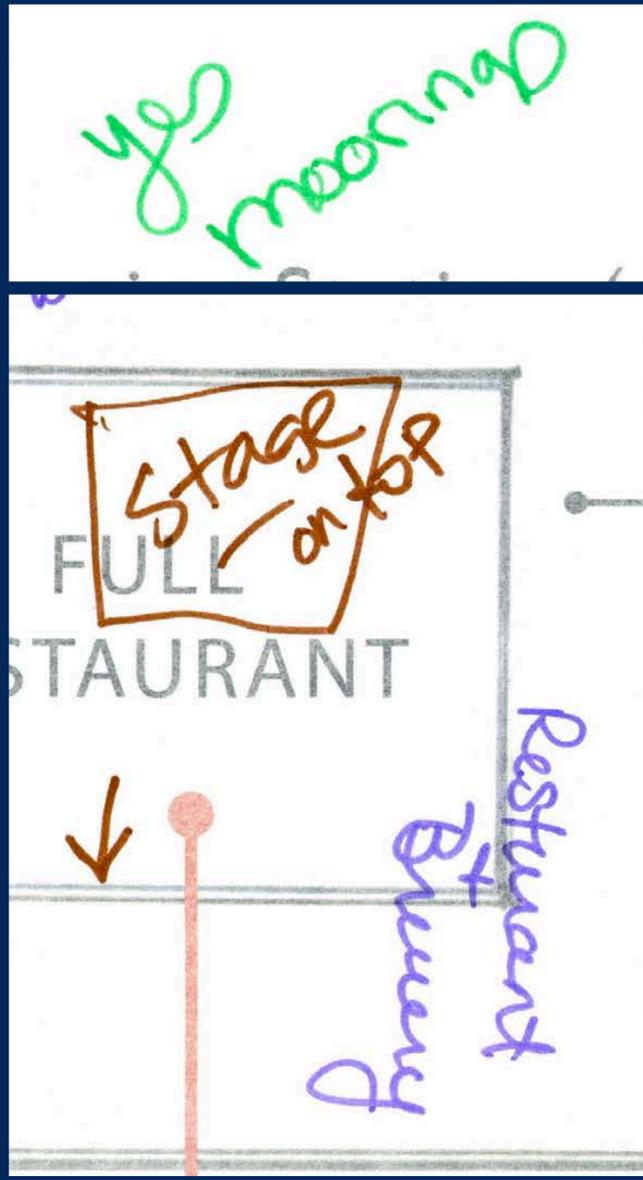


PLANTERS & BENCHES

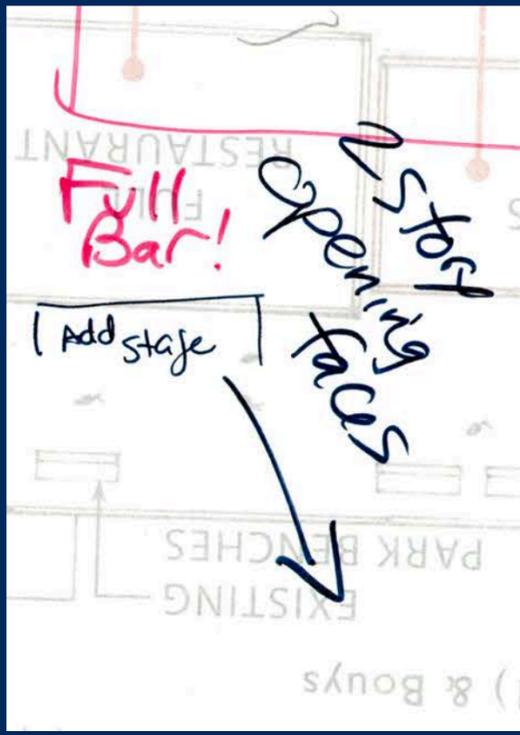
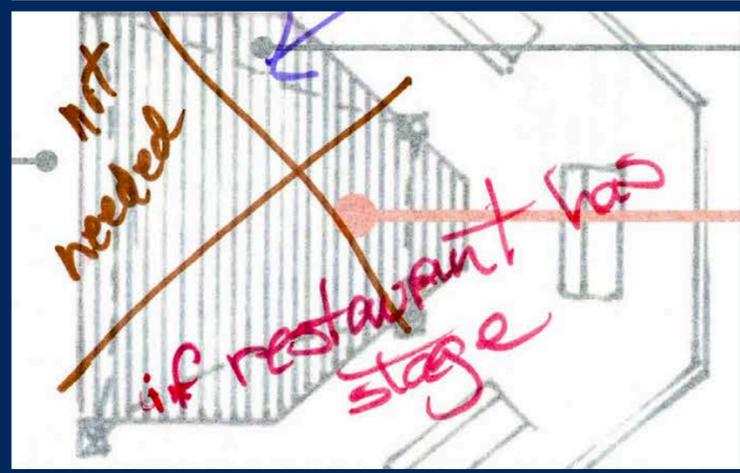
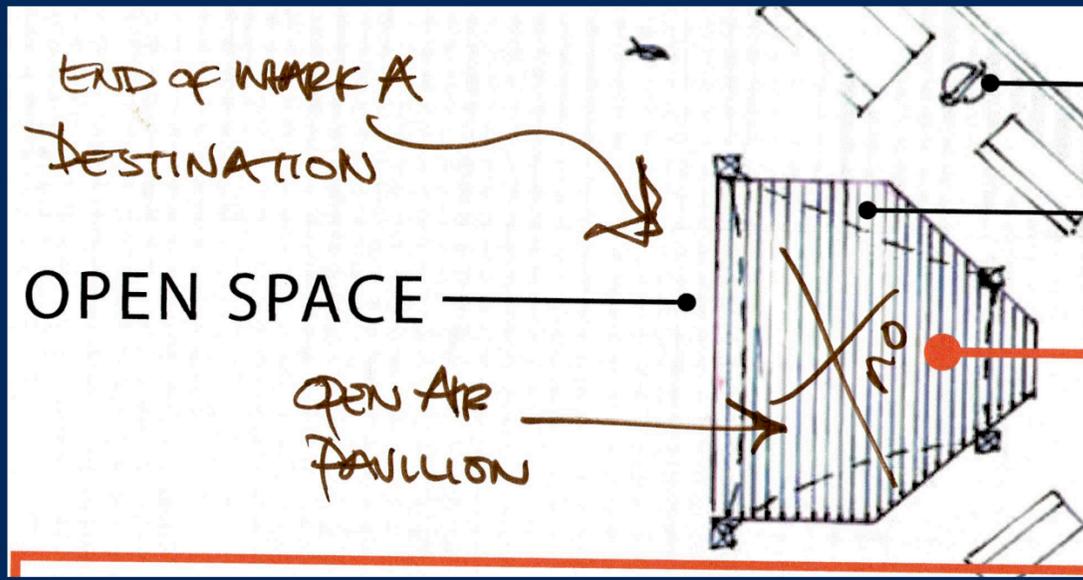




Needs Boat Mooring



ARCHITECTURE CHARACTER THAT MATCHES VILLAGE



Option 07 - Meeting Discussion Highlights / Enlarged Community Notes:

- Lifeguard Station "100% Needed"
- Stage is not needed if there is a restaurant with a rooftop stage
- Needs to have Boat Moorings & Services / Full Bar & Restaurant or Brewery
- There are concerns about cost feasibility
- Two Story Structures with roof top dancing
- Would like all architecture to match village charecture.



COMMUNITY MEETING

OBSERVATIONS & FINDINGS

SUMMARY

Community Meeting Summary – May 20, 2025

- **Strong public engagement:** especially around Options 6 and 7 of the Capitola Wharf Master Plan.
- **Options 06 & 07 received the most interest and feedback** in both open discussion and small group sessions.
- **Attendees emphasized:**
 - Balance of functionality, character, and public benefit
 - Improved public access
 - Resilient infrastructure
 - Support for local vendors
 - Preservation of the wharf's historic identity
- **Participants joined a hands-on sketch activity to suggest enhancements and to highlight key features.**
- **The sketches prompted deeper collaboration and visual idea sharing.**
- **Feedback from the meeting aligned closely with trends from the online public survey.**
- **Key Take-Away:** *Reinforced confidence that the results of the Survey reflects community values and aspirations.*