

CONSTRUCTION DRAWINGS FOR
TREASURE COVE PLAYGROUND
AT JADE ST. PARK

4400 JADE STREET
CAPITOLA, CALIFORNIA 95010

VERDE DESIGN, INC. PROJECT NO. 2300300

PREPARED BY



SCOPE OF WORK

SCOPE OF WORK TO INCLUDE, BUT NOT LIMITED TO, NEW DESIGN AND INSTALLATION OF JADE PARK PLAYGROUND, INCLUDING PLANTING, IRRIGATION, HARDSCAPE, SITE FURNISHINGS AND NEW DRAINAGE SYSTEM. SCOPE OF WORK TO ALSO INCLUDE, BUT NOT LIMITED TO, IMPROVEMENTS TO ACCESSIBLE PATH OF TRAVEL FROM EXISTING PARKING LOT TO PLAYGROUND AND OUT TOWARD EXISTING SPORTS FIELD/COURTS.

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY CITY'S REPRESENTATIVE OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE CITY.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE CITY, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE CITY'S REPRESENTATIVE PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY'S REPRESENTATIVE.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CITY'S REPRESENTATIVE.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE HEREIN REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE CITY'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING OTHER PARK USERS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE CITY'S REPRESENTATIVE AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM. FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL, OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT THEIR PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR CITY REPRESENTATIVE'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER CITY OF CAPITOLA	JESSICA KAHN	(831) 475-7300
LANDSCAPE ARCHITECT VERDE DESIGN INC.	DEREK MCKEE ANDRES RAYGADA	(408) 850-3410 (408) 850-3422

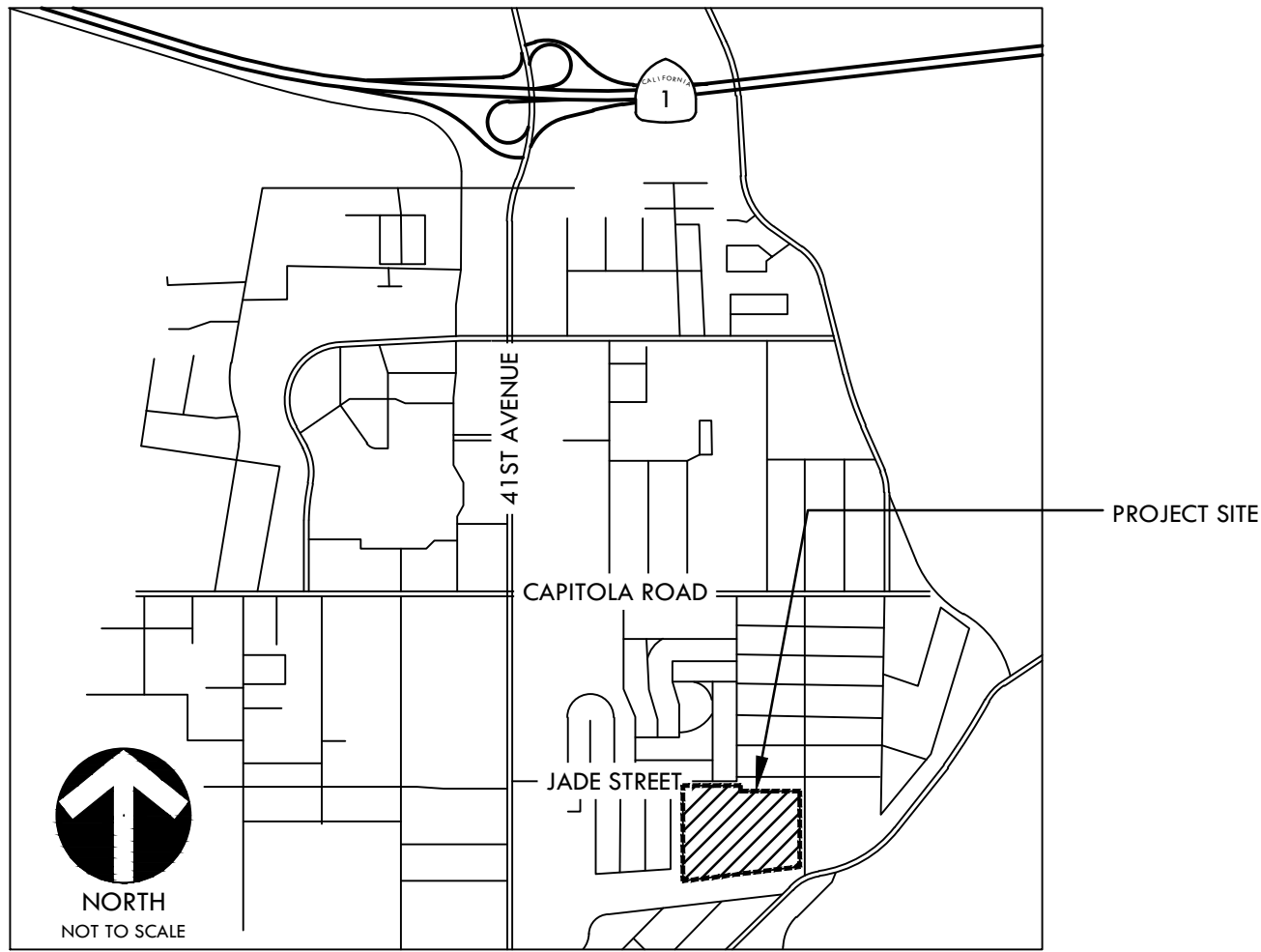
SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
C1.1 C1.2	COVER SHEET OVERALL SITE PLAN
L0.1-L0.2 L1.1-L1.2 L1.3-L1.4 L2.1-L2.2 L3.1-L3.2 L3.3-L3.4 L4.1-L4.2 L5.1-L5.2 L6.1-L6.2 L7.1-L7.2 L7.3-L7.4 L8.1-L8.2 L8.3 L9.1-L9.2 L10.1-L10.2	ACCESSIBILITY PLAN EXISTING CONDITIONS SURVEY PLAN AS BUILT & SITE INVENTORY PLAN EROSION AND SEDIMENT CONTROL PLAN DEMOLITION PLAN IRRIGATION DEMOLITION PLAN GRADING PLAN DRAINAGE AND UTILITY PLAN STORMWATER QUALITY CONTROL PLAN LAYOUT PLAN - SITE LAYOUT PLAN - PLAY FEATURES MATERIAL AND DETAIL REFERENCE PLAN MATERIAL PIP AND DETAIL REFERENCE PLAN IRRIGATION PLAN PLANTING PLAN
D1.1 D2.1 D3.1 D4.1-D4.7 D5.1-5.2 D6.1	DRAINAGE DETAILS CONSTRUCTION DETAILS SITE FURNISHING DETAILS PLAY STRUCTURE DETAILS IRRIGATION DETAILS PLANTING DETAILS

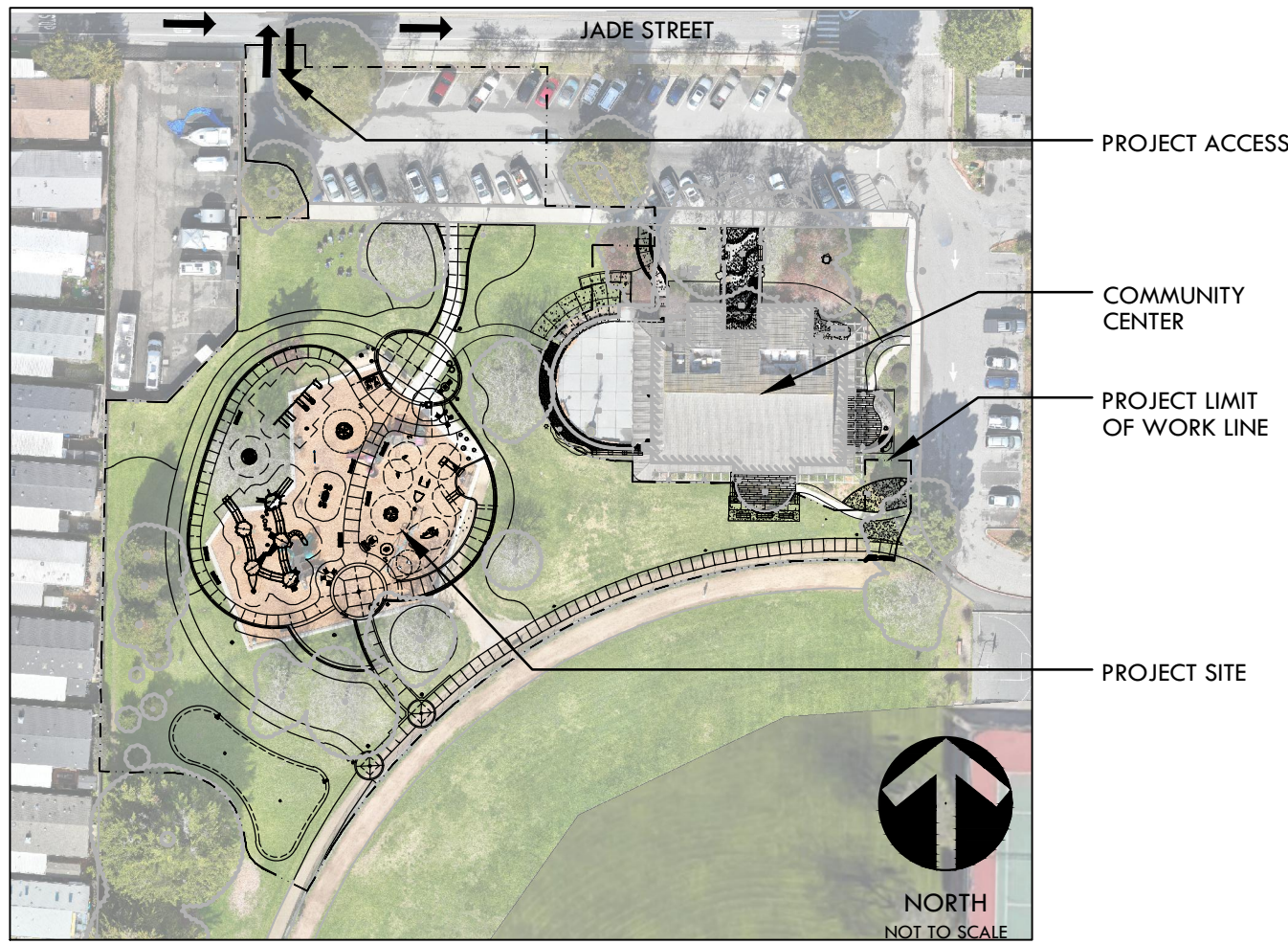
DEFERRED SUBMITTAL #1: BANNER POLE FOUNDATION DETAILS

PROVIDE APPROVED ENGINEERED CONSTRUCTION DETAIL DRAWINGS FOR THE FOUNDATION FOOTINGS OF THE FLAG POLE. PLANS SHALL BE STAMPED AND SIGNED BY REGISTERED PROFESSIONAL ENGINEER.

PROJECT MAP



VICINITY MAP



SITE MAP

APPLICABLE CODES

- 2022 CBC CHAPTER 35, PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
(2021 INTERNATIONAL BUILDING CODE VOLUMES 1-2)
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
(2020 NATIONAL ELECTRICAL CODE)
2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
(2021 UNIFORM MECHANICAL CODE)
2022 CALIFORNIA PLUMBING CODE (CDC), PART 5, TITLE 24 C.C.R.
(2021 UNIFORM PLUMBING CODE)
2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
(2021 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
(2021 INTERNATIONAL EXISTING BUILDING CODE)
2021 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
2022 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)
AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 28 CFR 35.151(C)
OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)
FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) 28 CFR 36.406
2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN

NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS	2022 EDITION
NFPA 14	STANDPIPE SYSTEMS	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2021 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEMS	2021 EDITION
NFPA 20	STATIONARY FIRE PUMPS	2019 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS	2019 EDITION
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR VISUAL DEVICES)	2022 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2023 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2022 EDITION
ASHRAE 17.1	ELEVATOR STANDARD	2019 EDITION

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2022 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35

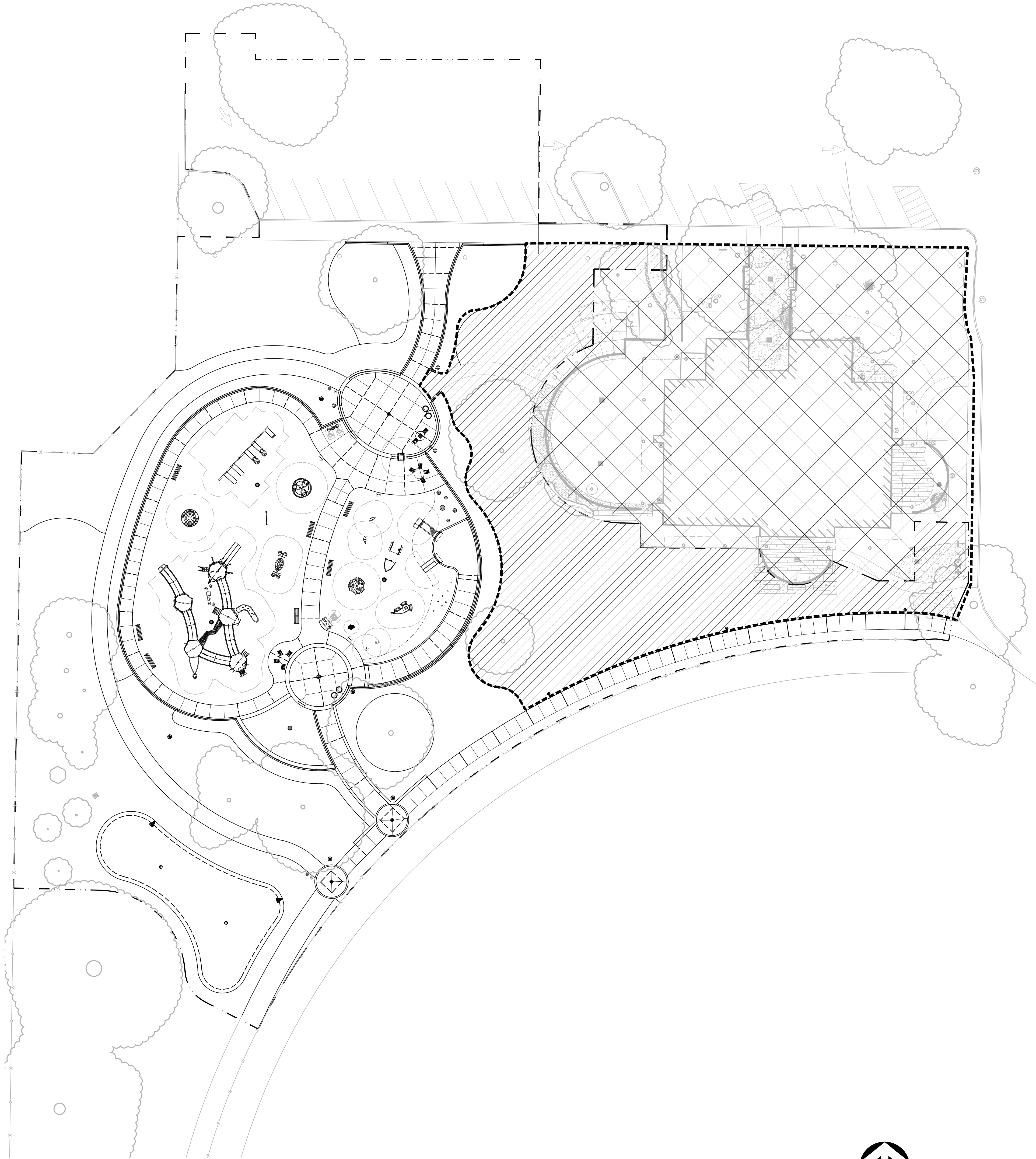
ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE CITY REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.1.1, CFC 904.1.1.


ALL DRAWINGS, SPECIFICATIONS, AND PLANS PREPARED OR REPRODUCED BY THE ARCHITECT, ENGINEER, OR LANDSCAPE ARCHITECT ARE THE PROPERTY OF VERDE DESIGN, INC. AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. ANY REUSE, REPRODUCTION, OR ALTERATION OF THESE DRAWINGS, SPECIFICATIONS, OR PLANS WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC. IS STRICTLY PROHIBITED. VERDE DESIGN, INC. SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS, SPECIFICATIONS, AND PLANS. VERDE DESIGN, INC. SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. VERDE DESIGN, INC. SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. VERDE DESIGN, INC. SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

ALL LANDSCAPE ARCHITECTURE PLANS PREPARED OR APPROVED BY THE FIRM ARE OWNED BY THE FIRM AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC. SUCH REPRODUCTION, TRANSMISSION, OR ANY OTHER USE OF ANY PART OF ANY DESIGN, OR ANY PART OF ANY DESIGN, WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC. IS PROHIBITED.

PROJECT NAME: C:\Projects\2023\2300302 - Capitola - Jade St Playground\CAD\1 SITE PLAN.dwg
PLOT DATE: 05-19-25 PLOTTED BY: station78




LEGEND	
SYM.	ITEM
	LIMIT OF WORK EXTENTS OF IMPROVEMENTS FOR TREASURE COVE PLAYGROUND AT JADE STREET PARK PROJECT, REFER TO PLANS
	THIS SCOPE OF WORK IS FOR THE CAPITOLA COMMUNITY CENTER IMPROVEMENTS PROJECT, CONTRACTOR SHALL COORDINATE WITH CITY REPRESENTATIVE AS REQUIRED
	PROJECT SCOPE OVERLAP, REFER TO PLANS



VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

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STAMP



CONSULTANT

SHEET TITLE

OVERALL SITE PLAN

PROJECT NAME

TREASURE COVE
PLAYGROUND AT
JADE STREET PARK

PROJECT ADDRESS

4400 JADE STREET
CAPITOLA, CA. 95010

SUBMITTAL	DATE
65% SUBMITTAL	8/16/24
95% SUBMITTAL	12/13/24
100% BID SUBMITTAL	05/23/25

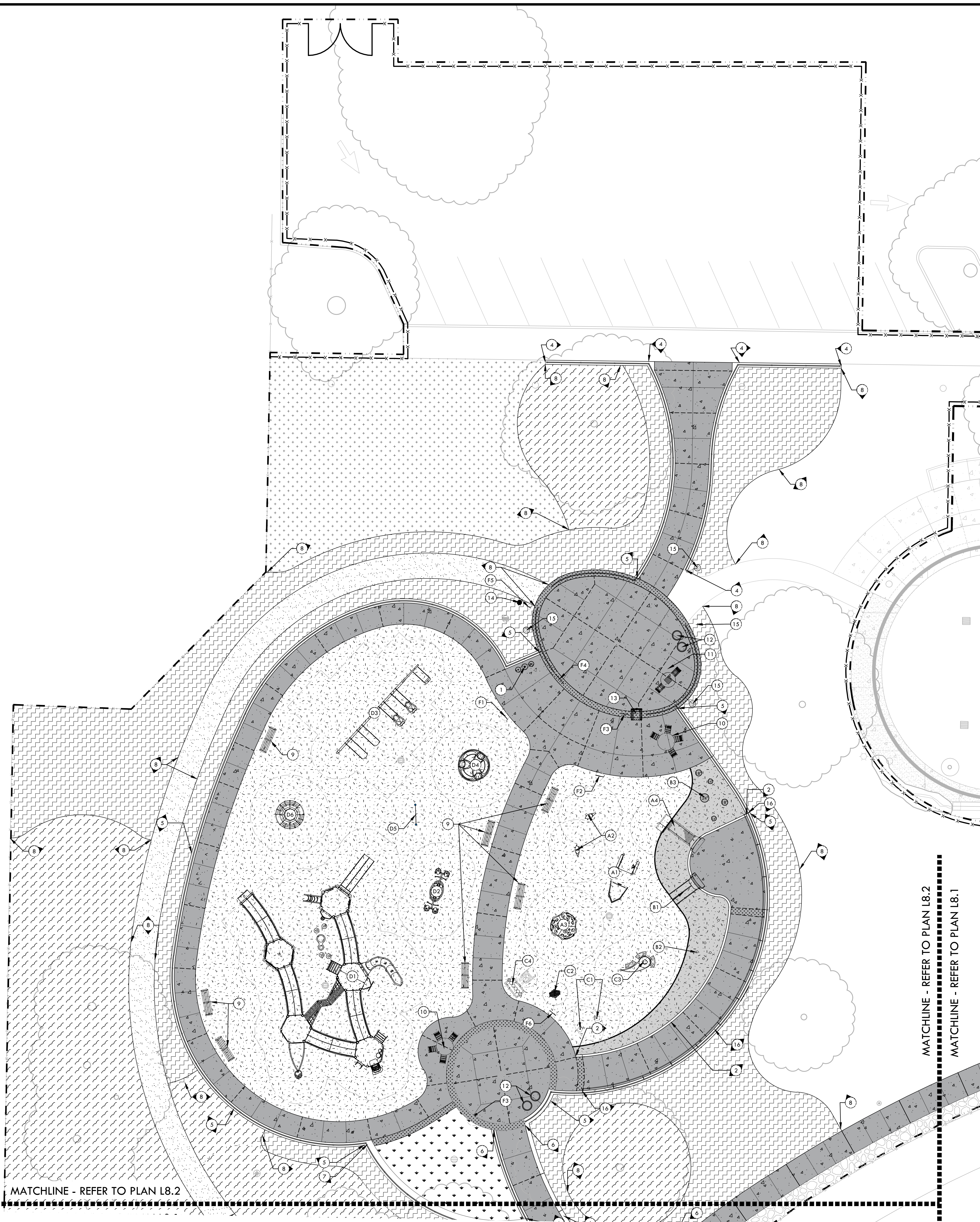
NO.	REVISIONS	DATE
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AR	BD / DM
DATE ISSUED	SCALE
05/23/25	1"=20'-0"
PROJ. NO.	
#2300302	
SHEET NO.	
C1.2	

OVERALL SITE PLAN

100% BID SUBMITTAL - 05/23/2025 - NOT FOR CONSTRUCTION - (CITY REVIEW - 05/19/25)

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MATERIAL NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
2. THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
3. ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
4. CONCRETE FINISHES SHALL BE AS NOTED. CONTRACTOR SHALL PROVIDE 4"x4" SAMPLES OF ALL SPECIFIED FINISHES OF CONCRETE USING THE SAME MATERIALS THAT WILL BE USED IN THE ACTUAL CONSTRUCTION FOR EACH TYPE SPECIFIED. SAMPLES SHALL BE PREPARED WELL ENOUGH IN ADVANCE OF SCHEDULED CONCRETE POUR TO ALLOW FOR REVIEW AND POSSIBLE RE-POURING OF UNACCEPTABLE SAMPLES. UNACCEPTABLE SAMPLES SHALL BE RE-PREPARED UNTIL ACCEPTED BY THE OWNER'S REPRESENTATIVE. ACCEPTED SAMPLES SHALL BE PROTECTED AND REMAIN ON SITE FOR REFERENCE UNTIL FINAL ACCEPTANCE.
5. CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE ADJUSTMENT OF THEIR TEMPORARY FENCING, LAYDOWN AREA, AND ALL OTHER SITE CONSTRUCTION OBSTRUCTIONS, AS NECESSARY TO MAINTAIN CLEAR VEHICULAR AND PEDESTRIAN ACCESS AS REQUIRED BY THE OWNER FOR USE OF ADJACENT PARK AREAS; AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL WORK WITH THE OWNER TO DETERMINE THE LOCATION OF ADJUSTED FENCING AND THE DURATION OF THE ACCESS NEEDS.

MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
CONCRETE - PEDESTRIAN		A,B,C D2.1
18" WIDE CONCRETE EDGE BAND WITH TOP CAST #25 EXPOSED AGGREGATE FINISH, INTEGRAL COLOR JET BLACK, OR EQUAL		D D4.1
RESILIENT SURFACING WITH AGGREGATE BASE		D2.1
RESILIENT SURFACING OVER SLOPED CONCRETE BASE		M/L D2.1
DECOMPOSED GRANITE		N D2.1
BIO-RETENTION AREA - REFER TO PLANTING PLAN AND SPECIFICATIONS		F D1.1
LANDSCAPE AREA - REFER TO PLANTING PLAN AND SPECIFICATIONS		
FLEXGRASS SYNTHETICS TURF, REFER TO SPECIFICATIONS		D2.1
BARK MULCH, REFER TO SPECIFICATIONS		
3/4" SUBDRAIN TRENCH DRAIN ROCK, REFER TO SPECIFICATIONS		O D2.1
NATURAL TURF		
SCORE JOINT EXPANSION JOINT		A D2.1
42" TALL ORNAMENTAL FENCE/GUARDRAIL		H-R D3.1
EXISTING FENCE		
LIMIT OF WORK CONSTRUCTION FENCE		

PLAY STRUCTURE LEGEND

SYM	DESCRIPTION	DTL REF
	2-5 YR OLD ZONE	
A1	LSI - IMAGINATION PLAY SHIP	A D4.1
A2	LSI - WHIMSY RIDER DOLPHIN	B D4.1
A3	LSI - COZY DOME	D D4.1
A4	LSI - ROLLER SLIDE	A D4.6
	PLAY BERM	
B1	LSI - SMALL DOUBLE EMBANKMENT SLIDE	A D4.2
B2	LSI - HILLSIDE ROCK CLIMBER HAND GRIPS (SET OF 15)	C D4.2
B3	LSI - AUGA SPHERES	B D4.2
	MUSICAL PLAY ZONE	
C1	PERCUSSION PLAY - PERCUSSION CAJON BOX	E D4.2
C2	PERCUSSION PLAY - SANSA RIMBA	F D4.2
C3	BURKE - NOVO TEARDROP COUNTER CLIMBER	D D4.2
C4	KINDER BELLS	B D4.6
	5-12 YR OLD ZONE	
D1	LSI - 5-12 YR OLD COMPOSITE PLAY STRUCTURE	A-D D4.3
D2	BURKE - ORB ROCKER	B D4.4
D3	LSI - SINGLE POST SWING SET W/ (2) BELT, (1) HALF BUCKET & (2) MOLDED BUCKET SEATS	A/D D4.5
D4	BURKE - VOLTA INCLUSIVE SPINNER	E D4.4
D5	LSI - COMMUNICATION BOARD	C D4.4
D6	BERLINER - O' TANNERBAUM	C D4.6
	SIGNAGE	
F1	LSI - 2-5 YR OLD WELCOME SIGN	A/D D4.7
F2	LSI - 5-12 YR OLD WELCOME SIGN	A/D D4.7
F3	LSI - PARK ENTRY SIGN	B/E D4.7
F4	LSI - DONOR PANEL	B/E D4.7
F5	LSI - DOG WALK SIGN	C/F D4.7
F6	LSI - MUSICAL/SENSORY AREA SIGN	A/D D4.7

1	DRINKING FOUNTAIN, REFER TO SPECIFICATIONS	E D3.1
2	6" WIDE CONCRETE CURB	H D2.1
3	6" WIDE CONCRETE EDGE BAND	D D2.1
4	12" WIDE CONCRETE EDGE BAND	F D2.1
5	12" WIDE CONCRETE CURB	E D2.1
6	12" WIDE CONCRETE TALL CURB	E D2.1
7	24" WIDE CONCRETE SEATWALL	G D2.1
8	METAL LANDSCAPE EDGING, REFER TO SPECIFICATIONS	F D2.1
9	DUMOR BENCH WITHOUT BACK, REFER TO SPECIFICATIONS	A D3.1
10	PICNIC TABLE, 4 STANDARD SEATS + 1 ADA SPACE, W/ EMBEDDED CONCRETE FOOTING, REFER TO SPECIFICATIONS	J D3.1
11	GAME TABLE, 2 SEATS, W/ EMBEDDED CONCRETE FOOTING, REFER TO SPECIFICATIONS	E D4.1
12	TRASH & RECYCLING CONTAINER, REFER TO SPECIFICATIONS	B/D D3.1
13	UPC PARKS TREASURE CHEST ENTRY SCULPTURE, REFER TO SPECIFICATIONS	C D4.1
14	PET WASTE STATION, REFER TO SPECIFICATIONS	F D3.1
15	BANNER POLE, REFER TO SPECIFICATIONS	F D4.1
16	GUARDRAIL WITH HANDRAIL	L-G D3.1



STAMP

CONSULTANT

SHEET TITLE

MATERIAL AND DETAIL
REFERENCE PLAN

PROJECT NAME

TREASURE COVE
PLAYGROUND AT
JADE STREET PARK

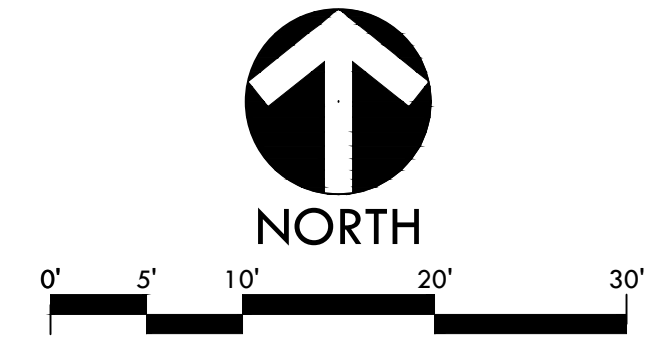
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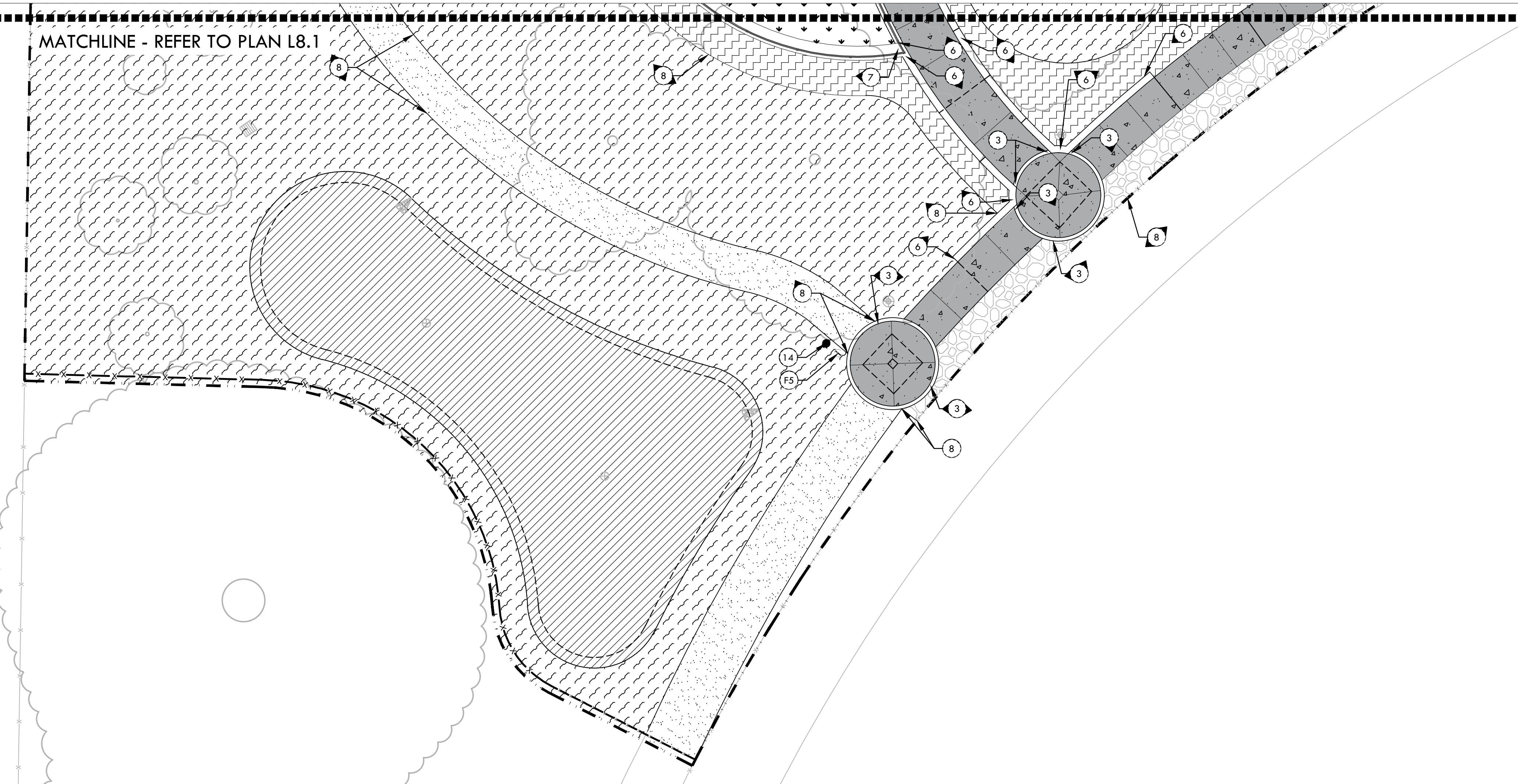
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DATE ISSUED 05/23/25	SCALE 1"=10'-0"
PROJ. NO. #2300302	
SHEET NO. L8.1	



MATERIAL AND DETAIL REFERENCE PLAN

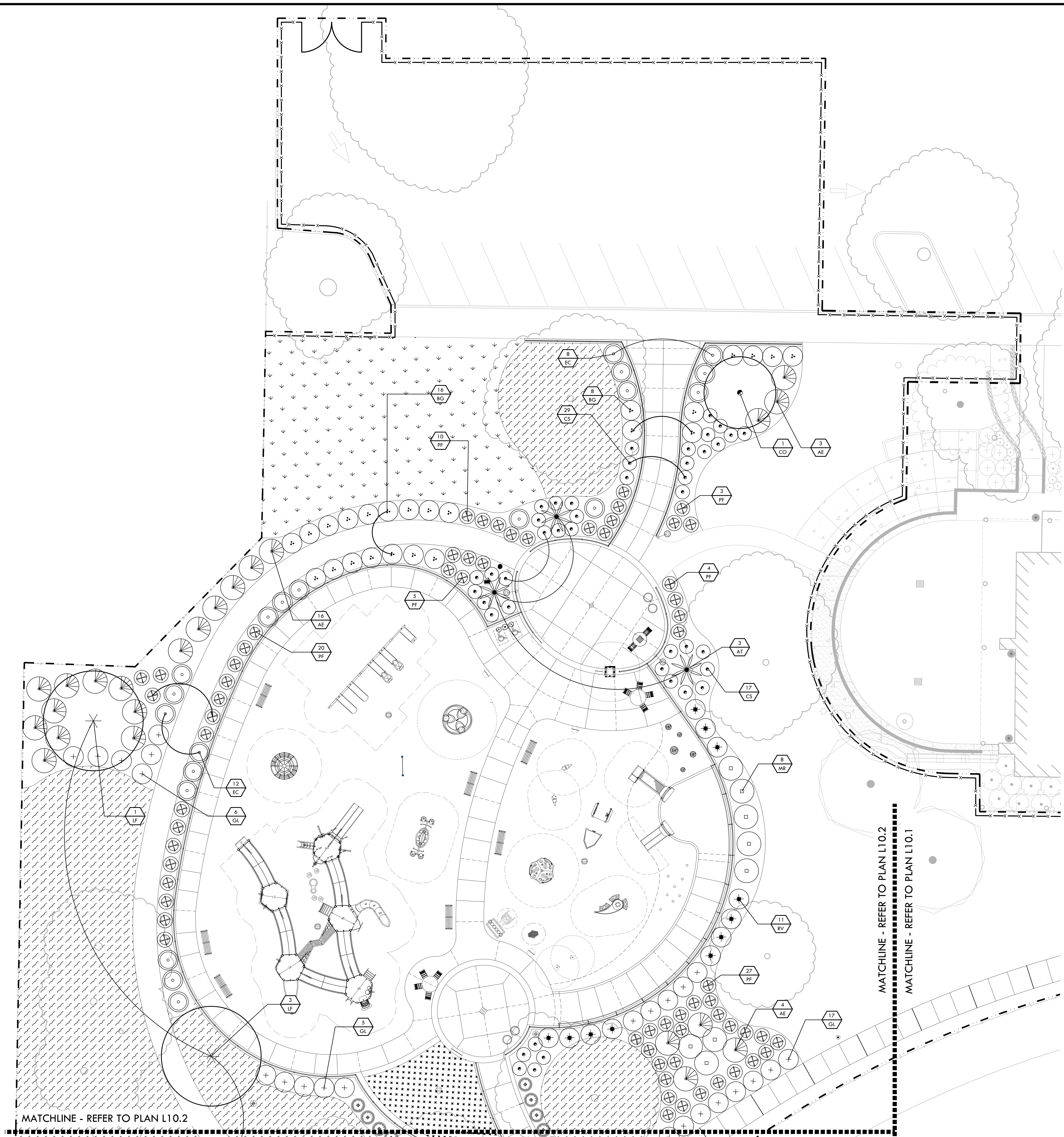
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1.	THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.	
2.	THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.	
3.	ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.	
4.	CONCRETE FINISHES SHALL AS BE NOTED. CONTRACTOR SHALL PROVIDE 4"x4" SAMPLES OF ALL SPECIFIED FINISHES OF CONCRETE USING THE SAME MATERIALS THAT WILL BE USED IN THE ACTUAL CONSTRUCTION FOR EACH TYPE SPECIFIED. SAMPLES SHALL BE PREPARED WELL ENOUGH IN ADVANCE OF SCHEDULED CONCRETE POUR TO ALLOW FOR REVIEW AND POSSIBLE RE-POURING OF UNACCEPTABLE SAMPLES. UNACCEPTABLE SAMPLES SHALL BE RE-PREPARED UNTIL ACCEPTED BY THE OWNER'S REPRESENTATIVE. ACCEPTED SAMPLES SHALL BE PROTECTED AND REMAIN ON SITE FOR REFERENCE UNTIL FINAL ACCEPTANCE.	
5.	CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE ADJUSTMENT OF THEIR TEMPORARY FENCING, LAYDOWN AREA, AND ALL OTHER SITE CONSTRUCTION OBSTRUCTIONS, AS NECESSARY TO MAINTAIN CLEAR VEHICULAR AND PEDESTRIAN ACCESS AS REQUIRED BY THE OWNER FOR USE OF ADJACENT PARK AREAS, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL WORK WITH THE OWNER TO DETERMINE THE LOCATION OF ADJUSTED FENCING AND THE DURATION OF THE ACCESS NEEDS.	
MATERIAL LEGEND		
SYM	DESCRIPTION	DTL REF
	CONCRETE - PEDESTRIAN	(A, B, C) D2.1
	18" WIDE CONCRETE EDGE BAND WITH TOP CAST #25 EXPOSED AGGREGATE FINISH, INTEGRAL COLOR JET BLACK, OR EQUAL	(G) D2.1
	RESILIENT SURFACING WITH AGGREGATE BASE	(I) D2.1
	RESILIENT SURFACING OVER SLOPED CONCRETE BASE	(M, L) D2.1
	DECOMPOSED GRANITE	(N) D2.1
	BIO-RETENTION AREA - REFER TO PLANTING PLAN AND SPECIFICATIONS	(F) D1.1
	LANDSCAPE AREA - REFER TO PLANTING PLAN AND SPECIFICATIONS	
	FLEXGRASS SYNTHETICS TURF, REFER TO SPECIFICATIONS	(J) D2.1
	BARK MULCH, REFER TO SPECIFICATIONS	
	3/4" SUBDRAIN TRENCH DRAIN ROCK, REFER TO SPECIFICATIONS	(O) D2.1
	NATURAL TURF	
	SCORE JOINT EXPANSION JOINT	(A) D2.1
	42" TALL ORNAMENTAL FENCE/GUARDRAIL	(H, K) D2.1
	EXISTING FENCE	
	LIMIT OF WORK CONSTRUCTION FENCE	
	1 DRINKING FOUNTAIN, REFER TO SPECIFICATIONS	(E) D2.1
	2 6" WIDE CONCRETE CURB	(H) D2.1
	3 6" WIDE CONCRETE EDGEBAND	(D) D2.1
	4 12" WIDE CONCRETE EDGEBAND	(F) D2.1
	5 12" WIDE CONCRETE CURB	(E) D2.1
	6 12" WIDE CONCRETE TALL CURB	(E) D2.1
	7 24" WIDE CONCRETE SEATWALL	(G) D2.1
	8 METAL LANDSCAPE EDGING, REFER TO SPECIFICATIONS	(A) D2.1
	9 DUMOR BENCH WITHOUT BACK, REFER TO SPECIFICATIONS	(A) D2.1
	10 PICNIC TABLE, 4 STANDARD SEATS + 1 ADA SPACE, W/ EMBEDDED CONCRETE FOOTING, REFER TO SPECIFICATIONS	(J) D2.1
	11 GAME TABLE, 2 SEATS, W/ EMBEDDED CONCRETE FOOTING, REFER TO SPECIFICATIONS	(G, D) D2.1
	12 TRASH & RECYCLING CONTAINER, REFER TO SPECIFICATIONS	(B, I) D2.1
	13 UPC PARKS TREASURE CHEST ENTRY SCULPTURE, REFER TO SPECIFICATIONS	(C) D2.1
	14 PET WASTE STATION, REFER TO SPECIFICATIONS	(F) D2.1
	15 BANNER POLE, REFER TO SPECIFICATIONS	(F) D4.1
	16 GUARDRAIL WITH HANDRAIL	(L, G) D4.1



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PLANTING NOTES

1. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
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3. ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATIONS.
4. WHEN WORK HAS TO OCCUR UNDER THE DRILLPIE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
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6. CONTRACTOR SHALL PROVIDE JUTE NETTING FOR SOIL STABILIZATION IN AREA WHERE THE GRADIENT IS GREATER THAN 3:1

LEGEND

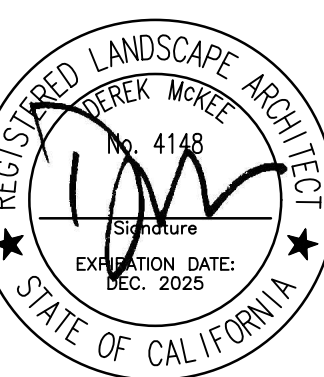
SYM	DESCRIPTION
	LIMIT OF WORK
	CONSTRUCTION FENCE

PLANTING LEGEND

SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	WU COLS	DTL REF
TREES						
•	CO	3	24" BOX	CERCIS CANADENSIS EASTERN REDBUD	20'-0" O.C.	L (E/C D6.1)
*	LF	3	24" BOX	LYONOTHAMNUS FLORIBUNDUS SPP. ASPLENIIFOLIUS FERN-LEAF CATALINA IRONWOOD	30'-0" O.C.	L (E/C D6.1)
SHRUBS						
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	AT	4	1 GAL	AGAVE ATTENUATA FOX TAIL AGAVE	5'-0" O.C.	L (A D6.1)
	BG	24	1 GAL	BOULELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAHA	5'-0" O.C.	L (A D6.1)
	CS	46	5 GAL	CALANDRINIA SPECTABILIS 'SHINING PINK' SHINING PINK ROCK PURSLANE	3'-0" O.C.	L (A D6.1)
	CT	25	1 GAL	CHONDROPETALUM TECTORUM DWARF CAPE RUSH	4'-0" O.C.	L (A D6.1)
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	JP	10	1 GAL	JUNCUS PATENS CALIFORNIA GREY RUSH	2'-0" O.C.	L (A D6.1)
	LC	19	1 GAL	LOMANDRA CONFERTIFOLIA RUBIGINOSA 'SEASCAPE' LOMANDRA 'SEASCAPE'	3'-0" O.C.	L (A D6.1)
	MR	8	1 GAL	MUHLENBERGIA RIGENS DEER GRASS	5'-0" O.C.	L (A D6.1)
	PF	74	1 GAL	P. FRUTICOSA 'PETITE BUTTERFLY' BUTTERFLY PEA SHRUB	3'-0" O.C.	L (A D6.1)
	RV	11	1 GAL	RIBES VIBURNIFOLIUM CATALINA CURRANT	5'-0" O.C.	L (A D6.1)
OTHER						
				NATURAL TURF - REFER TO SPECIFICATIONS		
				MULCH - REFER TO SPECIFICATIONS.		

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

2455 The Alameda
Santa Clara, CA 95050
tel: 408.985.7200
fax: 408.985.7260
www.VerdeDesign.com



CONSULTANT

SHEET TITLE

PLANTING
PLAN

PROJECT NAME

TREASURE COVE
PLAYGROUND AT
JADE STREET PARK

PROJECT ADDRESS

4400 JADE STREET
CAPITOLA, CA. 95010

SUBMITTAL	DATE
65% SUBMITTAL	8/16/24
95% SUBMITTAL	12/13/24
100% BID SUBMITTAL	05/23/25

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		

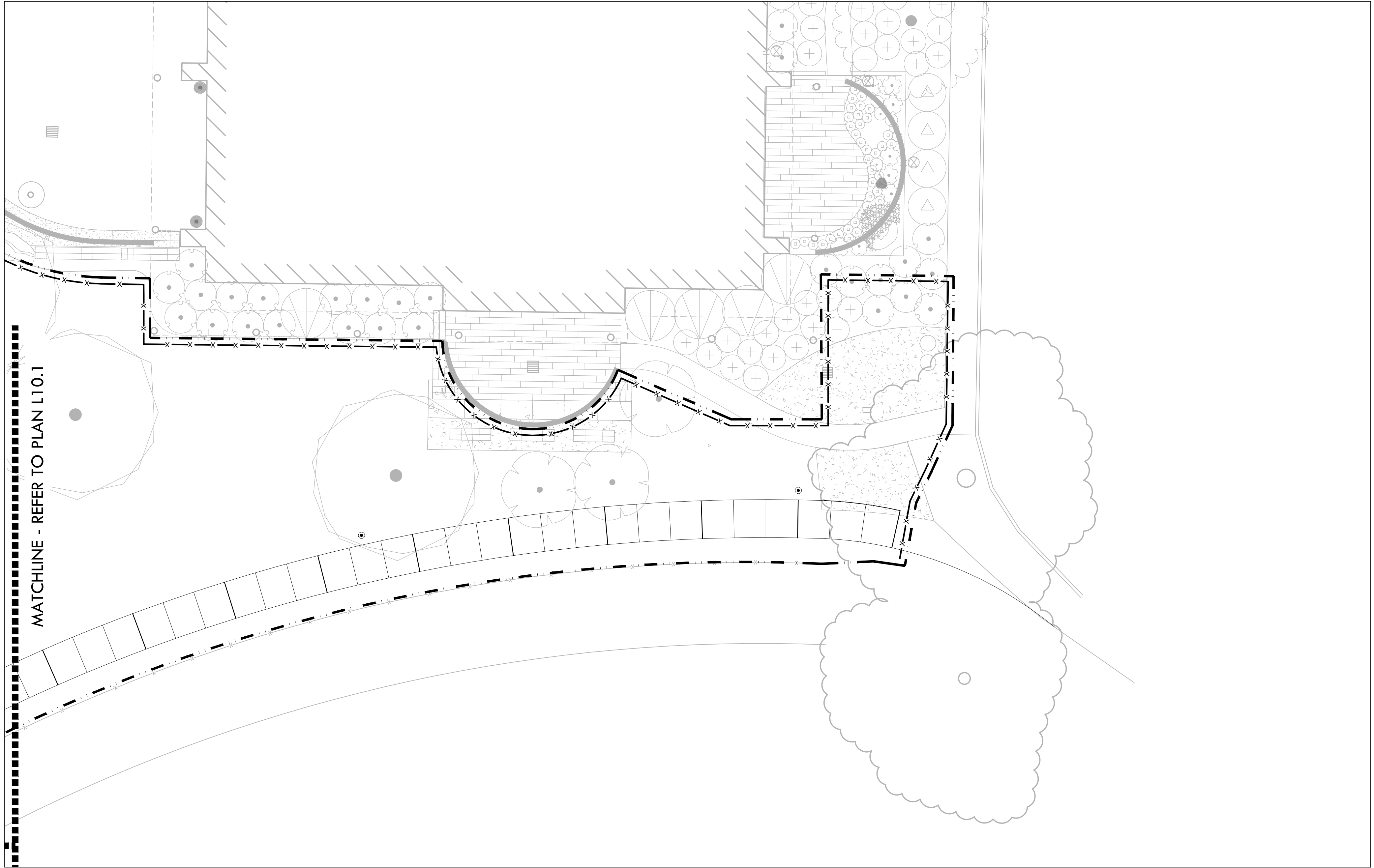
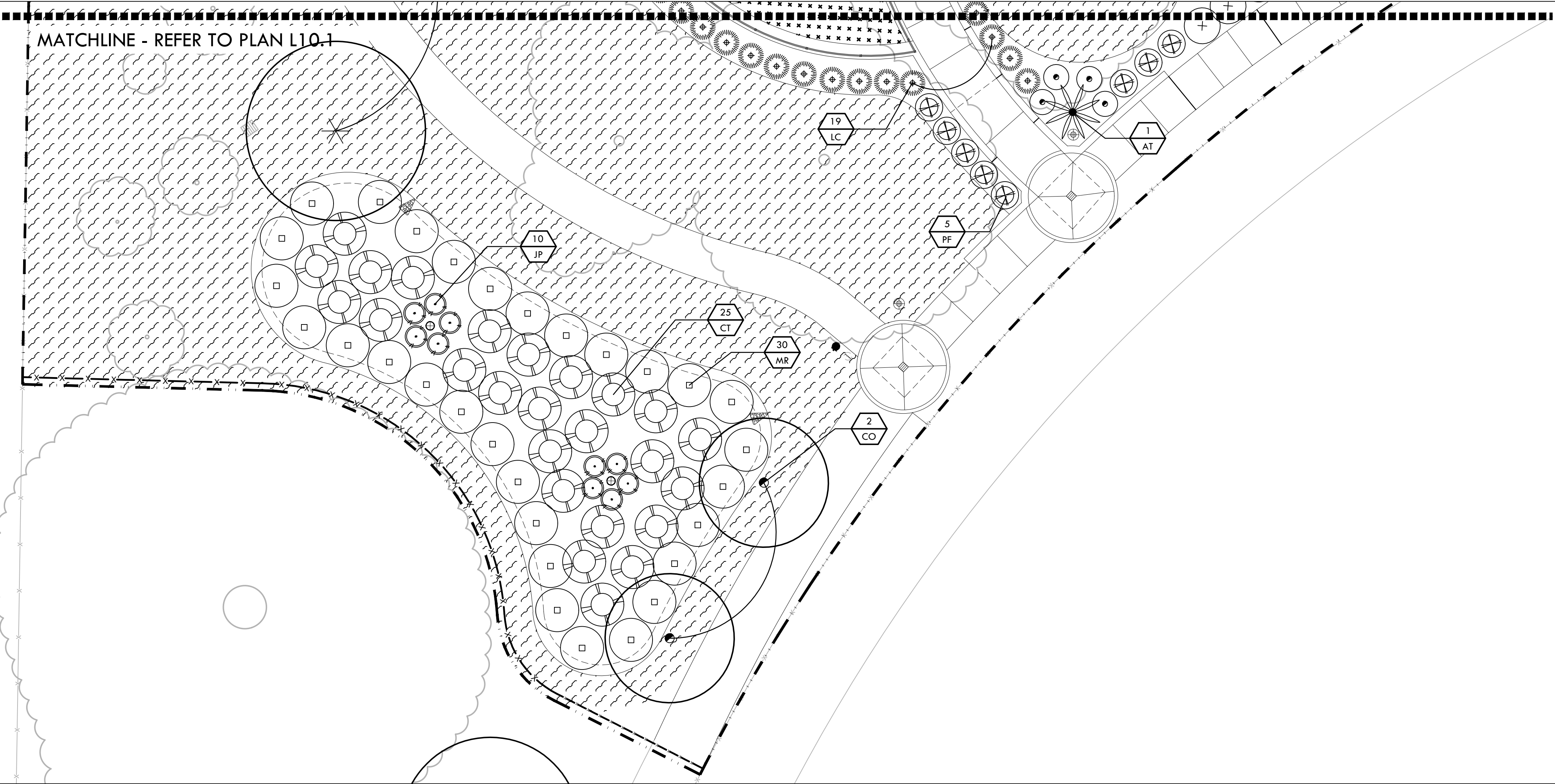
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DATE ISSUED 05/23/25	SCALE 1"=10'-0"
PROJ. NO. #2300302	SHEET NO. L10.1

PLANTING PLAN

100% BID SUBMITTAL - 05/23/2025 - NOT FOR CONSTRUCTION - (CITY REVIEW - 05/19/25)

ALL PLANTS, TREES, OR LANDSCAPE MATERIALS SHOWN ON THIS PLAN ARE THE PROPERTY OF VERDE DESIGN, INC. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC. SUCH PLANTS, TREES, OR LANDSCAPE MATERIALS SHALL BE USED IN THE PROJECT AS SHOWN ON THIS PLAN. ANY CHANGES TO THE PLANT LIST OR PLANT SPECIFICATIONS SHALL BE MADE IN WRITING AND SIGNED BY THE DESIGNER OF VERDE DESIGN, INC.

PROJECT NAME: 0:\Projects\2023\23003020 - Capitol Mall - Playground\CAD\2301.dwg
PLOT DATE: 05-19-25 PLOTTED BY: station78



PLANTING NOTES

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LEGEND

SYM

DESCRIPTION

X-X

LIMIT OF WORK
CONSTRUCTION FENCE

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↓	↓	NATURAL TURF - REFER TO SPECIFICATIONS				
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PLANTING PLAN

TREASURE COVE
PLAYGROUND AT
JADE STREET PARK

4400 JADE STREET
CAPITOLA, CA. 95010

SUBMITTAL

DATE

65% SUBMITTAL

8/16/24

95% SUBMITTAL

12/13/24

100% BID SUBMITTAL

05/23/25

NO.

REVISIONS

DATE

DRAWN BY

AZ

CHECKED BY

BD/ DM

DATE ISSUED

05/23/25

SCALE

1"=10'-0"

PROJ. NO.

#2300302

SHEET NO.

L10.2

PLANTING PLAN

VERDE DESIGN

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

2455 The Alameda
Santa Clara, CA 95050
tel: 408.985.7200
fax: 408.985.7240
www.VerdeDesign.com

STAMP

REGISTERED LANDSCAPE ARCHITECT

NO. 4148

EXPIRATION DATE: DEC 2025

STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE

PLANTING PLAN

PROJECT NAME

TREASURE COVE
PLAYGROUND AT
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SCALE

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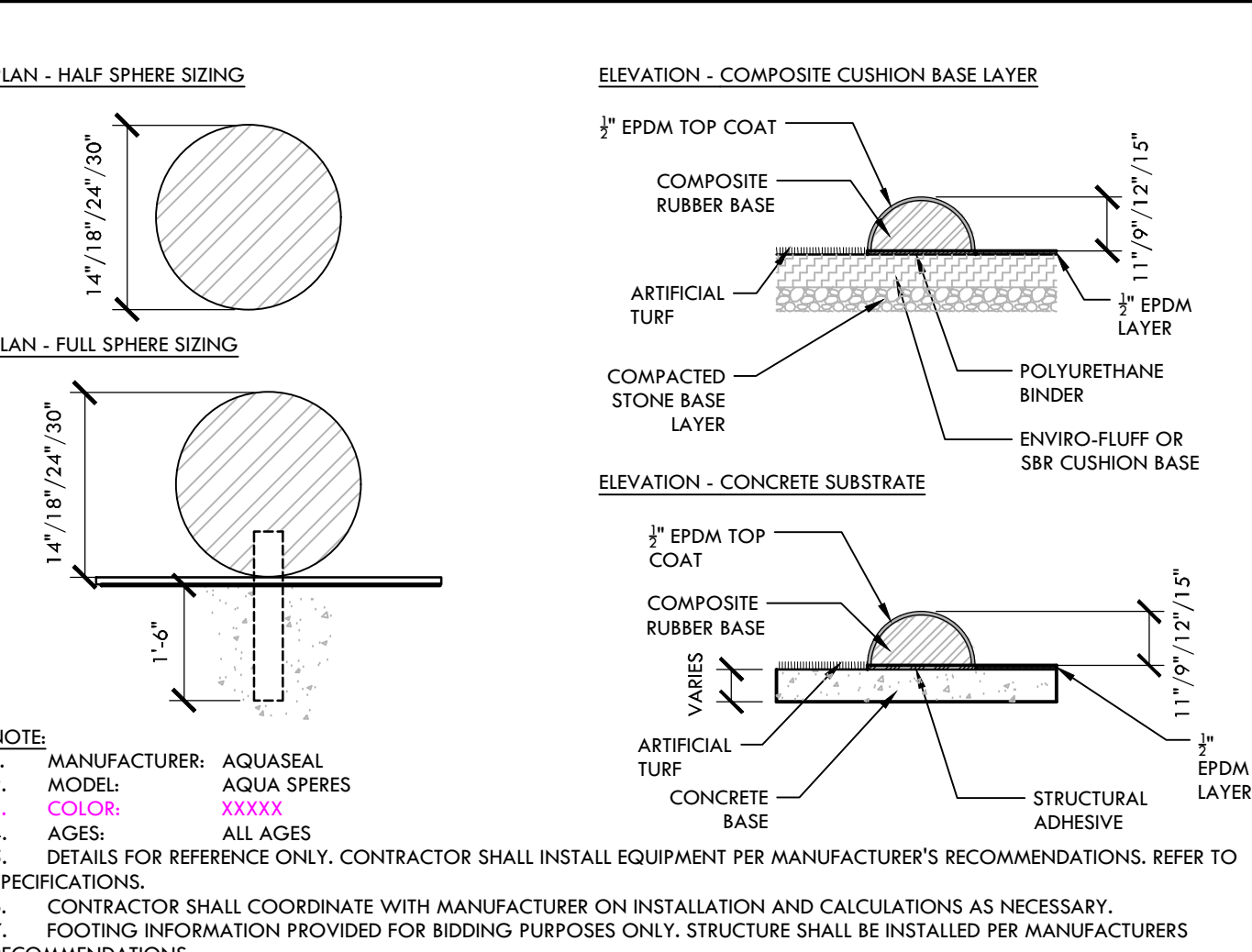
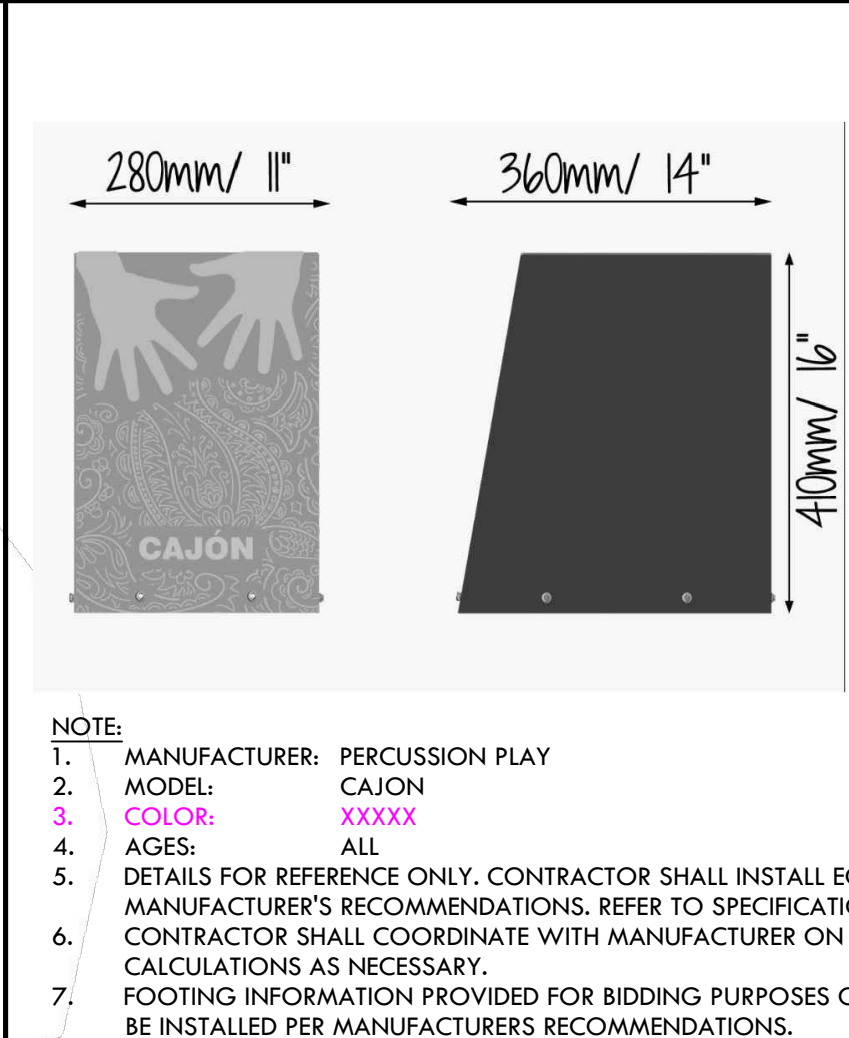
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SHEET NO.

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F) PERCUSSION PLAY - SANSA RIMBA

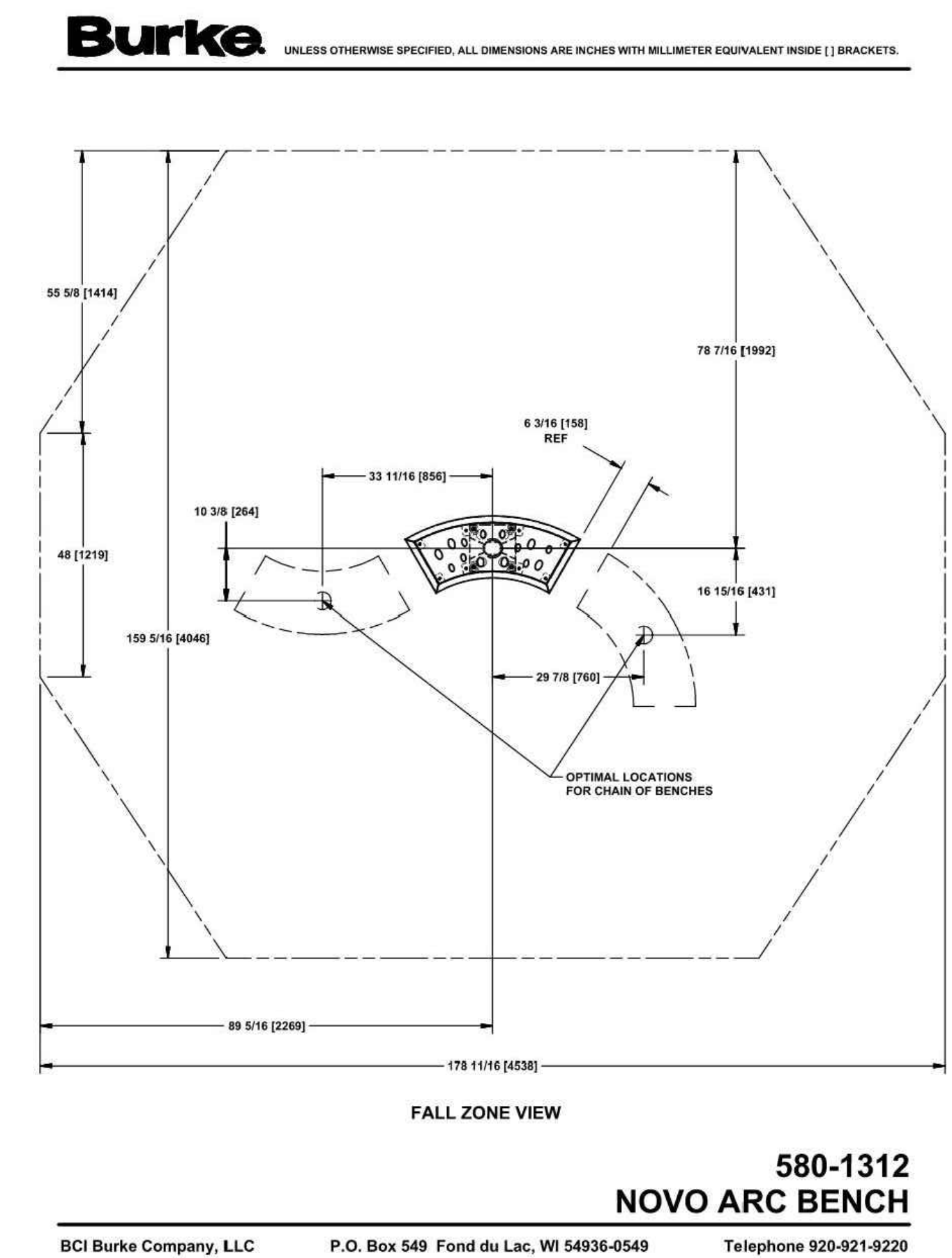
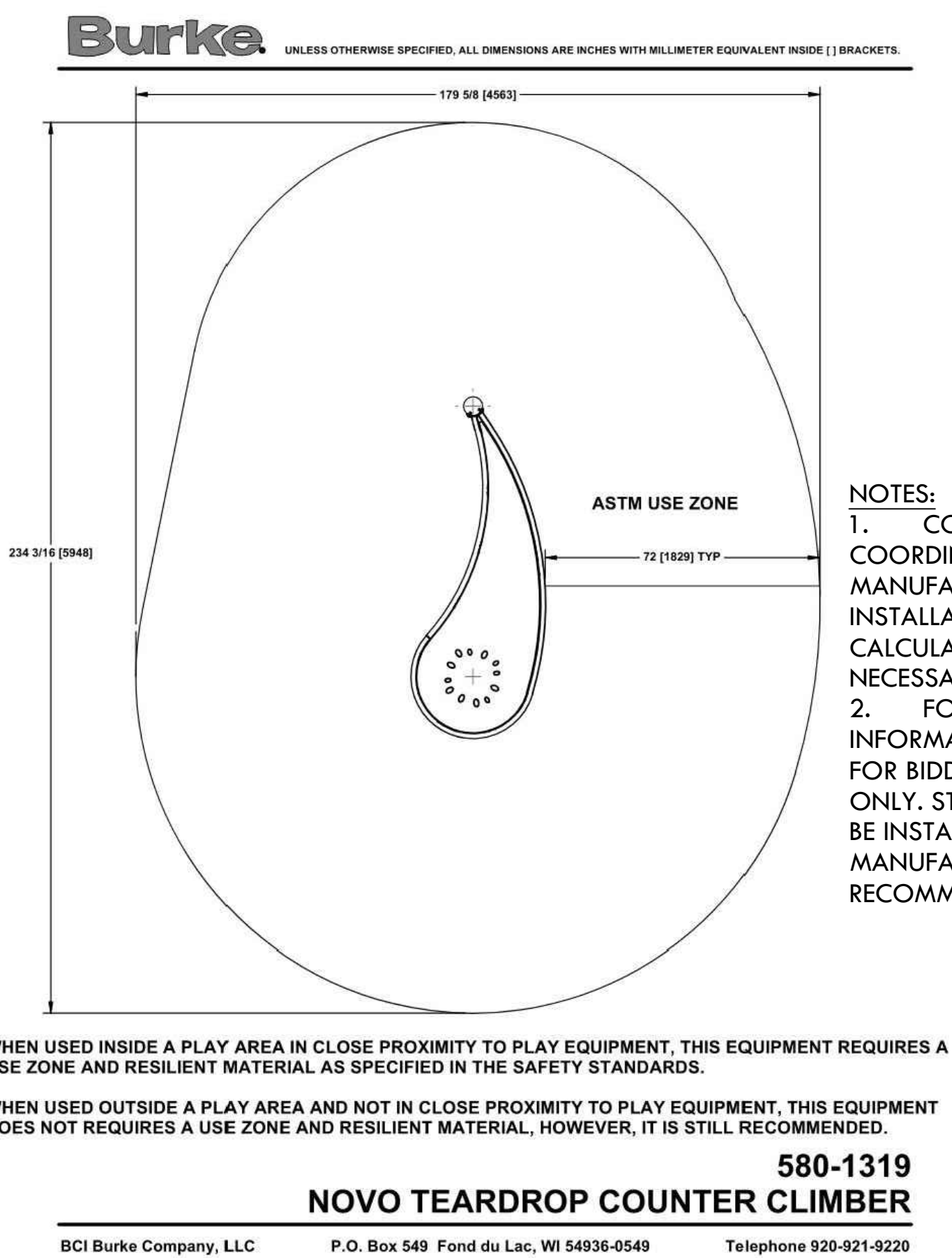
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E PERCUSSION PLAY - CAJON

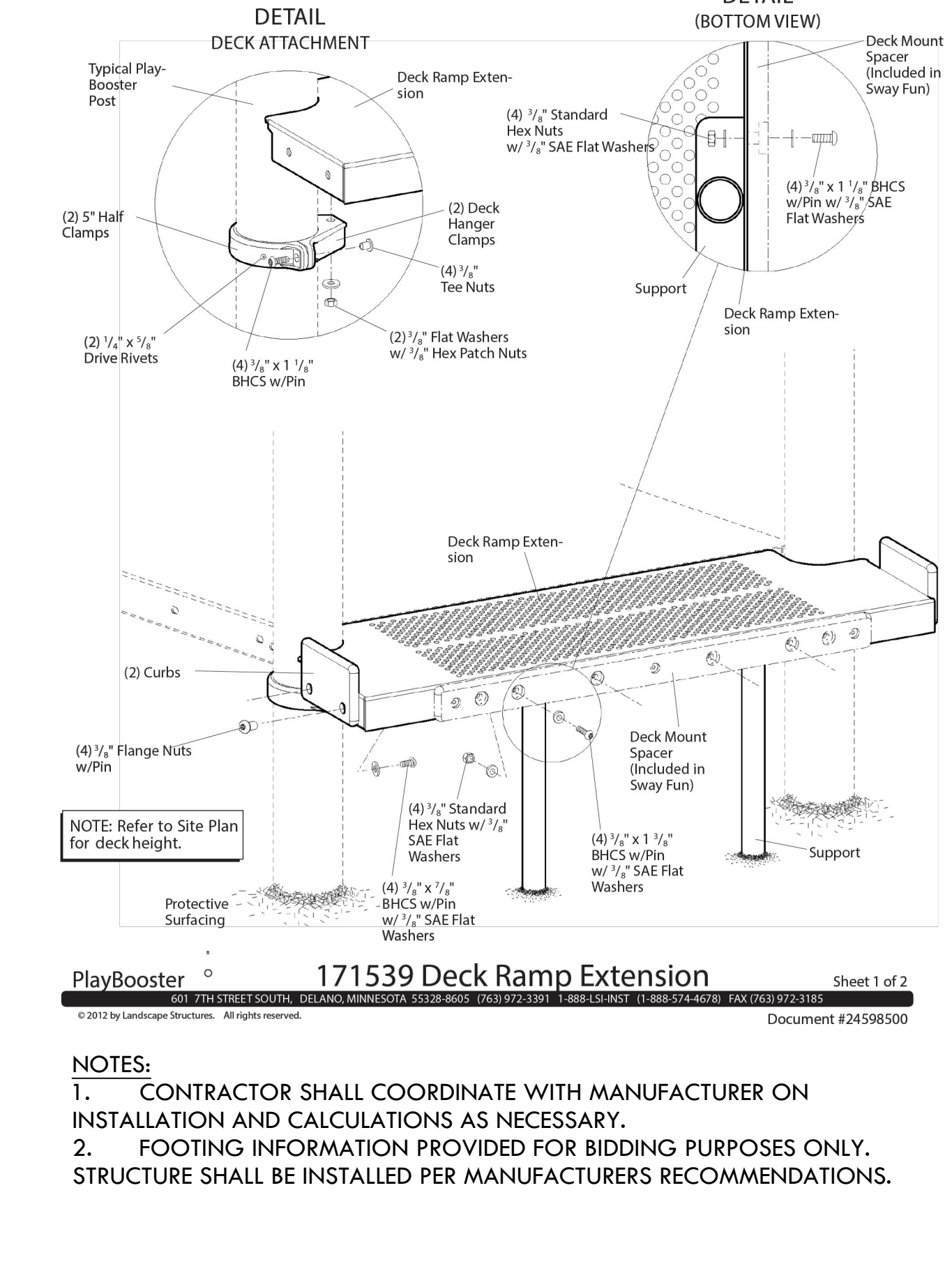
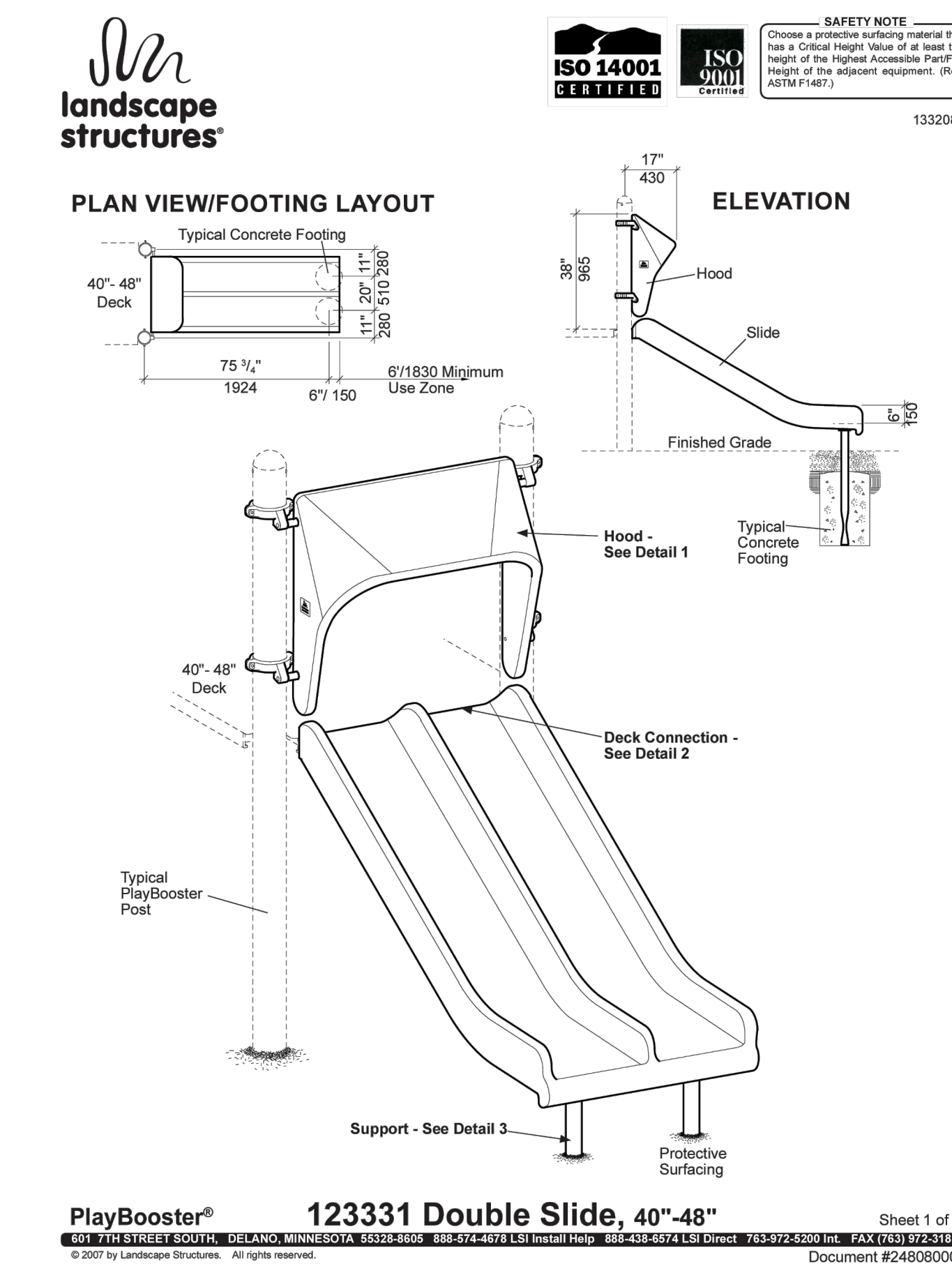
NTS

3) AQUA SPHERES

NTS



D BURKE - NOVO TEAR DROP TABLE



<h2 style="margin: 0;">PLAY EQUIPMENT DETAILS</h2>			
PROJECT NAME <div style="text-align: center; font-size: 1.2em; font-weight: bold;">TREASURE COVE PLAYGROUND AT JADE STREET PARK</div>			
PROJECT ADDRESS <div style="text-align: center; font-size: 1.2em; font-weight: bold;">4400 JADE STREET CAPITOLA, CA. 95010</div>			
SUBMITTAL			DATE
65% SUBMITTAL			8/16/24
95% SUBMITTAL			12/13/24
100% BID SUBMITTAL			05/23/25
NO. REVISIONS			DATE
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DRAWN BY <div style="text-align: center; font-weight: bold;">AZ</div>		CHECKED BY <div style="text-align: center; font-weight: bold;">BD / DM</div>	
DATE ISSUED <div style="text-align: center; font-weight: bold;">05/23/25</div>		SCALE <div style="text-align: center; font-weight: bold;">AS NOTED</div>	
PROJ. NO. #2300302			

A LSI - SMALL DOUBLE EMBANKMENT SLIDE

SHEET NO. **D4.2**

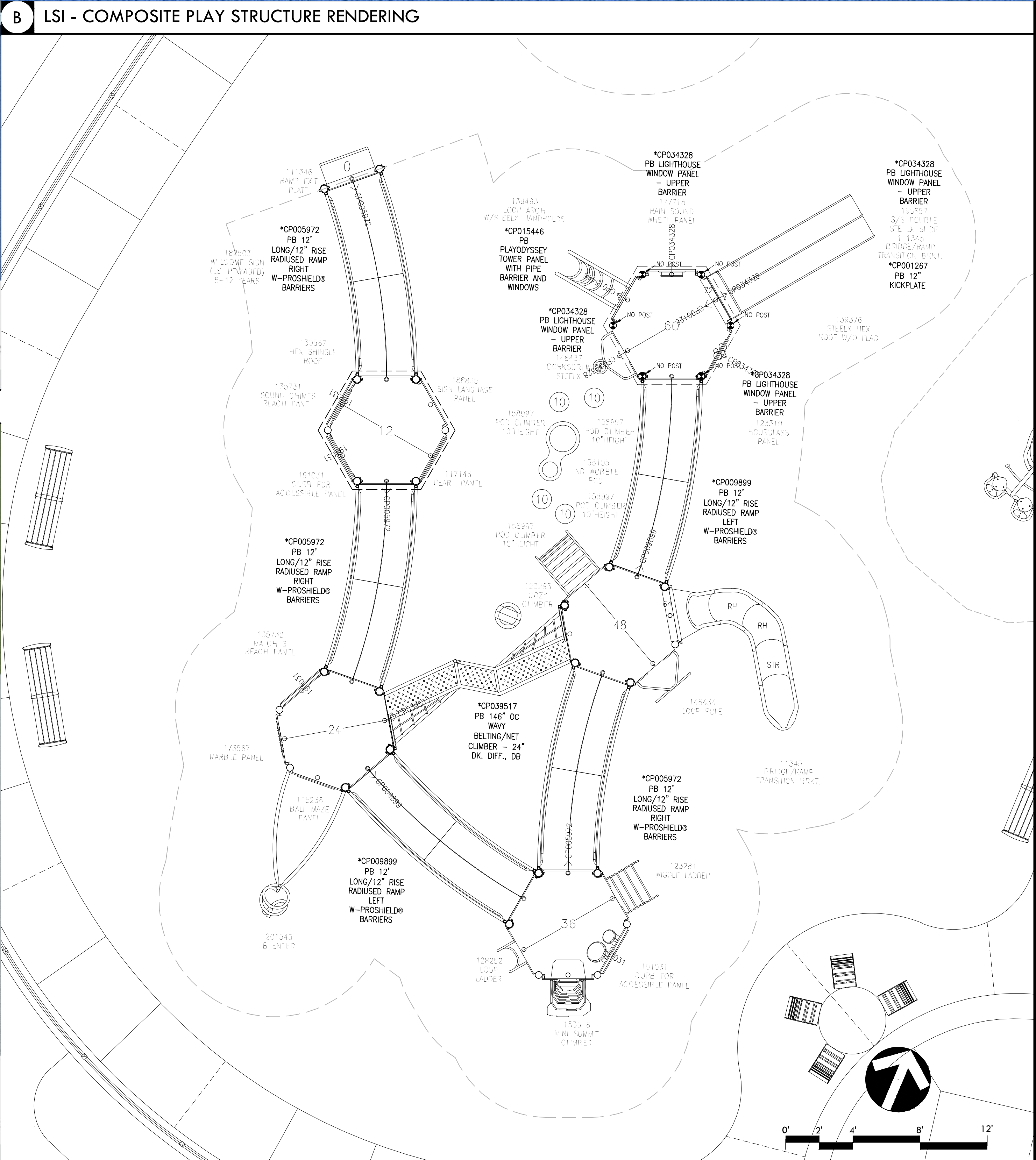
PLAY EQUIPMENT DETAILS

100% BID SUBMITTAL - 05/23/2025 - NOT FOR CONSTRUCTION - (CITY REVIEW - 05/19/25)

A 3D rendering of a modern playground structure. The structure is primarily blue and grey, with a central tower featuring a white conical roof. It includes multiple slides, climbing walls, and platforms. The playground is set on a blue safety mat. Several children are shown playing on the structure. The background shows a green lawn and trees. In the bottom right corner, there is a white box containing the logo for 'landscape structures' (a stylized 'ls' in red), the name 'Jade St. Park', the date '11/7/16 - 01/05/22 • 05.14.2025', and the logo for 'ROSS Recreation Equipment' (the word 'ROSS' in large black letters with a green dot over the 'O'). Below this box, the text '©2025 Landscape Structures. All Rights Reserved.' is visible.


Jade St. Park
 1174169-01-05-03 • 05.14.2025


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PLAY EQUIPMENT DETAILS

00% BID SUBMITTAL - 05/23/2025 - NOT FOR CONSTRUCTION - (CITY REVIEW - 05/19/25)



Project Number: 2300300
February, 2025



Treasure Cove Playground
Jade Street Park
City of Capitola
4400 Jade Street, Capitola, CA. 95010



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
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Users: katehenn/Dropbox/Jade St Restrooms/Drawings/Jade St Restrooms REMODEL V2 SET 042825.dgn

CONSTRUCTION NOTES:

CONTRACTOR TO COORDINATE DELIVERIES TO SITE, SITE ACCESS AND STORAGE LOCATIONS WITH CLIENT.

A. CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)-PROJECT CONSTRUCTION AND DEMOLITION ACTIVITIES SHALL COMPLY WITH THE CITY OR CAPITOLA'S STORM WATER BEST MANAGEMENT PRACTICES FOR CONSTRUCTION. SEE THE CITY WEBSITE AT:

HTTPS://WWW.CITYOFCAPITOLA.ORG/SITES/DEFAULT/FILES/FILEATTACHMENTS/PUBLIC_WORKS/PAGE/22530/STRM-BMP-1-B.PDF

B. MATERIALS STORAGE: OPEN BAGS OF PARTICULATE, GRANULAR OR POWDER MATERIALS (SUCH AS PLASTER OR CONCRETE) SHOULD BE STORED INSIDE IF POSSIBLE. IF STORED OUTSIDE, THEY MUST BE COVERED OR CLOSED, AND DURING THE RAINY SEASON KEPT WITHIN SECONDARY CONTAINMENT.

C. PAINT & CHEMICAL STORAGE: PAINTS, CHEMICALS, AND SOLVENTS MUST BE PROPERLY STORED INSIDE OR WITHIN A SHED WITH DOUBLE CONTAINMENT.

D. REFUSE: DUMPSTERS LIDS MUST BE KEPT CLOSED AND SECURED WHEN NOT IN USE.

E. CHECK THE SIDEWALK AND STREET DAILY DURING THE DEMOLITION AND CONSTRUCTION PHASES FOR SOIL OR SEDIMENT DRAG-OUT, AND SWEEP IF NEEDED.

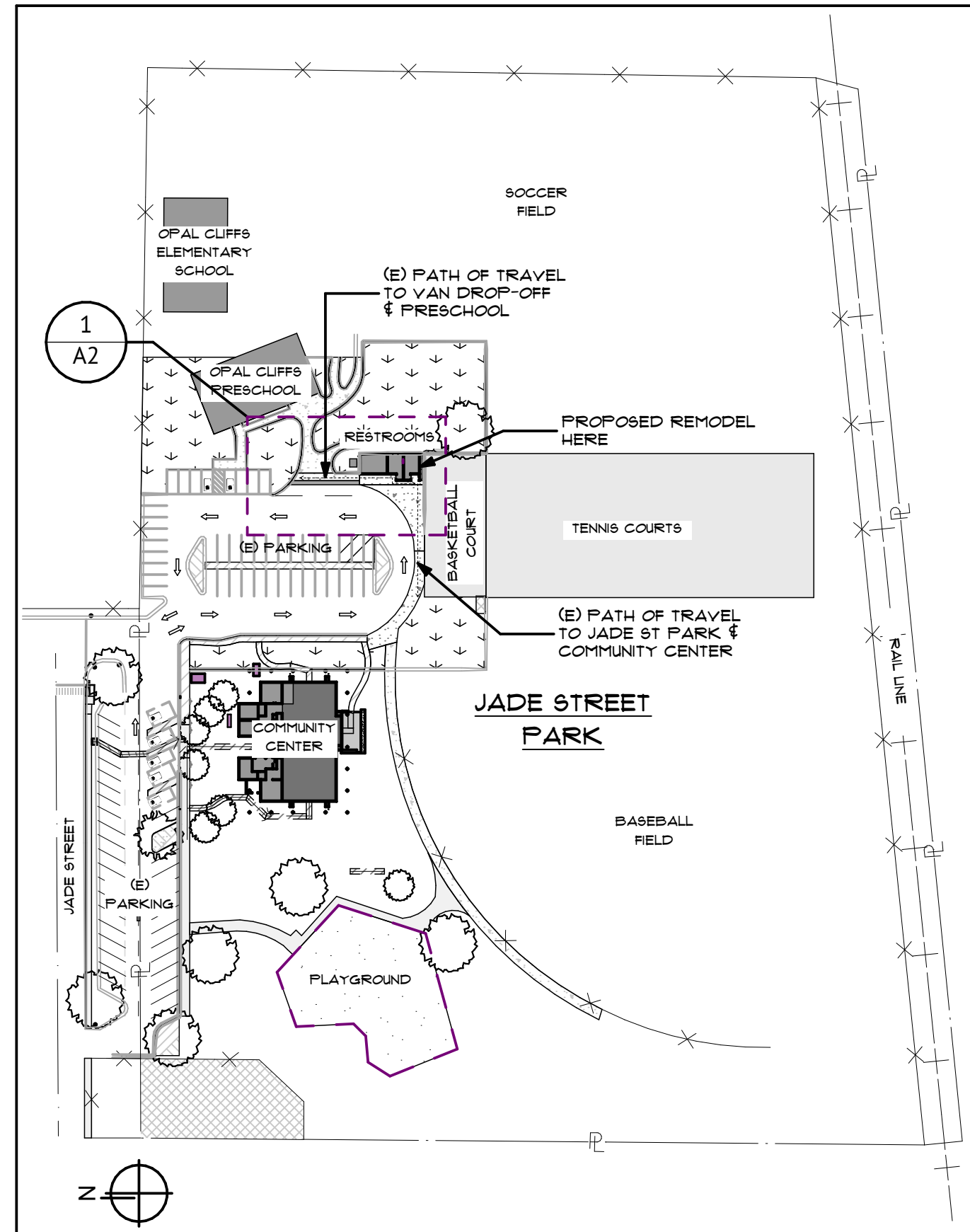
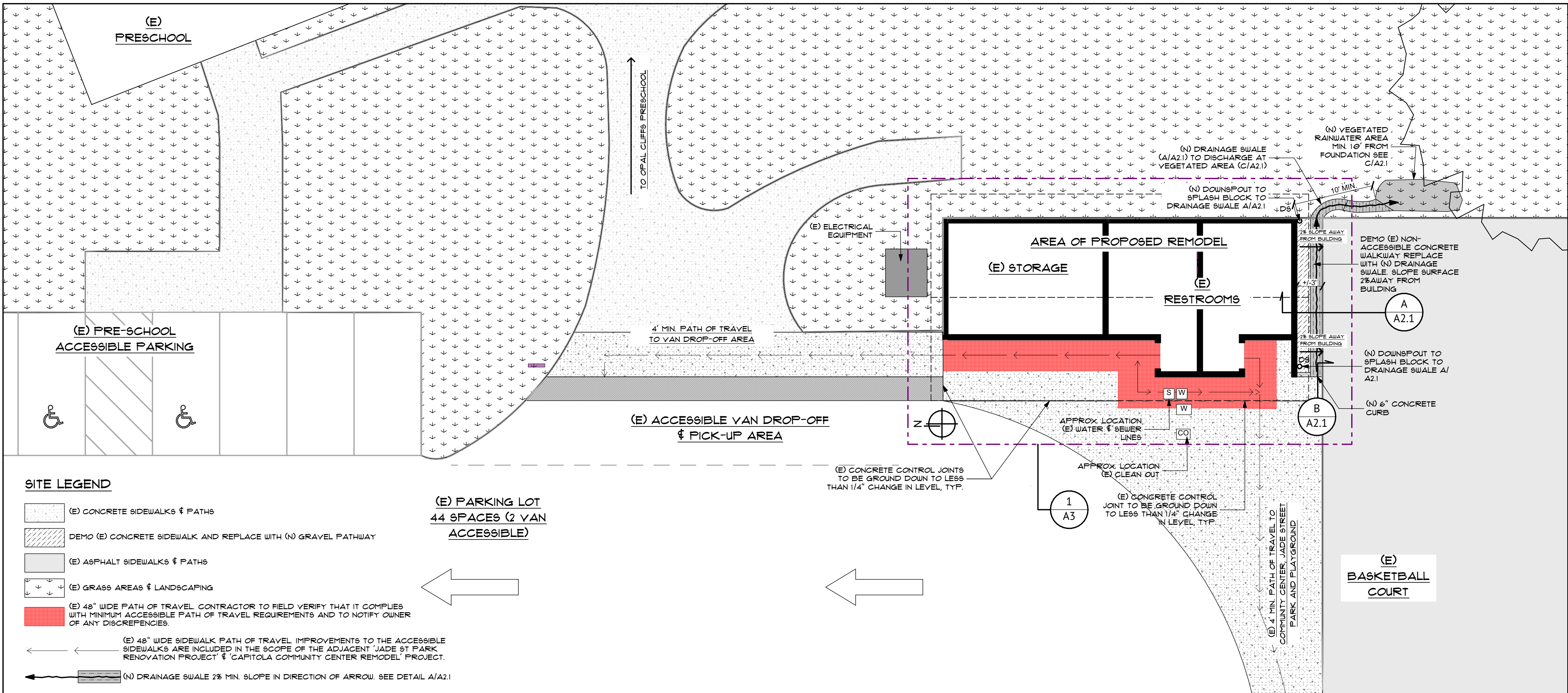
F. REGULARLY MAINTAIN PROJECT EROSION CONTROL MEASURES. CHECK REGULARLY FOR DAMAGE DURING CONSTRUCTION WORK. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH SIGNIFICANT RAIN EVENT AND NEEDED REPAIRS MADE IMMEDIATELY UPON DETECTION.

G. THE CALGREEN MANDATORY REQUIREMENTS ARE LOCATED ON SHEET CA1, 2 & 3

ACCESSIBLE PATH OF TRAVEL COMPLIANCE NOTES:

(E) ACCESSIBLE PATH OF TRAVEL IS PROVIDED ON SITE. IF THERE IS ANY NON-COMPLIANCE IN (E) P.O.T, IT MUST BE UPGRADED AS NEEDED TO COMPLY:

- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER FREE ACCESS ROUTE, 4' WIDE MINIMUM WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1/2" MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48 AND SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT BE STEEPER THAN 1:20.
- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
- IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL ACCESSIBLE ROUTE LEVELS TO SHOW COMPLIANCE WITH THE REQUIRED MAX. SLOPES AND CONDITIONS.
- ANY PLANTING/ TREES TO BE CUT-BACK OR REMOVED TO PROVIDE A CLEAR AREA OF 80" MINIMUM ABOVE WALKING SURFACE AND ANY PROTRUDING PLANTING TO BE CUT-BACK/ REMOVED.
- CONTRACTOR TO FIELD VERIFY THAT THERE ARE NO ABRUPT CHANGES IN LEVEL, AND TO GRIND DOWN/ REMOVE ANY THAT EXCEED THE MAX. CHANGES IN LEVEL STATED IN THE COMPLIANCE NOTES.
- CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY OF ANY AREAS OF NON-COMPLIANCE IN THE ACCESSIBLE PATHS.



2 WHOLE SITE PLAN
SCALE: 1" = 100'

1 SITE PLAN
SCALE: 1/8" = 1'-0"

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JADE STREET PARK RESTROOM REMODEL PROJECT

4400 JADE STREET
CAPITOLA, CA 95010

APN: 034-551-02

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY REVISIONS DATE

DRAFT BUILDING PERMIT SET	01/30/25
BUILDING PERMIT SET	06/20/25

Date: 6/11/25

Scale: AS NOTED

Drawn:

Job:

Sheet:

A2

Plotted On: 6/11/25

SITE PLAN

FLOOR PLAN LEGEND:

1. (N) SURFACE MOUNTED SOAP DISPENSER
2. GRAB BAR 42" LONG (SEE 12 § 16/AC1)
3. GRAB BAR 36" LONG (SEE 12 § 16/AC1)
4. (N) TOILET SEAT COVER DISPENSER SURFACE MOUNTED OPERABLE MECHANISM <40" AFF WITH CLEAR FLOOR AREA (SEE 15/AC1)
5. (N) SURFACE MOUNTED ADA COMPLIANT PAPER TOWEL DISPENSER CONTROL POINT @ MAX. 40" AFF, TYP.
6. (N) SURFACE MOUNTED DOUBLE TOILET TISSUE DISPENSER (SEE 14 § 15/AC1)
7. SANITARY NAPKIN DISPOSAL SURFACE MOUNTED (SEE 15/AC1)
8. (N) COAT HOOKS ON RESTROOM SIDE OF ALL DOORS @ 40"-48" AFF, TYP.
9. (N) ADULT CHANGE TABLE
10. SCREEN PARTITION/ URINAL SCREEN
11. (N) BABY CHANGE STATION
12. (N) MIRROR BOTTOM EDGE @ 40" MAX. AFF

SIGNAGE LEGEND:

SEE SHEET AC-2 FOR SIGNAGE DETAILS, MOUNTING HEIGHTS AND LOCATIONS ETC.

- (N) 12" ADA AND ALL GENDER RESTROOM DOOR SIGN INCLUDING WORD 'ALL-GENDER RESTROOM' AND ISA CENTERED ON RESTROOM DOORS
- (N) WALL-MOUNTED PICTOGRAM SIGN FOR ADA ALL-GENDER RESTROOMS. INCLUDES ROOM NAME AND TACTILE SIGNAGE. LOCATED AT LATCH SIDE OF BOTH RESTROOM DOORS
- RM.I.D. (N) TACTILE ROOM SIGN LOCATED AT LATCH SIDE OF DOOR

FLOOR PLAN NOTES:

NO PROPOSED WORK IN STORAGE ROOM OTHER THAN REPLACING GABLE END LOUVERED WINDOWS AND DOOR

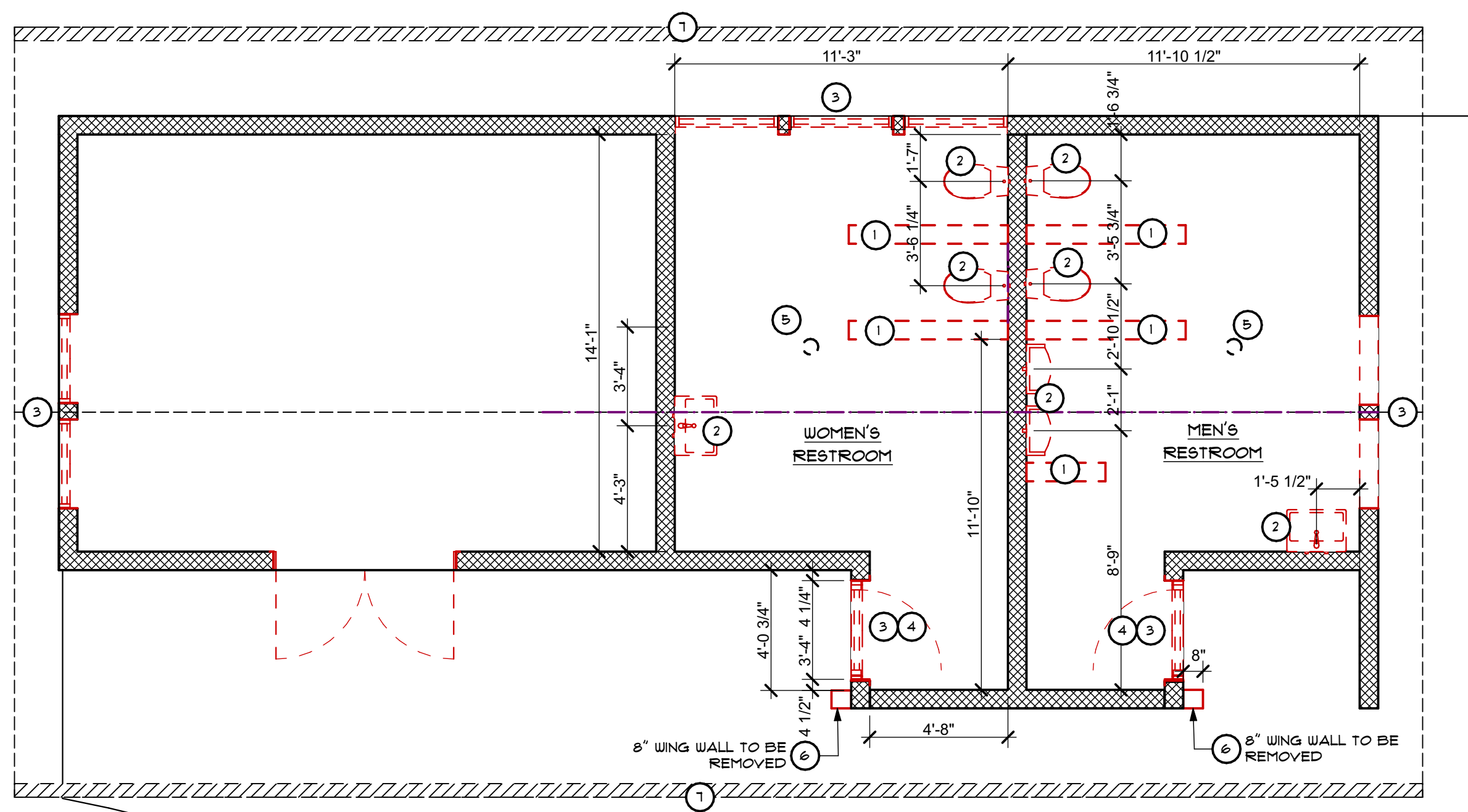
1. FLOOR TO BE LEVELED AND REFINISHED. MAX. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION. (E) FLOOR DRAIN TO BE REPLACED WITH (N) FLUSH WITH LEVEL OF (N) FLOOR FINISH
2. ALL VENT WINDOWS & SCREENED WINDOW OPENINGS TO BE REPLACED WITH (N)
3. (N) PAINT FINISH THROUGHOUT INTERIOR AND EXTERIOR
4. (E) DAMAGED RAFTER TAILS TO BE REPAIRED/ REPLACED AS REQUIRED
5. EXTERIOR PATH OF TRAVEL & ACCESSIBILITY UPGRADES ARE INCLUDED IN THIS SCOPE OF WORK AS SHOWN ON THE CIVIL PLAN

DEMO PLAN LEGEND:

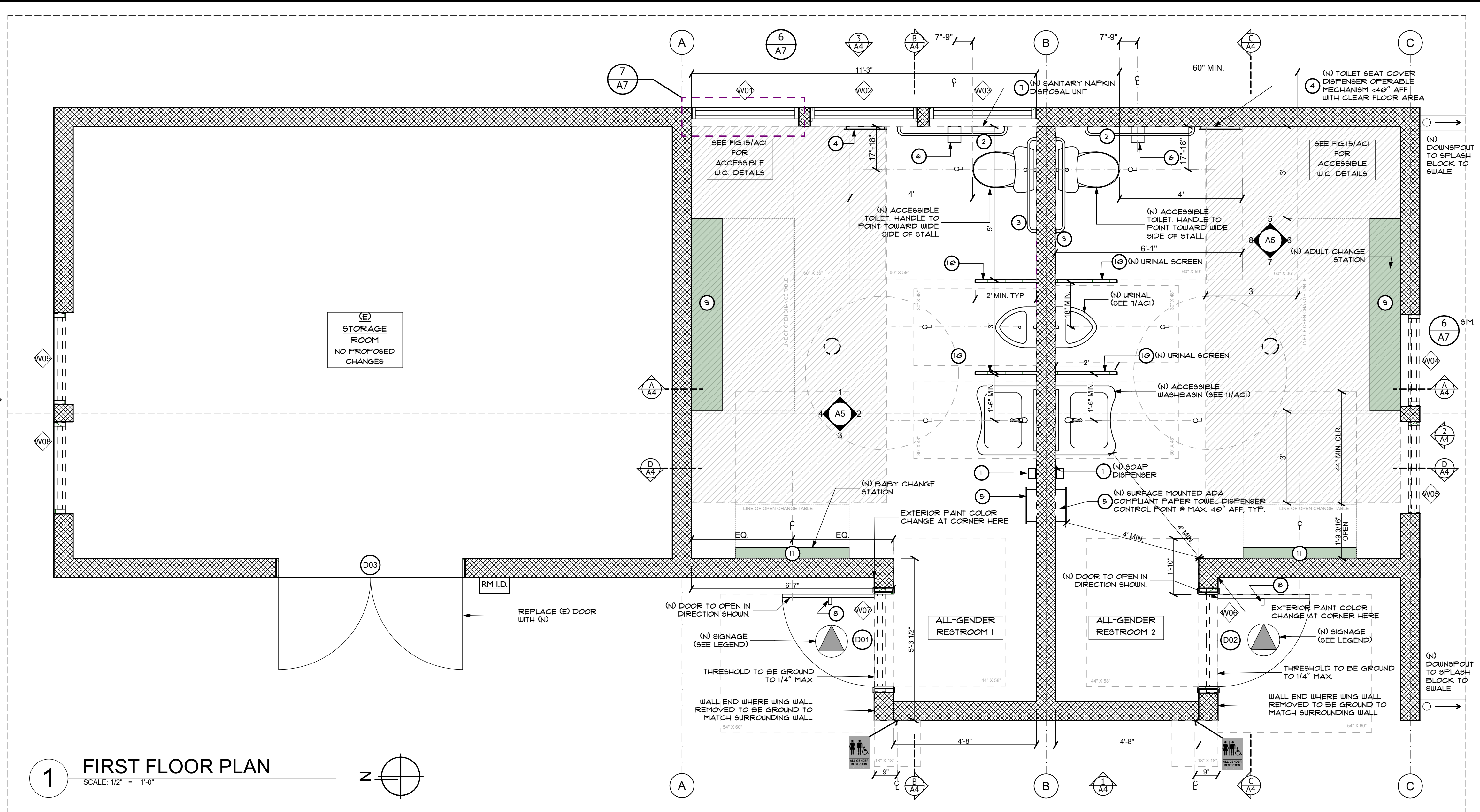
1. DEMO (E) SLUMP BLOCK DIVIDING AND SCREEN WALLS
2. DEMO (E) FIXTURES AND FITTINGS
3. DEMO (E) VENT WINDOWS, TYP. INCLUDE WINDOWS AT NORTH END OF BUILDING
4. DEMO (E) GATES. RETAIN (E) METAL FRAME. PATCH & REFINISH TO MATCH (N)
5. (E) DRAIN TO BE REMOVED AND RAISED TO BE FLUSH WITH (N) LEVELED FLOOR. POSSIBLE GRINDING OF (E) FLOOR TO ACHIEVE (N) LEVEL AND MAX. SLOPE.
6. CUTBACK (E) 8" SLUMP BLOCK WING WALLS TO CORNER AS SHOWN. PREP WALL SURFACE WHERE CUT TO MATCH FINISH OF (E) WALL.
7. CUT BACK (E) DAMAGED RAFTER TAILS AND EAVE. SEE DETAIL 1/A1

DEMO PLAN NOTES:

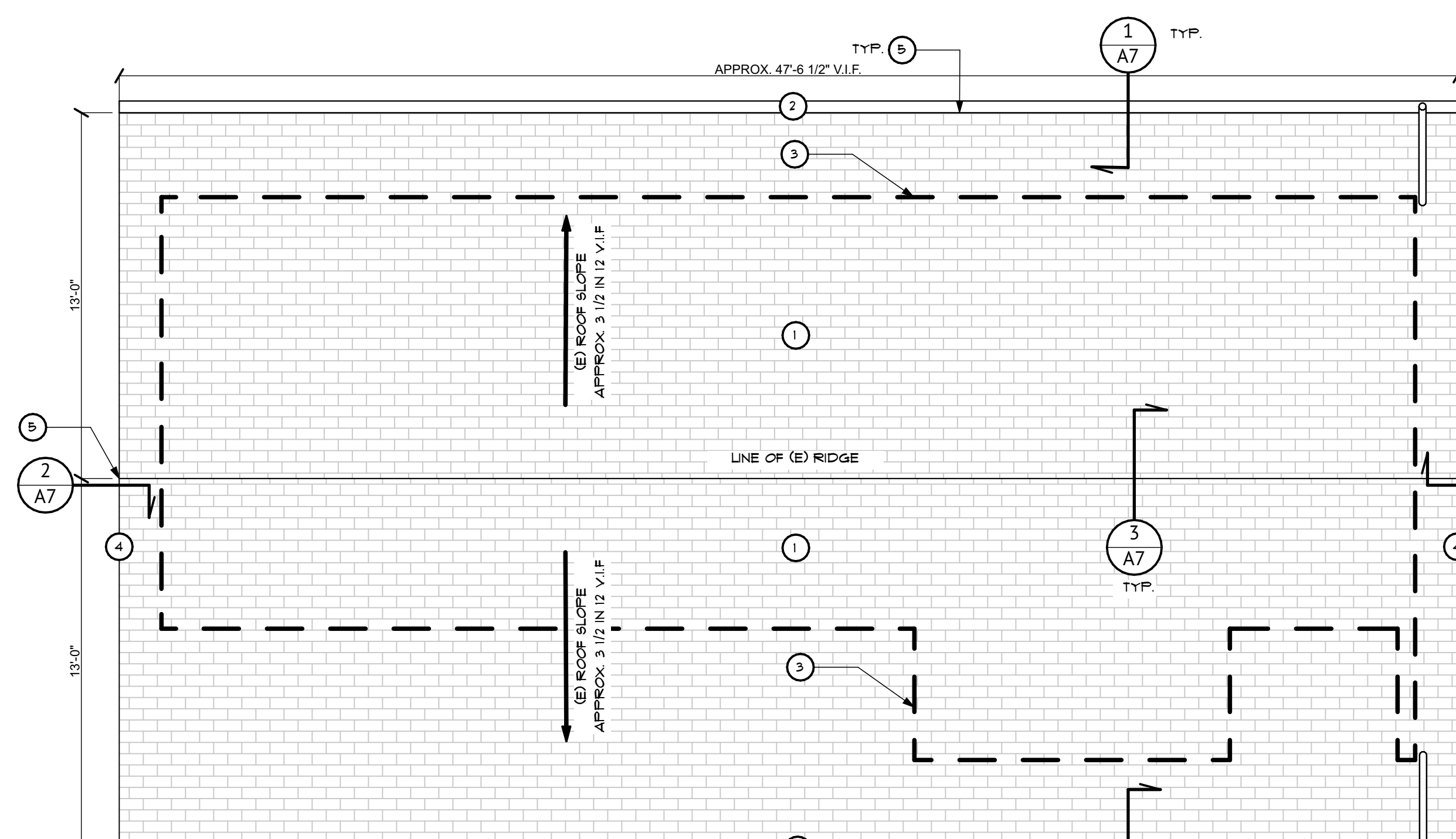
-CAP ALL (E) PLUMBING LINES



2 AS-BUILT & DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/2" = 1'-0"



3 ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES:

1. (E) ROOF FRAMING TO REMAIN. (N) 3/4" FLYWOOD SHEATHING, UNDERLAYMENT & ASPHALT SHINGLE ROOFING, TYP.
2. (E) DAMAGED RAFTER TAILS TO BE CUTBACK AND REPAIRED. (N) ROOF METAL BEAM CAPS WITH DRIP EDGE TO BE ADDED. CUT BACK SHEATHING AT EAVES. SEE DETAIL 1/A1.
3. (N) GUTTERS AND DOWNSPOUTS THROUGHOUT
4. (E) RIDGE BEAM TO BE CAPPED. (N) FASCIA BOARD AND FLASHING. SEE DETAIL 2/A1.

ROOF PLAN LEGEND:

1. (N) LIFETIME ASPHALT SHINGLE ROOFING WITH (N) SHEATHING & UNDERLAYMENT. COLOR SEE 'COLOR SCHEDULE' A6. GAP TIMBERLINE HDZ OR APPROVED EQUAL
2. (N) 5" RECTANGULAR GUTTERS, FLASHING & FASCIA
3. DASHED LINE INDICATES OUTLINE OF BUILDING BELOW
4. (N) FLASHING & FASCIA AT GABLE END
5. (N) CAPS ON RAFTER TAILS & RIDGE BEAM ENDS, TYP.

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4400 JADE STREET
CAPITOLA, CA 95010

APN: 034-551-02

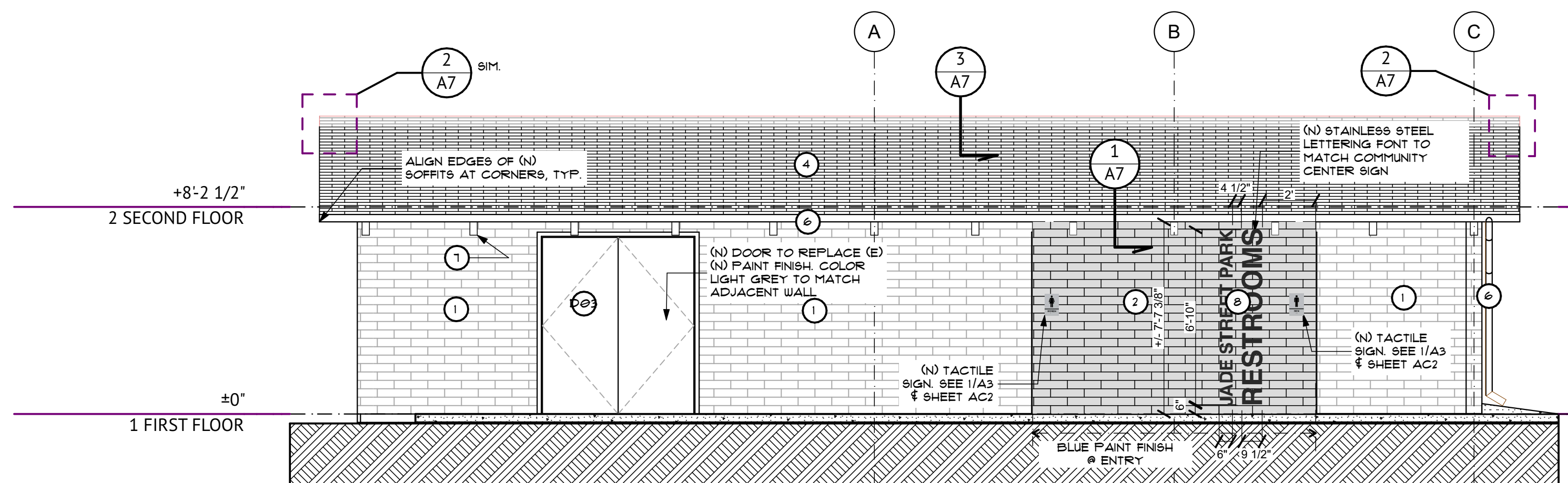
BY	REVISIONS	DATE
	DRAFT BUILDING PERMIT SET	01/30/25
	BUILDING PERMIT SET	06/20/25

Date: 6/11/25
Scale: AS NOTED
Drawn:
Job:
Sheet

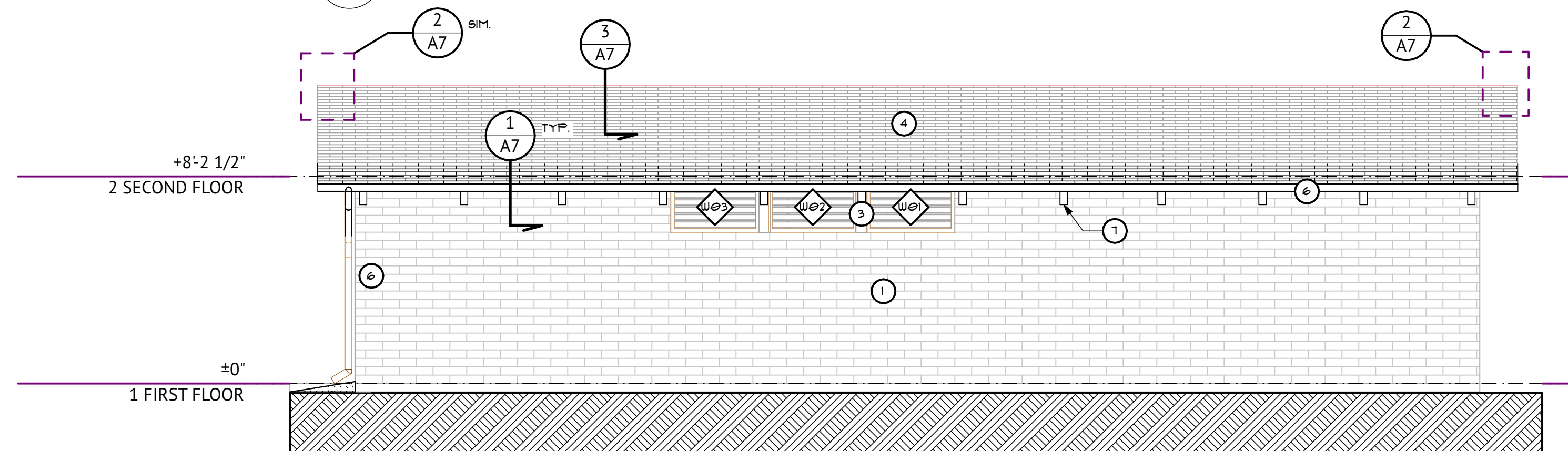
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Plotted On: 6/11/25

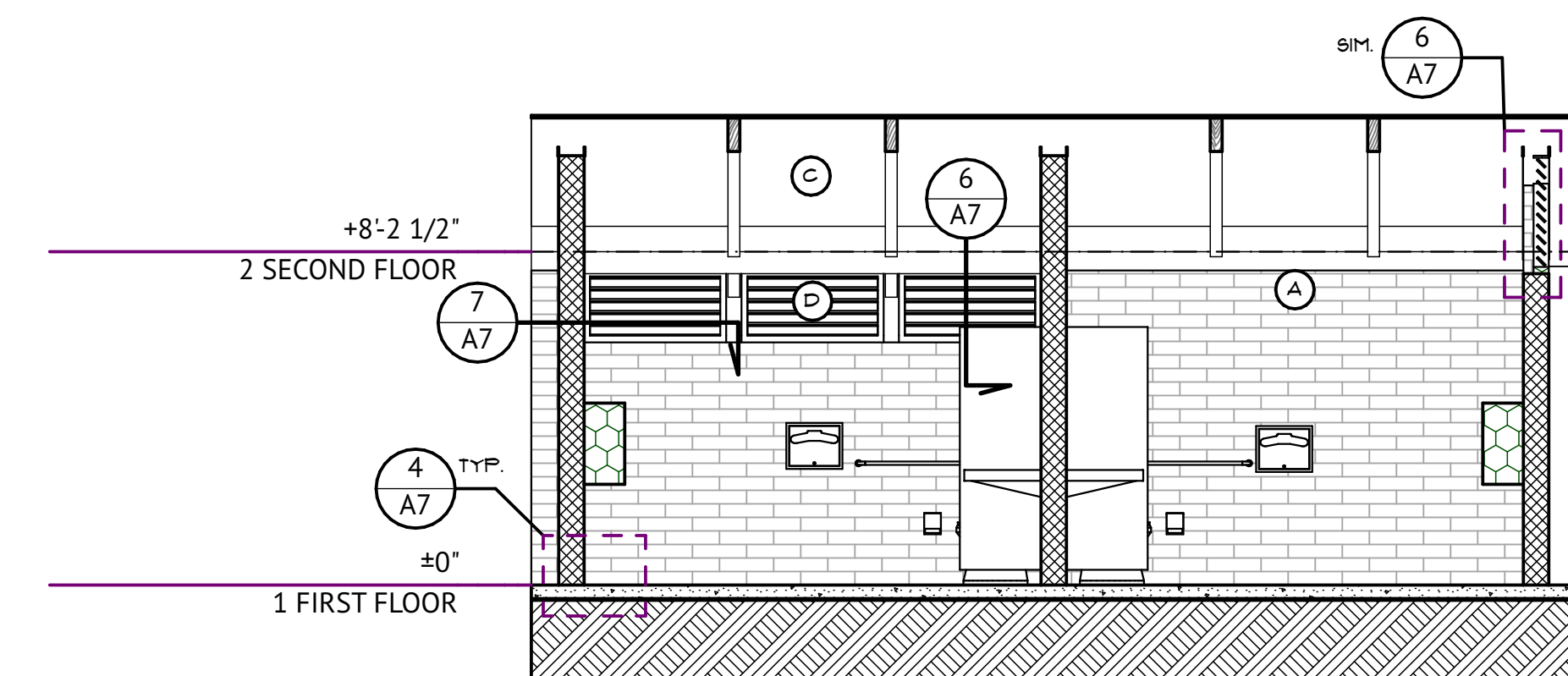
FLOOR PLANS



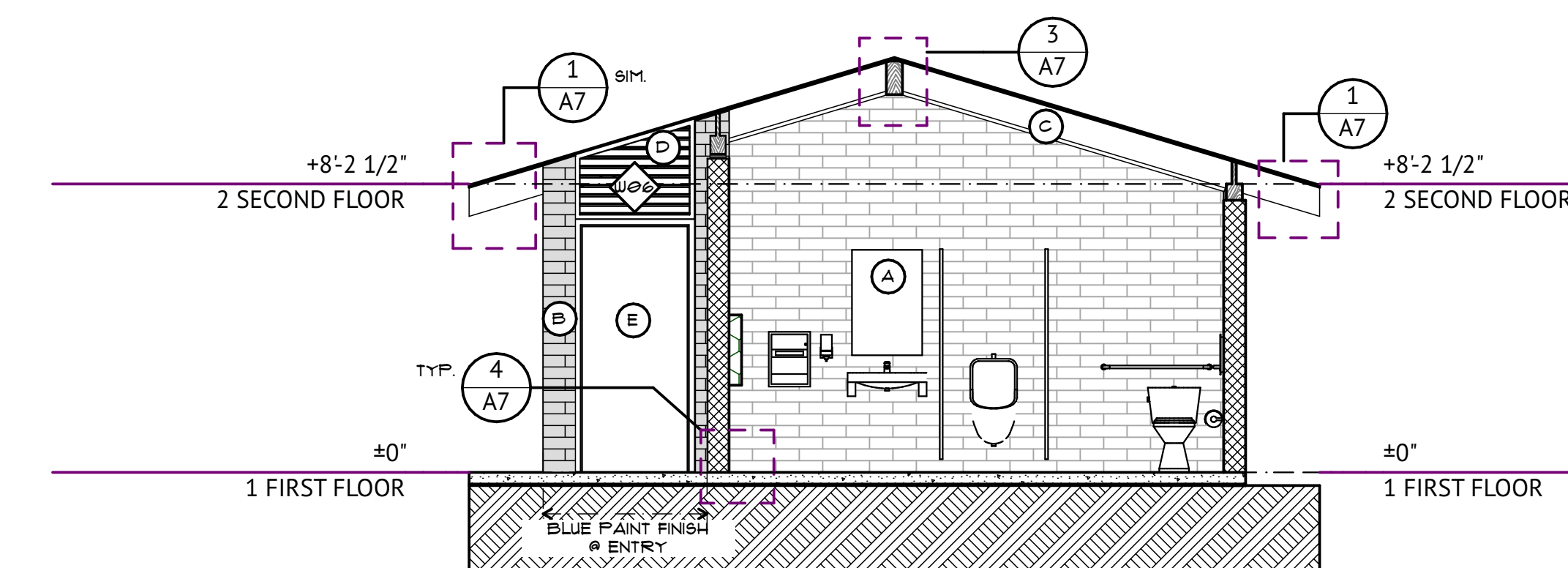
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



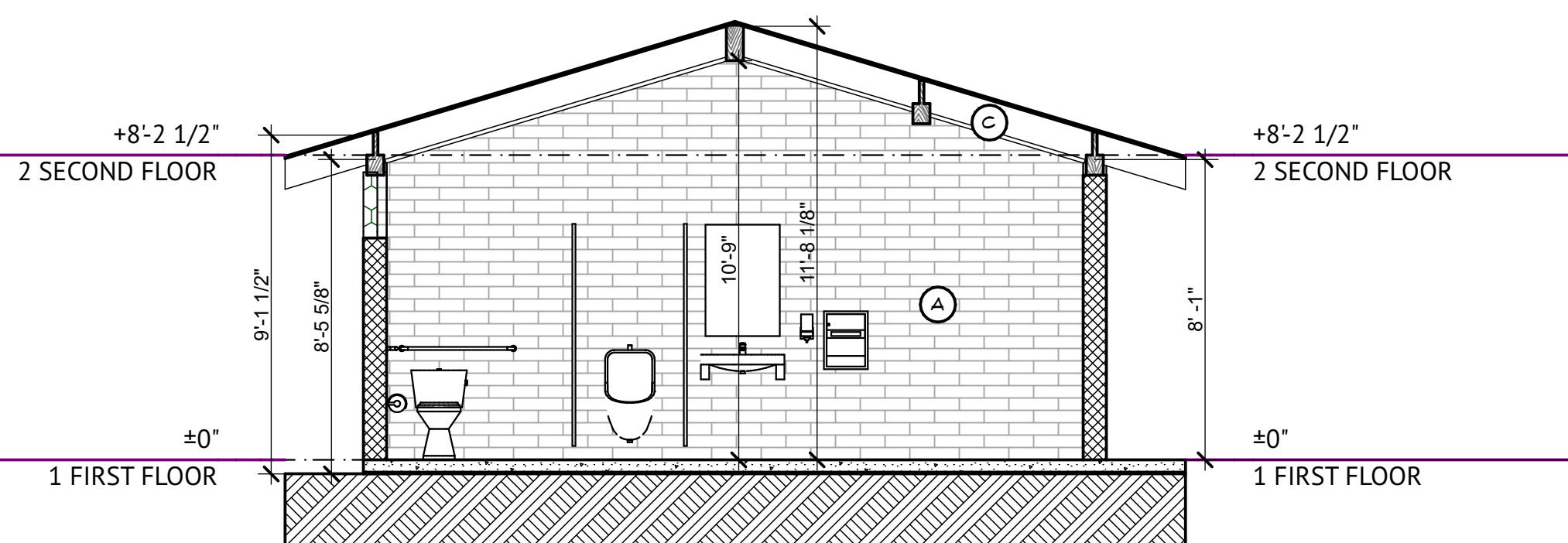
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



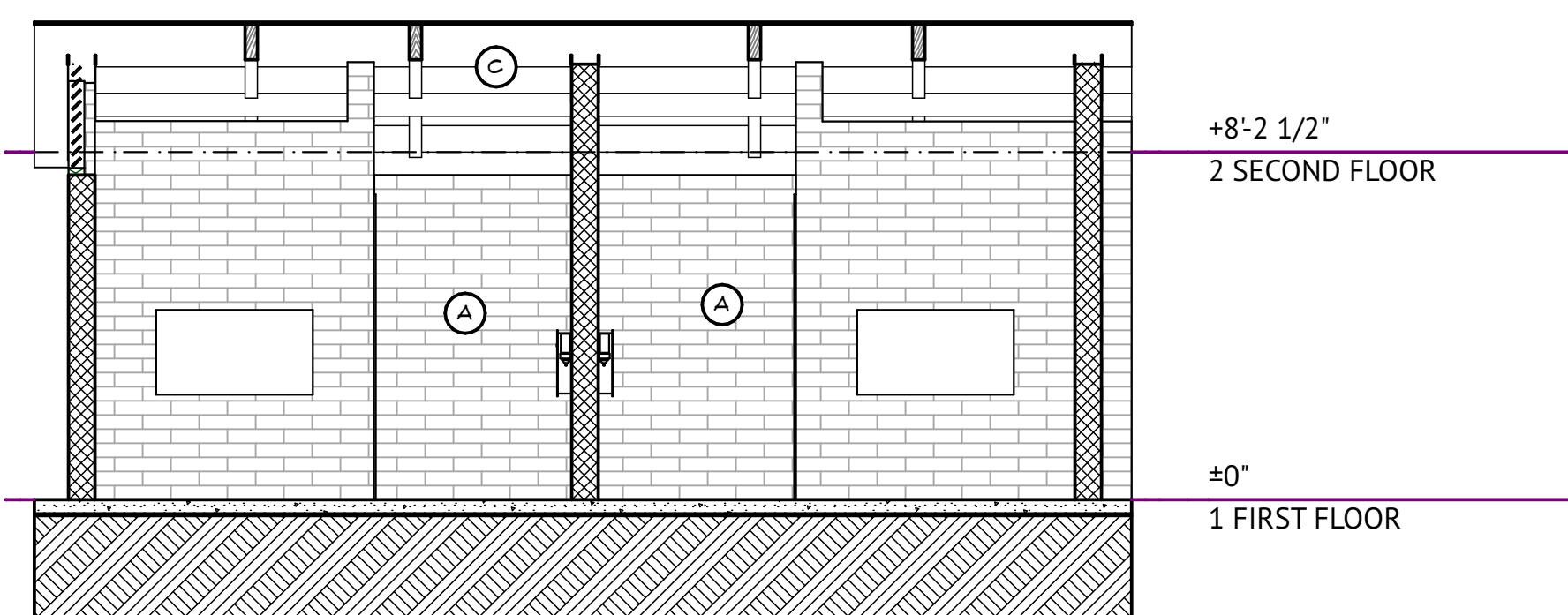
SECTION A
SCALE: 1/4" = 1'-0"



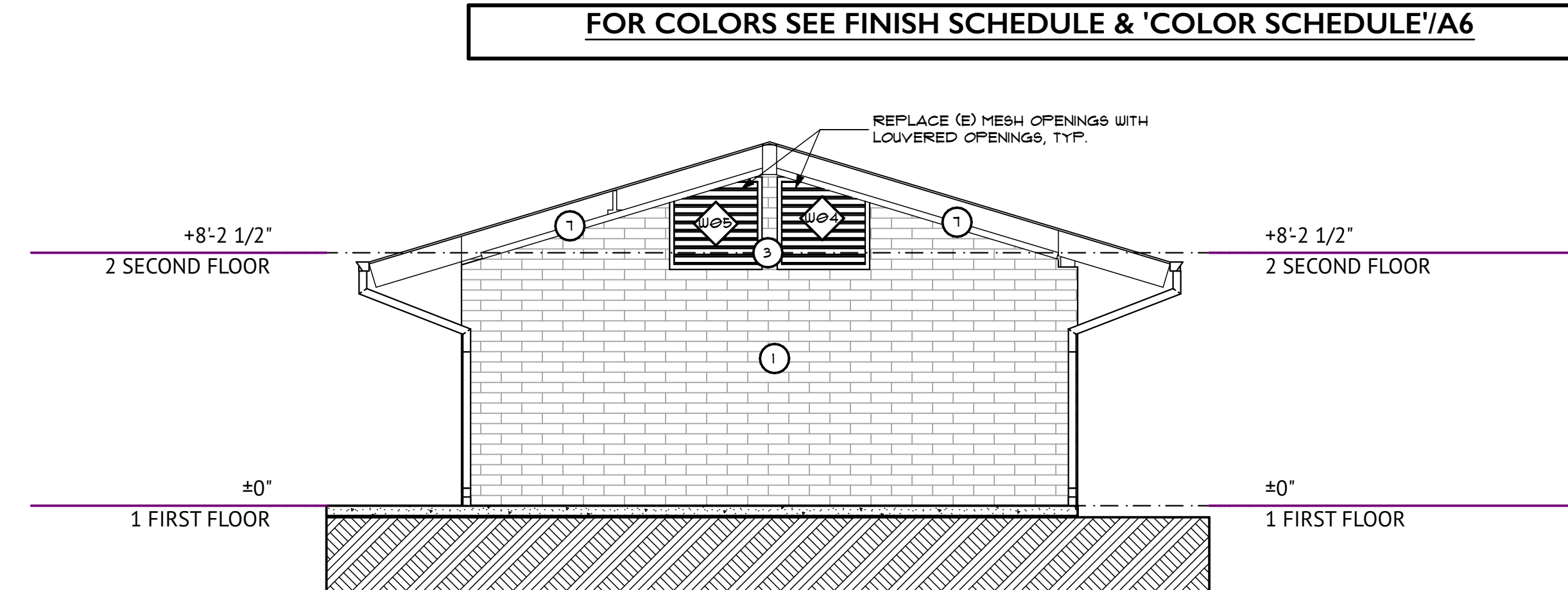
C **SECTION C**
SCALE: 1/4" = 1'-0"



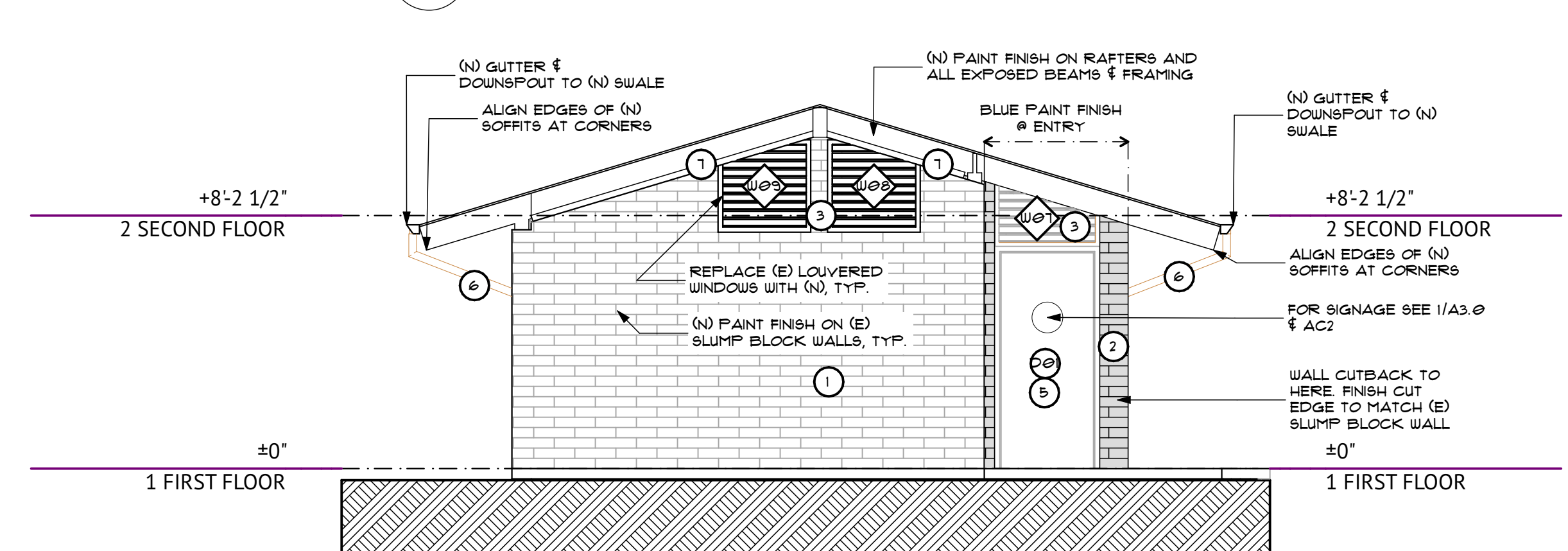
B SECTION B
SCALE: 1/4" = 1'-0"



D SECTION D
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"


ELEVATION KEYNOTES:

1. (N) PAINT FINISH AT (E) SLUMP BLOCK WALL & EXTERIOR IN MATT LIGHT GREY FINISH (SEE COLOR SCHEDULE/A6). MATCH (E) SLUMP BLOCK WALL TEXTURE AND APPEARANCE WITH TROUBLEFAIR ENGINEERED CEMENT.
2. (N) PAINT FINISH AT (E) SLUMP BLOCK WALL @ EXTERIOR ENTRY IN BLUE FINISH (SEE COLOR SCHEDULE/A6)
3. FIXED VENTED WINDOW SHEET METAL WITH MESH SCREENS IN DARK GREY/ BLACK
4. GAP TIMBERLINE HDZ ASPHALT SHINGLE IN FOX HOLLOW LIGHT GREY
5. (N) METAL GATED ENTRY IN DARK GREY/ BLACK
6. (N) GUTTERS WHITE FINISH TO MATCH SOFFIT @ EXPOSED RAFTERS & BEAMS. (N) DOWNSPOUTS PAINT TO MATCH ADJACENT WALL COLOR
7. (N) WHITE PAINT FINISH ON EXPOSED RAFTERS, BEAMS, TRIM & SOFFIT
8. (N) LETTERING TO BE MATT FINISH HIGH QUALITY STAINLESS STEEL, FONT TO MATCH (N) COMMUNITY CENTER SIGNAGE. PLEASE PROVIDE SHOP DRAWINGS FOR APPROVAL

SECTION KEYNOTES

- (A) 1. (E) SLUMP BLOCK WALL AT INTERIOR TO HAVE EPOXY FINISH IN WHITE (SEE 'COLOR SCHEDULE/A6)
- (B) 2. (N) PAINT FINISH AT (E) SLUMP BLOCK WALL @ EXTERIOR ENTRY IN BLUE FINISH (SEE 'COLOR SCHEDULE/A6)
- (C) 3. (N) WHITE PAINT FINISH ON EXPOSED RAFTERS, BEAMS, TRIM & SOFFIT
- (D) 4. FIXED VENTED WINDOW SHEET METAL WITH MESH SCREENS IN DARK GREY/BLACK
- (E) 5. (N) METAL GATED ENTRY IN DARK GREY/BLACK TBD (SEE 'COLOR SCHEDULE/A6)

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4400 JADE STREET
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APN: 034-551-02

← 1" ACTUAL →

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BY	REVISIONS	DATE
	DRAFT BUILDING PERMIT SET	01/30/25
	BUILDING PERMIT SET	06/20/25
Date:	6/11/25	
Scale:	AS NOTED	
Drawn:		
Job:		
Sheet		

A4

Plotted On: 6/11/25

BUILDING ELEVATIONS & SECTIONS

CAPITOLA COMMUNITY CENTER IMPROVEMENT PROJECT

ADD ALTERNATE
LANDSCAPE PLAN
100% CONSTRUCTION DOCUMENTS
BUILDING PERMIT SET

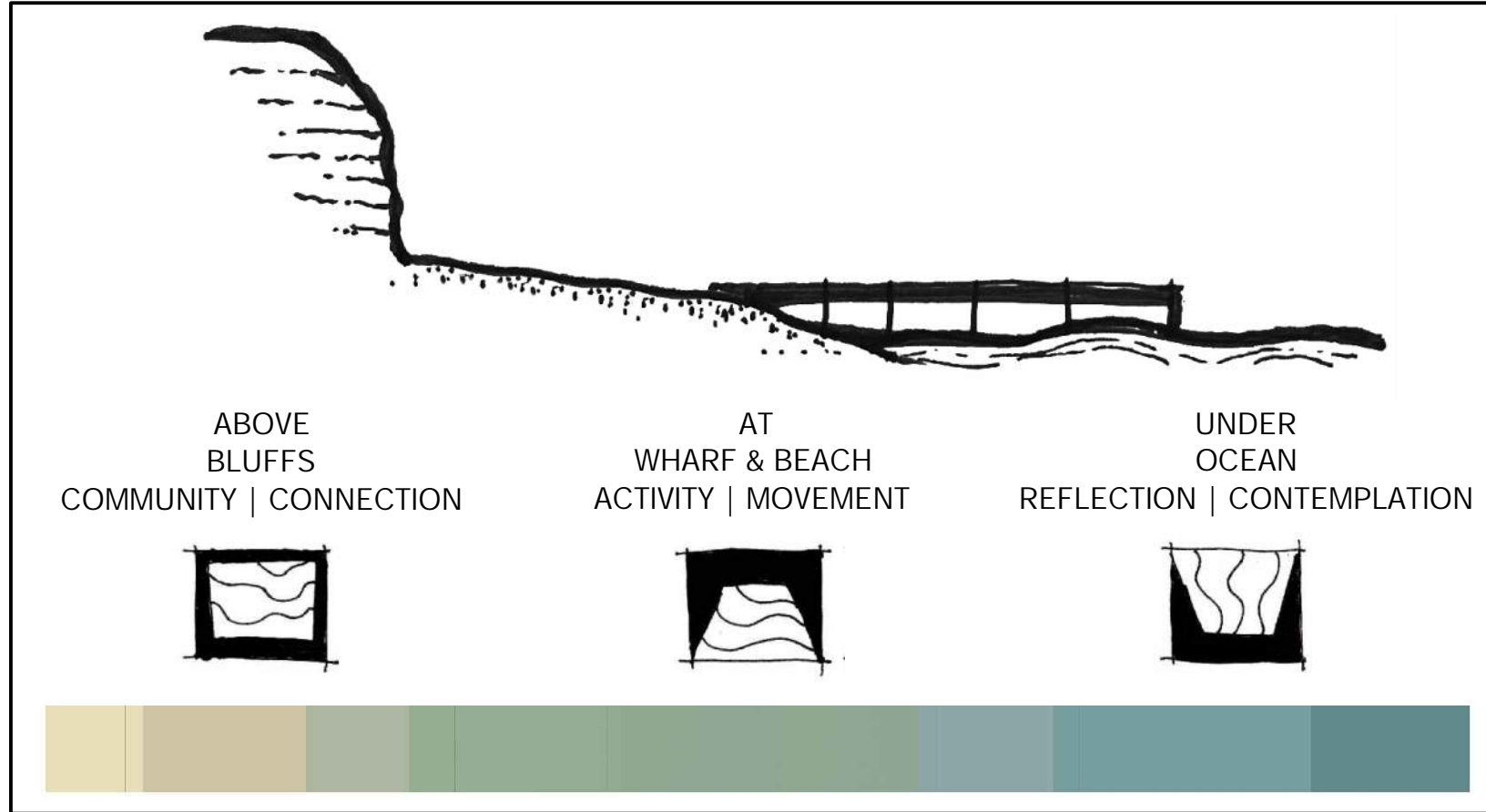
4400 Jade Street, Capitola CA

APRIL 24, 2024

ABBREVIATIONS

& ∠ @ ⊕	AND ANGLE AT CENTERLINE DIAMETER OR ROUND POUND OR NUMBER ADJ. AGGR. AL. APPROX. ARCH. A.C. ACC. B.C.R.	D.A. DET. DIA. DIM. DN. DWGS E EJ EL. ELEC. EQ EXP. EXT. FG FS FOW FOB FOC GA. GALV. GND. GR. HDR HT LT MAX MET. MFR. MIN. MTD. MTL	DISABLED ACCESS DETAIL DIAMETER DIMENSION DOWN DRAWINGS EXISTING EXPANSION JOINT ELEVATION ELECTRICAL EQUAL EXPANSION EXTERIOR FINISH GRADE FINISH SURFACE FACE OF WALL FACE OF BUILDING FACE OF CURB GAUGE GALVANIZED GROUND GRADE HEADER HEIGHT LIGHT MAXIMUM METAL MANUFACTURER MINIMUM MOUNTED MATERIAL	N NIC NTS O.C. O.C.E.W. OD PA PRCST. PIP POT RVC QTY R RAD REINF. REQ. SCH SHT. SPEC. S.S. STD STRL. T T.C. T.O.S. T.O.W. TYP TBS UBC VERT. W/ W/O	NEW NOT IN CONTRACT NOT TO SCALE ON CENTER ON CENTER EACH WAY OUTSIDE DIAMETER (DIM.) PLANTING AREA PRECAST POURED IN PLACE POINT OF TANGENCY POLYVINYL CHLORIDE QUANTITY RISER RADIUS REINFORCED REQUIRED SCHEDULE SHEET SPECIFICATION STAINLESS STEEL STANDARD STRUCTURAL TREAD TOP OF CURB TOP OF SLOPE TOP OF WALL TYPICAL TO BE SELECTED UNIFORM BUILDING CODE VERTICAL WITH WITHOUT
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CONCEPT GRAPHIC



GENERAL NOTES

- REFER TO SURVEY DATED MARCH 15, 2023 FOR EXISTING CONDITIONS. DO NOT START WORK UNTIL ALL PROTECTIONS ARE IN PLACE.
- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES. WHEREVER THESE DRAWINGS VARY FROM THOSE CODES AND/OR ORDINANCES, THE CONTRACTOR IS TO FOLLOW THE DRAWINGS AS LONG AS THEY MEET OR EXCEED THE CODES AND/OR ORDINANCES. IF THE DRAWINGS DO NOT COMPLY WITH CODE, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO: SETBACKS, EASEMENTS, PROPERTY LINES, RIGHT-OF-WAYS, TOP AND BOTTOM OF SLOPES, UTILITIES, STRUCTURES, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IN WRITING FOR RESOLUTION BEFORE BEGINNING WORK.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT OBSTRUCTIONS, DISCREPANCIES AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS AND THE PREPARATION OF THESE DRAWINGS. IMMEDIATELY BRING SUCH DISCREPANCIES TO ATTENTION OF OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO EXECUTING WORK.
- UNDERTAKE EXCAVATION IN VICINITY OF UTILITIES AND EXISTING IMPROVEMENTS WITH GREAT CARE. ASSUME FULL RESPONSIBILITY IF THESE IMPROVEMENTS ARE DAMAGED DUE TO CONTRACTOR'S NEGLIGENCE.
- PROVIDE CONTINUOUS COORDINATION WITH OWNER'S REPRESENTATIVE AND DESIGN DRAWINGS.
- NOTIFY UNDERGROUND "DIG ALERT" SERVICE AT 811 AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OPERATIONS.
- PRIOR TO INSTALLING HARDSCAPE ELEMENTS, REVIEW LOCATIONS OF UTILITY ELEMENTS SUCH AS JUNCTION BOXES, GFCI'S, METERS, CONDUITS, CLEAN-OUTS, COVERS, ETC., WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ENSURE THAT ROUGH GRADE HAS BEEN ACCEPTED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO BEGINNING HARDSCAPE LAYOUT AND FINE GRADING.
- NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF FIVE (5) WORKING DAYS IN ADVANCE PRIOR TO SCHEDULING A CONTRACTOR-REQUESTED SITE VISIT. LANDSCAPE ARCHITECT TO REVIEW ROUGH GRADING, UTILITY PLACEMENT, HARDSCAPE/FENCE LAYOUT, PLANTING AND OTHER SITE FEATURES.
- CONTRACTOR TO VERIFY QUANTITIES BASED ON FIELD MEASUREMENTS.

CONCEPT STATEMENT

THE DESIGN CONCEPT IS INSPIRED BY THE NATURAL ELEMENTS OF THE CAPITOLA AREA, WHICH INCLUDES 1) OCEAN, 2) WHARF AND BEACH, AND 3) BLUFFS AND GEOLOGIC PURISIMA FORMATION. THESE THREE ENTITIES INFORM THE LANDSCAPE AND ARCHITECTURAL DESIGN, AS WELL AS TIE INTO THE COMMUNITY CENTER'S USES AND PROGRAMS.

1) OCEAN: THE CONCEPT IS UNDER, INCORPORATING QUIET, PEACEFUL SPACE WITH COOL COLORS AND A WATER FEATURE. THIS AREA HOLDS THE COMMUNITY CENTER'S ART, MEDITATION AND MINDFULNESS CLASSES.

2) WHARF AND BEACH: THE CONCEPT IS AT, THE PLACE OF TRANSITION, WHERE ONE ENTERS, ARRIVES, AND UNITES. THE MATERIALS ARE INSPIRED BY THE WHARF AND BEACH.

3) CLIFFS AND GEOLOGIC PURISIMA FORMATION: THE CONCEPT IS ABOVE, WHERE THE COMMUNITY GATHERS AND ENGAGES, AND ACTIVITY IS OUTWARD AND SOCIAL. THIS SPACE HAS AN EXPANSIVE PATIO OF DECORATIVE CONCRETE PAVING, INSPIRED BY THE OCEAN WAVES LAPPING THE BEACH. A LAYERED "FOSSIL" SEDIMENTARY WALL ANCHORS ONE CORNER, WHILE THE OTHER CORNER HOLDS A STAGE.

PROJECT DIRECTORY

CLIENT: CITY OF CAPITOLA

CITY OF CAPITOLA PUBLIC WORKS DEPARTMENT
PROJECT MANAGER: JESSICA KAHN
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MONTEREY BAY, INC.
ELDRIDGE O. BELL, P.E.: ELDRIDGE@ACEMB.COM
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(831) 646 3330

MECHANICAL ENGINEER: COLEBREIT + AXIOM ENGINEERS
SEAN L. RING, PE: SEAN@AXIOMENGINEERS.COM
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ENGINEERING, INC.
ANDREW RADOVAN: ANDREW@RADOVAN.US
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(831) 459 7296

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JONI L. JANECKI: JIJ@JLJA.COM
ERICA DREW: EDREW@JLJA.COM (PROJECT MANAGER)
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(831) 423 6040

CIVIL ENGINEER: IFLAND ENGINEERS
JON IFLAND: JONIFLAND@IFLANDENGINEERS.COM
1509 SEABRIGHT AVE, SUITE 1B, SANTA CRUZ CA 95062
O (831) 426 5313 X206
D (831) 316 3573

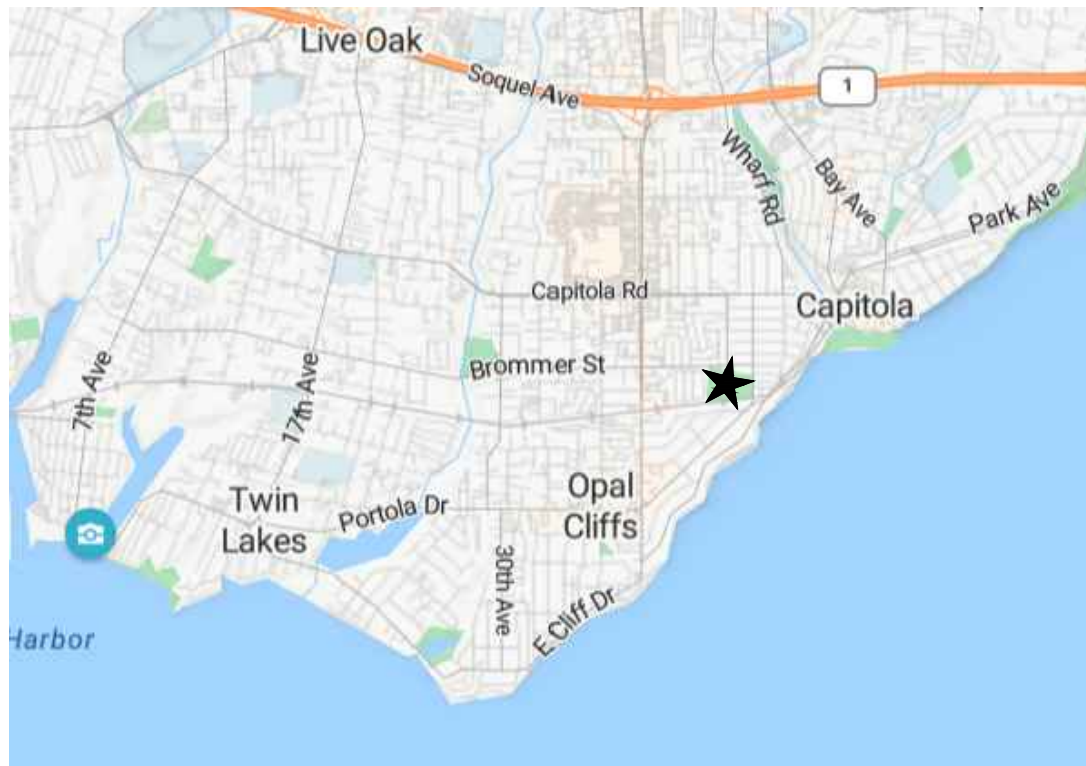
ACOUSTIC CONSULTANT: SONICS ESD
JIM BARATH, PH.D., INCE: JIM@SONICSESD.COM
40 RAGSDALE DRIVE SUITE 130, MONTEREY CA 93940
(831) 646 9711

COST ESTIMATOR: LELAND SAYLOR ASSOCIATES
JEFF SAYLOR: JSAYLOR@LELANDSAYLOR.COM
1777 OAKLAND BLVD, SUITE 103, WALNUT CREEK CA 94596
(925) 330 2642

SHEET INDEX

SHEET NUMBER	SHEET TITLE
L0.0A	LANDSCAPE TITLE SHEET
L0.1A	TREE REMOVAL & PROTECTION PLAN
L1.0A	LANDSCAPE MATERIALS PLAN
L1.1A	MATERIALS LAYOUT PLAN
L1.2A	LANDSCAPE MATERIALS DETAILS
L1.3A	STAGE ELEVATIONS AND SECTIONS
L1.4A	LANDSCAPE MATERIALS DETAILS
L1.5A	LANDSCAPE MATERIALS DETAILS
L1.6A	LANDSCAPE MATERIALS DETAILS
L1.7A	LANDSCAPE MATERIALS DETAILS
L2.0A	IRRIGATION PLAN
L2.1A	IRRIGATION LEGEND & NOTES
L2.2A	IRRIGATION DETAILS
L2.3A	IRRIGATION DETAILS
L2.4A	IRRIGATION DETAILS
L2.5A	IRRIGATION DETAILS
L3.0A	PLANTING PLAN
L3.1A	PLANT SCHEDULE AND NOTES
L3.2A	PLANTING DETAILS

VICINITY MAP



REVISIONS AND RECORD OF ISSUE:

NO.	DATE	DESCRIPTION
1.	10/03/2023	MINOR DESIGN PERMIT
2.	10/27/2023	50% CD
3.	02/07/2024	100% CD SET, ADD ALTERNATE
4.	04/24/2024	BUILDING PERMIT SET
5.		ADD ALTERNATE
6.		

PROPOSED LANDSCAPE ARCHITECT

J. L. JANECKI

No. 33953

Exp. 9/24/24

STATE OF CALIFORNIA

JONI L. JANECKI & ASSOCIATES

515 SWIFT ST, SANTA CRUZ CA 95060

PHONE 831.423.6040 | WWW.JLJA.COM

California Landscape Architect License 3183

PROJECT:

CAPITOLA COMMUNITY CENTER
IMPROVEMENT PROJECT
4400 JADE STREET, CAPITOLA CA

SHEET TITLE:

LANDSCAPE TITLE SHEET

SCALE:
DRAWN BY:
DATE:

MO/ED
04/24/2024

L0.0A

1. EXISTING TREES SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PREPARED BY IFLAND SURVEY DATED 03/15/2023. EXACT SPECIES, SIZE, CANOPY AND HEALTH TO BE CONFIRMED PENDING COMPLETION OF ARBORIST REPORT.
2. TREE MITIGATION: TWO NEW 24-INCH BOX OR LARGER TREES SHALL BE PLANTED FOR EVERY ONE TREE REMOVED OR AS SPECIFIED BY CERTIFIED PROJECT ARBORIST AND ACCEPTED BY THE COMMUNITY DEVELOPMENT DIRECTOR AND/OR DESIGNEE, PER CITY OF CAPITOLA REQUIREMENTS. REFER TO PLANTING PLAN, L3.0.
3. TREE PRUNING AND REMOVAL OPERATIONS: ALL TREE PRUNING OR REMOVALS SHOULD BE PERFORMED BY A QUALIFIED ARBORIST WITH A C-61/D-49 CALIFORNIA CONTRACTORS LICENSE. TREE PRUNING SHOULD BE SPECIFIED ACCORDING TO ANSI A-300A PRUNING STANDARDS AND ADHERE TO ANSI Z133.1 SAFETY STANDARDS. TREES THAT NEED TO BE REMOVED OR PRUNED SHOULD BE IDENTIFIED IN THE PRE-CONSTRUCTION WALK THROUGH.
14. TREE PROTECTION ZONE (TPZ): THE TREE PROTECTION ZONE (TPZ) OF EXISTING TREES IS CALCULATED AS: DBH INCHES = RADIUS OF TPZ IN FEET.
15. PROHIBITED ACTIVITIES WITHIN TPZ: NO STORAGE OF CONSTRUCTION MATERIALS, DEBRIS, OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TREE PROTECTION ZONE. SPOILS FROM THE TRENCHING SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE EITHER TEMPORARILY OR PERMANENTLY. CONSTRUCTION PERSONNEL AND EQUIPMENT SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. ALL CONSTRUCTION ACTIVITIES MUST BE EXCLUDED FROM TREE PROTECTION ZONES, UNLESS SUCH ENCROACHMENTS ARE UNAVOIDABLE, IN WHICH CASE THE PROJECT ARBORIST MUST PROVIDE SUPERVISION REGARDING ROOT PROTECTION AND PRESERVATION.
8. PRE-CONSTRUCTION MEETING WITH PROJECT ARBORIST: PRIOR TO BEGINNING WORK, ALL CONTRACTORS SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH THE PROJECT ARBORIST TO REVIEW THE TREE PROTECTION GUIDELINES, ACCESS ROUTES, STORAGE AREAS, AND WORK PROCEDURES WILL BE DISCUSSED. TREE PROTECTION LOCATIONS SHOULD BE MARKED BEFORE ANY FENCING CONTRACTOR ARRIVES.
9. TREE PROTECTION FENCE: TREE PROTECTION FENCE SHOULD BE ESTABLISHED PRIOR TO THE ARRIVAL OF CONSTRUCTION EQUIPMENT OR MATERIALS ON SITE. FENCE SHOULD BE COMPRISED OF SIX-FOOT HIGH CHAIN LINK FENCE MOUNTED ON EIGHT-FOOT TALL, 1 7/8-INCH DIAMETER GALVANIZED POSTS, DRIVEN 24 INCHES INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART. ONCE ESTABLISHED, THE FENCE MUST REMAIN UNDISTURBED AND BE MAINTAINED THROUGHOUT CONSTRUCTION, INSPECTED PERIODICALLY, AND REPAIRED AS NECESSARY. A FINAL INSPECTION BY THE

14. TREE PROTECTION SIGNS: ALL SECTIONS OF FENCING SHOULD BE CLEARLY MARKED WITH SIGNS STATING THAT ALL AREAS WITHIN THE FENCING ARE TREE PROTECTION ZONES AND THAT DISTURBANCE IS PROHIBITED. TEXT ON THE SIGNS SHOULD BE IN BOTH ENGLISH AND SPANISH.

15. MONITORING: ANY TRENCHING, CONSTRUCTION OR DEMOLITION THAT IS EXPECTED TO DAMAGE OR ENCOUNTER TREE ROOTS SHOULD BE MONITORED BY THE PROJECT ARBORIST OR A QUALIFIED ISA CERTIFIED ARBORIST AND SHOULD BE DOCUMENTED. THE SITE SHOULD BE EVALUATED BY THE PROJECT ARBORIST OR A QUALIFIED ISA CERTIFIED ARBORIST AFTER CONSTRUCTION IS COMPLETE, AND ANY NECESSARY REMEDIAL WORK THAT NEEDS TO BE PERFORMED SHOULD BE NOTED.

16. **ROOT PRUNING:** ROOT PRUNING SHALL BE SUPERVISED BY THE PROJECT ARBORIST. WHEN ROOTS OVER 2 INCHES IN DIAMETER ARE ENCOUNTERED, THEY SHOULD BE PRUNED BY HAND WITH LOPPERS, HANDSAW, RECIPROCATING SAW, OR CHAIN SAW RATHER THAN LEFT CRUSHED OR TORN. ROOTS SHOULD BE CUT BEYOND SINKER ROOTS OR OUTSIDE ROOT BRANCH JUNCTIONS AND BE SUPERVISED BY THE PROJECT ARBORIST. WHEN COMPLETED, EXPOSED ROOTS SHOULD BE KEPT MOIST WITH BURLAP OR BACKFILLED WITHIN ONE HOUR.

17. BORING OR TUNNELING: BORING MACHINES SHOULD BE SET UP OUTSIDE THE DRIP LINE OR ESTABLISHED TREE PROTECTION ZONE. BORING MAY ALSO BE PERFORMED BY DIGGING A TRENCH ON BOTH SIDES OF THE TREE UNTIL ROOTS ONE INCH IN DIAMETER ARE ENCOUNTERED AND THEN HAND DUG OR EXCAVATED WITH AN AIR SPADE® OR SIMILAR AIR OR WATER EXCAVATION TOOL. BORE HOLES SHOULD BE ADJACENT TO THE TRUNK AND NEVER GO DIRECTLY UNDER THE MAIN STEM TO AVOID OBLIQUE (HEART) ROOTS. BORE HOLES SHOULD BE A MINIMUM OF THREE FEET DEEP.

18. TIMING: IF THE CONSTRUCTION IS TO OCCUR DURING THE SUMMER MONTHS, SUPPLEMENTAL WATERING AND BARK BEETLE TREATMENTS SHOULD BE APPLIED TO HELP ENSURE SURVIVAL DURING AND AFTER CONSTRUCTION.

19. REFER TO SPECIFICATION SECTION 01 5639 - TEMPORARY TREE AND PLANT PROTECTION.

20. REFER TO TREE RESOURCE ANALYSIS AND ARBORIST
REPORT BY:
NIGEL BELTON, CONSULTING ARBORIST
P.O. BOX 1744 APTOS, CA 95001
DATED 03/20/2024.



TREE #	BOTANICAL NAME	COMMON NAME	DIAMETER
3	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	13**
4	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	14**
8	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	15**
9	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	11**
11	CORDYLINE AUSTRALIS	NEW ZEALAND CABBAGE	5***
13	SYAGRUS ROMANZOFFIANA	QUEEN PALM	8.5***

** DIAMETER = TRUNK DIAMETER AT 54-INCHES ABOVE GRADE IN ARBORIST REPORT BY NIGEL BELTON DATED 03/20/2024

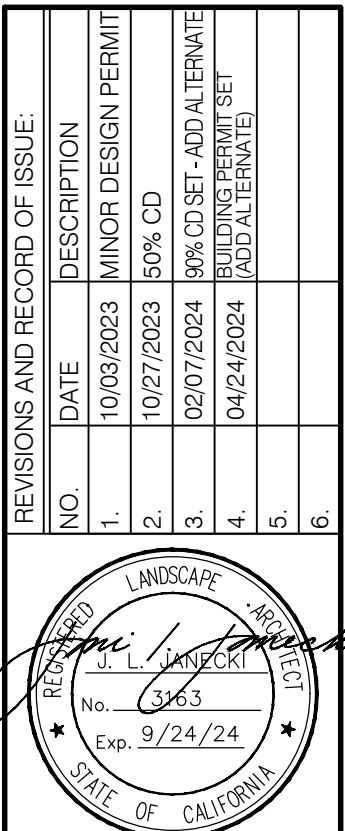
4
X
EXISTING TREE TO BE REMOVED

TPZ
5
TREE PROTECTION ZONE (TPZ)
TREE NUMBER
EXISTING TREE TO REMAIN, PROTECT IN PLACE

— □ — □ — □ —
TREE PROTECTION FENCING, SECTION 01 5639

— — —
ROOF OVERHANG

— — —
LIMIT OF WORK



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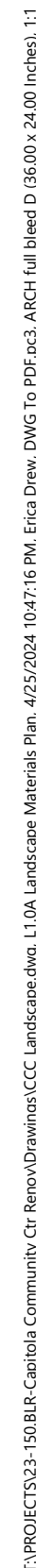
CAPITOLA COMMUNITY CENTER
IMPROVEMENT PROJECT
4400 JADE STREET, CAPITOLA CA

TREE REMOVAL & PROTECTION PLAN

SHEET TITLE:

SCALE: 1" = 20'-0"
DRAWN BY: MO/ED
DATE: 04/24/2024

L0.1A



BOULDER SCHEDULE		
BOULDER LABEL	APPROXIMATE SIZE (L X W X H)	REMARKS
A	2'-0" X 2'-6" X 2'-6"	
B	3'-0" X 2'-0" X 3'-0"	
C	3'-6" X 3'-0" X 3'-0"	
D	4'-6" X 3'-0" X 3'-0"	
E	5'-6" X 4'-0" X 4'-0"	
F	4'-6" X 2'-6" X 2'-6"	
G	4'-0" X 2'-0" X 3'-0"	
H	4'-0" X 4'-0" X 4'-0"	
I	4'-6" X 3'-0" X 3'-0"	
J	3'-6" X 3'-0" X 3'-0"	
K	4'-6" X 3'-0" X 4'-0"	WITH METAL PLAQUE
L	5'-6" X 4'-0" X 4'-0"	BOULDER FOR FOUNTAIN TO BE COORDINATED WITH FOUNTAIN CONTRACTOR

LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF WORK
	EXISTING TREE TO REMAIN
	MAJOR CONTOUR, EXISTING
	MINOR CONTOUR, EXISTING
	ROOF OVERHANG, REFER TO ARCHITECTURAL DRAWINGS
	CONCRETE CONSTRUCTION JOINT
	CONCRETE EXPANSION JOINT
	METAL HEADER, SECTION 32 9300 - PLANTING MATERIAL
	TREE, REFER TO PLANTING PLAN
	PLANTING AREA, REFER TO PLANTING PLAN
	8-INCH WIDE RETAINING WALL, HEIGHTS VARY, 30 INCHES MAXIMUM
	RETAINING BOULDERS, 2'-0" TO 5'-0" DIA., SECTION 32 9300 - PLANTING MATERIAL
	DECORATIVE CONCRETE RETAINING WALL WITH "FOSSIL" HORIZONS, SECTION 03 3300 - ARCHITECTURAL CONCRETE - LITHOCRETE SEDIMENTARY WALL SYSTEM
	BIKE RACKS (NOT IN ADD ALTERNATE, PART OF BASE BID)
	WASTE RECEPTACLE (3 TOTAL), SECTION 32 3300 - SITE FURNISHINGS
	LIGHT POST
	DECORATIVE IRON DRAIN GRATES (2 TOTAL), REFER TO CIVIL PLANS
	(1) RADIUS (1) SQUARE LINEAR (NOT IN ADD ALTERNATE, PART OF BASE BID)
	CONCRETE PAVING, SECTION 32 1313 0 CONCRETE PAVING <ul style="list-style-type: none"> SAWCUT JOINTS MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL
	"WAVE" CONCRETE PAVING, SECTION 32 1313 - CONCRETE PAVING <ul style="list-style-type: none"> INTEGRAL COLOR - MFR: DAVIS COLORS COLOR: SILVERSMOKE CURVED COLD JOINTS SALT FINISH, REFER TO DETAIL
	"PLANK" CONCRETE PAVING, SECTION 32 1313 - CONCRETE PAVING <ul style="list-style-type: none"> LINEAR TOOLED JOINTS AT 12" W X 48" TO 60" L RUNNING BOND RANDOM PATTERN INTEGRAL COLOR - MFR: DAVIS COLORS COLOR: SANDSTONE MEDIUM BROOM FINISH, IN DIRECTION OF PLANKS
	DECORATIVE GRAVEL, SECTION 32 9300 - PLANTING MATERIAL
	3-INCH LAYER WOOD CHIP MULCH AT ALL PLANTING AREAS, SECTION 32 9300 - PLANTING MATERIALS
	STABILIZED DECOMPOSED GRANITE, SECTION 32 1243 - POROUS FLEXIBLE PAVING
	GRAVEL BAND AT GRASS, SECTION 32 9300 - PLANTING MATERIAL

NOTES:

1. CONTRACTOR SHALL SELECT, TAG, AND PHOTOGRAPH BOULDERS. CONTRACTOR TO SUBMIT PHOTOS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE AND DELIVERY. CONTRACTOR TO SCHEDULE AND COORDINATE.
2. SEE SECTION 32 9200 - PLANTING MATERIAL.

REVISIONS AND RECORD OF ISSUE		
NO.	DATE	DESCRIPTION
1	10/03/2023	MINOR DESIGN PERMIT
2	10/27/2023	50% CD
3	02/07/2024	90% CD - ADD A1 TENANT
4	04/24/2024	BUILDING PERMIT SET
5		FOR CONSTRUCTION
6		

Professional Engineer Seal for Joni L. Janekci, State of California, License No. 31632, Expires 9/24/24.

JONI L. JANEKCI
& ASSOCIATES

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PROJECT:	CAPITOLA COMMUNITY CENTER IMPROVEMENT PROJECT 4400 JADE STREET, CAPITOLA CA
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LANDSCAPE MATERIALS PLAN

SHEET TITLE:	
SCALE:	1" = 10'-0"
DRAWN BY:	MO/ED
DATE:	04/24/2024

L1.0A



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TITLE: MATERIALS LAYOUT PLAN

L1.1A

☐ (A) DENSE SALT FINISH
☐ (B) MEDIUM SALT FINISH
☐ (C) LIGHT SALT FINISH
☐ (D) VERY LIGHT SALT FINISH

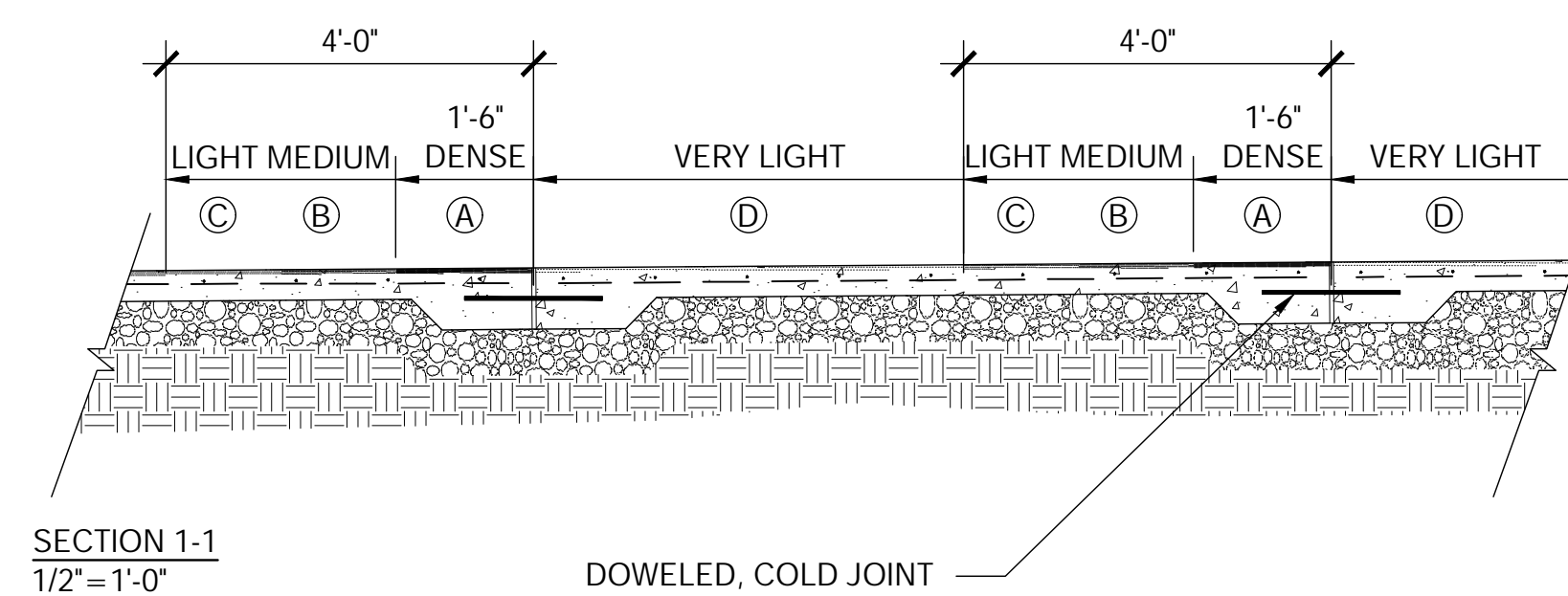
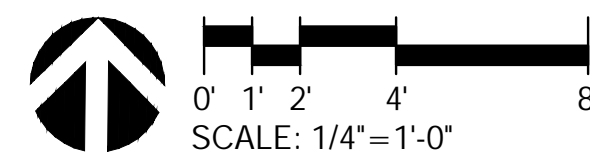
"WAVE" CONCRETE PAVING
WITH INTEGRAL COLOR
MFR: DAVIS COLORS
COLOR: SILVERSMOKE

SALT FINISH ON ONE SIDE OF
JOINT, DENSE FOR 18",
GRADUALLY FADE OUT FOR
4'-0" FROM JOINT, SEE LEGEND

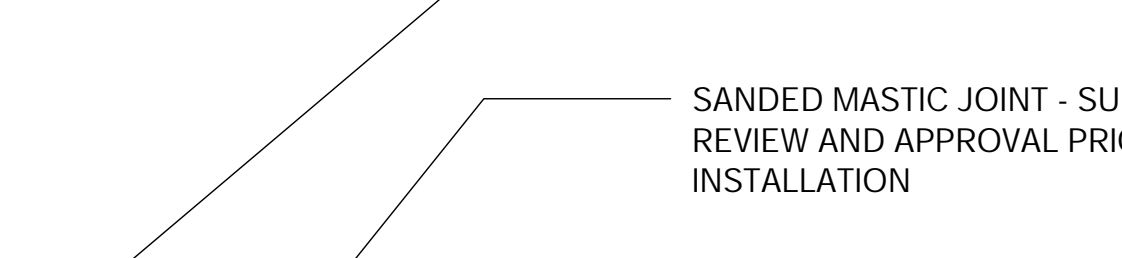
1.	CONTRACTOR TO PROVIDE MINIMUM OF 5' X 5' MOCK-UP SHOWING ALL JOINTS, COLORS, AND FULL RANGE OF FINISHES, FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO CONSTRUCT UP TO (5) FIVE MOCK-UPS PER CONDITION, AS NECESSARY, TO ACHIEVE AN ACCEPTED FINISH.	2.	REFER TO SECTION REFER TO SECTION 32 1313 - CONCRETE PAVING AND CIVIL DRAWINGS.
		3.	LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING CONCRETE.
		4.	REFER TO SHEET L.01A FOR BOULDER SCHEDULE AND NOTES.



2 "WAVE" CONCRETE PAVING
NOT TO SCALE



DOWELED, COLD JOINT



EXISTING CONCRETE PAVING

SANDED MASTIC JOINT - SUBMIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

NEW CONCRETE PAVING WITH THICKENED EDGE, REFER TO CIVIL DRAWINGS

1/2" DIAMETER X 29" DOWEL, 18" O.C. SPACING, GREASE ONE END OF DOWEL

FLUSH

3/8"

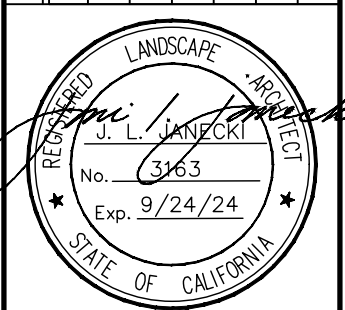
SECTION - EXISTING CONCRETE TO NEW CONCRETE JOINT



1 CONCRETE PAVING JOINTS DETAIL
3/4" = 1'-0"

ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE:		
NO.	DATE	DESCRIPTION
1.	10/03/2023	MINOR DESIGN PERMIT
2.	10/27/2023	50% CD
3.	02/07/2024	90% CD SET - ADD ALTERNATE
4.	04/24/2024	BUILDING PERMIT SET (ADD ALTERNATE)
5.		
6.		



**JONI L. JANECKI
& ASSOCIATES**

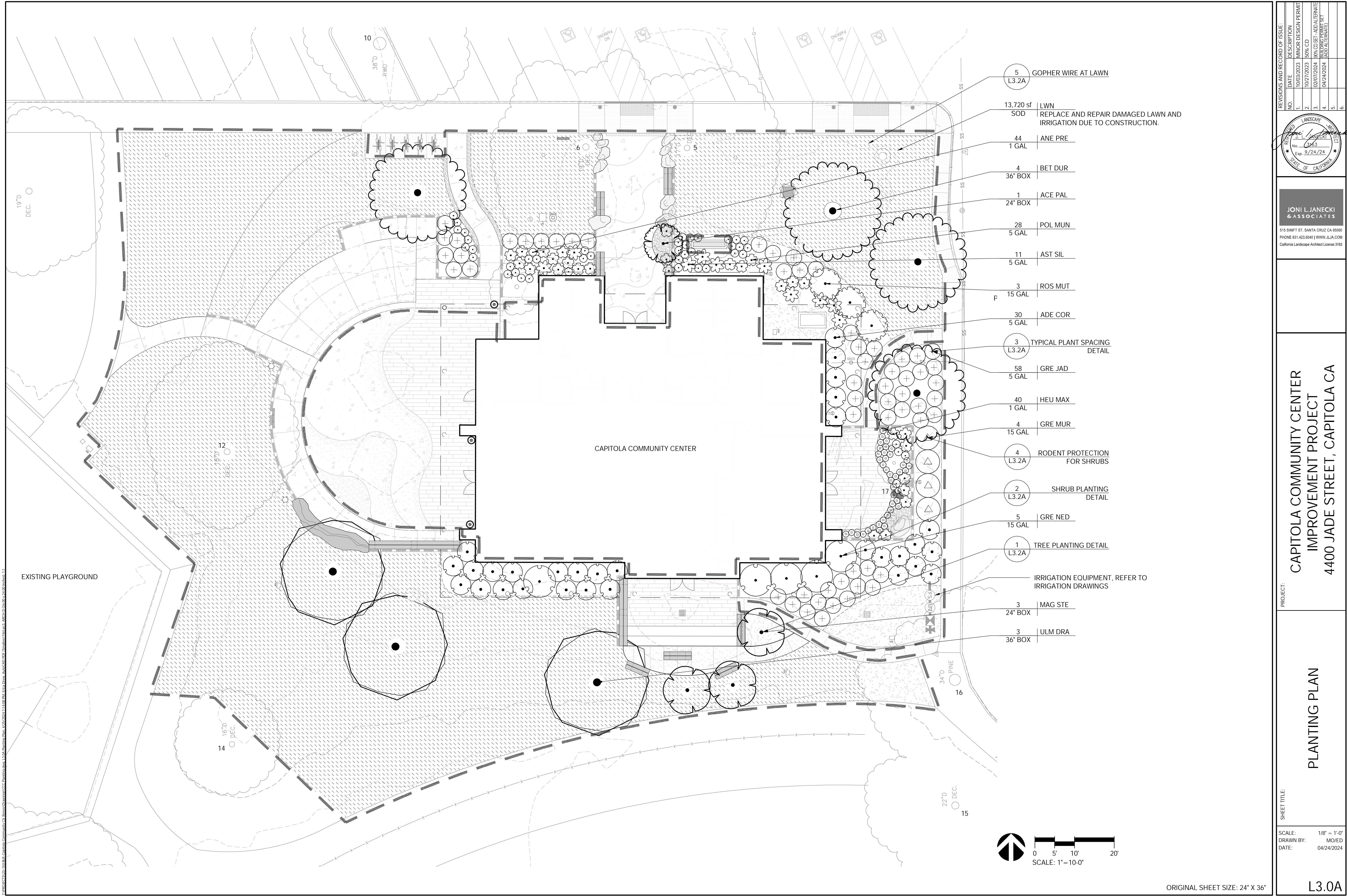
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CAPITOLA COMMUNITY CENTER
IMPROVEMENT PROJECT
4400 JADE STREET, CAPITOLA CA

LANDSCAPE
MATERIALS DETAILS

SCALE: 1/8" = 1'-0"
DRAWN BY: MO/ED
DATE: 04/24/2024

L1.2A



REVISIONS AND RECORD OF ISSUE:					
NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
1	10/03/2023	MINOR DESIGN PERMIT			
2	10/27/2023	50% CD			
3	02/07/2024	60% CD SET, ADD ALTERNATE			
4	04/24/2024	BUILDING PERMIT SET			
5		ADD ALTERNATE			
6					

LANDSCAPE ARCHITECT

JONI L. JANECKI

No. 33653

Exp. 9/24/24

STATE OF CALIFORNIA

JONI L. JANECKI & ASSOCIATES

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California Landscape Architect License 3163

PROJECT: CAPITOLA COMMUNITY CENTER IMPROVEMENT PROJECT
4400 JADE STREET, CAPITOLA CA

SHEET TITLE: PLANTING PLAN

SCALE: 1/8" = 1'-0"
DRAWN BY: MO/ED
DATE: 04/24/2024

L3.0A

\\jsa\c\c3\36\15018\Capitola_Community_Ctr_Improvement\DWG\Planting.dwg, L3.0A, Plotting Date: 4/24/2024, 11:40:04 AM, User: Joni, AppCAD user: JoniJancki, AppCAD user: JoniJancki, L3.0A, Sheet: 1 of 1