



MASTER PLANNING APPLICATION SET

KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS: 1 07/02/2025

2 08/21/2025

3 10/11/2025

(N) 3D EXTERIORS

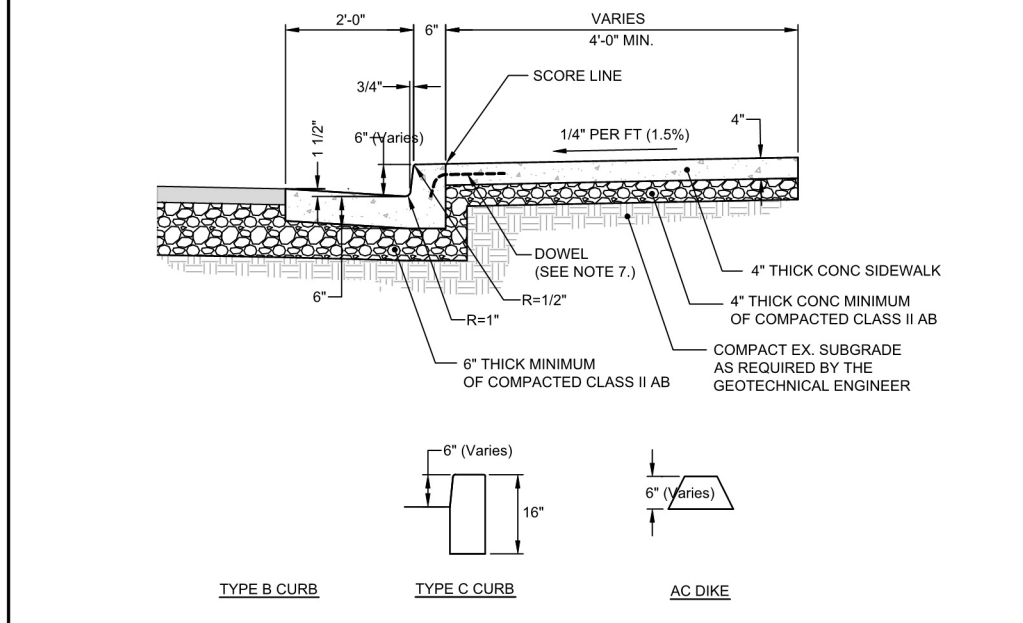
SCALE: AS NOTED  
SHEET:

A0




THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024

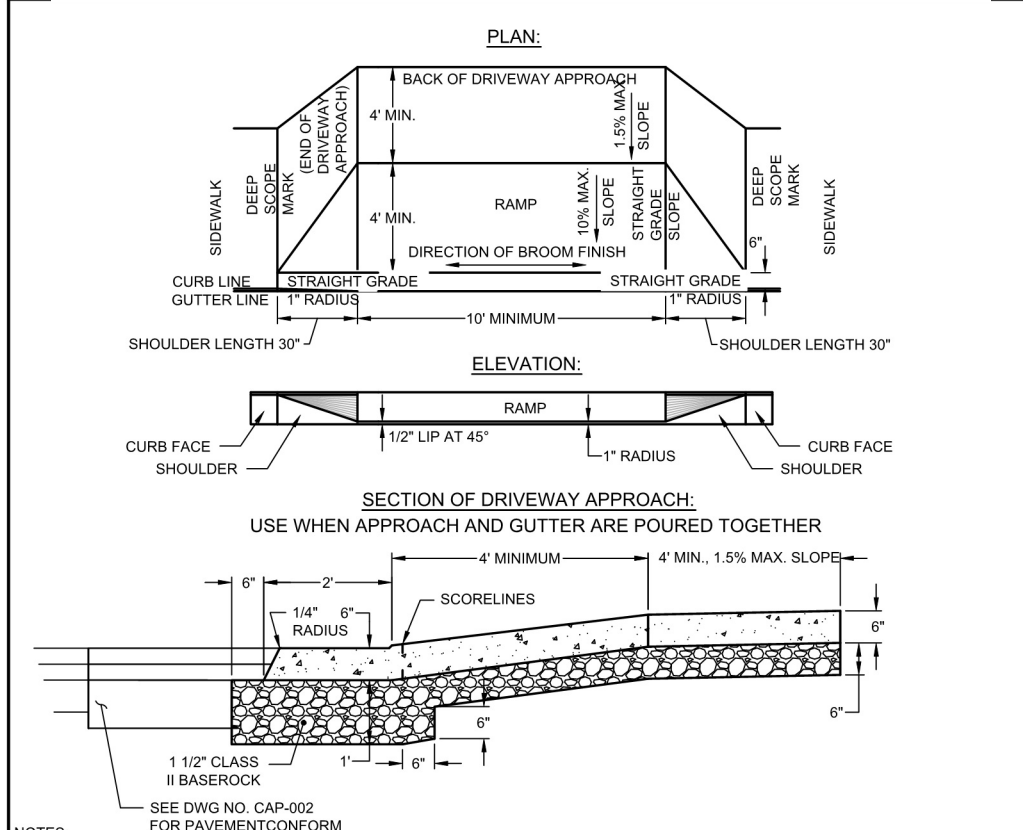
3 CONCEPTUAL (N) 4'-0" SIDEWALK @ REAR OF (E) CURB & GUTTER PER CAPITOLA PUBLIC WORKS DRAWING CAP-003  
NOTE: (E) TREES WILL NEED TO BE REMOVED AND THE (E) GRADE MAY NECESSITATE THE CONSTRUCTION OF A (N) RETAINING WALL AT BACK EDGE OF SIDEWALK TO RETAIN THE (E) GRADE.




- NOTES:
1. ALL WORK AND MATERIAL SHALL CONFORM TO THE CITY OF CAPITOLA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
  2. CONCRETE SHALL BE SIX SACK MIX, CLASS A WITH 2500 PSI IN 28-DAY (MINIMUM).
  3. COMPACT SUBBASE SOIL AND CLASS II AGGREGATE BASE TO 95% RELATIVE COMPACTION.
  4. SEE SCORELINE AND EXPANSION JOINTS PER CAP-006.
  5. ALL CONCRETE CURBS, GUTTERS, SIDEWALKS, AND DRIVEWAY APPROACH REMOVALS SHALL BE SAWCUT ON EXISTING SCORELINES, LIMITS OR REMOVAL TO BE DETERMINED BY CITY.
  6. ALL CONCRETE SURFACES WHICH HAVE BEEN MARKED OR DEFACED WILL NOT BE ACCEPTED.
  7. IF SIDEWALK IS NOT INSTALLED MONOLITHICALLY, PLACE #4 DOWELS 18" LONG AT 4' O.C. IN BACK OF CURB, 3" DOWN FROM TOP OF CURB AND 4" INTO THE CONCRETE.

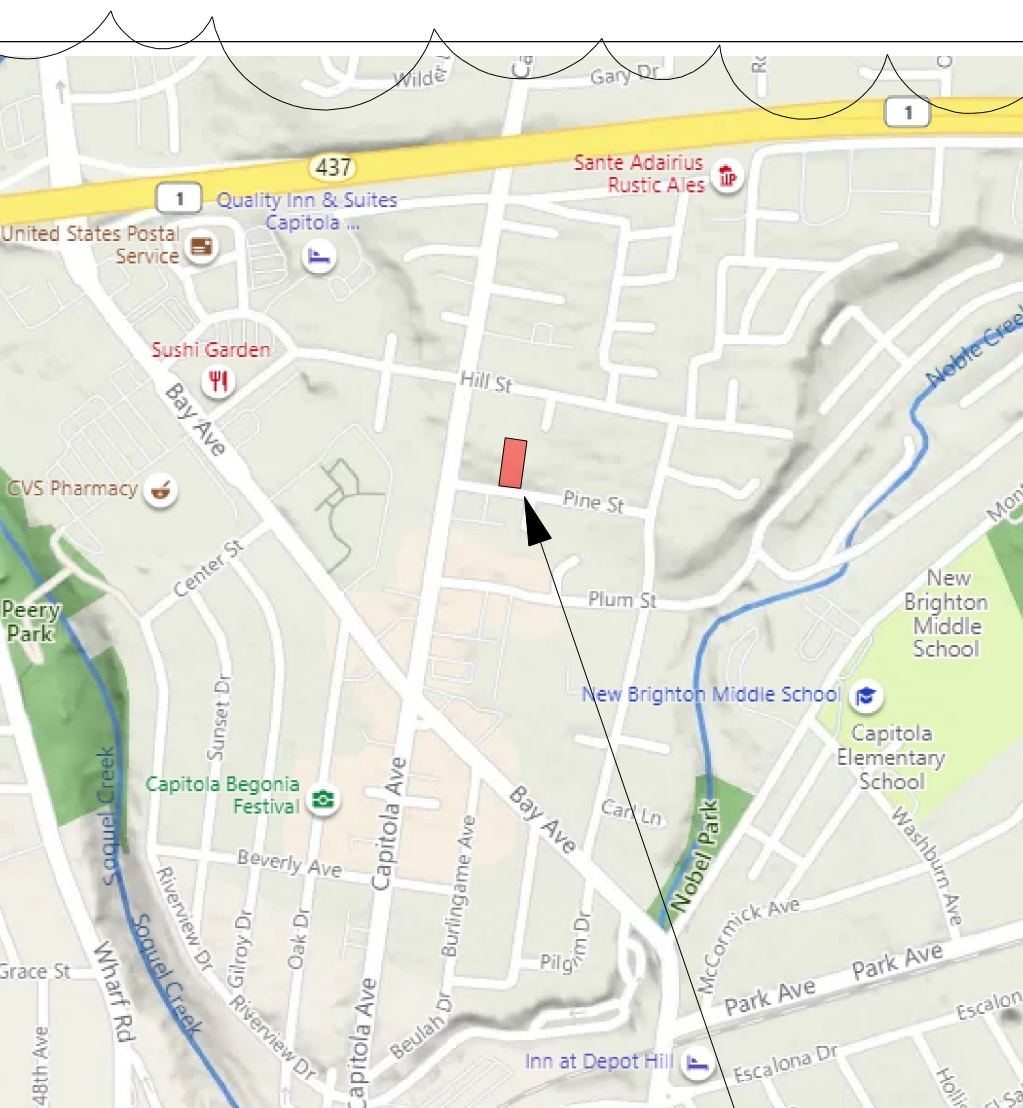
NOT TO SCALE		STANDARD DRAWINGS FOR <b>CURB, GUTTER, AND SIDEWALK</b>	DRAWN: 1/15 CAP - 003
DRAWN BY: BAW		STEVEN J. SEIBERG, PUBLIC WORKS DIRECTOR	
CHECKED BY: JFR			DRAWING No. CAP - 003

CONCEPTUAL DRIVEWAY APPROACH PER CAPITOLA PUBLIC WORKS DRAWING CAP-008.  
NOTE: (E) ASPHALT DRIVEWAY GRADE/SLOPE MAY NOT CONFORM TO MAX GRADE/SLOPES SPECIFIED IN THIS DETAIL. IF REQUIRED, THE (E) DRIVEWAY MAY NEED TO BE REMOVED, REGRADED AND REPLACED AT A STEEPER GRADE/SLOPE.

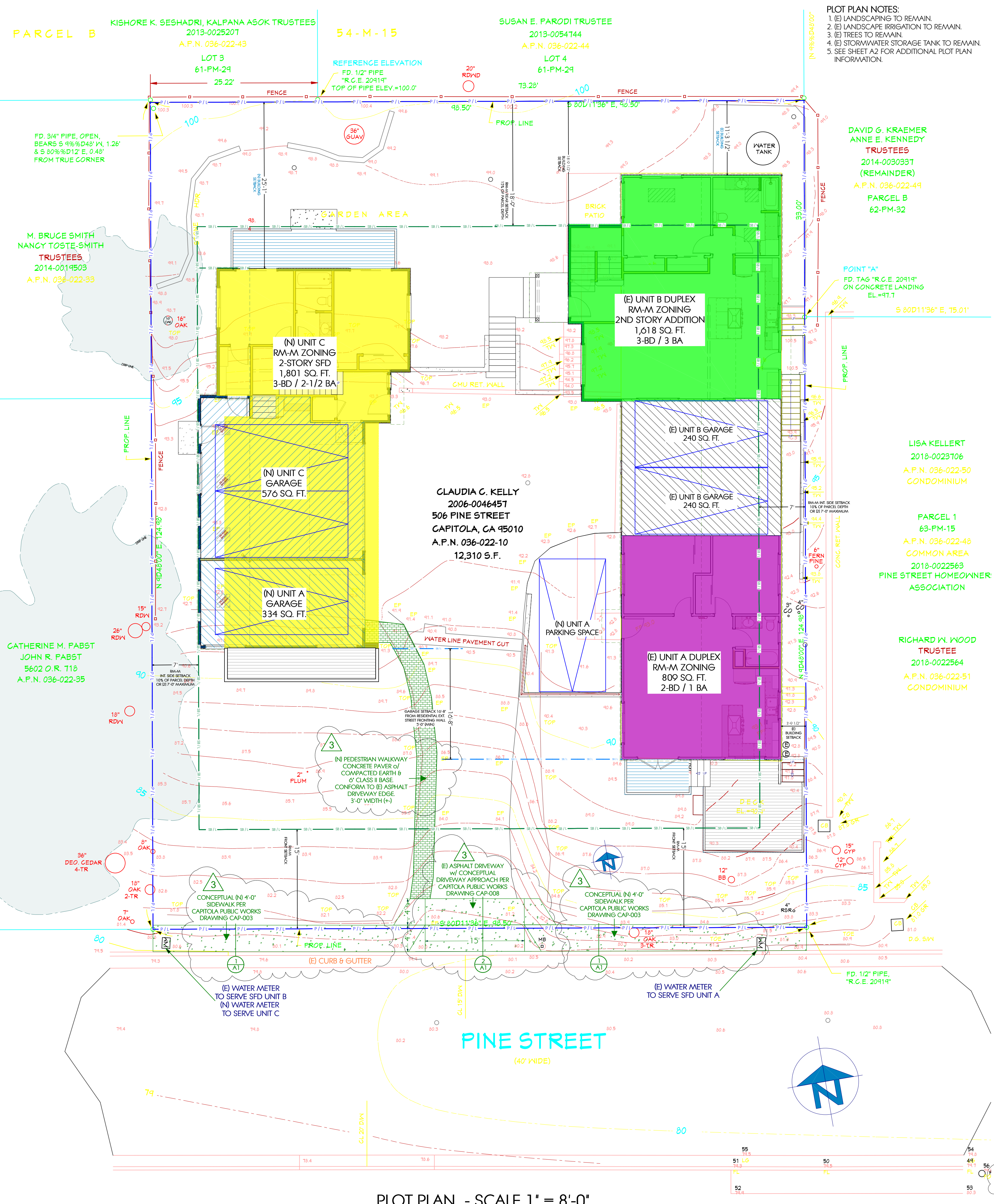


- NOTES:
1. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CITY OF CAPITOLA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
  2. CONCRETE SHALL MEET 2500 PSI IN 28-DAY REQUIREMENTS (MINIMUM).
  3. DRIVEWAY APPROACH SHALL BE GIVEN A MEDIUM BROOM FINISH FROM END TO END.
  4. SCORELINES SHALL CORRESPOND WITH THE SCORELINES OF THE ADJACENT SIDEWALK WHEN PRACTICAL.
  5. ALL DRIVEWAY APPROACH REMOVALS SHALL BE SAW CUT ON EXISTING SCORELINES. LIMITS OF REMOVAL TO BE DETERMINED BY CITY.
  6. ALL CONCRETE SURFACES WHICH HAVE BEEN MARKED OR DEFACED WILL NOT BE ACCEPTED.
  7. USE 1/4" RADIUS JOINTER FOR ALL SCORELINES WHICH SHALL BE STRAIGHT, TRUE TO ALIGNMENT AND DEPTH.
  8. 5' MINIMUM BETWEEN DRIVEWAY APPROACHES.
  9. 6 X 6 X 6 WIRE MESH SHALL BE INSTALLED FULL LENGTH FROM BACK OF GUTTER TO BACK OF SIDEWALKS ON ALL DRIVEWAYS.
  10. DIFFERENCE IN SLOPE OF THE DRIVEWAY RAMP AND THE SLOPE OF A LINE BETWEEN THE GUTTER AND A POINT ON THE DRIVEWAY 5'-0" FROM GUTTER LINE SHALL NOT EXCEED 10%.

NOT TO SCALE		STANDARD DRAWINGS FOR <b>CONCEPTUAL DRIVEWAY APPROACH</b>	DRAWN: 1/15 CAP - 008
DRAWN BY: BAW		STEVEN J. SEIBERG, PUBLIC WORKS DIRECTOR	
CHECKED BY: JFR			DRAWING No. CAP - 008



SUBJECT PROPERTY:  
506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10



PLOT PLAN - SCALE 1" = 8'-0"

- PLOT PLAN NOTES:
1. (E) LANDSCAPING TO REMAIN.
  2. (E) LANDSCAPE IRRIGATION TO REMAIN.
  3. (E) TREES TO REMAIN.
  4. (E) STORMWATER STORAGE TANK TO REMAIN.
  5. SEE SHEET A2 FOR ADDITIONAL PLOT PLAN INFORMATION.

DAVID G. KRAEMER  
ANNE E. KENNEDY  
TRUSTEES  
2014-0030337  
(REMAINDER)  
A.P.N. 036-022-49  
PARCEL B  
62-PM-32

LISA KELLERT  
2018-0023706  
A.P.N. 036-022-50  
CONDOMINIUM  
PARCEL 1  
63-PM-15  
A.P.N. 036-022-48  
COMMON AREA  
2018-0022563  
PINE STREET HOMEOWNER  
ASSOCIATION

RICHARD W. WOOD  
TRUSTEE  
2018-0022564  
A.P.N. 036-022-51  
CONDOMINIUM

OWNERS:  
CLAUDIA G. JIM KELLY  
PO BOX 2221  
SANTA CRUZ, CA 95063  
(831) 345-0068, (831) 281-0050  
ckelly@mac.com, jkelly8142@gmail.com

PROJECT DESCRIPTION:

ZONING	RM-M
OCCUPANCY TYPE	R3/U
TYPE OF CONSTRUCTION	VB
NUMBER OF STORIES	1 & 2
FIRE AGENCY	CENTRAL FIRE
FIRE HAZARD AREA	NO
FIRE SPRINKLERS	AT (N) SFD, AT (E) DUPLEX IF REQUIRED
WATER SERVICE	SOQUEL CREEK WATER DISTRICT
SEWER/SEPTIC	SEWER

REMODEL, ADDITIONS AND NEW CONSTRUCTION ON A 12,310 SQ. FT. LOT.

UNIT 'A' DUPLEX (EXISTING NONCONFORMING RM-M ZONING)  
REMODEL A PORTION OF AN EXISTING 809 SQ. FT. DUPLEX CONSISTENT WITH SECTION 1792.070.  
CONSTRUCT A NEW 334 SQ. FT. GARAGE.  
2 BEDROOM, 1 BATH, 2 PARKING SPACES PROVIDED.

UNIT 'B' DUPLEX (EXISTING NONCONFORMING RM-M ZONING)  
REMODEL A PORTION OF AN EXISTING 809 SQ. FT. DUPLEX WITH NEW 2ND STORY ADDITION CONSISTENT WITH SECTION 1792.070.  
3 BEDROOM, 3 BATH, 2 PARKING SPACES PROVIDED.

UNIT 'C' SFD (RM-M ZONING)  
CONSTRUCT A NEW 2-STORY, 1,801 SQ. FT. SFD WITH 576 SQ. FT. ATTACHED GARAGE.  
3 BEDROOM, 2-1/2 BATH, 2 PARKING SPACES PROVIDED.  
NOTE: PARKING SPACES PER OS 1782.050B.1 AND FIGURE 1782-1

AREA TOTALS:

LOT COVERAGE CALCULATION	
LOT AREA	12,310 SQ. FT.
STRUCTURE FOOTPRINTS	4,516 SQ. FT.
TOTAL LOT COVERAGE	36.7% (40% ALLOWED)

(E) DUPLEX	
UNIT 'A'	
(E) TOTAL LIVING	809 SQ. FT.
(E) GARAGE	247 SQ. FT.
(N) GARAGE	334 SQ. FT.
(E) DECK	263 SQ. FT.
(N) DECK	65 SQ. FT.

REMODELED AREA (SEE SHEET A9)	
(R) LIVING	190 SQ. FT.
REMOVED DECK	49 SQ. FT.

UNIT 'B'	
(E) LIVING	809 SQ. FT.
(N) 1ST LIVING	195 SQ. FT.
(N) 2ND LIVING	612 SQ. FT.
(N) TOTAL LIVING	1,616 SQ. FT.

(N) COV. PORCH	37 SQ. FT.
(E) GARAGE	247 SQ. FT.
(E) DECK	63 SQ. FT.

REMOVED AREA (SEE SHEET A9)	
LIVING	558 SQ. FT.
REMOVED PORCH	16 SQ. FT.

(N) SFD	
UNIT 'C'	
(N) 1ST LIVING	585 SQ. FT.
(N) 2ND LIVING	1,216 SQ. FT.
(N) TOTAL LIVING	1,801 SQ. FT.
(N) GARAGE	576 SQ. FT.
(N) DECKS	256 SQ. FT.

SHEET INDEX:

- A0 3D EXTERIOR VIEWS
- A1 PLOT PLAN, GENERAL NOTES
- A2 PLANNING DATA & ROOF PLAN
- A3 (N) 1ST FLOOR PLANS
- A4 (N) 2ND FLOOR PLANS
- A5 (N) SFD ELEVATIONS
- A6 (N) SFD SECTIONS
- A7 (N) DUPLEX ADDITION ELEVATIONS
- A8 (N) DUPLEX ADDITION SECTIONS
- A9 (E) DUPLEX FLOOR & DEMOLITION PLANS & ELEVATIONS
- A10 (N) FOUNDATION PLANS
- A11 (E) NEIGHBORING STRUCTURES
- L1 LANDSCAPE PLAN
- S1 SURVEY
- SW1 STORM WATER BMP NOTES



DOUG SILVERA CALIB.  
SANTA CRUZ HOME DESIGN  
santacruzhome.com  
doug@sc-hd.com  
PO BOX 4908  
SANTA CRUZ, CA 95063  
(831) 345-0383

10/11/2025

KELLY FAMILY  
506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

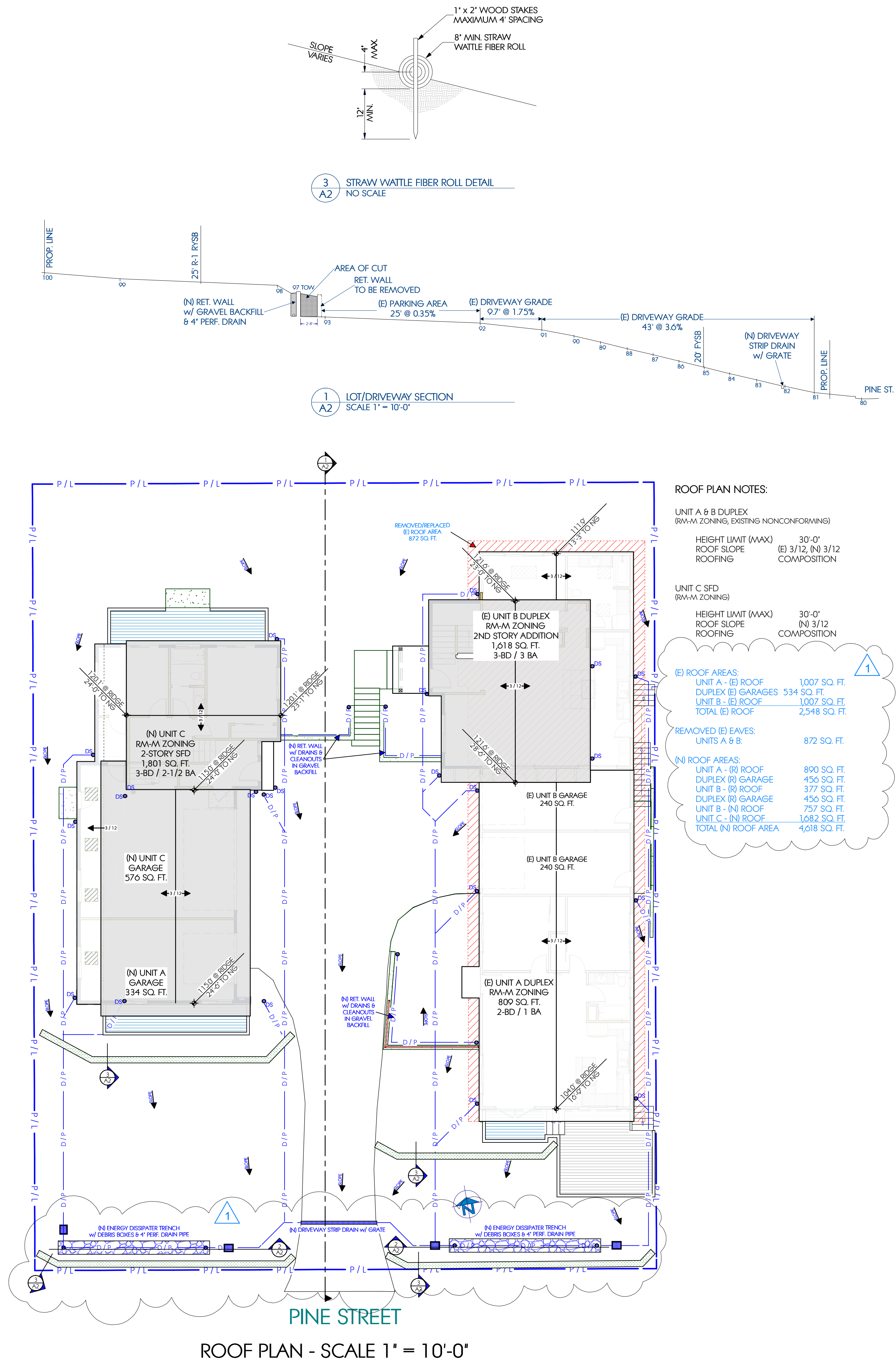
- REVISIONS:
- 1 07/02/2025
  - 2 08/21/2025
  - 3 10/11/2025

PLOT PLAN & GENERAL NOTES

SCALE: AS NOTED  
SHEET:

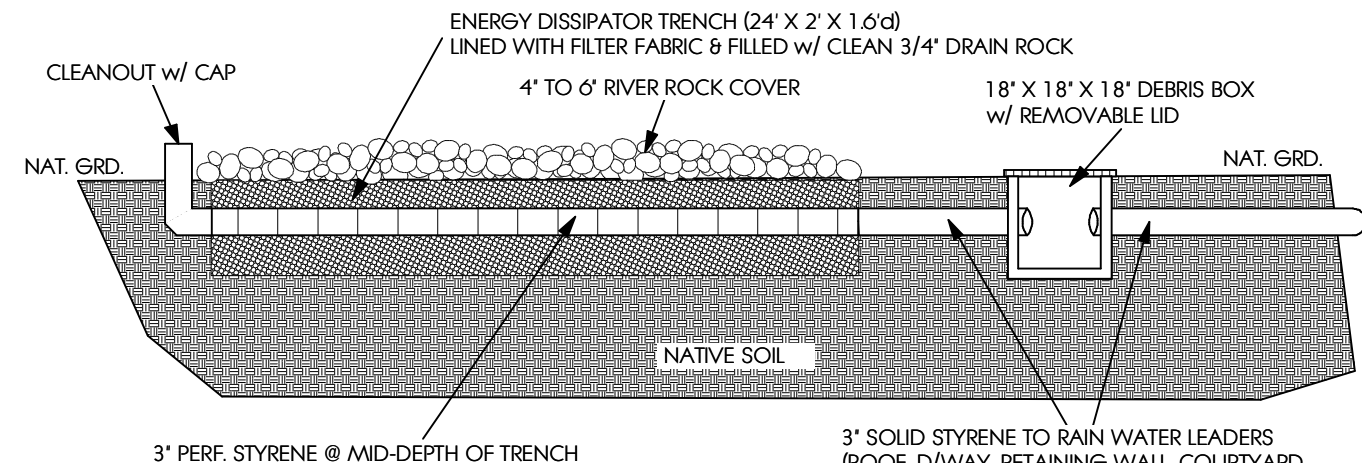
A1





EROSION CONTROL NOTES:

- ALL CONCENTRATED RUNOFF (ROOF, DRIVEWAY, COURTS, ETC.) TO BE DIRECTED TO ENERGY DISSIPATORS AND THEN DIRECTED TO GENTLY SLOPING VEGETATED AREAS NEAR STREET LEVEL.
- ALL AREAS EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF THE AN APPROVED EROSION CONTROL MIX AT A RATE OF 35 LBS PER ACRE.
- UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
- NO LANDCLEARING OR EXCAVATION SHALL BE PERFORMED BETWEEN OCT. 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY THE COUNTY OF SANTA CRUZ.
- BETWEEN OCT. 15TH AND APRIL 15TH EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, SILT FENCES OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATER COURSE.
- ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE.
- ANY MATERIAL STOCKPILED ON SITE SHALL BE PROTECTED FROM EROSION.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- CONTINUOUS ROOF GUTTERS WITH DOWNSPOUTS ARE TO BE INSTALLED.

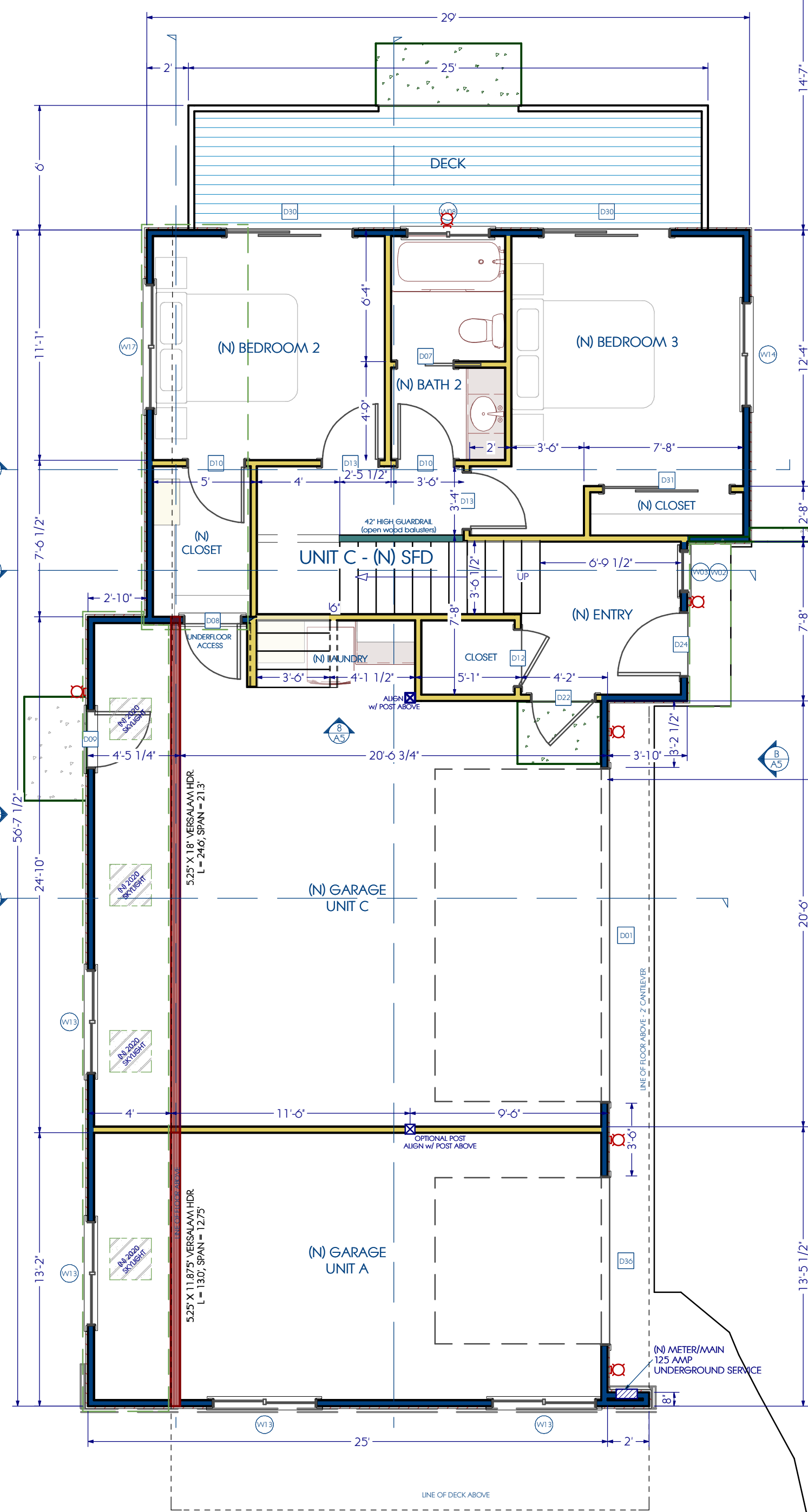




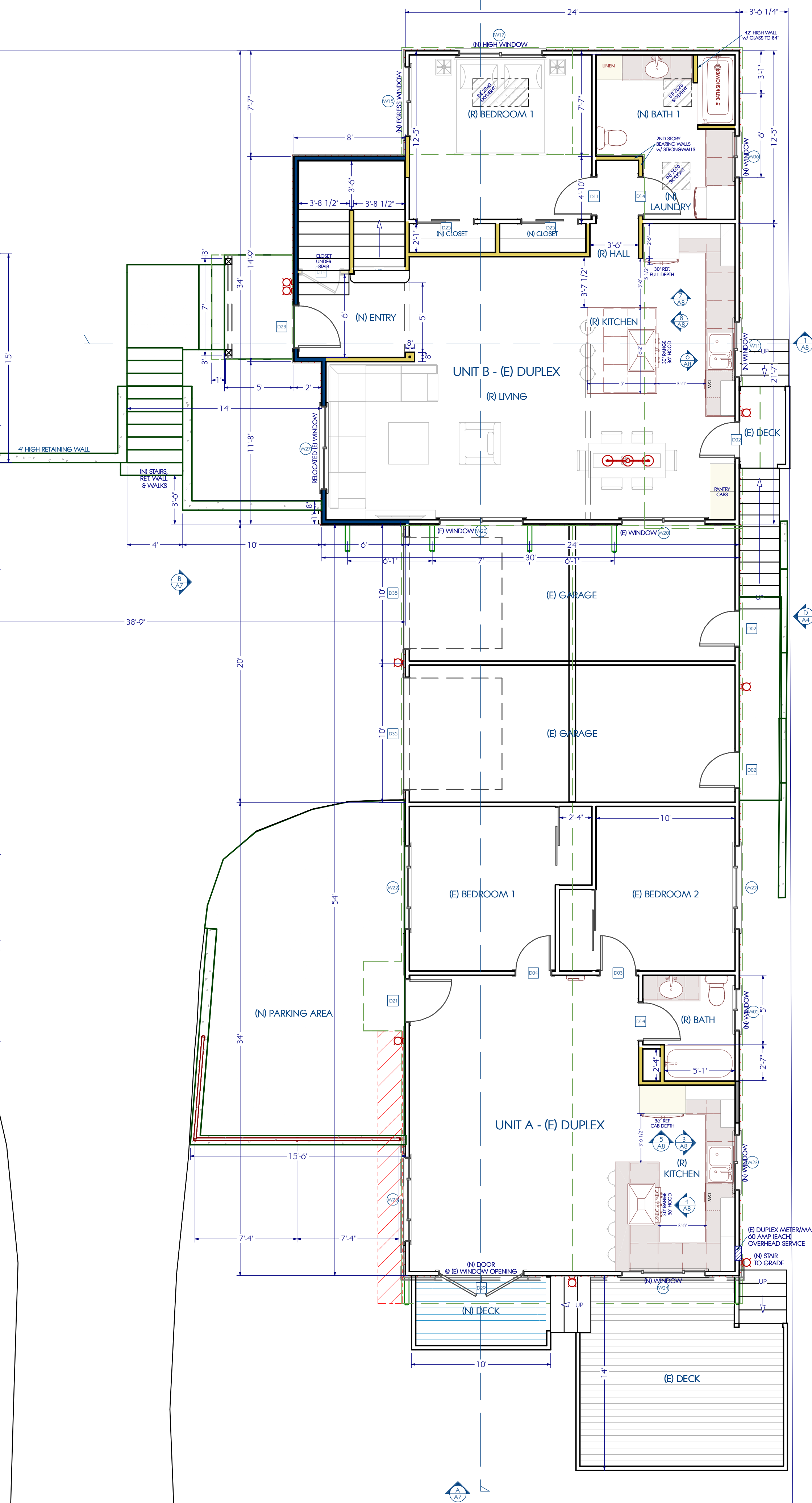
1

WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	COMMENTS
W01	1	2	2030SC	SNGL CASEMENT-HR	IN TO MATCH (E)
W02	1	1	2030PX	FIXED GLASS	IN TO MATCH (E)
W03	1	1	2030SC	SNGL CASEMENT-HR	IN TO MATCH (E)
W04	6	2	2030SC	SNGL CASEMENT-HR	IN TO MATCH (E)
W05	1	1	3030RS	RIGHT SLIDING	IN TO MATCH (E)
W06	1	1	3030RS	RIGHT SLIDING	IN TO MATCH (E)
W07	2	2	3080PX	FIXED GLASS	IN TO MATCH (E)
W08	1	1	4010RS	RIGHT SLIDING	IN TO MATCH (E)
W09	1	2	4020PX	FIXED GLASS	IN TO MATCH (E)
W10	1	2	4020LS	LEFT SLIDING	IN TO MATCH (E)
W11	1	2	4020RS	RIGHT SLIDING	IN TO MATCH (E)
W12	1	2	4040RS	RIGHT SLIDING	IN TO MATCH (E)
W13	4	1	5020RS	RIGHT SLIDING	IN TO MATCH (E)
W14	1	1	5040LS	LEFT SLIDING	IN TO MATCH (E)
W15	1	1	5040RS	RIGHT SLIDING	IN TO MATCH (E)
W16	7	2	5040RS	RIGHT SLIDING	IN TO MATCH (E)
W17	2	1	6020RS	RIGHT SLIDING	IN TO MATCH (E)
W18	1	2	6020RS	RIGHT SLIDING	IN TO MATCH (E)
W19	1	2	6030RS	RIGHT SLIDING	IN TO MATCH (E)
W20	2	1	6030RS	RIGHT SLIDING	IN TO MATCH (E)
W21	1	2	6050RS	RIGHT SLIDING	IN TO MATCH (E)
W22	2	1	6030TS	TRIPLE SLIDING	IN TO MATCH (E)
W23	1	1	4030RS	RIGHT SLIDING	IN TO MATCH (E)
W24	1	1	6030TS	TRIPLE SLIDING	IN TO MATCH (E)
W25	1	1	6040TS	TRIPLE SLIDING	IN TO MATCH (E)
W27	1	1	6050RS	RIGHT SLIDING	RELOCATED (E)

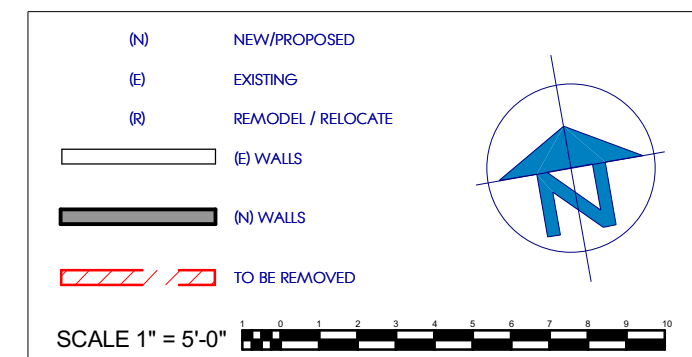
DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	THICKNESS	COMMENTS
D01	3	1	1008	GARAGE-GARAGE DOOR P03	1 3/4"	IN TO MATCH (E)
D03	2	3	2008 L EX	EXT. HINGED DOOR P02	1 3/4"	(E) WOOD, PAINTED
D04	1	1	2008 L IN	HINGED DOOR P02	1 3/8"	
D05	1	2	2008 R IN	HINGED DOOR P04	1 3/8"	
D06	2	2	2008 L	POCKET DOOR P04	1 3/8"	
D07	2	2	2008 R	POCKET DOOR P04	1 3/8"	
D08	1	1	2827 R	POCKET DOOR P04	1 3/8"	
D09	1	1	2808 L EX	EXT. HINGED SLAB	1 3/4"	
D10	1	1	2808 L EX	EXT. HINGED SLAB	1 3/4"	IN TO MATCH (E)
D11	2	1	2808 L IN	HINGED DOOR P04	1 3/8"	
D12	1	1	2808 R IN	HINGED DOOR P02	1 3/8"	
D13	2	1	2808 R IN	HINGED DOOR P04	1 3/8"	
D14	3	1	2808 R IN	HINGED DOOR P02	1 3/8"	
D15	2	2	2808 L EX	EXT. HINGED DOOR P02	1 3/8"	IN TO MATCH (E)
D16	1	2	2808 L IN	HINGED DOOR P04	1 3/8"	
D17	1	2	2808 L IN	HINGED DOOR P02	1 3/8"	
D18	1	2	2808 R EX	EXT. HINGED DOOR P02	1 3/8"	IN TO MATCH (E)
D19	3	2	2808 R IN	HINGED DOOR P04	1 3/8"	
D20	2	2	2808 R IN	HINGED DOOR P02	1 3/8"	
D21	1	1	3008 L EX	EXT. HINGED DOOR P02	1 3/4"	(E) WOOD, PAINTED
D22	1	1	3008 L IN	HINGED SLAB	1 3/4"	
D23	1	1	3008 R EX	EXT. HINGED GLASS	1 3/4"	IN TO MATCH (E)
D24	1	1	3080 L EX	EXT. HINGED GLASS	1 3/4"	IN TO MATCH (E)
D25	2	1	4008 L IN	SLIDER DOOR P04	1 3/8"	
D26	1	1	51008 R IN	SLIDER GLASS	1 3/8"	
D27	1	2	5408 R IN	SLIDER DOOR P04	1 3/8"	
D28	1	1	5708 R IN	SLIDER GLASS	1 3/8"	
D29	1	1	6008 L/R EX	EXT. DOUBLE HINGED GLASS	1 3/4"	IN TO MATCH (E)
D30	2	1	6008 R EX	EXT. SLIDER GLASS	1 3/4"	IN TO MATCH (E)
D31	1	1	6008 R IN	SLIDER DOOR P04	1 3/8"	
D32	1	2	6008 R IN	SLIDER DOOR P04	1 3/8"	
D33	2	2	6008 R IN	SLIDER DOOR P02	1 3/8"	
D34	2	2	60710 R EX	EXT. SLIDER GLASS	1 3/4"	IN TO MATCH (E)
D35	2	1	8008	GARAGE-GARAGE DOOR P03	1 3/4"	(E) WOOD, PAINTED
D36	1	1	8080	GARAGE-GARAGE DOOR P03	1 3/4"	IN TO MATCH (E)



(N) SFD - 1ST FLOOR PLAN - SCALE 1" = 5'-0"



(E) DUPLEX ADDITION 1ST FLOOR PLAN - SCALE 1" = 5'-0"



MASTER PLANNING APPLICATION SET

KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS:

1 07/02/2025

2 08/21/2025

3 10/11/2025

(N) 1ST FLOOR PLANS

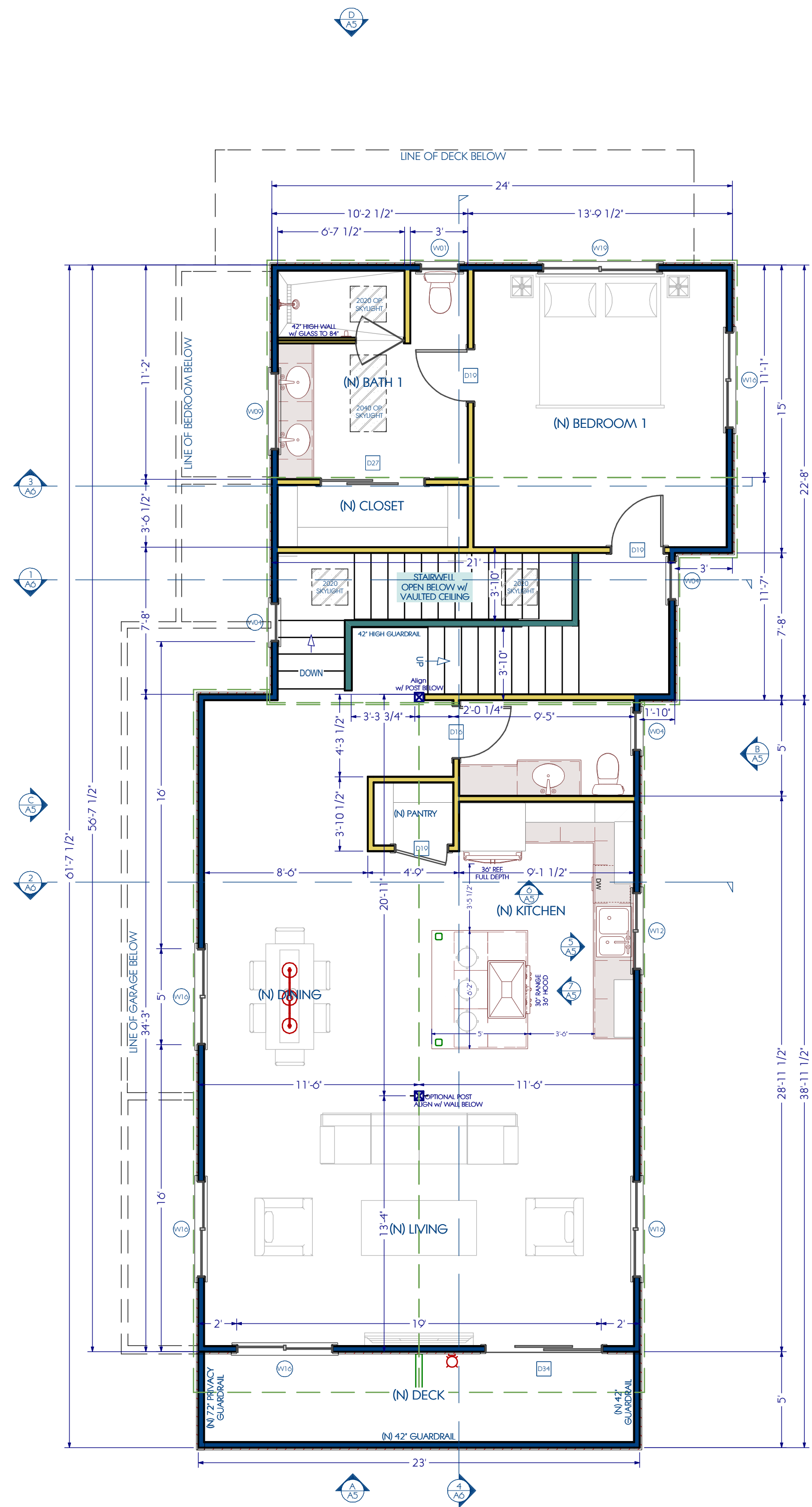
SCALE: AS NOTED

SHEET:

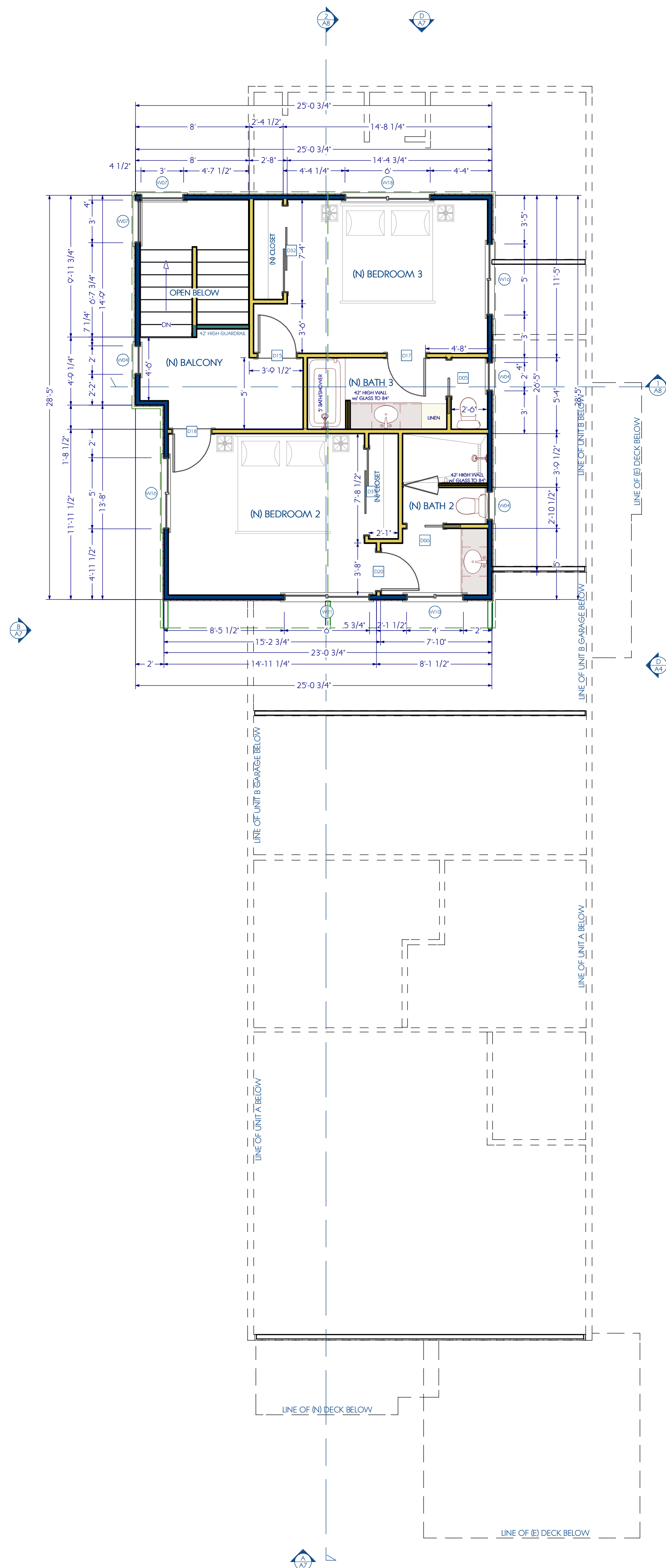
A3

V7.5

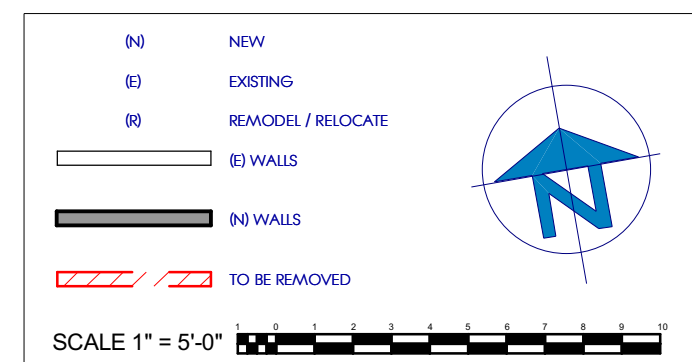




(N) SFD - 2ND FLOOR PLAN - SCALE 1" = 5'-0"



(E) DUPLEX ADDITION - 2ND FLOOR PLAN - SCALE 1" = 5'-0"



## MASTER PLANNING APPLICATION SET

### KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS:
1 07/02/2025
2 08/21/2025
3 10/11/2025

(N) 2ND FLOOR PLANS

SCALE: AS NOTED  
SHEET:

A4

V7.5



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024



Bayport Collection 7 3/4\"/>

Product Details

- Dark Sky
- 7 3/4\"/>
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Bayport Collection outdoor wall light from Designers Fountain. Features an industrial or barn light look.
- Bronze finish. Cast aluminum construction. Profile was inspired by factory industrial lights and barn light designs.
- Wet location outdoor rated. Dark sky friendly design. Dark Sky regulations vary by region, so please check with your local municipality for requirements.

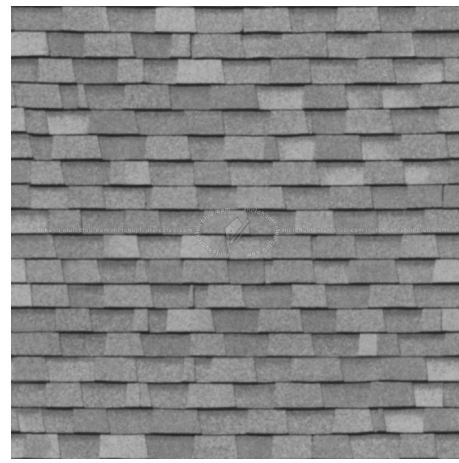
EXTERIOR LIGHTING  
(DARK SKY REQ'D.)



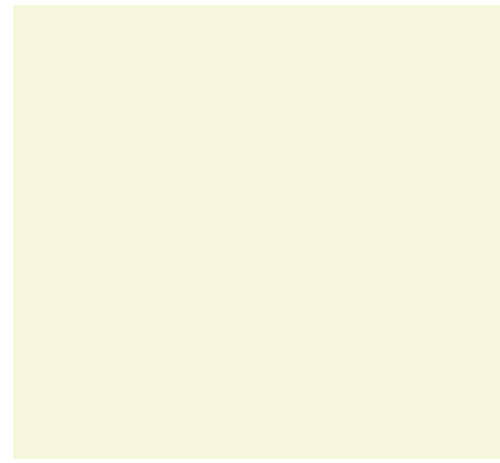
1 STACKED STONE  
GENSTONE-STRATFORD



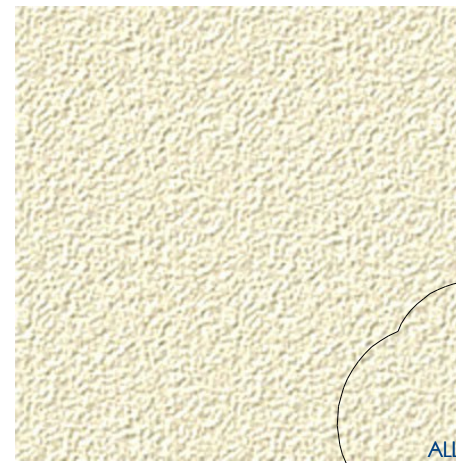
TRIM, ACCENT



ASPHALT SHINGLES

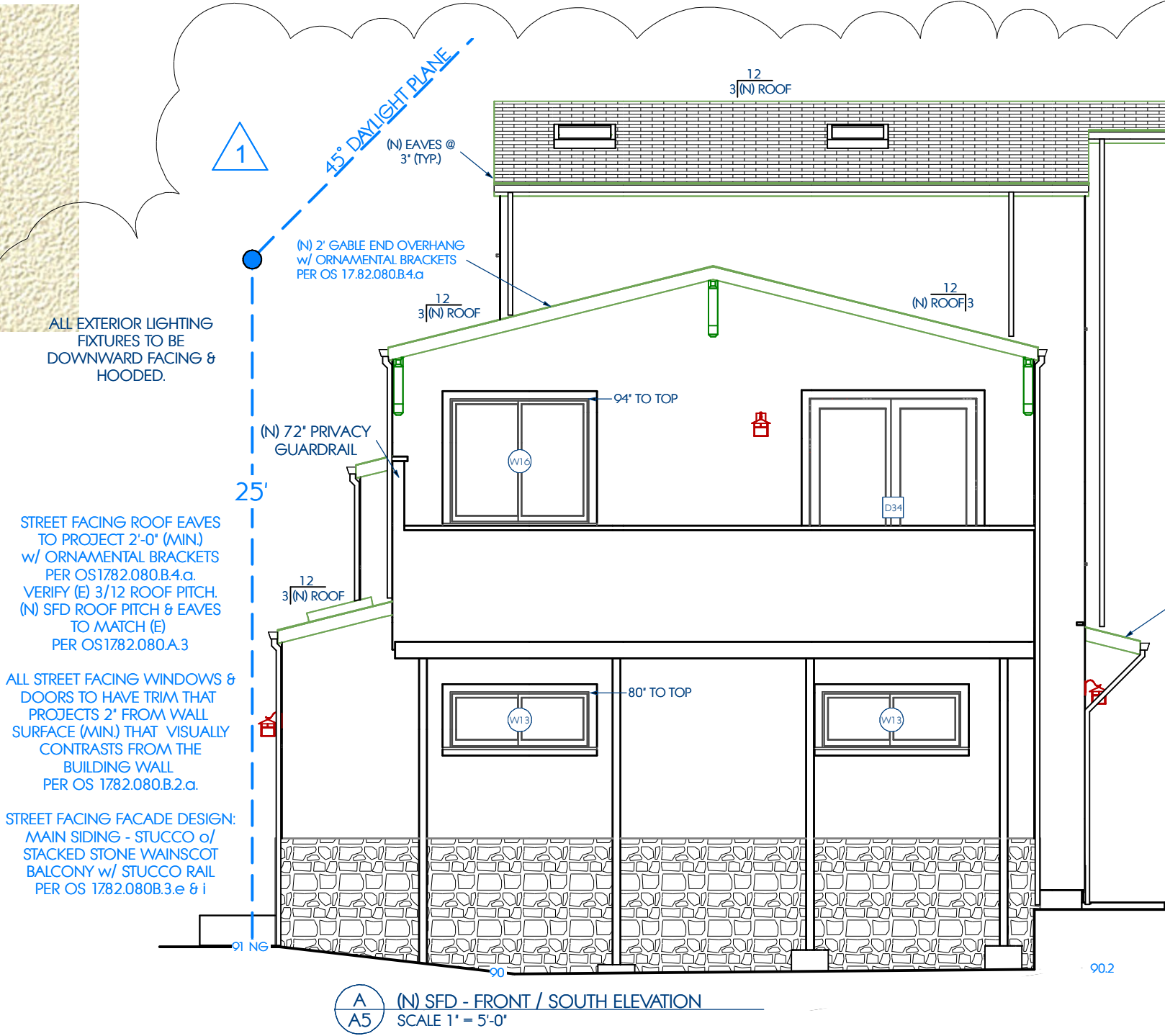


DOORS, WINDOWS

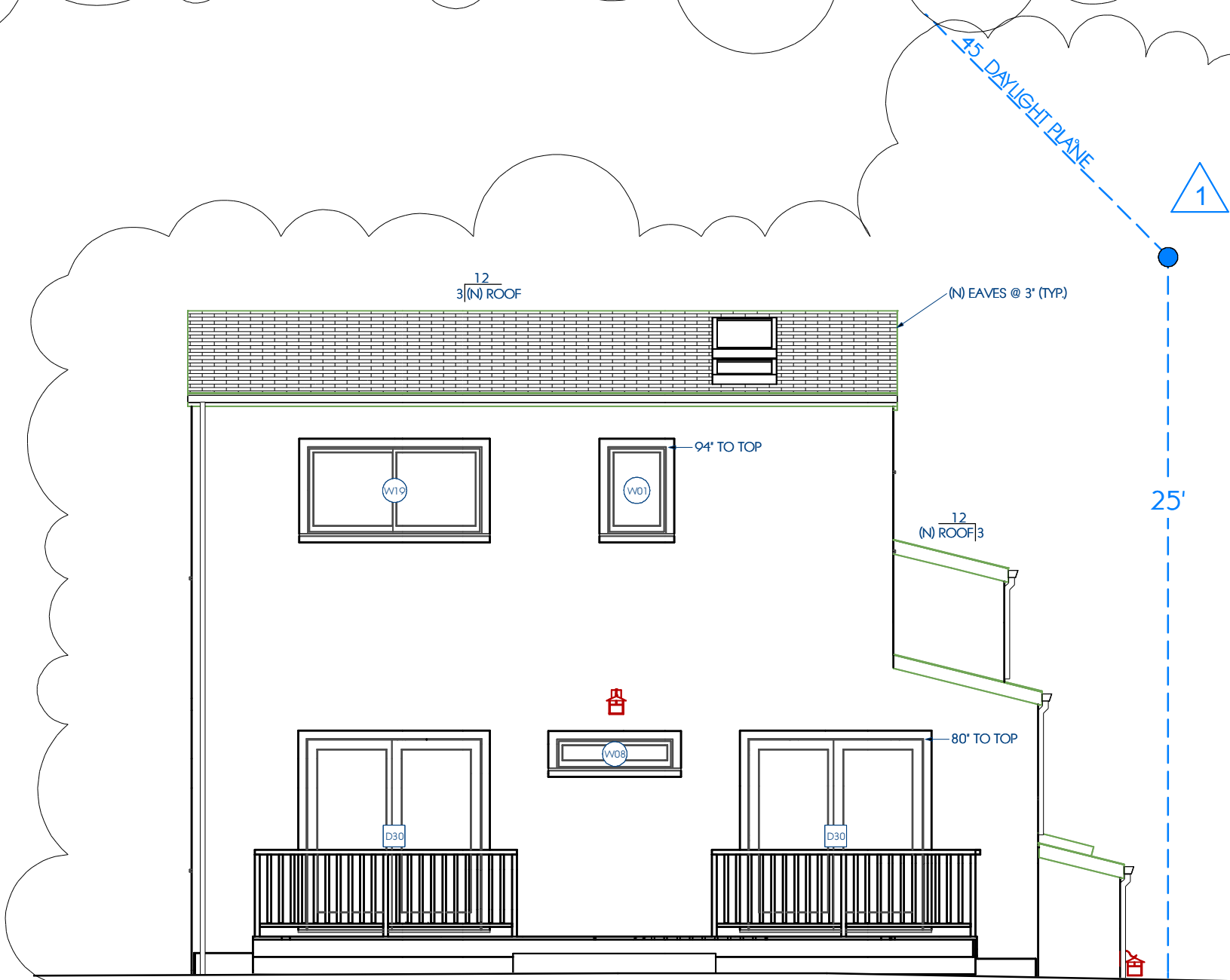


STUCCO

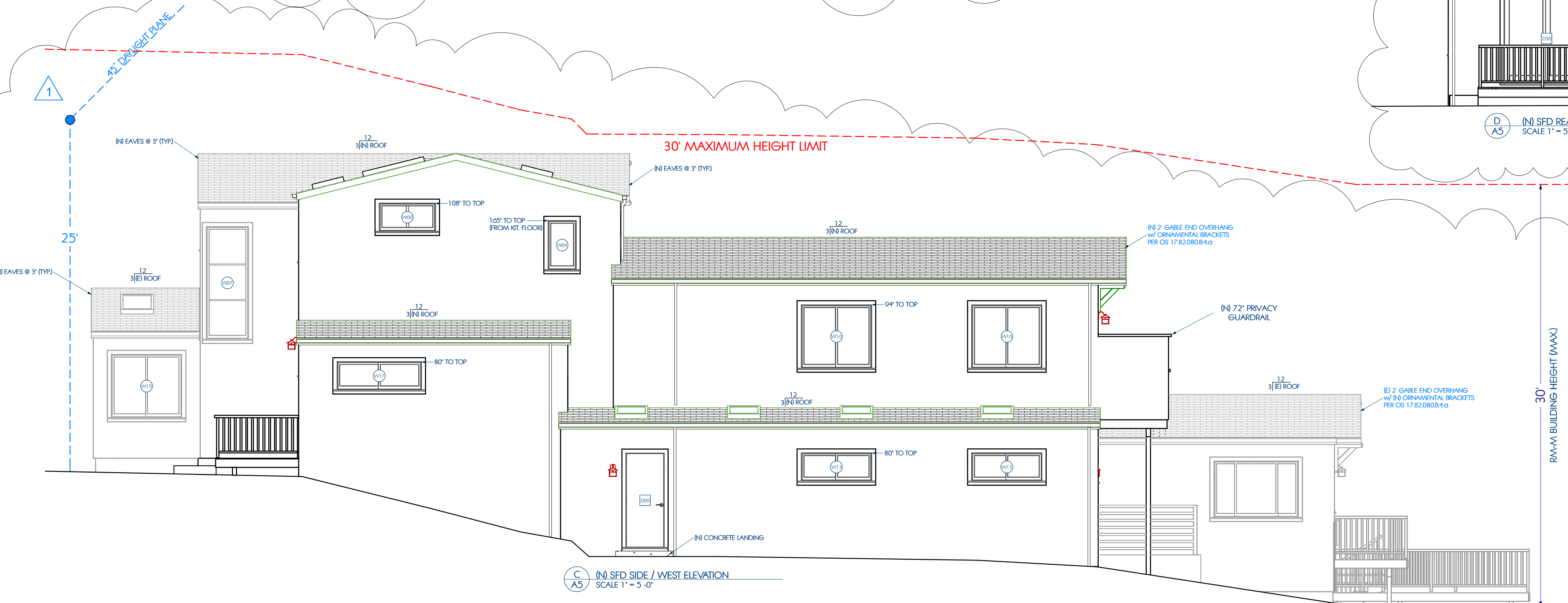
EXTERIOR COLORS & TEXTURES



(N) SFD - FRONT / SOUTH ELEVATION  
SCALE 1\"/>



(N) SFD - REAR / NORTH ELEVATION  
SCALE 1\"/>



(N) SFD - SIDE / WEST ELEVATION  
SCALE 1\"/>

MASTER PLANNING APPLICATION SET

KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS:

1 07/02/2025

2 08/21/2025

3 10/11/2025

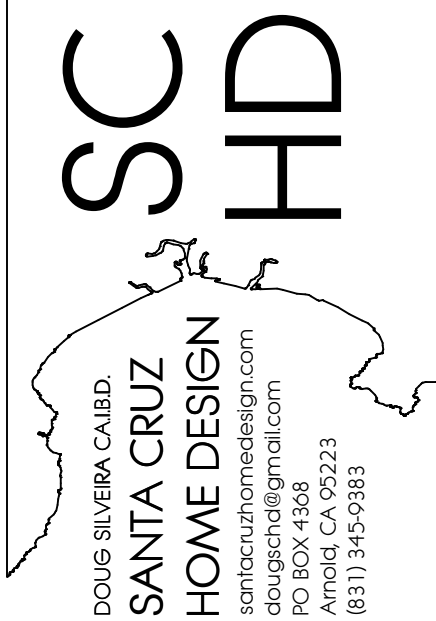
(N) SFD - ELEVATIONS

SCALE: AS NOTED

SHEET:

A5

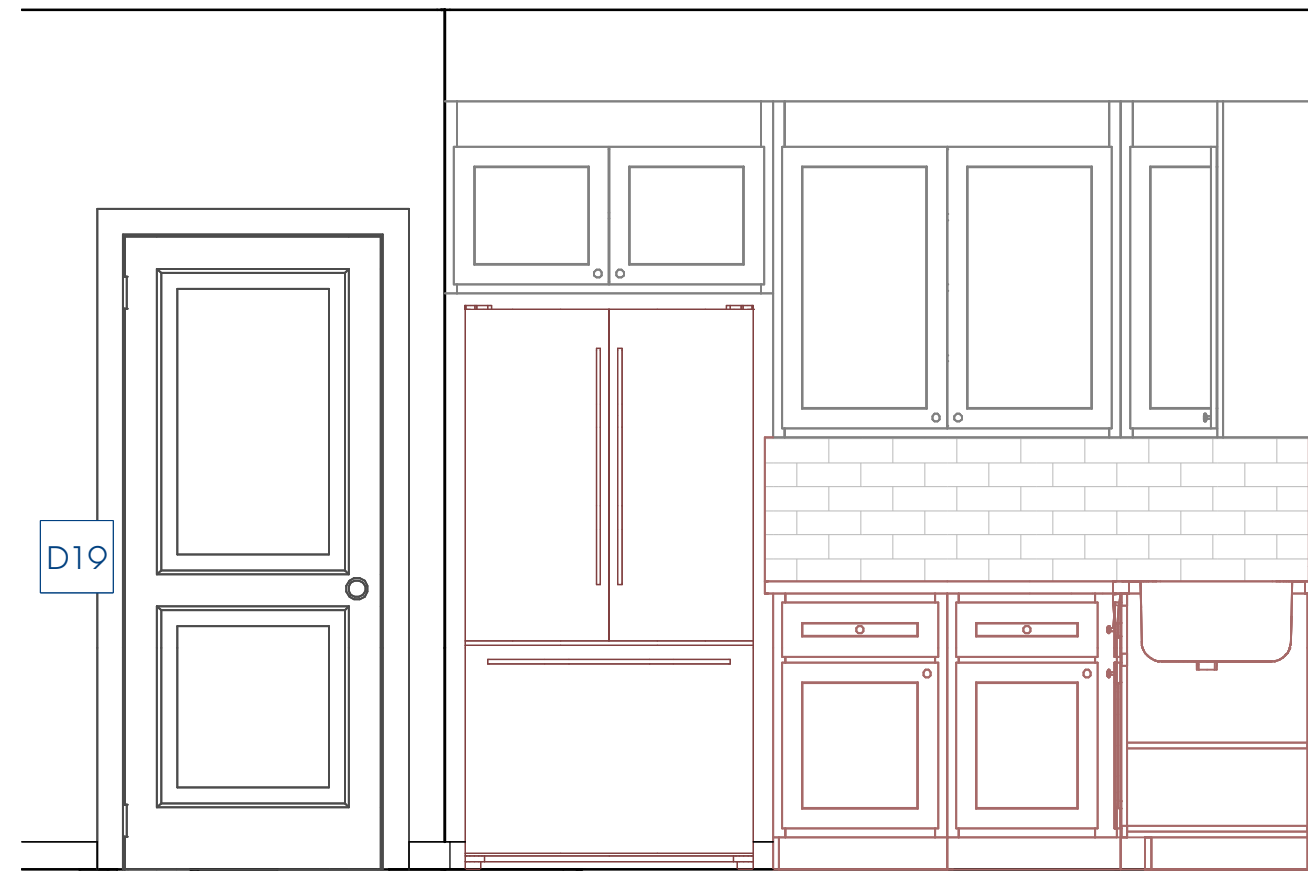
V7.5



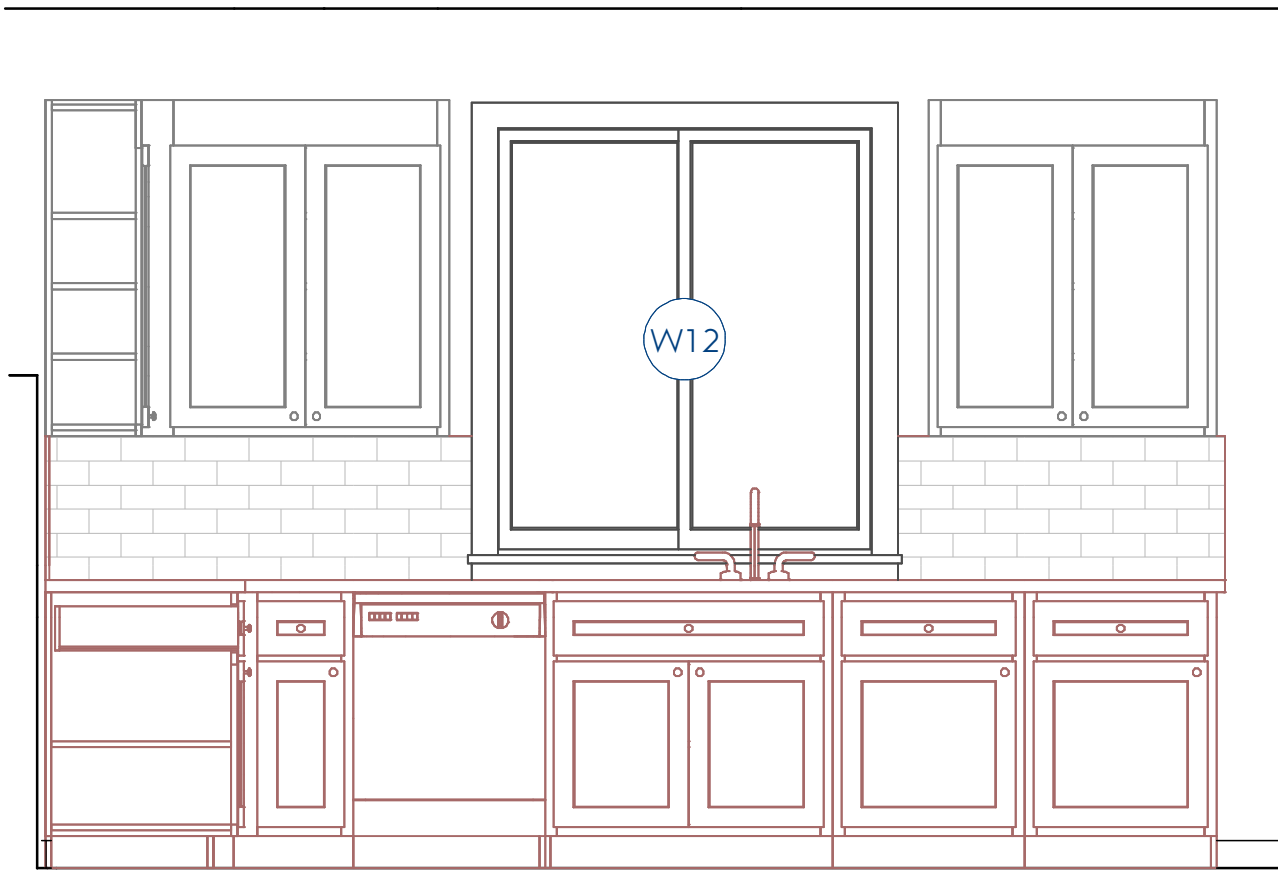
*Santa Cruz Home Design*  
10/11/2025



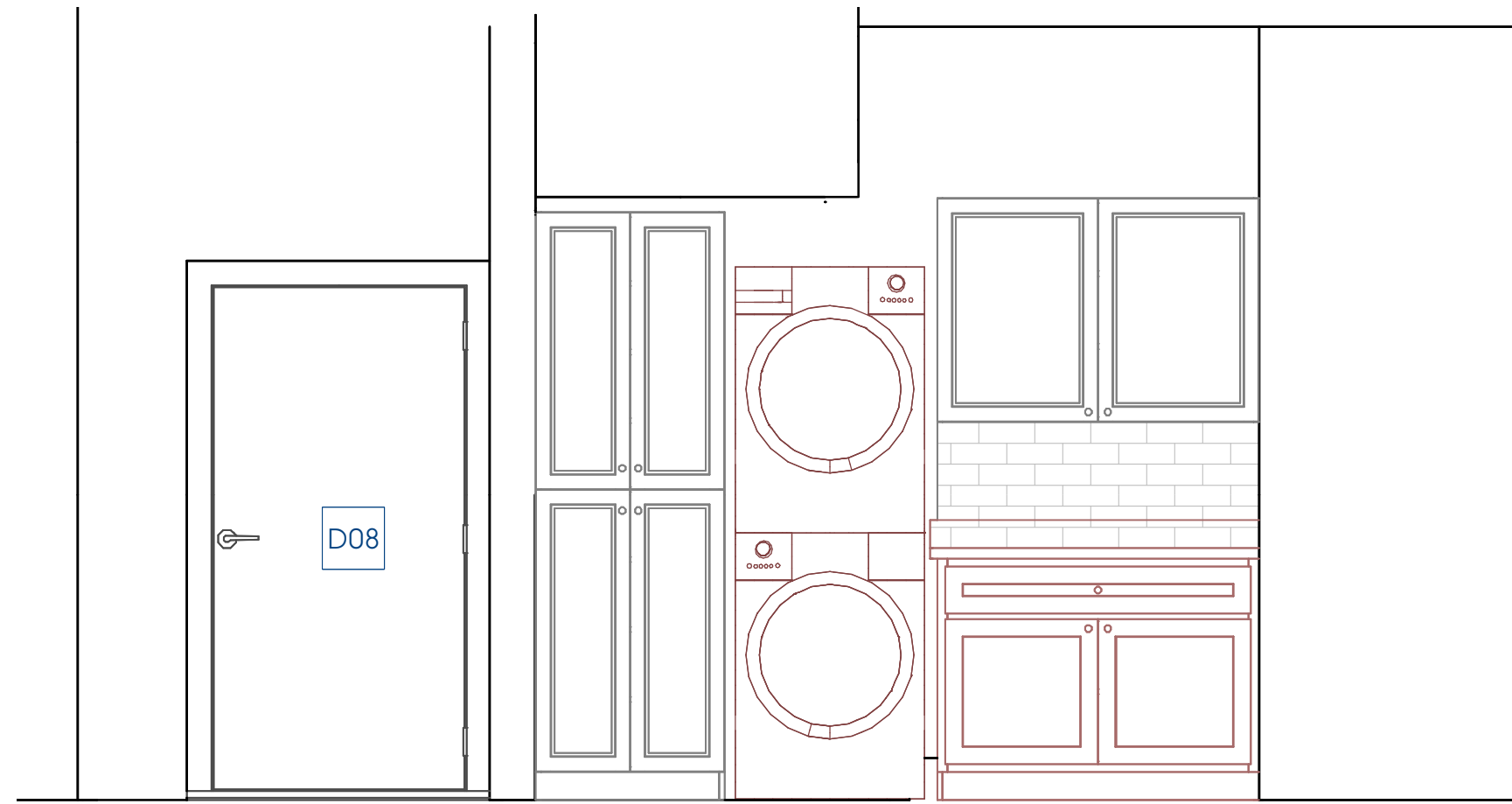
THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024



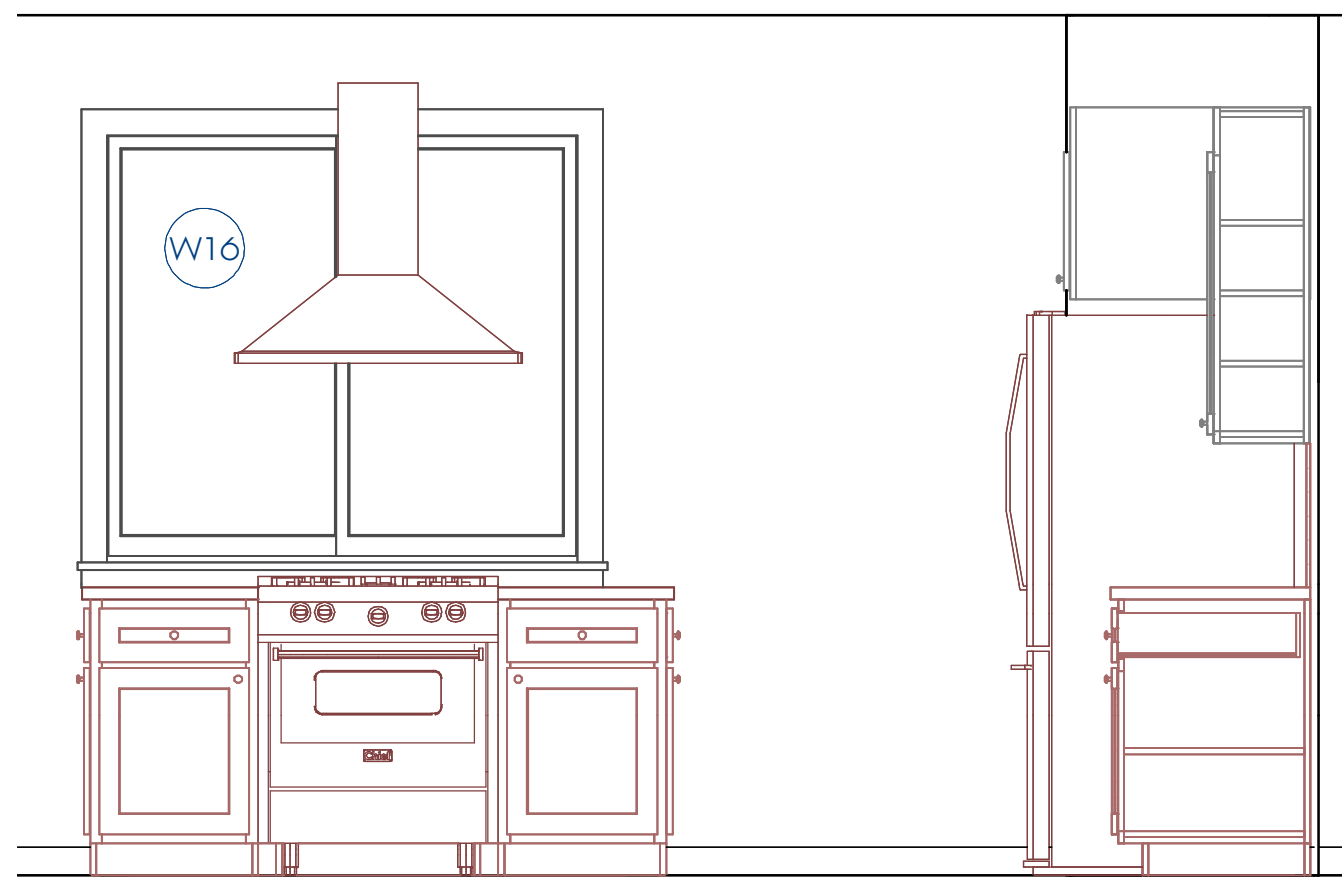
6  
A6  
(N) SFD - KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



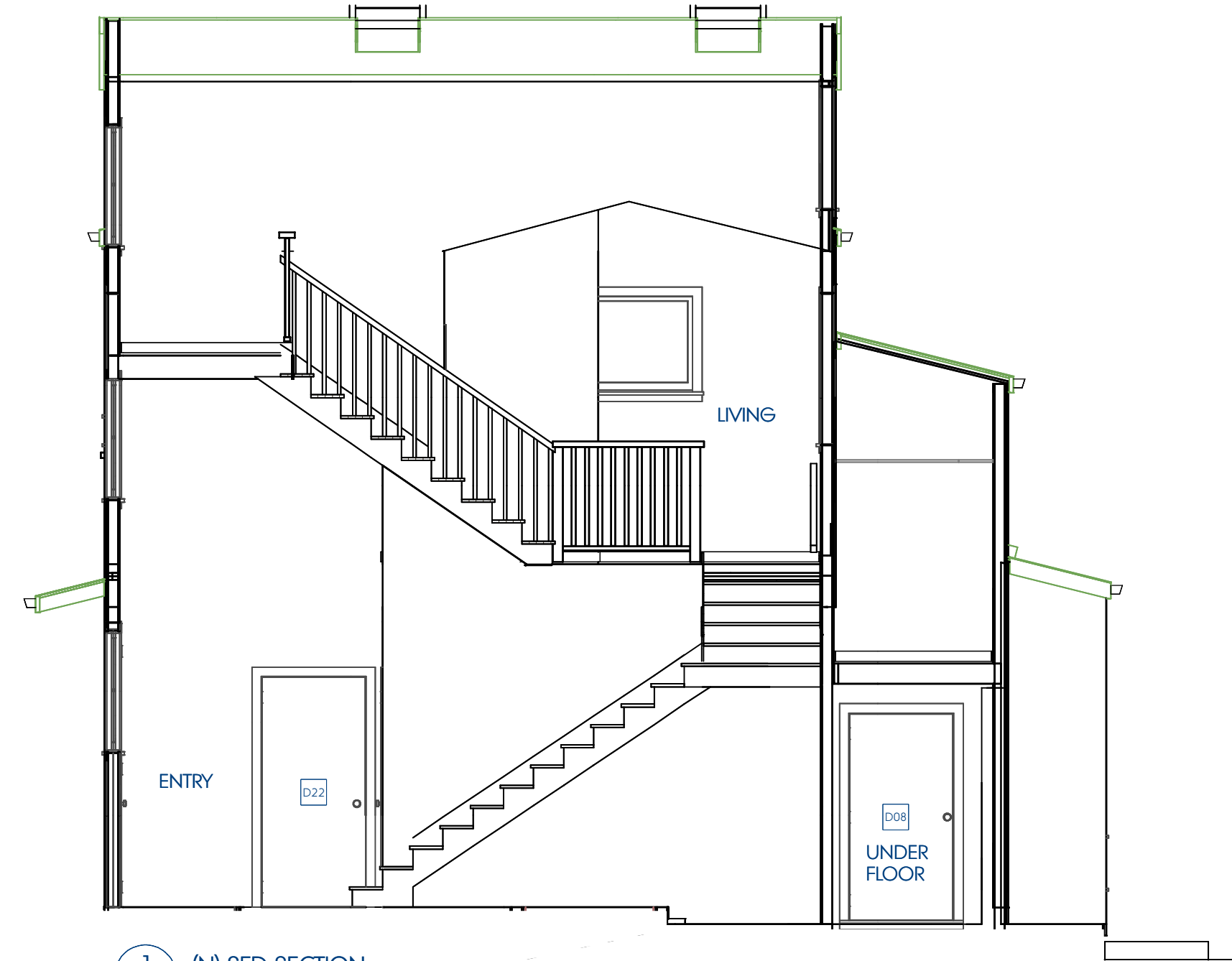
5  
A6  
(N) SFD - KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



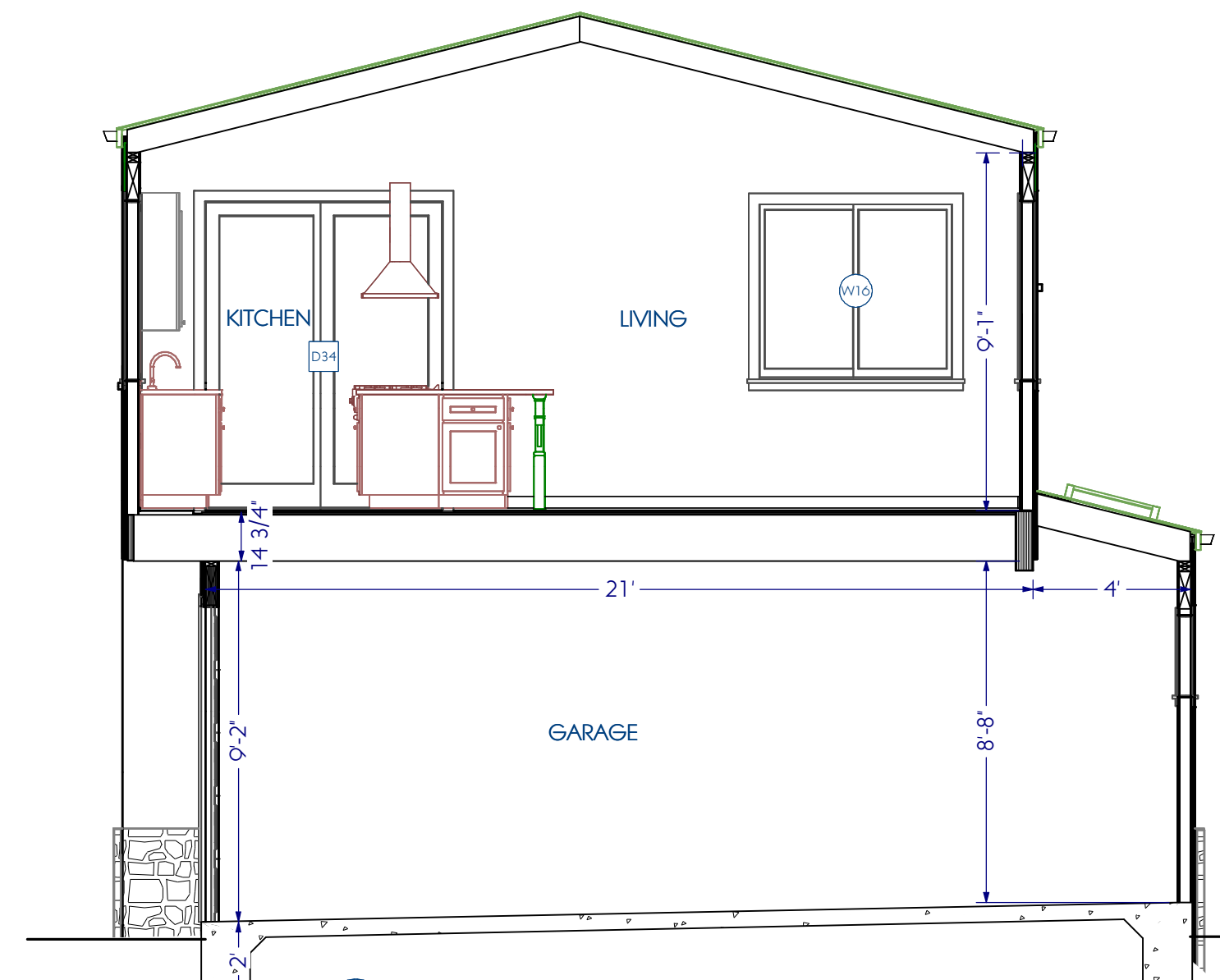
8  
A6  
(N) SFD - LAUNDRY ELEVATION  
SCALE 1/2" = 1'-0"



7  
A6  
(N) SFD - KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



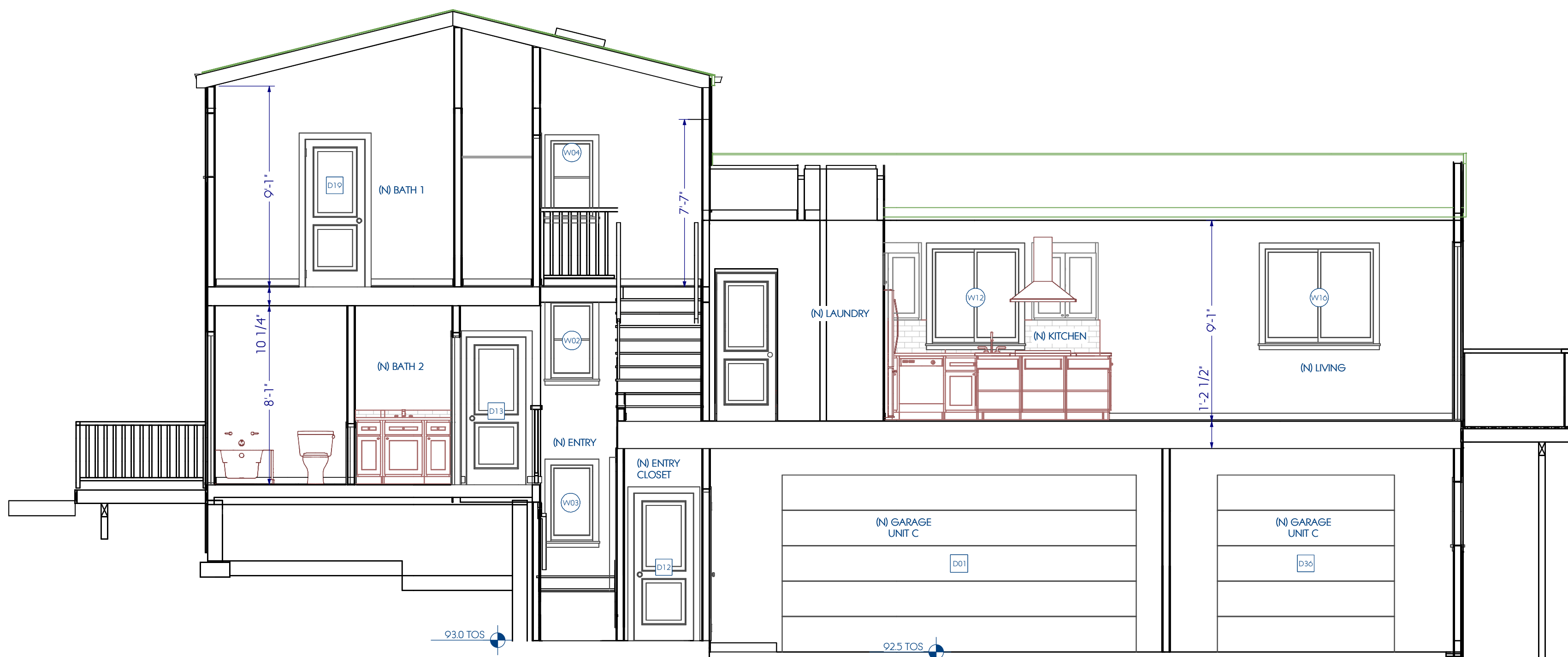
1  
A6  
(N) SFD SECTION  
SCALE 1/4" = 1'-0"



2  
A6  
(N) SFD - SECTION  
SCALE 1/4" = 1'-0"



3  
A6  
(N) SFD SECTION  
SCALE 1/4" = 1'-0"



4  
A6  
(N) SFD SECTION  
SCALE 1/4" = 1'-0"

MASTER PLANNING APPLICATION SET

KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS:  
1 07/02/2025  
2 08/21/2025  
3 10/11/2025

(N) SFD SECTIONS

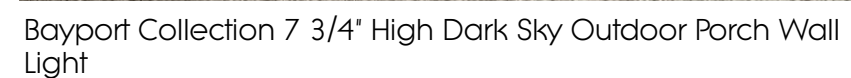
SCALE: AS NOTED  
SHEET:

A6





## EXTERIOR COLORS & TEXTURES



### Product Details

- Dark Sky
- 7 3/4" high x 7" wide. Extends 8' from the wall.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Bayport Collection outdoor wall light from Designers Fountain. Features an industrial or barn light look.
- Bronze finish. Cast aluminum construction. Profile was inspired by factory industrial lights and barn light designs.
- Wet location outdoor rated. Dark sky friendly design. Dark Sky regulations vary by region, so please check with your local municipality for requirements.

EXTERIOR LIGHTING  
(DARK SKY REQ'D.)



# MASTER PLANNING APPLICATION SET

# KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
A.P.N. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS:  07/08/2025

1 07/02/2025

2 08/21/2025

3 10/11/2025

### (N) DUPLEX ADDITION ELEVATIONS

SCALE: AS NOTED

SHEET:

A7

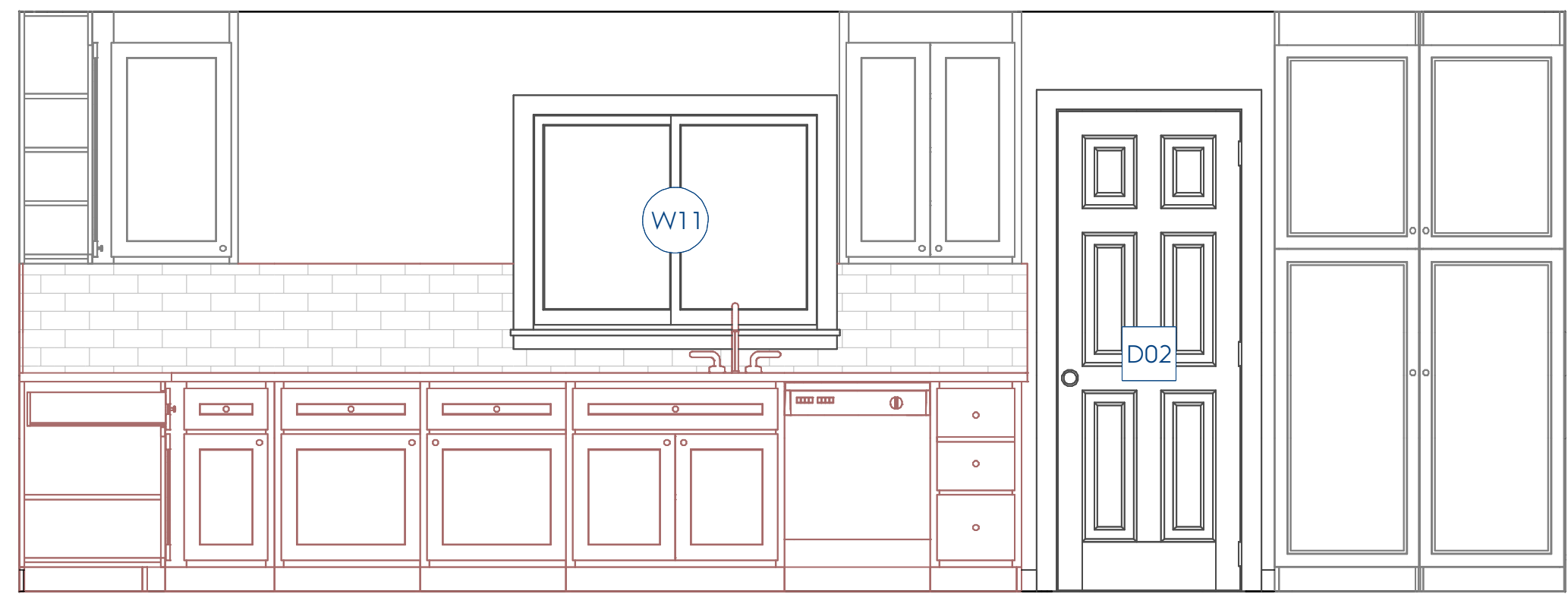
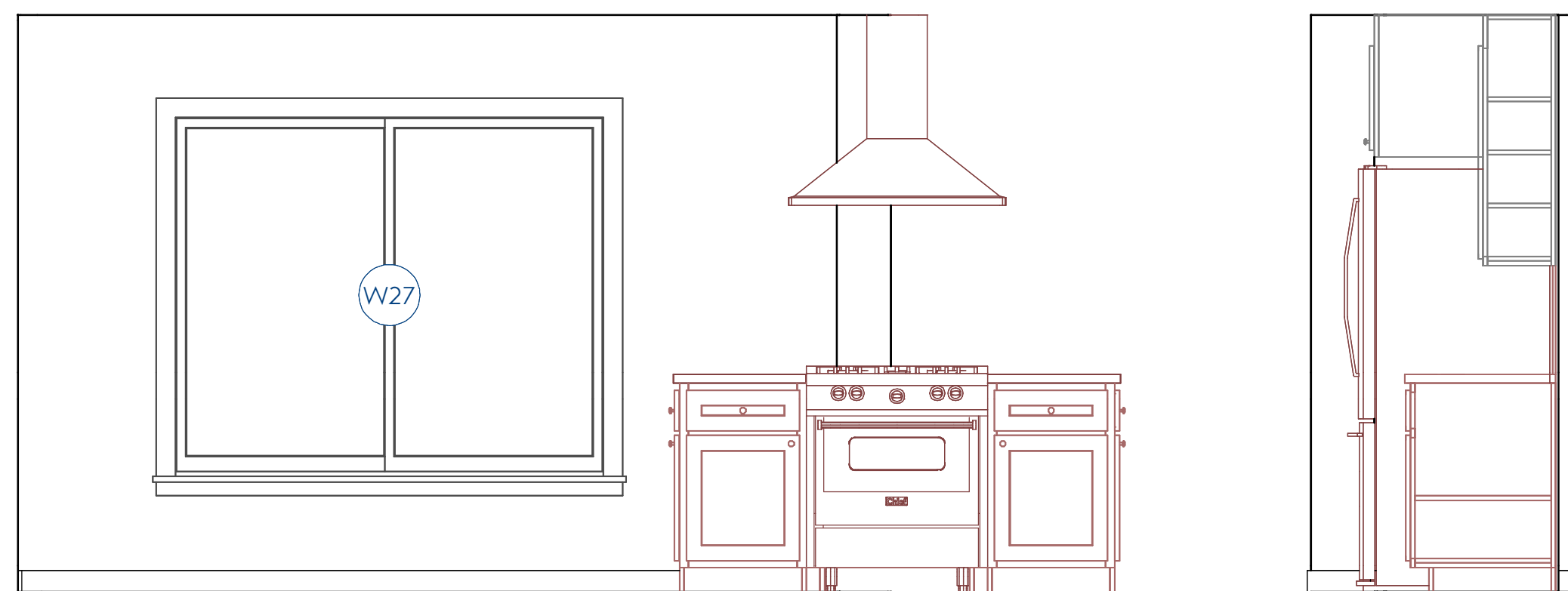
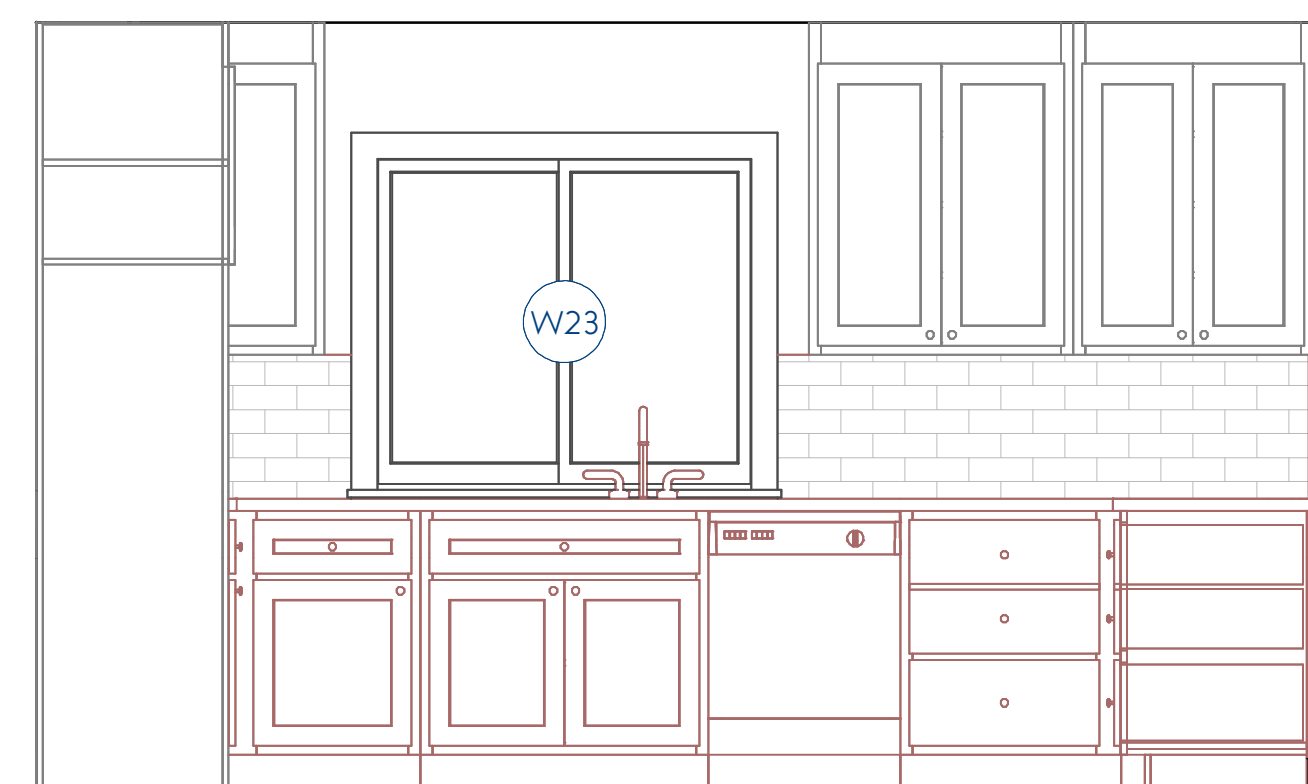
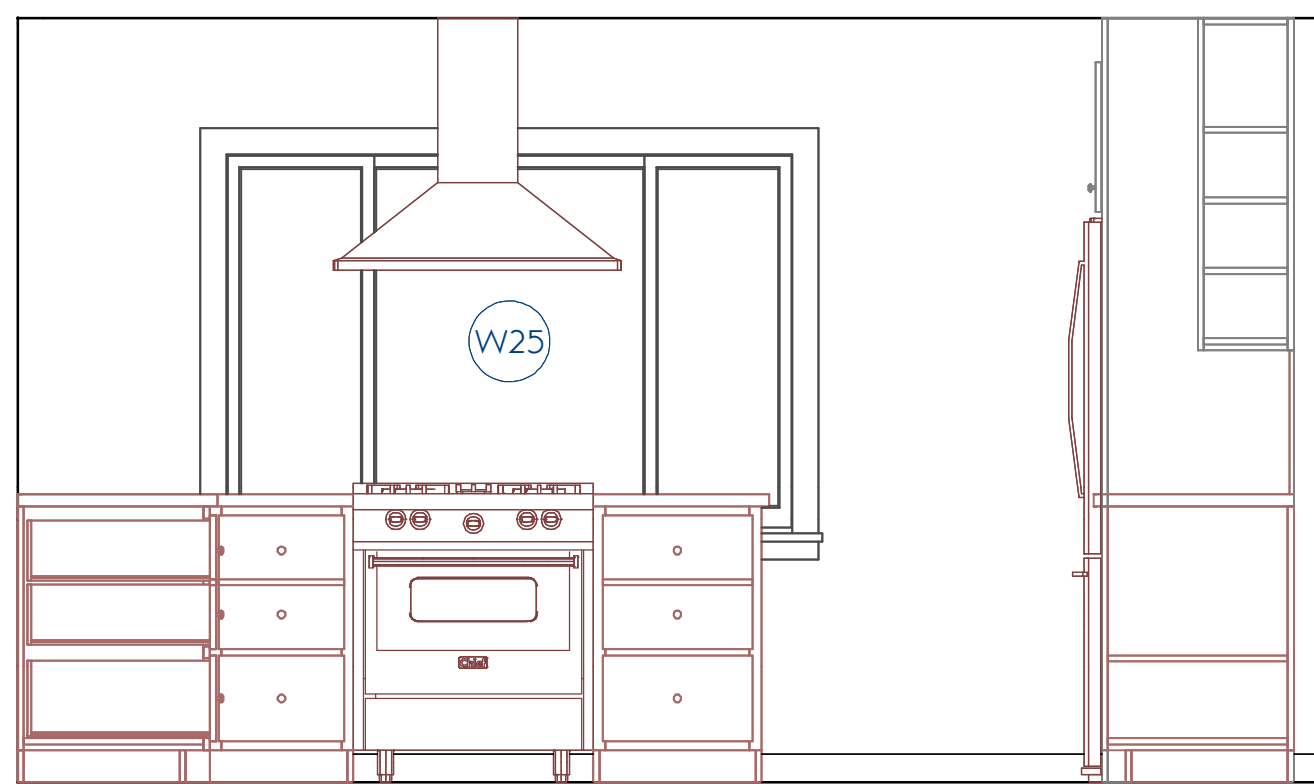
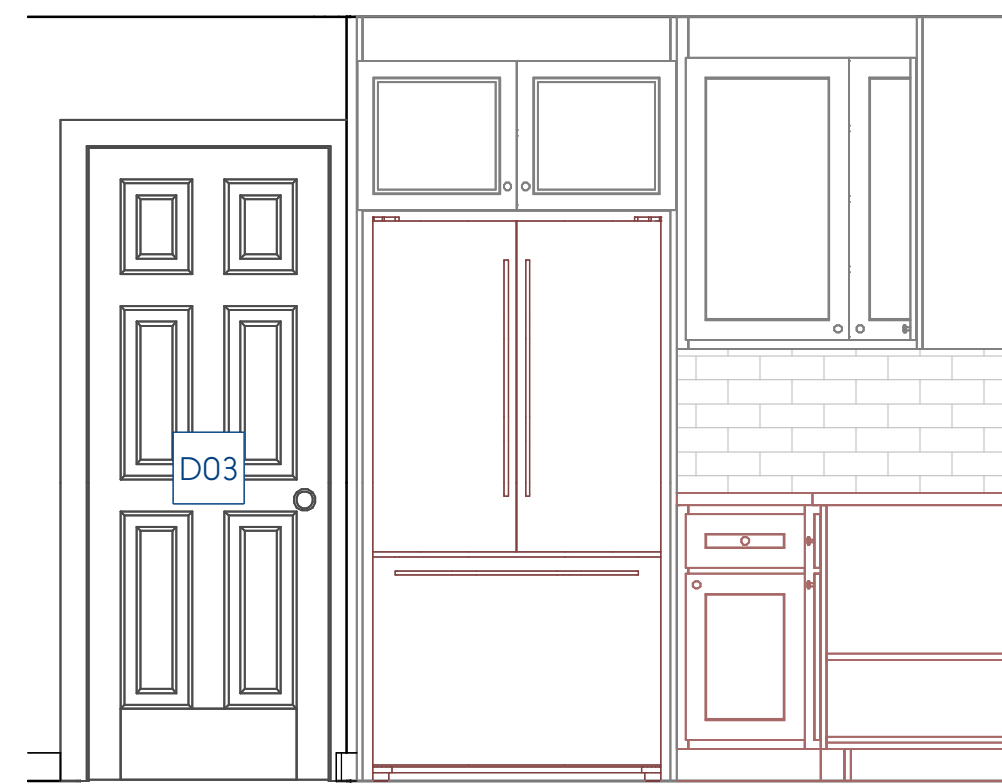
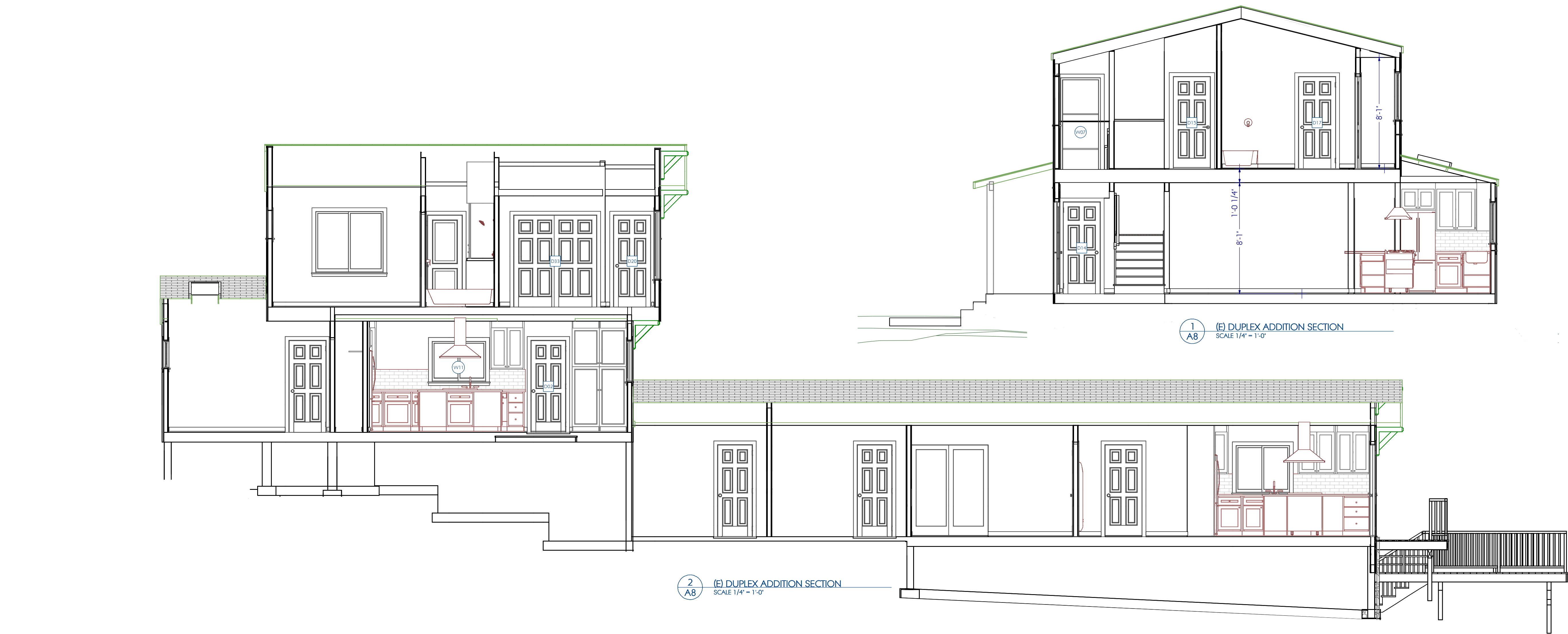
V7.5

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

© SANTA CRUZ HOME DESIGN 2024



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024



MASTER PLANNING APPLICATION SET

KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE: 03/17/2025

REVISIONS:  
1 07/02/2025  
2 08/21/2025  
3 10/11/2025

(N) DUPLEX ADDITION  
SECTIONS

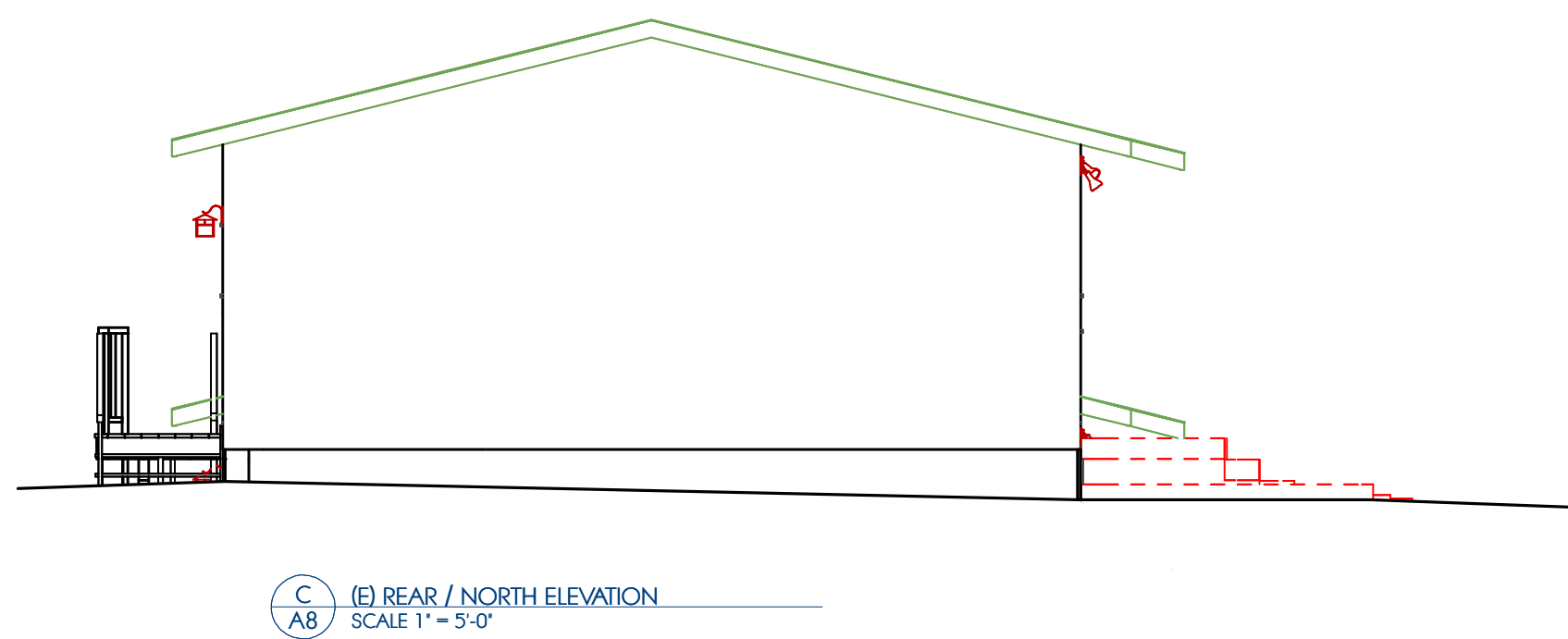
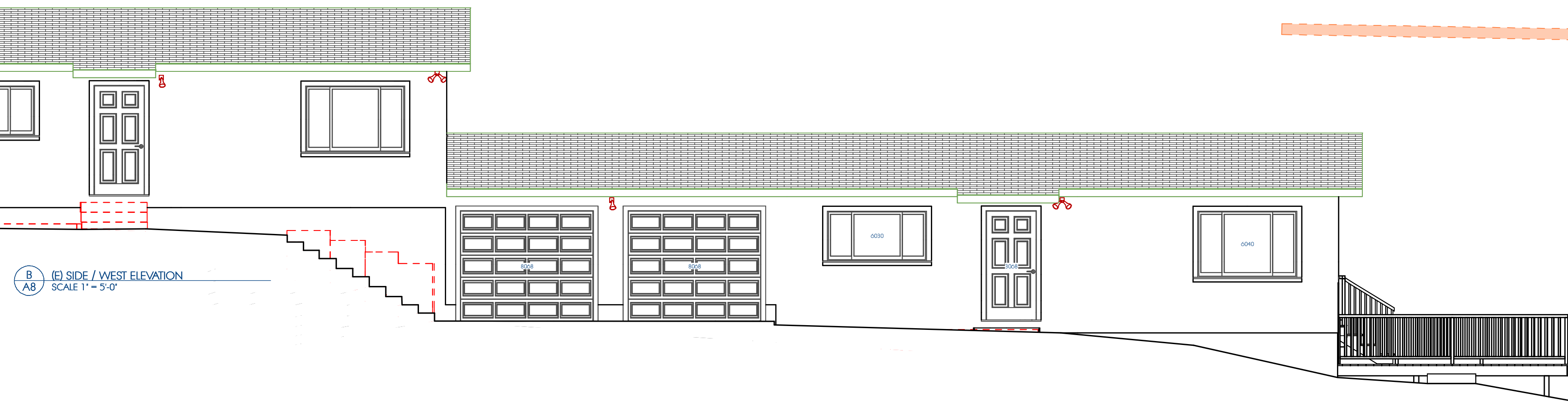
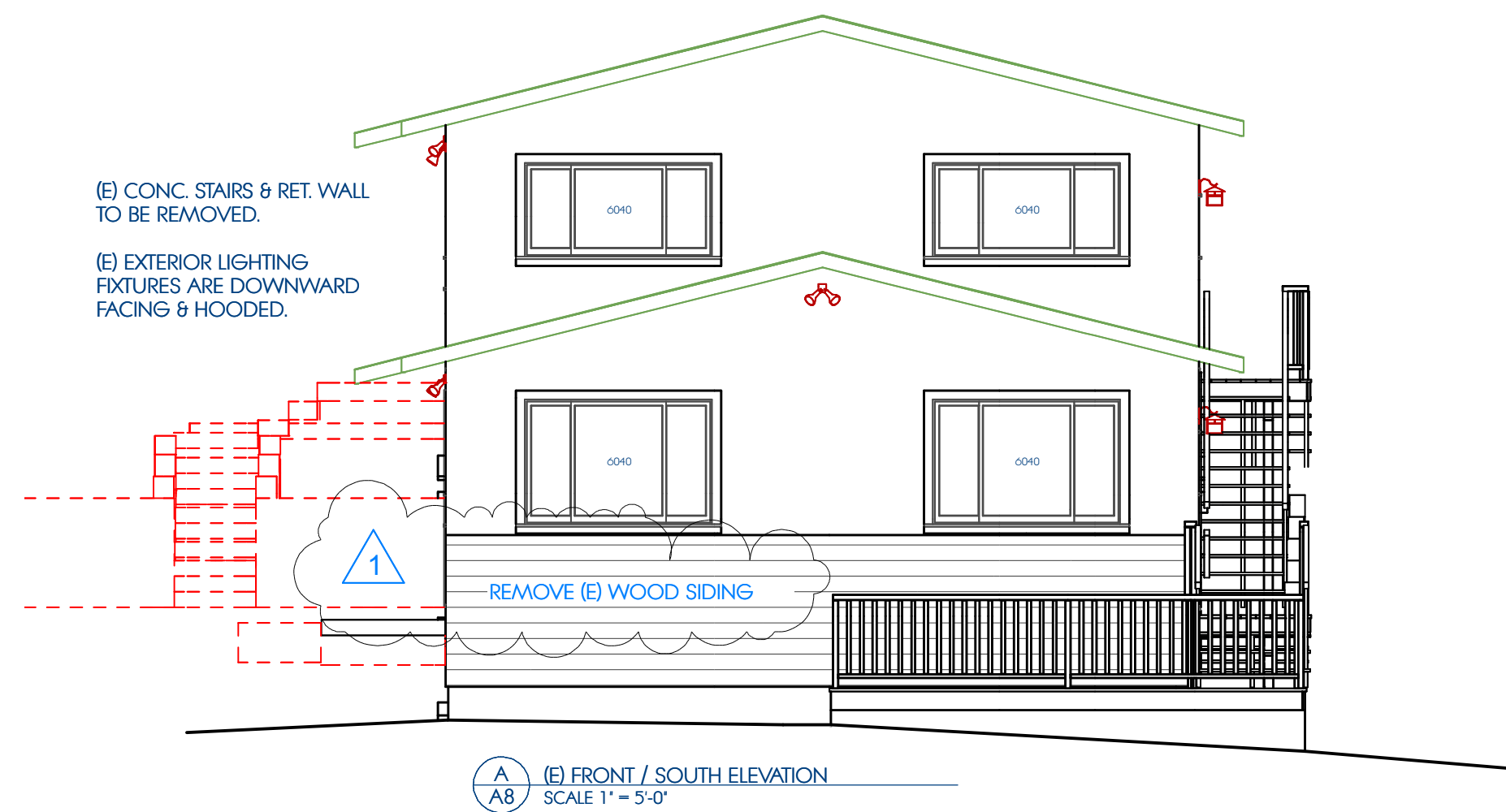
SCALE: AS NOTED 1/4" = 1'-0"  
SHEET:

A8

V7.5



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024



506 PINE STREET, CAPITOLA - Duplex Units A & B  
CONSTRUCTION COST BREAKDOWN PER Section 17.92.070

Existing Building Costs:	1618 square foot =	\$323,600.00
Existing Residence:	\$200.00 square foot =	\$44,400.00
Existing Garage:	494 square foot =	\$9,375.00
Existing Deck:	375 square foot =	\$377,435.00
	\$25.00 square foot =	\$301,948.00
	Total Existing Value:	
	80% of Total Existing Value	

New Construction Costs:	730 square foot =	\$146,000.00
New Conditioned Space:	\$200.00 square foot =	\$31,680.00
New Garage:	352 square foot =	\$1,625.00
New deck/porch:	\$90.00 square foot =	\$179,305.00
	\$25.00 square foot =	
	Total New Construction Value:	

Remodel Costs: (50% of 'new construction' costs)	748 square foot =	\$74,800.00
Remodel Conditioned Space:	\$100.00 square foot =	\$-
Remodel Garage:	0 square foot =	\$-
Remodel Deck:	\$45.00 square foot =	\$612.50
	\$12.50 square foot =	\$75,412.50
	Total Remodel Value:	\$254,717.50
	Total Construction/Remodel Cost	67.5%
	% of Existing Value	

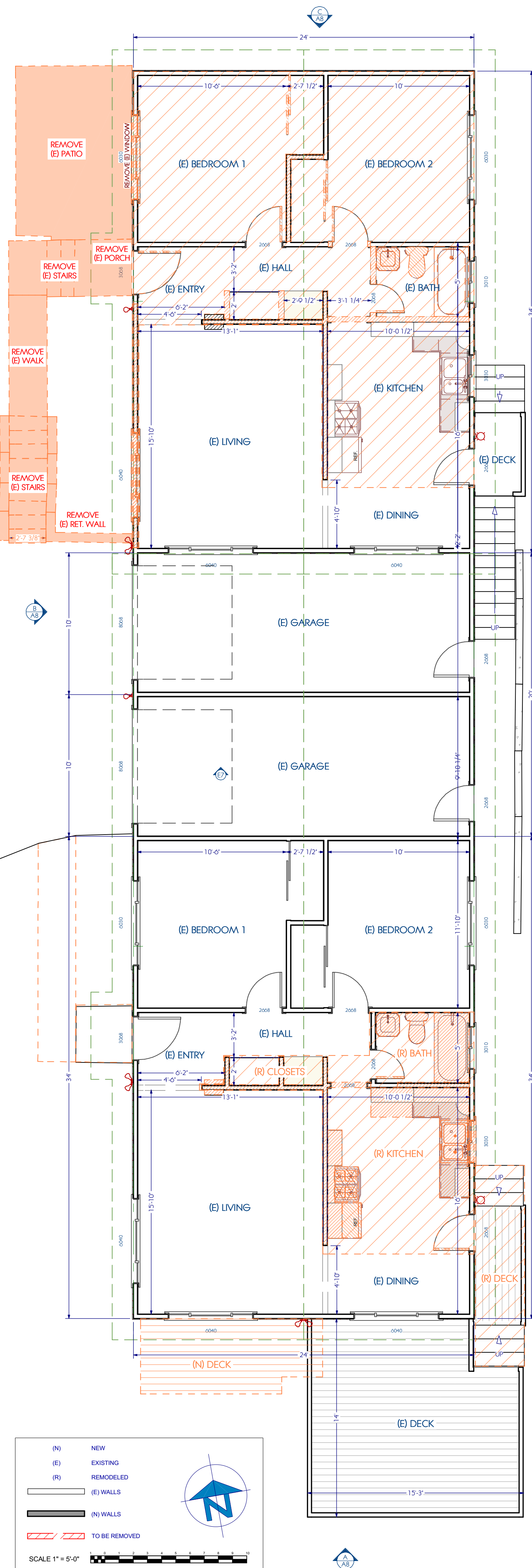
AREA TOTALS  
(E) DUPLEX

UNIT 'A'	800 SQ. FT.
(E) LIVING	247 SQ. FT.
(E) GARAGE	203 SQ. FT.
(E) DECK	65 SQ. FT.
(N) DECK	

REMODELED AREA	100 SQ. FT.
(SHOWN HATCHED)	
(E) LIVING	62 SQ. FT.
REMODELED DECK	40 SQ. FT.

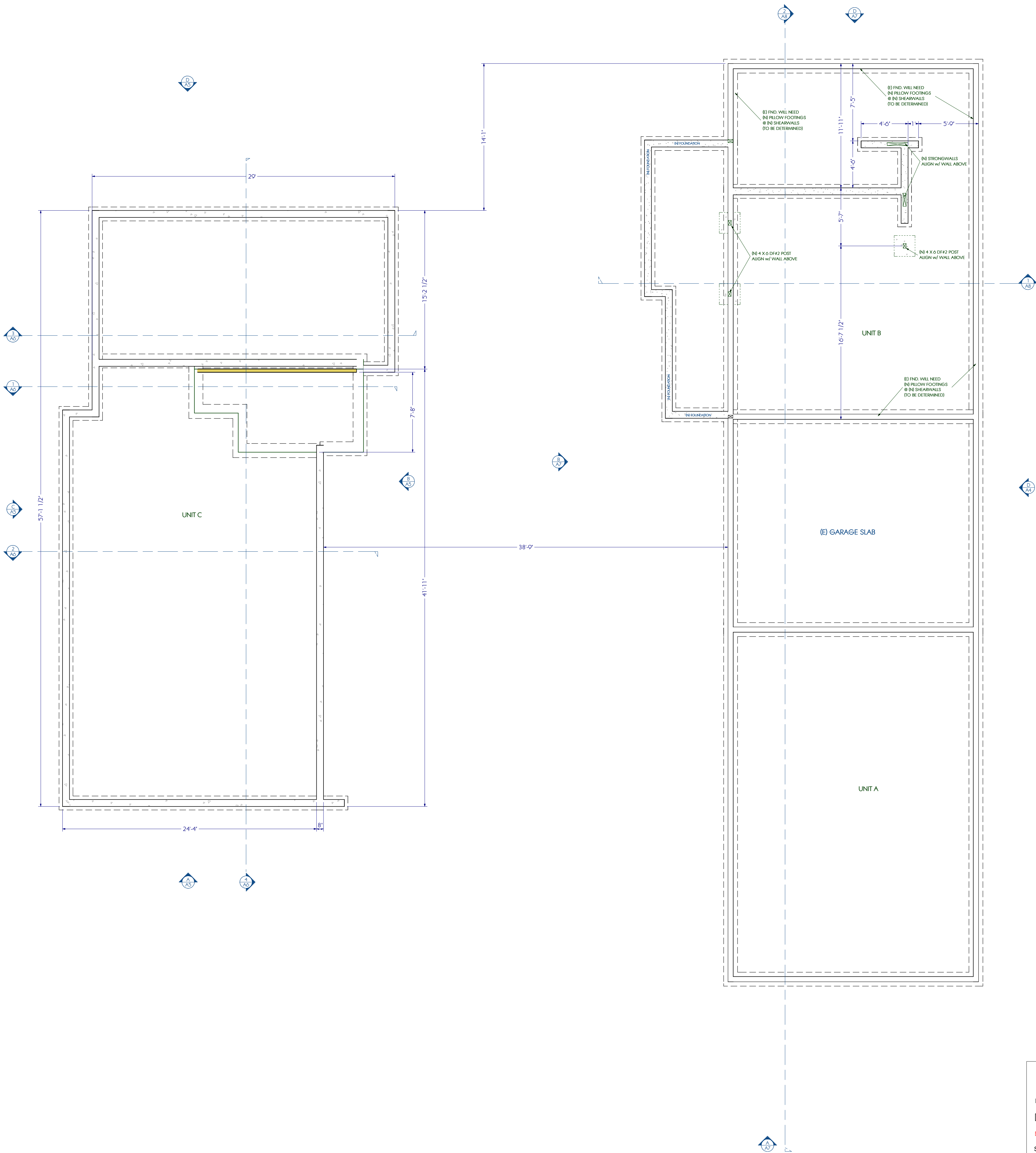
UNIT 'B'	800 SQ. FT.
(E) LIVING	247 SQ. FT.
(E) GARAGE	203 SQ. FT.
(E) DECK	65 SQ. FT.
(N) 1ST LIVING	118 SQ. FT.
(N) 2ND LIVING	612 SQ. FT.

REMODELED AREA	558 SQ. FT.
(SHOWN HATCHED)	
LIVING	0 SQ. FT.
GARAGE	





THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024



(N) SFD - FOUNDATION PLAN - SCALE 1" = 5'-0"

(E) DUPLEX ADDITION - FOUNDATION PLAN - SCALE 1" = 5'-0"

# MASTER PLANNING APPLICATION SET

KELLY FAMILY

506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE:	03/17/2025
REVISIONS:	
1	07/02/2025
2	08/21/2025
3	10/11/2025

(N) FOUNDATION PLANS

SCALE: AS NOTED  
SHEET:

A10

V7.5

SC HD

DOUG SILVERA CAL.B.D.

SANTA CRUZ HOME DESIGN

HOME DESIGN

sanacruzhome@gmail.com

PO BOX 4308

Capitola, CA 95010

(831) 345-5383

Doug Silvera

10/11/2025



THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE DESIGNER AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
© SANTA CRUZ HOME DESIGN 2024



NEIGHBORING STRUCTURES - SCALE 1" = 10'-0"

SC  
HD

DOUG SILVERA CALIF. D.

SANTA CRUZ  
HOME DESIGN

[santacruzhome@scdesign.com](mailto:santacruzhome@scdesign.com)  
[dougscd@gmail.com](mailto:dougscd@gmail.com)  
PO BOX 4308  
CAPITOLA, CA 95010  
(831) 345-0383

*Nery Whum*

10/11/2025

MASTER PLANNING APPLICATION SET

KELLY FAMILY  
506 PINE STREET  
CAPITOLA, CA 95010  
APN. 036-022-10

PLAN DATE:	03/17/2025
REVISIONS:	
1	07/02/2025
2	08/21/2025
3	10/11/2025

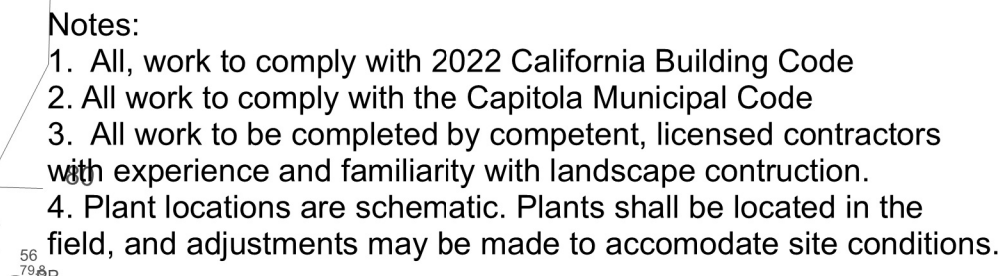
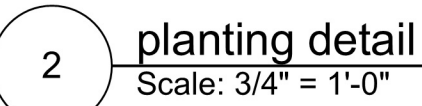
(E) NEIGHBORING  
STRUCTURES

SCALE: AS NOTED

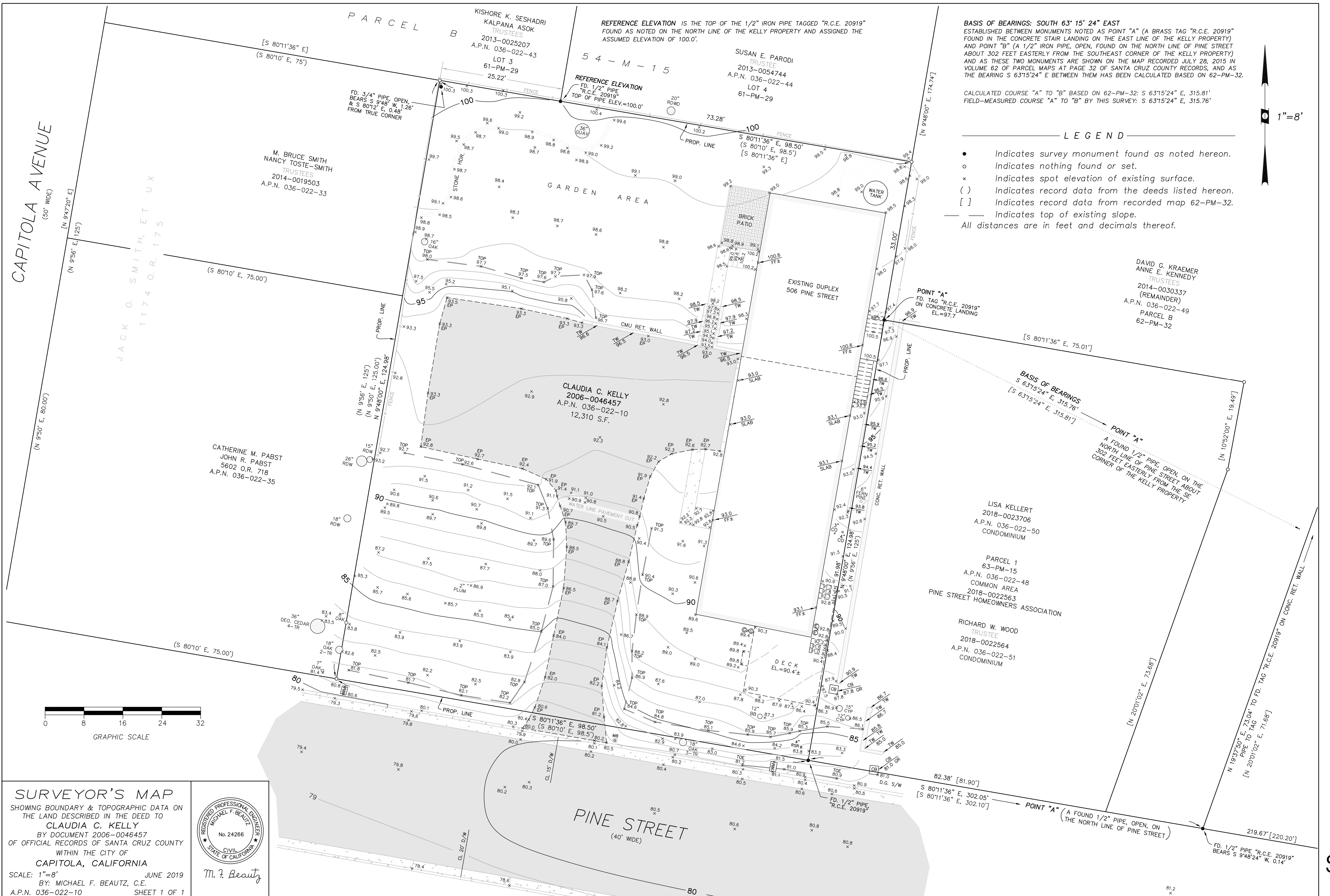
SHEET:

A11









**SURVEYOR'S MAP**  
SHOWING BOUNDARY & TOPOGRAPHIC DATA ON  
THE LAND DESCRIBED IN THE DEED TO  
**CLAUDIA C. KELLY**  
BY DOCUMENT 2006-0046457  
OF OFFICIAL RECORDS OF SANTA CRUZ COUNTY  
WITHIN THE CITY OF  
**CAPITOLA, CALIFORNIA**  
SCALE: 1"=8' JUNE 2019  
BY: MICHAEL F. BEAUTZ, C.E.  
A.P.N. 036-022-10 SHEET 1 OF 1



M. F. Beautz

**BASIS OF BEARINGS: SOUTH 63° 15' 24" EAST**  
ESTABLISHED BETWEEN MONUMENTS NOTED AS POINT "A" (A BRASS TAG "R.C.E. 20919" FOUND IN THE CONCRETE STAIR LANDING ON THE EAST LINE OF THE KELLY PROPERTY) AND POINT "B" (A 1/2" IRON PIPE, OPEN, FOUND ON THE NORTH LINE OF PINE STREET ABOUT 302 FEET EASTERLY FROM THE SOUTHEAST CORNER OF THE KELLY PROPERTY) AND AS THESE TWO MONUMENTS ARE SHOWN ON THE MAP RECORDED JULY 28, 2015 IN VOLUME 62 OF PARCEL MAPS AT PAGE 32 OF SANTA CRUZ COUNTY RECORDS, AND AS THE BEARING S 63°15'24" E BETWEEN THEM HAS BEEN CALCULATED BASED ON 62-PM-32.

CALCULATED COURSE "A" TO "B" BASED ON 62-PM-32: S 63°15'24" E, 315.81'  
FIELD-MEASURED COURSE "A" TO "B" BY THIS SURVEY: S 63°15'24" E, 315.76'

**LEGEND**

- Indicates survey monument found as noted hereon.
  - o Indicates nothing found or set.
  - x Indicates spot elevation of existing surface.
  - ( ) Indicates record data from the deeds listed hereon.
  - [ ] Indicates record data from recorded map 62-PM-32.
  - Indicates top of existing slope.
- All distances are in feet and decimals thereof.

1"=8'

DAVID G. KRAEMER  
ANNE E. KENNEDY  
TRUSTEES  
2014-0030337  
(REMAINDER)  
A.P.N. 036-022-49  
PARCEL B  
62-PM-32

**BASIS OF BEARINGS**  
S 63°15'24" E, 315.76'  
[S 63°15'24" E, 315.81']

**POINT "A"**  
A FOUND 1/2" PIPE, OPEN, ON THE  
NORTH LINE OF PINE STREET ABOUT  
302 FEET EASTERLY FROM THE SE  
CORNER OF THE KELLY PROPERTY

LISA KELLERT  
2018-0023706  
A.P.N. 036-022-50  
CONDOMINIUM

PARCEL 1  
63-PM-15  
A.P.N. 036-022-48  
COMMON AREA  
2018-0022563  
PINE STREET HOMEOWNERS ASSOCIATION

RICHARD W. WOOD  
TRUSTEE  
2018-0022564  
A.P.N. 036-022-51  
CONDOMINIUM

**POINT "A"**  
(A FOUND 1/2" PIPE, OPEN, ON  
THE NORTH LINE OF PINE STREET)

FD. 1/2" PIPE "R.C.E. 20919"  
BEARS S 9°48'24" W, 0.14'



