

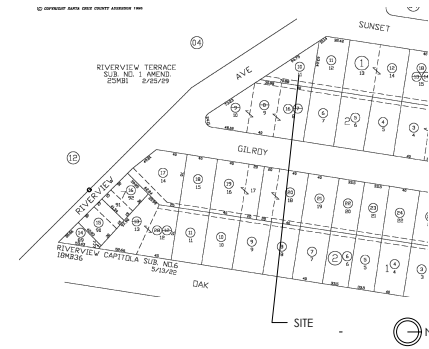
ABBREVIATIONS

&	AND	H.B.	HOSE BIB
L, A	ANGLE	HDR.	HEADER
@	AT	HDWR.	HARDWARE
°	DEGREE	HORIZ.	HORIZONTAL
A.B.	ANCHOR BOLT	HT., H.	HEIGHT
(A)	ABOVE	ID.	INSIDE DIAMETER
A.C.I.	AMERICAN CONCRETE INSTITUTE	IN.	INCH(ES)
ADJ.	ADJACENT	INSUL.	INSULATION
A.F.F.	ABOVE FINISH FLOOR	INT.	INTERIOR
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	JT.	JOINT
ALT.	ALTERNATE	K.P.	KING POST
ALUM.	ALUMINUM	L.	LENGTH
APPROX.	APPROXIMATELY	LIN.	LINEAR
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	M.B.	MACHINE BOLT
(B)	BELOW	MEMB.	MEMBRANE
BD.	BOARD	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
BLKG.	BLOCKING	MISC.	MISCELLANEOUS
BM.	BEAM	MTL.	METAL
B.N.	BOUNDARY NAILING	MW.	MICROWAVE
B.O.	BOTTOM OF	N.	NEW
BOT.	BOTTOM	N.T.S.	NOT TO SCALE
BOTT.	BOTTLE	O/	OVER
BTWN.	BETWEEN	O.C.	ON CENTER
CAB.	CABINET	O.D.	OUTSIDE DIAMETER
C.B.	CEILING BEAM	O.H.	OPPOSITE HAND
C.J.	CEILING JOIST	O.V.	OVEN
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	PL.	PLATE
COL.	COLUMN	PLYWD.	PLYWOOD
CONC.	CONCRETE	PKG.	PARKING
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE FOOT
CTR.	CENTER	P.S.I.	POUNDS PER SQUARE INCH
CL	CENTERLINE	QTY.	QUANTITY
Db	BAR DIAMETER	RAD.	RADIUS
DBL.	DOUBLE	R.B.	ROOF BEAM
DEG.	DEGREE	RCP.	REFLECTED CEILING PLAN
DEMO.	DEMOLISH	RE.	REFERENCE
DET., DTL.	DETAIL	REF.	REFRIGERATOR
D.W.	DISHWASHER	REINF.	REINFORCED
DWG.	DRAWING	REQ'D.	REQUIRED
DWN.,	DOWN	RM.	ROOM
DN.	DOWN	R.O.	ROUGH OPENING
(E)	EXISTING	R.R.	ROOF RAFTER
EA.	EACH	SCHED.	SCHEDULE
E.N.	EDGE NAILING	SF.,	SQUARE FOOT
EL.	ELEVATION	SQ. FT.	SQ. FT.
ELEV.	ELEVATOR	SHTG.	SHEATHING
ENG.	ENGINEER	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EXT.	EXTERIOR	SL.	SLOPED
E.W.	EACH WAY	SPKL.	SPRINKLER
F.B.	FLOOR BEAM	SQ.	SQUARE
F.F.	FINISHED FLOOR FINISH(ED)	STAGG.	STAGGER
FN.	FINISH(ED)	STD.	STANDARD
F.J.	FLOOR JOIST	STL.	STEEL
FL.	FLUSH	STR.	STRUCTURAL
FLR.	FLOOR	STRUCT.	STRUCT.
F.N.	FIELD NAILING	T&B	TOP & BOTTOM
FND.	FOUNDATION	T&G	TONGUE & GROOVE
F.O.	FACE OF	THK.	THICK
FP.	FIREPLACE	T.O.	TOP OF
F.R.	FIRE RATED	T.P.	TOILET PAPER
FT.	FOOT OR FEET	TYP.	TYPICAL
FIG.	FOOTING	U.B.C.	UNIFORM BUILDING CODE
FZR.	FREEZER	VERT.	VERTICAL
GA.	GAUGE	W.	WIDTH
GALV.	GALVANIZED	WD.	WOOD
G.B.	GRADE BEAM	WH.	WATER HEATER
GLB.	GLU-LAM BEAM		
GYP. BD.,	GYP. WALL BOARD		
G.W.B.			

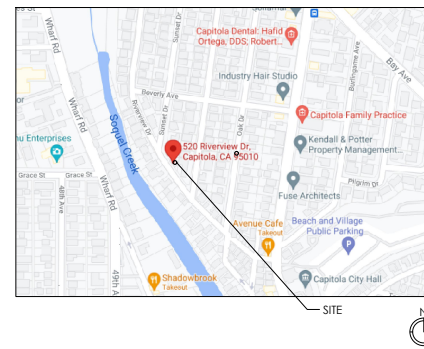
GUNDERSGAARD

REMODEL/ADDITION
520 RIVERVIEW DRIVE
CAPITOLA, CA 95010

VICINITY MAP



PARCEL MAP



CONSULTANTS

ARCHITECT:	MATSON BRITTON ARCHITECTS 728 N. BRANCIFFORTE SANTA CRUZ, CA 95062 PHONE: 831-425-0544
SURVEYOR:	HANAGAN LAND SURVEYING, INC. 305-C SOQUEL AVE SANTA CRUZ, CA 95062 831-469-3428
CIVIL ENGINEER:	RICHARD IRISH ENGINEERING, INC. POYRETO ST #42 SANTA CRUZ, CA 95060 (831) 425-3901

PROJECT INFORMATION

OWNER:	TARRA GUNDERSGAARD 520 RIVERVIEW DRIVE CAPITOLA, CA 95010
A. P. N.:	03508110
ZONING:	R-1
OCCUPANCY GROUP:	R-3 (PER 2019 CBC)
CONSTRUCTION TYPE:	V-B (NOT SPRINKLERED)

PROJECT DESCRIPTION

REMODEL OF EXISTING 2 STORY, 2 BEDROOM 2 BATH RESIDENCE AND CONVERSION ADU.

SHEET INDEX

P1	TITLE SHEET
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P3	EXISTING FLOOR PLANS
P4	EXISTING ELEVATIONS
P5	PROPOSED FLOOR PLANS
P6	PROPOSED ELEVATIONS
SU-1	SURVEY
C-1	STORM WATER PLAN

PROJECT CALCULATIONS

PARCEL AREA	2241.4 S.F.
<u>EXISTING AREAS</u>	
FIRST FLOOR CONDITIONED	761 S.F.
SECOND FLOOR CONDITIONED	416 S.F.
TOTAL EXISTING CONDITIONED AREA	1177 S.F.
<u>EXISTING UNCONDITIONED AREAS:</u>	
STORAGE ACCESSORY BUILDING	58 S.F.
ATTACHED MECHANICAL	19 S.F.
ATTACHED STORAGE CLOSET	12 S.F.
COVERED DECKS	125 S.F.
<u>PROPOSED AREAS</u>	
<u>MAIN HOUSE</u>	
FIRST FLOOR AREA EXISTING TO REMAIN	777 S.F.
FIRST FLOOR AREA PROPOSED	103 S.F.
SECOND FLOOR AREA	419 S.F.
TOTAL AREA MAIN HOUSE	1299 S.F.
NOTE: COVERED & UNCOVERED DECKS TO REMAIN	
ALLOWABLE F.A.R. = 2241 S.F. X .58 = 1300 S.F.	
PROPOSED F.A.R. = 1299 S.F. / 2241 S.F. = 49.9%	



TARRA GERRY
CAPITOLA, CA 95010
831-425-0544

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REVISIONS

REVISION 1/27/2022
REVISION 10/24/2022
RESPONSE 10/17/2023

GUNDERSGAARD RESIDENCE
520 RIVERVIEW
CAPITOLA, CA 95010
APN: 03508110

TITLE SHEET



D A T E
10/14/2022
D R A W N
NH
J O B
GUNDERSGAARD
S H E E T

P1



705 W BRANCHCOURT
 SANTA CRUZ
 CA 95062
 831.425.0544

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REVISION 2	10/24/2022
REVISION 3	01/17/2023

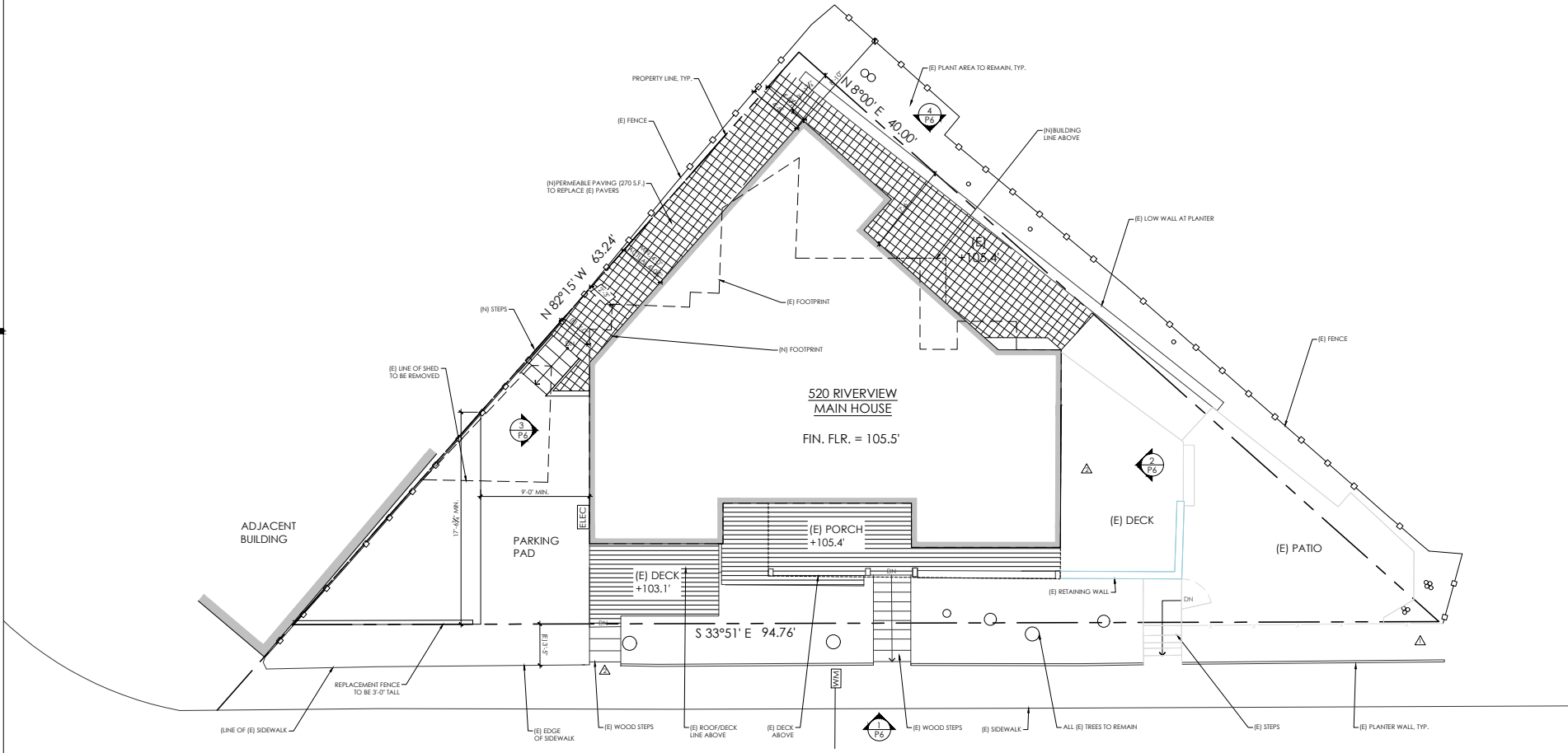
GUNDERSGAARD RESIDENCE
 520 RIVERVIEW
 CAPITOLA, CA 95010
 APN: 03308110

SITE PLAN



DATE	10/14/2022
DESIGNER	NH
PROJECT	GUNDERSGAARD
SHEET	1

P2



SITE PLAN
 SCALE: 1/4" = 1'-0"

1



700 N BRANCKFORTE
SANTA CRUZ
CALIFORNIA
CA 95062
831.425.0544

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REVISIONS

REVISION 1	7/21/2022
REVISION 2	10/24/2022
RESPONSE	03/17/2022

GUNDERSGAARD RESIDENCE
520 RIVERVIEW
CAPITOLA, CA 95010
APN: 03508110

EXISTING FLOOR PLANS

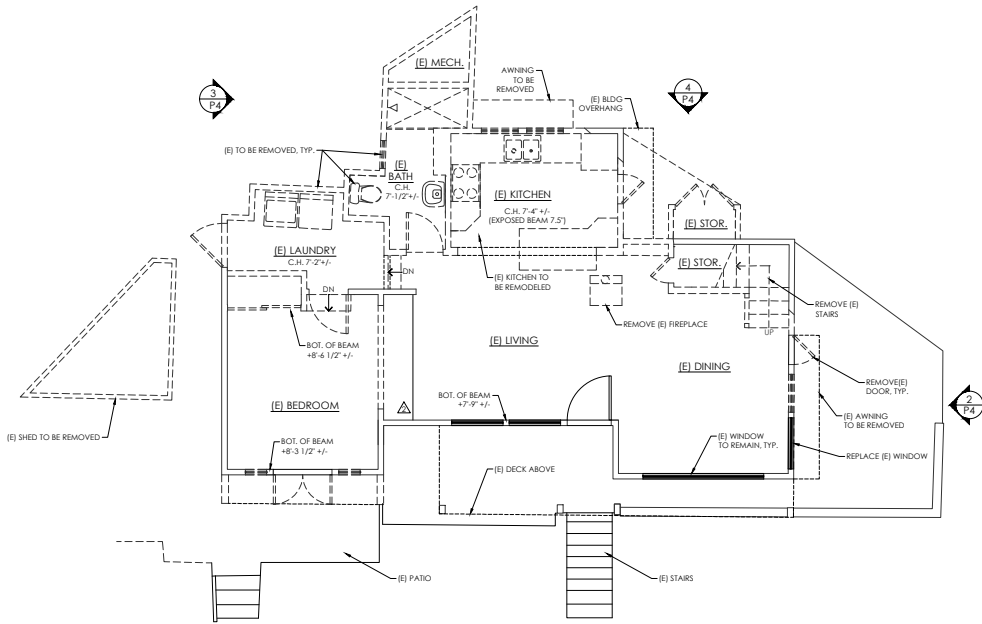
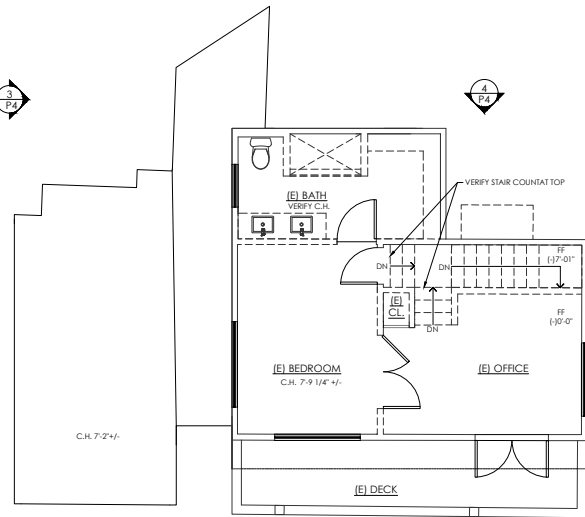


DATE	10/14/2022
DESIGNER	NH
PROJECT	GUNDERSGAARD
SHEET	P3

P3

WALL LEGEND

	(E) TO BE REMOVED
	(E) TO REMAIN
	(N) WALL



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



THE ARCHITECTURE
FIRM OF
MATSON
ARCHITECTS
INC.
1000
B STREET
SANTA ANA, CALIFORNIA
92701
TEL: 949.445.0544
FAX: 949.445.0545

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REVISIONS

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B	REVISION 10/24/2022
C	RESPONSE 03/17/2022

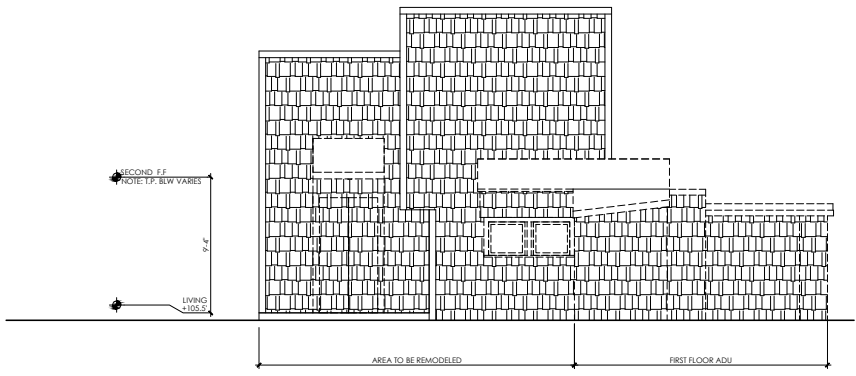
GUNDERGAARD RESIDENCE
520 RIVERVIEW
CAPTOLA, CA 95010
APN: 03308110

EXISTING ELEVATIONS

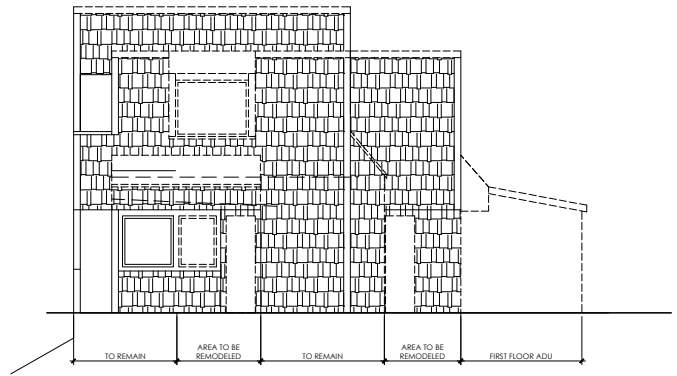


DATE	10/14/2022
DESIGNED BY	NH
DRAWN BY	JD
CHECKED BY	GUNDERGAARD
SHEET	

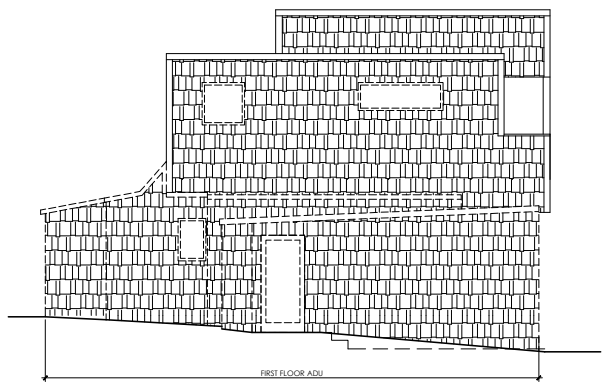
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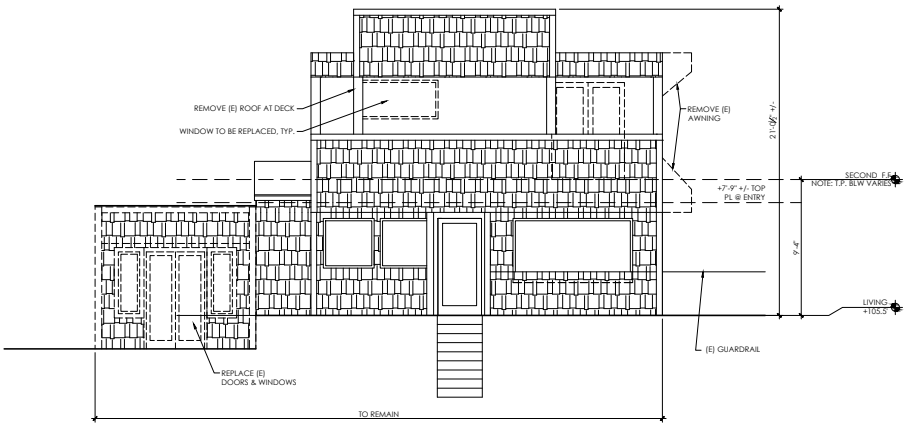
ELEVATION
SCALE: 1/4" = 1'-0" ④



ELEVATION
SCALE: 1/4" = 1'-0" ②



EAST ELEVATION
SCALE: 1/4" = 1'-0" ③



ELEVATION
SCALE: 1/4" = 1'-0" ①



FOR AN EXHAUSTIVE LIST OF REVISONS, SEE THE REVISIONS SECTION.
 DATE: 10/14/2022
 PROJECT: GUNDESGAARD RESIDENCE
 SHEET: P5

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NO.	DESCRIPTION	DATE
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3	REVISION 3	10/17/2022

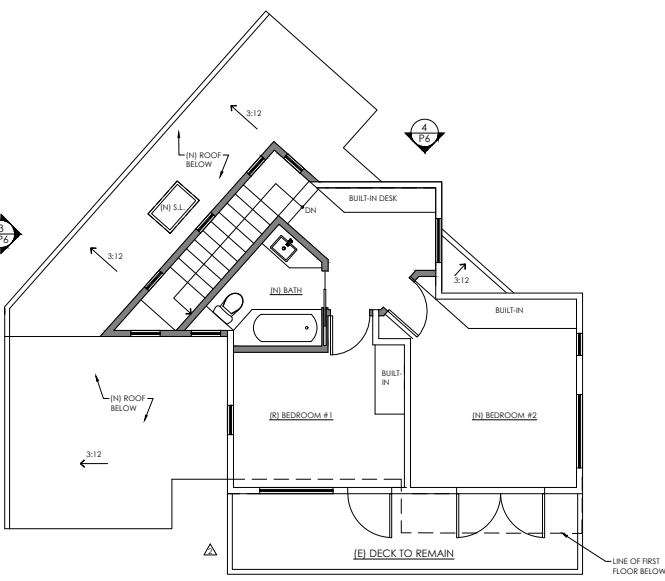
GUNDESGAARD RESIDENCE
 520 RIVERVIEW
 CAPITOLA, CA 95010
 APN: 03308110

PROPOSED FLOOR PLANS

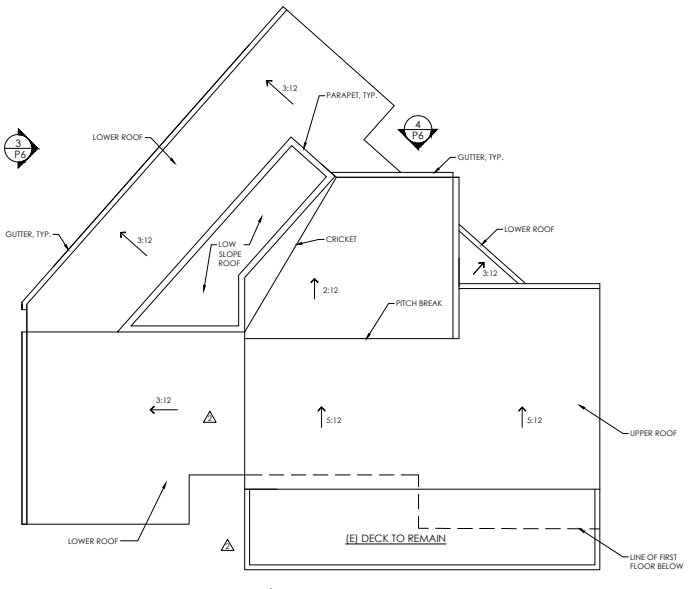


DATE	DESCRIPTION
10/14/2022	DATE WHEN
NH	BY
JOB	NO.
GUNDESGAARD	SHEET

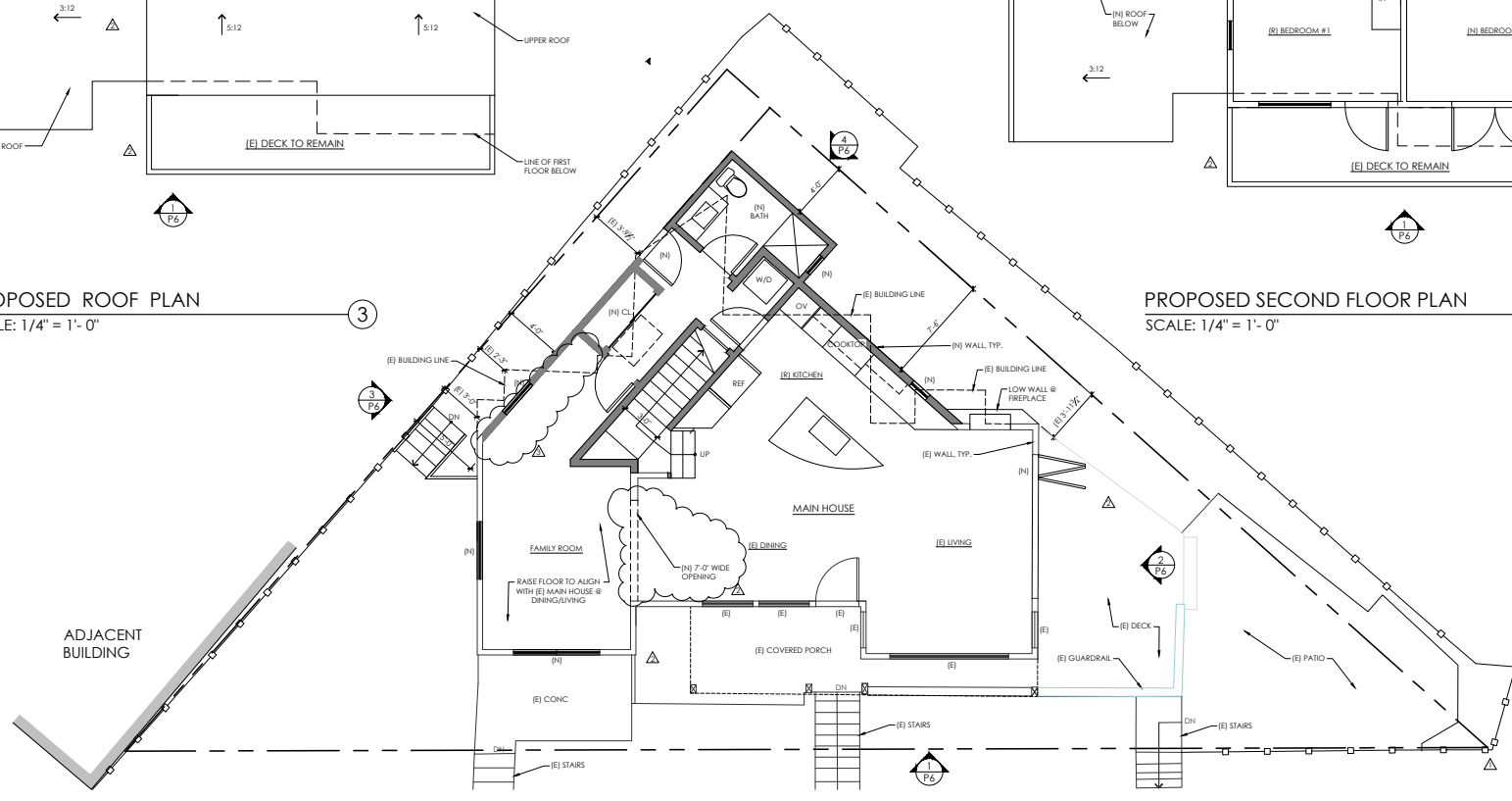
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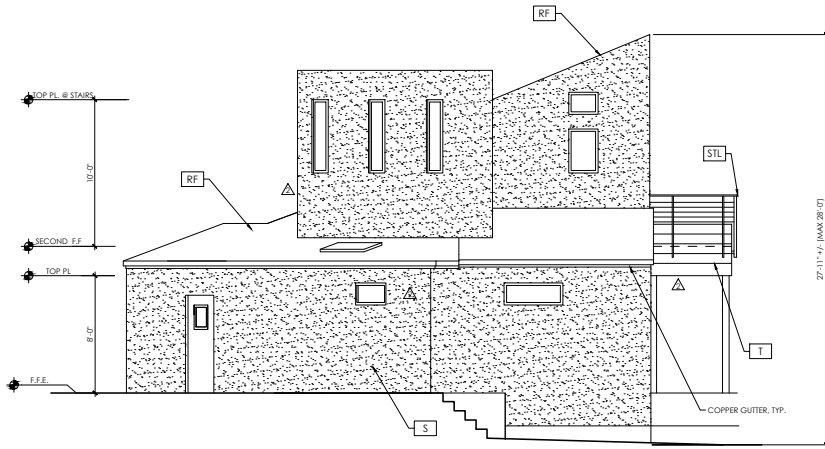
PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

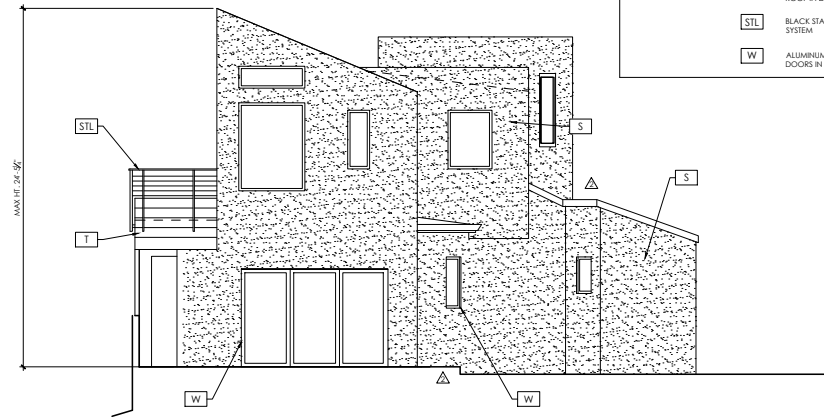


PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



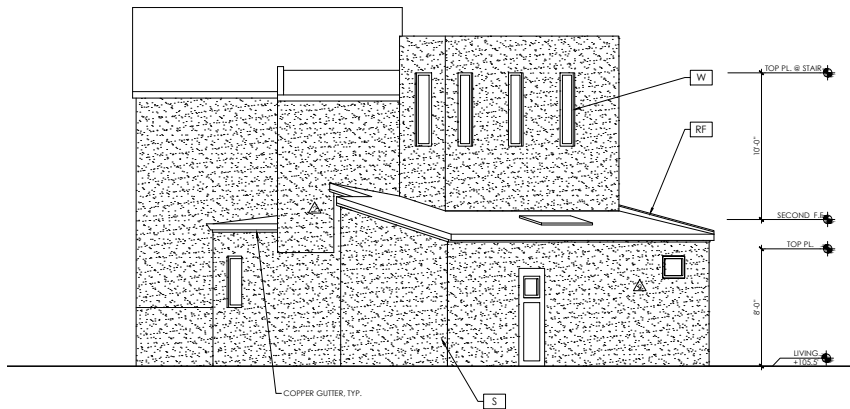
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

4



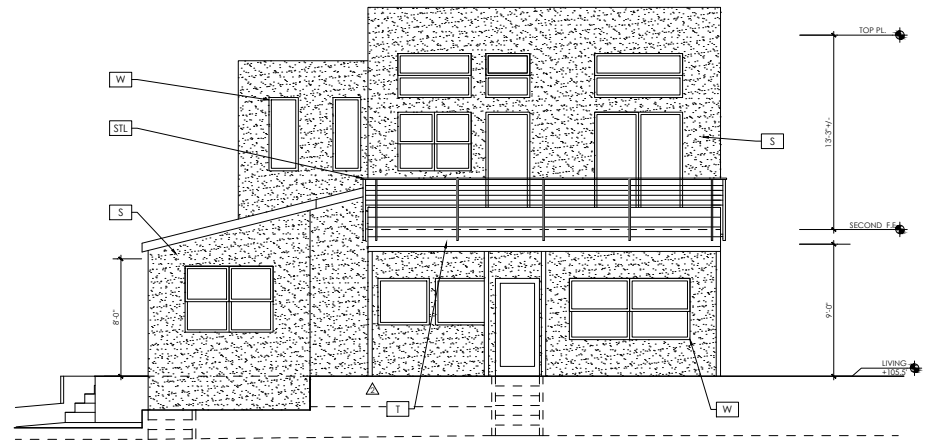
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

2



REAR ELEVATION
SCALE: 1/4" = 1'-0"






3



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1

LEGEND

-  T WOOD TILE EXTERIOR FINISH
-  S HARD TROWEL STUCCO WITH INTEGRAL COLOR IN WHITE
-  RF HIGH PROFILE ASPHALT SHINGLE ROOF IN DARK GRAY
-  STL BLACK STAINLESS STEEL CABLE RAIL SYSTEM
-  W ALUMINUM CLAD WINDOWS & DOORS IN BLACK FINISH



FOR A BRANCH OFFICE
SANITA, CALIF.
C.A. 91588-82
851-455-0544

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 B REVISION 11/24/2022
 C REVISION 03/17/2023

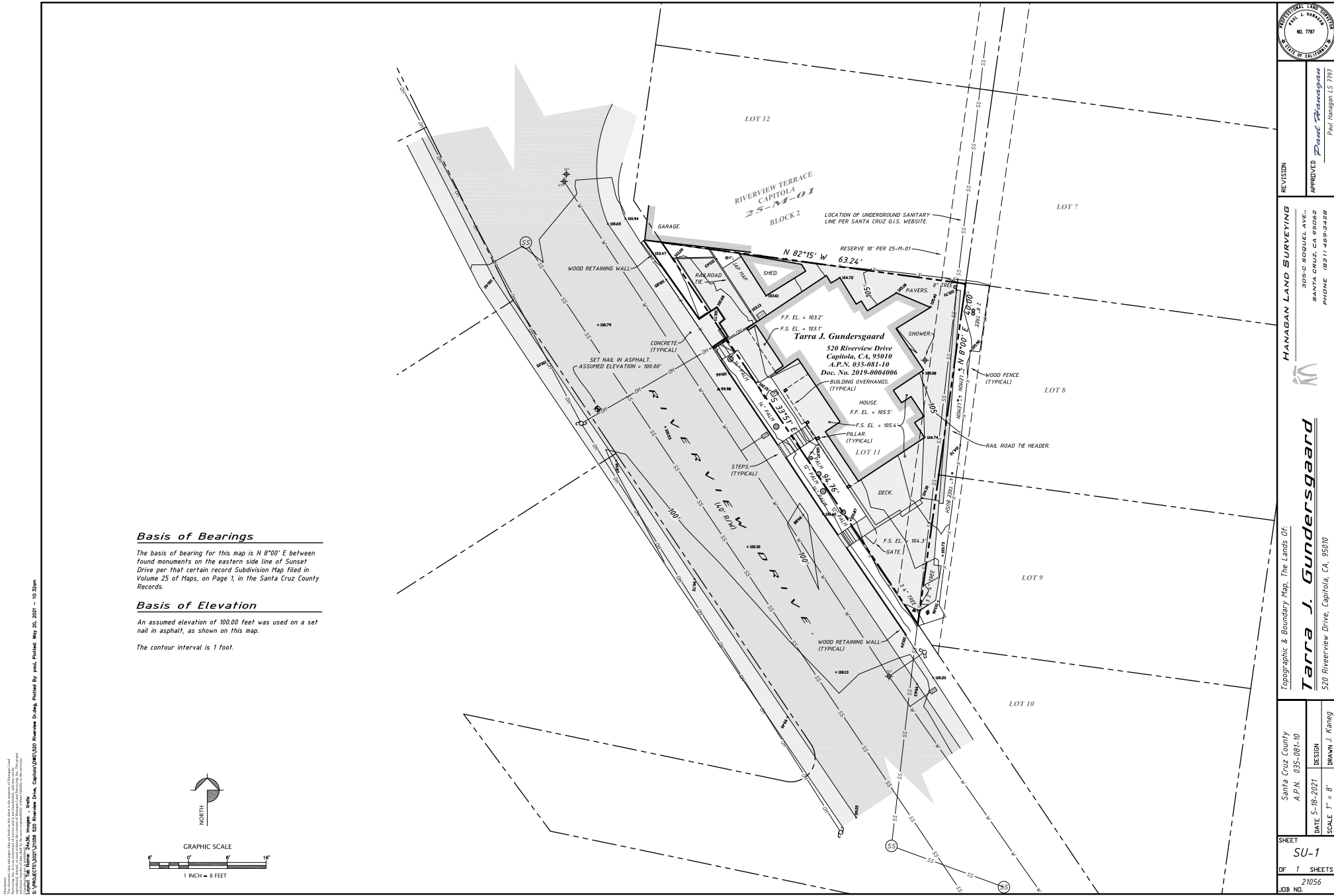
GUNDERSGAARD RESIDENCE
520 RIVERVIEW
CANTONIA, CA 95010
APN: 03308110

PROPOSED ELEVATIONS



DATE	10/14/2022
DESIGNER	NH
PROJECT	GUNDERSGAARD
SHEET	SHEET

P6

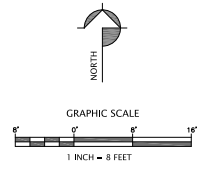


Basis of Bearings

The basis of bearing for this map is N 0°00' E between found monuments on the eastern side line of Sunset Drive per that certain record Subdivision Map filed in Volume 25 of Maps, on Page 1, in the Santa Cruz County Records.

Basis of Elevation

An assumed elevation of 100.00 feet was used on a set nail in asphalt, as shown on this map. The contour interval is 1 foot.



APPROVED
Paul Haugan
Paul Haugan LS 7787

HANAGAN LAND SURVEYING
305-C BODUCEL AVE.,
SANTA CRUZ, CA 95062
PHONE (831) 469-4428



Topographic & Boundary Map, The Lands Of:
Tarra J. Gundersgaard
520 Riverview Drive, Capitola, CA, 95010

Santa Cruz County
A.P.N. 035-081-10
DATE 5-18-2021 DESIGN
SCALE 1" = 8'
BRYAN J. KANEG

SHEET
SU-1
OF 1 SHEETS
21056
JOB NO.

GENERAL NOTES

THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOB SITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.

THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE CITY OF CAPITOLA DEPARTMENT OF PUBLIC WORKS.

ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER ACCOMPANIED BY A DETAILED SKETCH FOR REVIEW BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS) LATEST EDITION, THE CITY OF CAPITOLA DESIGN CRITERIA AND ALL APPLICABLE ORDINANCES AND REGULATIONS.

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.

THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE CITY OF CAPITOLA PRIOR TO THE START OF WORK.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONTRACTOR WILL BE REQUIRED TO ASSUME SITE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT IS NOT LIMITED TO REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.

GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATORS AND THE REQUIREMENTS OF THE CITY OF CAPITOLA.

THE CONTRACTOR SHALL NOTIFY THE CITY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, CITY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.

DESIGNATE A "DISTURBANCE COORDINATOR" TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PHONE NUMBER AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFFSITE PRIOR TO THE START OF CONSTRUCTION. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE COMPLAINT AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.

ALL FIGURE (FIG) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "CITY OF CAPITOLA STANDARD DETAILS".

NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.

BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY BEFORE COMPLETION OF THE PROJECT. ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.

THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.

WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.

DURING ALL GRADING AND SUBSURFACE EXCAVATIONS (INCLUDING UTILITY-LINE TRENCHING), CONSTRUCTION WILL BE HALTED WITHIN 20 METERS (65.0 FEET) OF THE FIND IF SIGNIFICANT ARCHAEOLOGICAL RESOURCES ARE DISCOVERED. SIGNIFICANT ARCHAEOLOGICAL RESOURCES SHALL INCLUDE THE REMAINS OF PREHISTORIC INDIAN LIVING AREAS OR HUMAN BURIALS. IN THE INSTANCE OF INDIAN LIVING AREAS, THESE OBJECTS SHALL BE RECORDED AND MARKED TO FURTHER EXCAVATION ON THAT PORTION OF THE SITE. IN THE EVENT OF HUMAN BURIALS ARE DISCOVERED DURING EXCAVATION, WORK SHALL BE HALTED AND THE COUNTY CORONER, THE NORTHERN CALIFORNIA GENEALOGICAL PROTECTIVE ASSOCIATION (NCPA), AND OTHER APPROPRIATE AUTHORITIES SHALL BE NOTIFIED. MITIGATION MEASURES DOWNSIDE AND AUTHORIZED ARCHAEOLOGISTS SHALL BE SUBJECT TO THE APPROVAL OF THE PLANNING DEPARTMENT. ANY INFORMATION DEVELOPED AS A RESULT OF THIS ARCHAEOLOGICAL SURVEY SHALL BE FORWARDED TO THE COUNTY ARCHAEOLOGICAL SOCIETY, THE COUNTY HISTORICAL MUSEUM AND THE CAPITOLA COLLECTION UNIVERSITY OF CALIFORNIA LIBRARY.

ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAINS AND WATER LINES SHALL BE DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER.

THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

ON-SITE LATERAL PIPING SERVING ALL SEWERED BUILDINGS SHALL BE REMOVED. ALL UNUSED LATERALS SHALL BE ABANDONED AT THE PROPERTY LINE AND INSPECTED BY A SANITATION DISTRICT REPRESENTATIVE. BUILDINGS SHALL NOT BE DEMOLISHED OR RELOCATED WITHOUT PIPE REMOVAL AND LATERAL ABANDONMENT.

UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTENTIAL POSSIBLE AREAS WHERE POTENTIAL CONFLICT EXIST OR MORE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA 1-800-824-1444.

ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.

EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES AND SLOPES, AS SHOWN ON THE APPROVED PLANS.

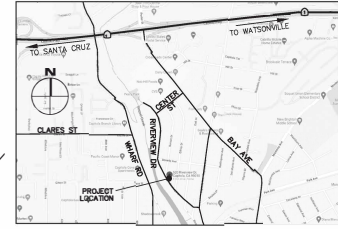
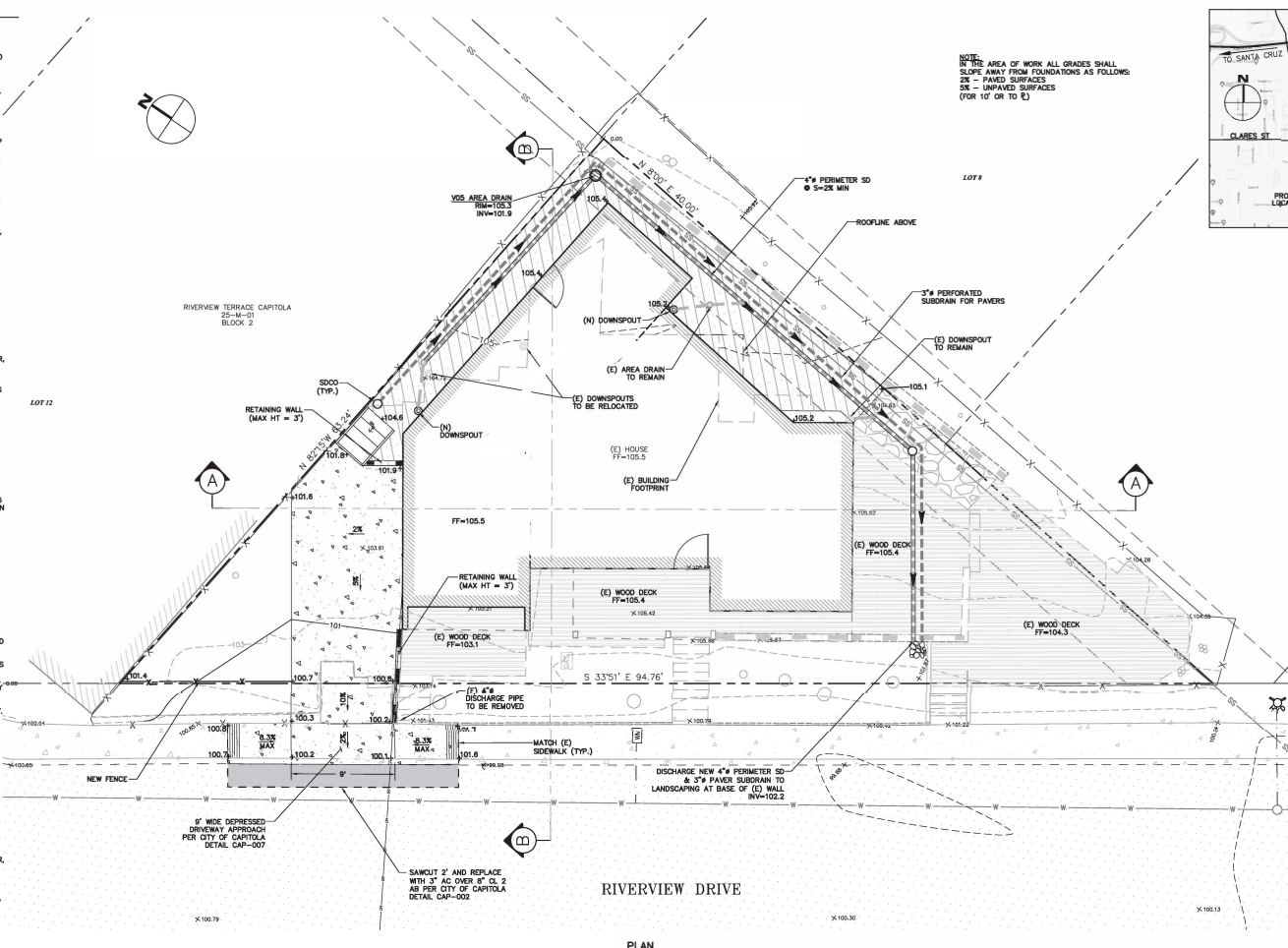
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CITY OF CAPITOLA. THE MOST STRINGENT REGULATIONS SHALL PREVAIL.

3. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.

4. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6" WATER-CONDITIONED TO BRING THE SOIL'S WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND ADEQUATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.

5. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 4" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.

6. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.



LEGEND

- (E) AC
- (E) CONCRETE
- PROPOSED CONCRETE
- PROPOSED AC
- PROPOSED PERMEABLE PAVERS
- (E) FLOWLINE
- (E) RETAINING WALL
- PROPERTY LINE
- PROPOSED SETBACK
- PROPOSED LIMIT OF GRADING
- PROPOSED RETAINING WALL
- PROPOSED AC BERM
- PROPOSED SMALE
- PROPOSED SD
- PROPOSED PERIMETER SD
- PROPOSED SDCO
- PROPOSED CB

ABBREVIATIONS

- BW BOTTOM OF WALL
- CB CATCH BASIN
- CONST CONSTRUCT
- DS DRAINAGE
- DU DRAINAGE
- DW DRIVEWAY
- (E) EXISTING
- EL ELEVATION
- ELP ELEVATION
- FF FINISH FLOOR
- FG FINISH GRADE
- HP HIGH POINT
- INP INVERT
- LF LINEAR FEET
- LS LINEAR SCALE
- MAX MAXIMUM
- N/S NOT TO SCALE
- RETAINING WALL
- RM ELEVATION
- S SLOPE
- SEWERY SEWER CLEANOUT
- SDCO STORM DRAIN CLEANOUT
- SP SP
- TW TOP OF WALL
- WS WATER SERVICE

DRAINAGE NOTE

RE ENGINEERING HAS REVIEWED THE EXISTING AND PROPOSED DRAINAGE PATTERS. EXISTING DRAINAGE CONDITIONS WILL REMAIN UNCHANGED. THE PROJECT WILL RESULT IN A NEGLIGIBLE INCREASE IN RUNOFF AND NO FORESEEN ADVERSE IMPACT TO THE PUBLIC RIGHT OF WAY OR NEIGHBORING PROPERTIES IS ANTICIPATED.

THE PROJECT WILL RESULT IN LESS THAN 2,500 SF OF NEW/REPLACED IMPERVIOUS AREA AND IS THEREFORE EXEMPT FROM POST CONSTRUCTION STORMWATER MITIGATION REQUIREES FOR THE CITY OF CAPITOLA REGULATIONS AND THE CALIFORNIA STATE WATERBOARD.

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREIN WAS COMPLETED BY HANAGAN LAND SURVEYING, INC. ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASES OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS N 87°07' E BETWEEN FOUND MONUMENTS ON THE EASTERN SIDE LINE OF BANLEY DRIVE PER THAT CAN RECORD SUBMISSION MAP FILED IN VOLUME 25 OF MAPS, ON PAGE 1, IN THE SANTA CRUZ COUNTY RECORDS.

BASES OF ELEVATION

AN ASSUMED ELEVATION OF 100.00 FEET WAS USED ON A SET NAIL IN ASPHALT, AS SHOWN ON THIS MAP.



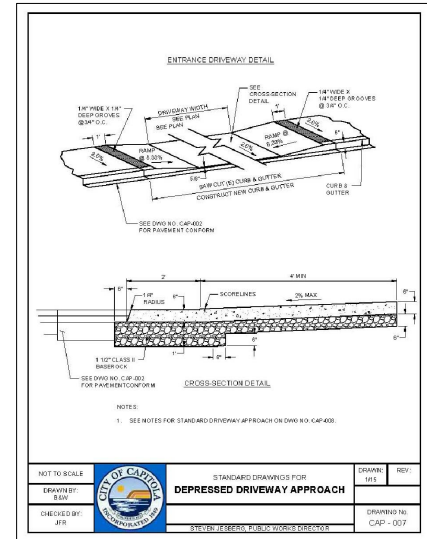
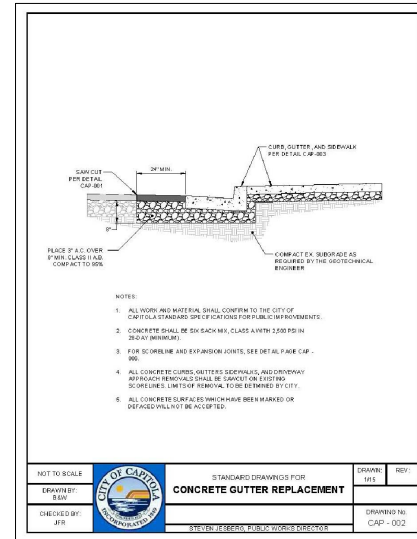
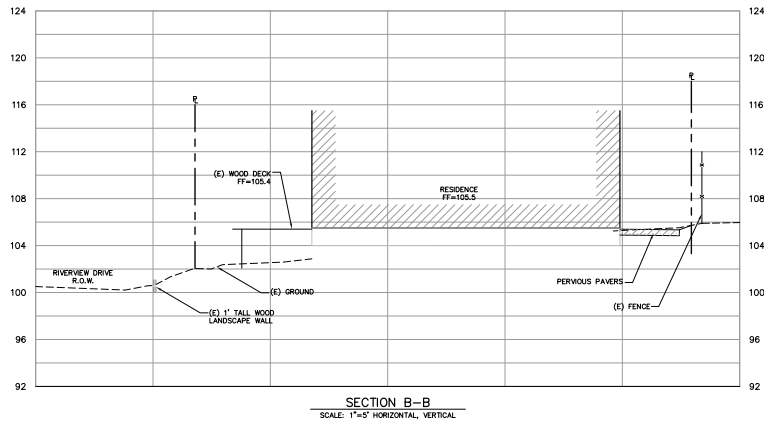
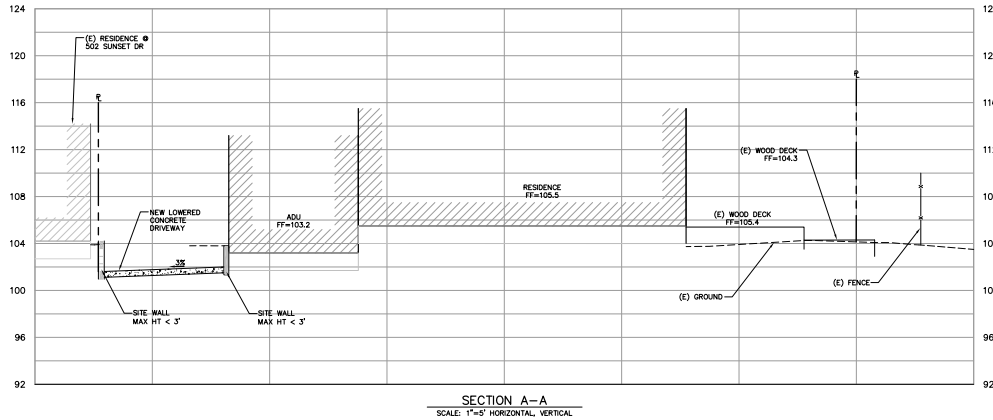
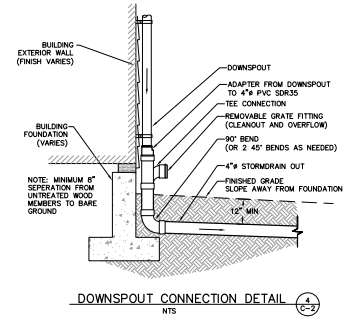
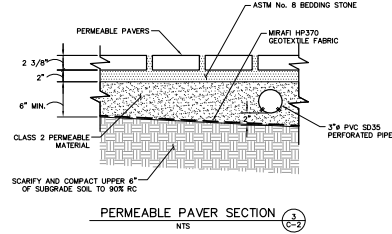
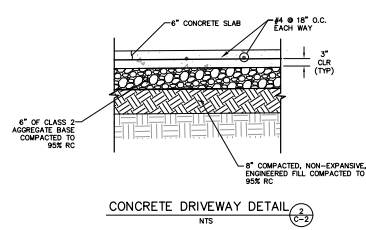
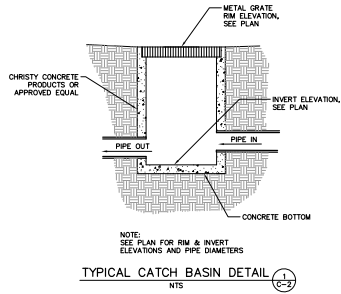
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 303 Palomero St., Suite 402-202, Santa Cruz, CA 95060
 831-425-3501 www.riengineering.com

RESIDENTIAL ADDITION & REMODEL
 FOR TAPPA GUNDERSGAARD
 650 RIVERVIEW DRIVE
 APR. 03E-18T-10
GRADING & DRAINAGE PLAN

project no. 21-088-1
 date: DECEMBER 2022
 scale: AS SHOWN
 dwg name: CIVIL1.DWG

C-1

BUILDING PERMIT SUBMITTAL



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RESIDENTIAL ADDITION & REMODEL
FOR
TARRA GUNDESGAARD
520 RIVERVIEW DRIVE
APT. 105-101-10

project no.
21-088-1

DATE
DECEMBER 2022

scale
AS SHOWN

dwg name
CIVIL1.DWG

C-2

TOTAL AREA OF DISTURBANCE = 2,200 SQFT

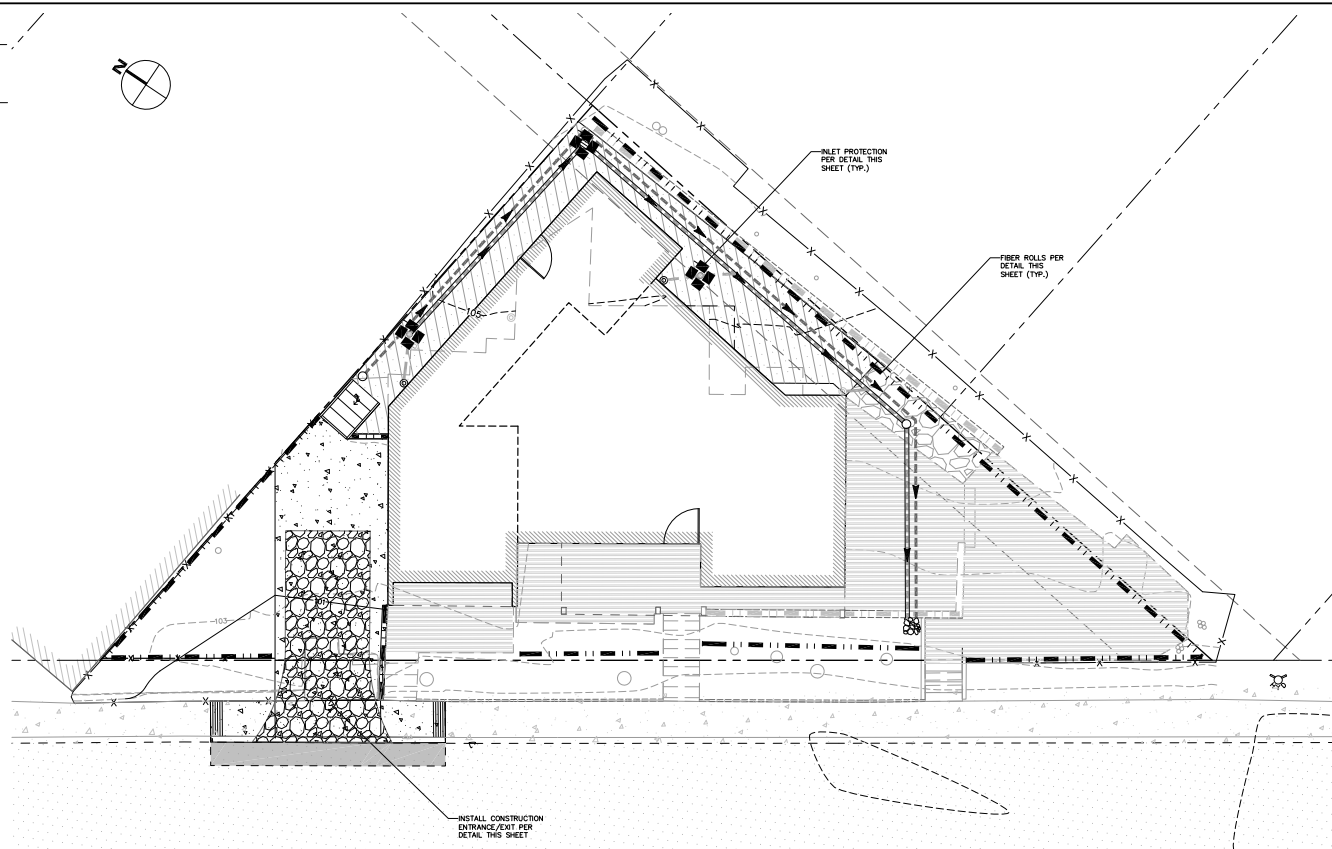
SITE HOUSEKEEPING REQUIREMENTS

- EQUIPMENT AND VEHICLE MAINTENANCE AND CLEANING**
1. INSPECT EQUIPMENT AND VEHICLES FREQUENTLY AND REPAIR ANY LEAKS AS SOON AS POSSIBLE. CONTAIN AND CLEAN UP LEAKS, SPILLS AND DRIPS OF HAZARDOUS MATERIALS AND CHEMICALS AS QUICKLY AS POSSIBLE TO MINIMIZE RUN-OFF OR SOAK IN. THIS INCLUDES FUEL AND MOTOR OIL, HYDRAULIC FLUID, AND GLYCOL BASED ANTI-FREEZE FROM VEHICLES. USE DRY CLEANUP METHODS IF POSSIBLE. PERFORM MAJOR MAINTENANCE AND REPAIRS OFF-SITE.
 2. REMOVE UNCONTAINED AMMONIUM FUEL/OIL TANKS (AND THEIR CONTENTS) IN A MANNER CONSISTENT WITH METHODOLOGY APPROVED BY BOTH THE CITY AND THE CAPITOLA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT.
 3. IF REPAIR OR REFUELING OF VEHICLES AND EQUIPMENT MUST BE DONE ON-SITE, USE A DESIGNATED LOCATION AWAY FROM STORM DRAIN INLETS, WATER BODIES AND OTHER SENSITIVE AREAS.
 4. IF EQUIPMENT IS WASHED ON-SITE, WASH WATER MAY NOT BE DISCHARGED INTO THE STORM DRAIN SYSTEM. IF POSSIBLE, WASH VEHICLES AT AN APPROPRIATE OFF-SITE FACILITY.
 5. RECYCLE USED MOTOR OIL, OTHER VEHICLE FLUIDS, AND VEHICLE PARTS WHENEVER POSSIBLE.

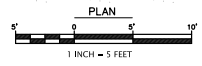
- MATERIAL STORAGE AND SOIL STOCKPILES**
1. LOCATE MATERIAL AND SOIL STOCKPILES AWAY FROM GUTTERS, STORM DRAIN INLETS, AND WATER BODIES. IN ADDITION, KEEP STOCKPILES AWAY FROM STEEP SLOPES AND UNSTABLE SOIL IN ORDER TO MINIMIZE THE CHANCE OF AN ACCIDENTAL RELEASE TO THE ENVIRONMENT. STOCKPILES MAY NEVER BE STORED ON A STREET OR IN AN ALLEY UNLESS SPECIFICALLY APPROVED BY THE PUBLIC WORKS DEPARTMENT.
 2. STORE MATERIALS INCLUDING STOCKPILES AND EXCAVATION SPILLS UNDER COVER AND PROTECTED FROM WIND, RAIN, AND RUNOFF. COVER PILES OF SOIL, CONSTRUCTION MATERIALS AND WASTES WITH PLASTIC SHEETING OR TARPS.
 3. DURING THE RAINY SEASON, AFTER OCTOBER 1ST OR SOONER IF RAIN IS FORECAST, IMPLEMENT CONTROL MEASURES FOR THE ITEMS LISTED BELOW IF STORED OUTSIDE IN ORDER TO PREVENT SEDIMENT, LITTER, AND OTHER POLLUTANTS FROM LEAVING THE SITE AND/OR BEING DISCHARGED INTO THE STORM DRAIN SYSTEM.
 1. MATERIAL STOCKPILES
 2. SOIL STOCKPILES
 3. EXCAVATION SPILLS
 4. CONSTRUCTION MATERIALS (SUCH AS PLASTER OR CONCRETE) STORED OUTDOORS. IF STORED OUTSIDE, THEY MUST BE COVERED OR GLOBBED, AND DURING THE RAINY SEASON THEY MUST BE KEPT WITH SECONDARY CONTAINMENT.
 5. STORE PAINTS, CHEMICALS, SOLVENTS, AND OTHER HAZARDOUS MATERIALS INSIDE OR WITHIN A SHED WITH DOUBLE CONTAINMENT.
 6. KEEP DUMPSTER LIDS CLOSED AND SECURED FOR DUMPSTERS OR BINS THAT DON'T HAVE A LID. COVER THEM WITH PLASTIC SHEETING OR A TARP DURING RAINY OR WINDY WEATHER.

ADDITIONAL NOTES:

- CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs): PROJECT CONSTRUCTION AND DEMOLITION ACTIVITIES SHALL COMPLY WITH THE CITY'S STORM WATER BEST MANAGEMENT PRACTICES FOR CONSTRUCTION. SEE THE CITY WEBSITE AT: [HTTP://WWW.CITYOFSANTACRUZ.COM/HOME/SHOWDOCUMENT?id=6031](http://www.cityofsantacruz.com/home/showdocument?id=6031)
- BMPs, SUCH AS FIBER ROLLS OR MATS, SHALL BE INSPECTED PERIODICALLY DURING CONSTRUCTION AND AFTER EACH SIGNIFICANT RAIN EVENT, AND ANY NEEDED REPAIRS MADE IMMEDIATELY.
- CHECK THE SIDEWALK AND STREET DAILY DURING THE DEMOLITION AND CONSTRUCTION PHASES FOR SOIL OR SEDIMENT DRAG-OUT, AND SWEEP IF NEEDED.



RIVERVIEW DRIVE



EROSION CONTROL MEASURES

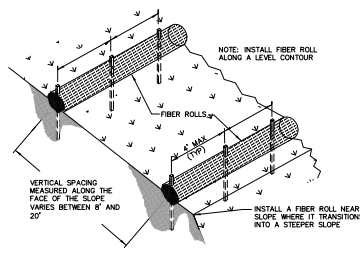
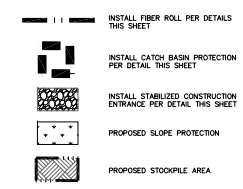
1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THE PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL, SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY CITY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 0-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE. ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

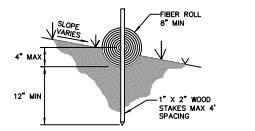
EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES < 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES 20%+

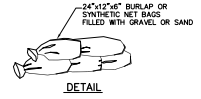
EROSION CONTROL LEGEND



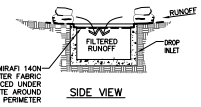
TYPICAL FIBER ROLL INSTALLATION
NTS



FIBER ROLL DETAIL IN SLOPE AREA
NTS



DETAIL

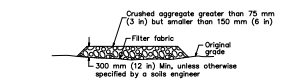


SIDE VIEW

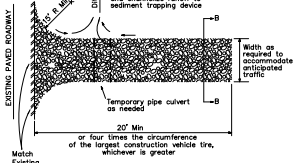


PLAN VIEW

GRAVEL BAG CATCH BASIN PROTECTION
NTS



CONSTRUCTION ENTRANCE DETAIL



CONSTRUCTION ENTRANCE DETAIL
NTS

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RESIDENTIAL ADDITION & REMODEL
FOR
TARRA GUNDERSSGAARD
520 RIVERVIEW DRIVE
APRIL 08/21-10
STORM WATER POLLUTION
CONTROL PLAN

project no. 21-088-1
DATE: DECEMBER 2022
SCALE: AS SHOWN
DWG NAME: CIVIL1.DWG

C-3



PLAN
 10' 0 10' 20'
 1 INCH = 10 FEET



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RESIDENTIAL ADDITION & REMODEL
 FOR RA GUINDESGARD
 520 RIVERVIEW DRIVE
 CAPITOLA, CA
 APN: 035-081-10
 DRIVEWAY LOCATION
 SITE PLAN

project no.
 21-088-1
 date
 MARCH 2023
 scale
 AS SHOWN
 dwg name
 CIVIL2.DWG

C-4