

P A S T
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December 12, 2022

Sean Sesanto, Assistant Planner
City of Capitola Planning Department
420 Capitola Ave.
Capitola, CA 95010

Re: 1555 Lincoln Ave., Capitola, CA – Final SOI Standards Design Review Letter
APN. 034-041-13

Dear Mr. Sesanto:

This letter evaluates the proposed alterations to the property located at 1555 Lincoln Avenue, in Capitola, California. The site contains a modified house (circa-1890) constructed in the Greek Revival style and a non-historic shed (1984) outbuilding.

Project Methodology

On March 22, 2022 PAST Consultants, LLC (PAST) visited the subject property with you and Peter Spellman, the project's architectural designer, to view the existing conditions of the buildings and to discuss the proposed building alterations. On March 28, 2022, PAST submitted a preliminary review letter of the proposed drawings for conformance with the *Secretary of the Interior's Standards for Rehabilitation* (the *Standards*). This letter provided recommendations to the initial drawing set, which included reducing the scale and visual impact of the proposed two-story rear addition, removing the proposed front deck, reducing the size of the proposed second-story roof dormer and that proposed window replacements should be wood sash in-kind, or with multiple paned upper and lower sash as was typical of Greek Revival-style windows.

PAST discussed these recommendations with you, the designer and the Client in a remote meeting conducted on August 16, 2022 and at an additional site visit held on September 6, 2022. The design team agreed to modify the design to address some of the preliminary concerns and to change the proposed design of a deck over a carport to an enclosed garage to satisfy the City's parking requirement and to get the project within conformance of the Secretary of the Interior's Rehabilitation standards. The most recent project drawings of the modified design were submitted to the City of Capitola on November 21, 2022. The following letter report evaluates the proposed rehabilitation design as presented on the architectural drawings by Peter Spellman Design, dated November 21, 2022.

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Existing Site Conditions

The site contains a modified one- and one-half story, wood-framed house (circa-1890) constructed in the Greek Revival style and a 1984 shed (Figures 1 – 5).



Figures 1 and 2. Left image shows the front (east) elevation, as viewed from the street. Right image details the front porch, which was replaced in the 1970s and the porch roof converted to a deck.

The one-and one-half story house has steeply-pitched gable roofs, with cornice returns and wide fascia boards; replaced windows in original wood surrounds, an original entrance with sidelights, and clapboard wall cladding. Modifications include a poorly constructed circa-1920s shed roofed rear addition with board-and-batten wood siding, replacement of all original wood sash windows, removal of the original front porch and the conversion of the porch roof to a deck in the 1970s.



Figures 3 and 4. Left image shows the rear (west) elevation, with shed roofed rear addition. Windows in the rear addition have been replaced in original and new openings. Right image details the south elevation. Original wood sash windows have been replaced.

The shed, constructed in 1984, is located behind the house.



Figure 5. View of 1984 shed outbuilding located in the rear yard.

Sanborn Map Analysis

The 1933 Sanborn map shows the subject property with the rear addition in place and a wood-framed wraparound porch (Figure 6).

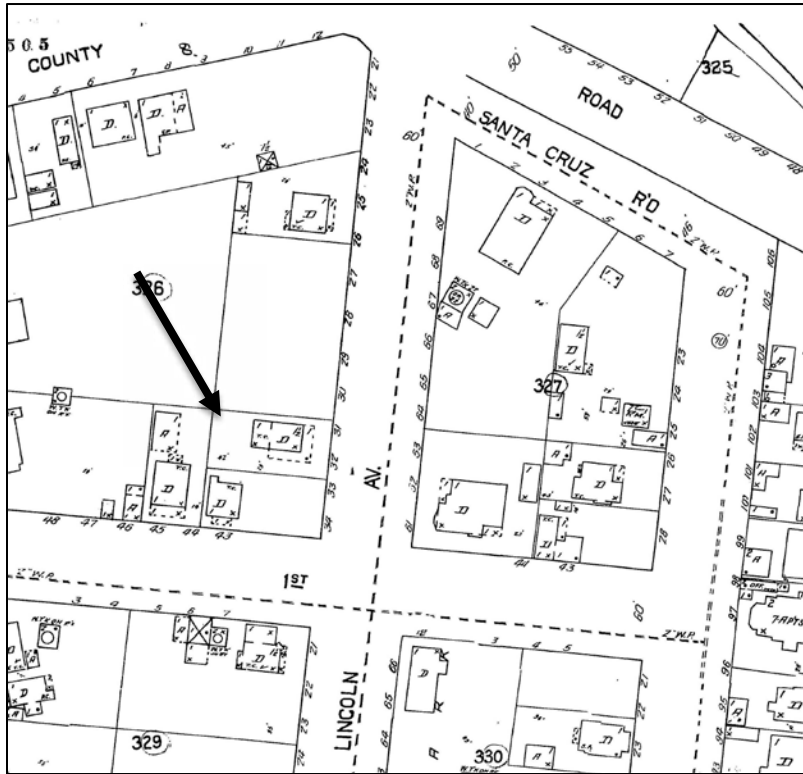


Figure 6. Image of the 1933 Sanborn map, showing the subject property with an arrow.

Construction Chronology



Figure 7. 1975 Assessor's photograph showing the second-story, gable-end window and the replaced front porch.

Based on the Sanborn maps, Assessor records and permits obtained from the City of Capitola Planning Department, the following is the estimated building chronology:

- Circa-1890. Construct original house with wraparound porch.
- Circa-1920s. Construct shed-roofed, board-and-batten rear addition.
- Permit No. 7136, 1975. Install new foundation.
- No Date, before 1975. Remove original wraparound front porch and install new front porch with chamfered columns and new wood deck (**Figure 7**).
- Circa-1970s, after 1975. Convert front porch roof to a deck. Add picket fence "railing." Convert gable-end window to a door (**Figure 7**).
- Permit No. 11496, 1984. Construct shed outbuilding.
- Permit No. 14251, 1992. Reduce size of shed outbuilding.
- Permit No. BP1998-581, 1998. Repair front, second-story deck.
- Permit No. BP2015-0411, 1998. Repair front porch.
- Permit No. BP2008-257, 2008. Repair shed outbuilding.

Remaining Character Defining Features

The remaining character-defining features are:

- Steeply pitched gable roof.
- Roof wood details including wide cornice boards, wide fascia boards and cornice returns.
- Wood details including wall corner boards, wood window surrounds and wood details on first floor of front and primary (east) elevation.

- Original entrance with toplights, sidelights and wood door surrounds.
- Clapboard wall cladding.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the *Standards for Rehabilitation and Guidelines for Rehabilitation* to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, 1995, 62.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Summary of Proposed Alterations

The proposed project is an interior remodel and installation of a two-story rear addition to the existing historic house. To satisfy the City's parking requirement, a new single-story garage will be constructed on the east-elevation driveway. Design Drawings by Peter Spellman Design, Inc., dated November 21, 2022 were the design drawings reviewed for this historic evaluation.

Based on recommendations during the site visits and remote meetings, the following modifications were agreed upon by the Client's design team:

- The size of the proposed garage was reduced to allow retention of the existing historic south-elevation window opening.
- Size of proposed rear addition was reduced. Massing reduced by clipping the corners of the proposed second-story roofline.
- The size of the south-elevation dormer has been reduced.
- Proposed window replacements will be with wood-sash windows.

Evaluation of Proposed Alterations

For the proposed alterations to the subject building, the following lists the ten *Standards* for rehabilitation, with an evaluation given below each standard.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations will allow the building to continue its residential building use, while retaining the existing character defining features that remain on the building, in keeping with this *Standard*.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed rehabilitation design removes the circa-1920s shed-roofed rear addition and an original window opening on the south elevation. While these original features are being removed, an example of an original window opening remains on the south elevation and on the east (primary) elevation. Removal of the poorly constructed and modified rear addition is considered appropriate, as the *Standards* prioritize using the rear (and least primary) elevation as the location for additions and/or alterations.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed rehabilitation design does not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the existing building, in keeping with this *Standard*.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The *Standard* does not apply, as no changes have acquired historic significance. The circa-1920s shed roofed rear addition is not considered to be a historic addition to the site, given its poorly constructed nature and subsequent modifications.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed alterations maintain the primary elevation's distinctive materials, features and finishes that characterize the property, including the original entrance and fenestration on the east and primary elevation, most original window openings and the Greek Revival-style wood details, in keeping with this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed alterations will repair the remaining character defining features listed above. Severely deteriorated features, such as decayed wood window surrounds and wood details will be repaired, rather than replaced, using established rehabilitation techniques for a given substrate.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Physical treatments to repair deteriorated woodwork, including the removal of paint, will be undertaken using methods that will not damage the historic wood, in keeping with this *Standard*.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This *Standard* does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed additions are on the rear and non-primary elevation of the building as recommended by this *Standard*. Following our preliminary review and design meetings with the Client's design team, the current rehabilitation design has reduced the size and massing of the proposed rear addition, reduced the size of the south-elevation roof dormer and the garage which allows for the preservation of the window opening on the south elevation.

The proposed rear addition will be differentiated from the original house by using wood siding boards of a different exposure width and modern windows of differing technology than what exists on the original house. The proposed rear addition's two story mass is set back from the street and its roof corners clipped to reduce the visual impact of the rear addition. For these reasons, the proposed rehabilitation design meets this *Standard*.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If desired, the proposed additions could be removed and the building reversed to its present configuration, as the primary (east) elevation is being minimally impacted by the proposed rehabilitation design. Since the remaining character defining features of the subject house will be maintained, the property will maintain adequate historic integrity and satisfy this *Standard*.

Conclusion

In conclusion, the proposed design alterations to 1555 Lincoln Avenue, Capitola, meet the *Secretary of the Interior's Standards for Rehabilitation*. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me with any questions regarding this preliminary review letter.

Sincerely,



Seth A. Bergstein
Principal

Cc: Peter Spellman Design, Inc.