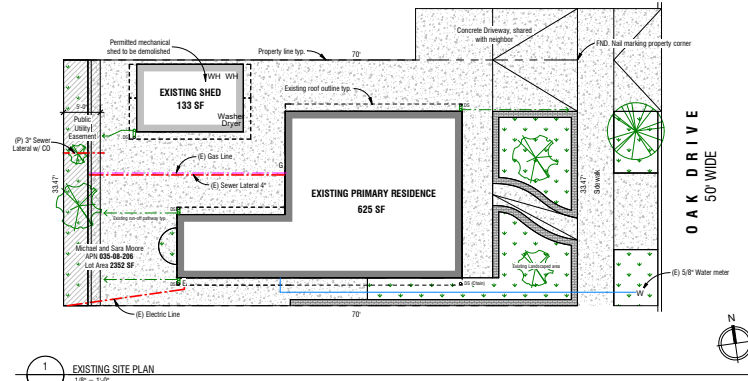


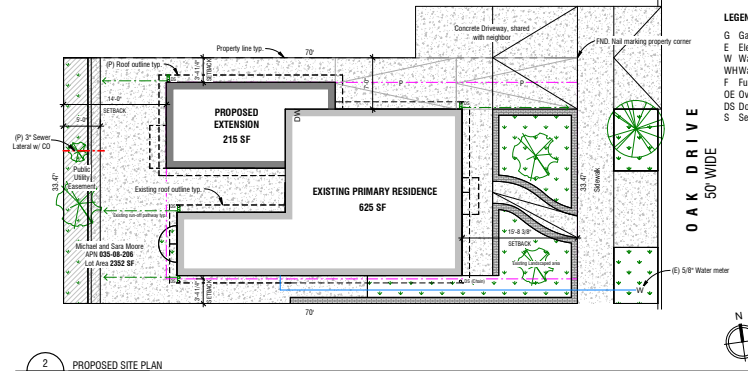
# MOORE RESIDENCE EXTENSION 517 OAK DRIVE



Driveway parking spaces



1 EXISTING SITE PLAN  
1/8" = 1'-0"



2 PROPOSED SITE PLAN  
1/8" = 1'-0"



## PROJECT INFORMATION

**PROJECT DESCRIPTION:**  
Project scope consists of a 215 SF addition, a replace in kind remodel of the existing bathroom, a full roof replacement including the addition of overhangs at the front and rear of the existing house, as well as the installation of a 3.0 kW solar array on the south facing roof plane.

1. PARCEL OWNER/ADDRESS:  
Michael and Sara Moore  
517 Oak Dr.  
Capitola, CA 95010
2. SITE APN: 035-08-206
3. SITE AREA: 2352 SF
4. EASEMENT AREAS: 5' Public Utility Easement at Rear Property line
5. ZONING: R-1  
GENERAL PLAN: Single Family Residential
6. OCCUPANCY GROUP: R-3
7. CONSTRUCTION TYPE: V-B
8. ADU SETBACKS:  
FRONT - N/A  
REAR - 4 FT.  
SIDES - 4 FT.
9. EXIST. BLDG COVERAGE: 625 SF
10. PROPOSED BLDG. COVERAGE: 840 SF
11. BUILDING HEIGHT:  
EXISTING: 12' 2"  
PROPOSED: 13' 6"  
\*FROM AVERAGE GRADE TO ROOF PEAK
12. MAX. ALLOWED HEIGHT: 25'
13. FIRE SPRINKLERS: NONE
14. LOT LINES DERIVED FROM: SURVEY ON SHEET C1
15. EXISTING HOME BUILT: 1942 - REMODELED - 2003

- LEGEND**
- G Gas Meter
  - E Electric Meter
  - W Water Meter
  - WH Water Heater
  - F Furnace
  - OE Overhead Electric Line
  - DS Downspout
  - S Sewer Cleanout

## APPLICABLE CODES & REGULATIONS

ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL CODES, LAWS, ORDINANCES, AND REGULATIONS APPLICABLE AS FOLLOWS:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA FIRE CODE
- CAPITOLA MUNICIPAL CODE

## PROJECT DIRECTORY

**OWNERS:**  
Michael and Sara Moore  
517 Oak Dr.  
Capitola, CA 95010

**DESIGN: JOHN WORK**  
SANTA CRUZ GREEN BUILDERS  
303 Potrero St. STE 45-105  
Santa Cruz, CA 95060  
508-737-4646

**CONTRACTOR: SANTA CRUZ GREEN BUILDERS**  
831-419-0514

## BUILDING AREA

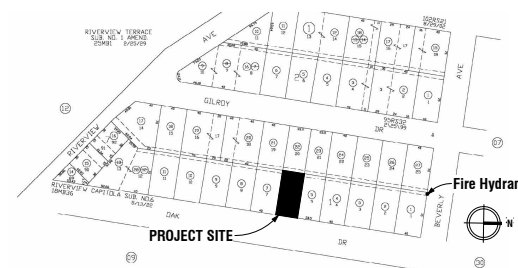
**EXISTING**

PARCEL SIZE: 2,352 SF  
EXISTING FLOOR AREA: 625 SF  
EXISTING BUILDING COVERAGE: 26 %  
EXISTING FAR: 0.25 : 1  
EXISTING TOTAL IMPERVIOUS AREA: 2,096 SF

**PROPOSED BUILDING AREA**

PARCEL SIZE: 2,352 SF  
ADDITION FOOTPRINT: 215 SF  
PROPOSED FLOOR AREA: 840 SF  
PROPOSED BUILDING COVERAGE: 36 %  
PROPOSED FAR: 0.36 : 1  
PROPOSED TOTAL IMPERVIOUS AREA: 2,096 SF

## VICINITY MAP



## SHEET INDEX

- A1 COVER SHEET
- A2 EXISTING PLAN & ELEVATIONS
- A3 PROPOSED PLAN & ELEVATIONS
- A4 ROOF PLAN AND SECTION
- E1 EROSION CONTROL PLAN AND BMPs
- C1 SURVEY



Prepared by JW

Signed [Signature]

Date 08/11/2022

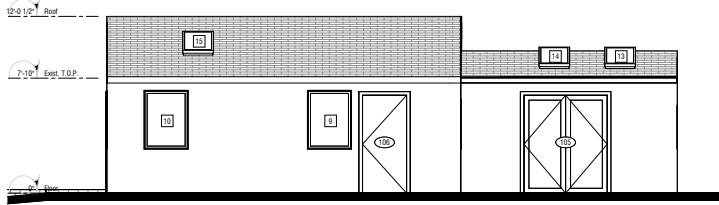
Rev. No.	Date
0	08/11/2022

**Moore Residence Extension**  
517 Oak Drive  
Michael and Sara Moore

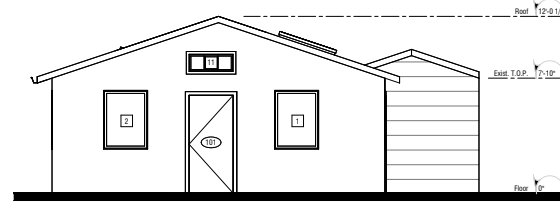
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COVER SHEET

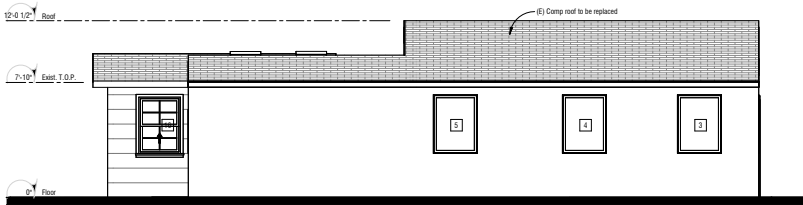
**A1**



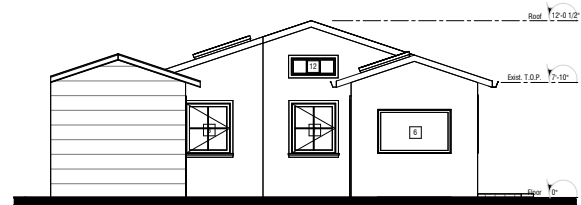
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1/4" = 1'-0"



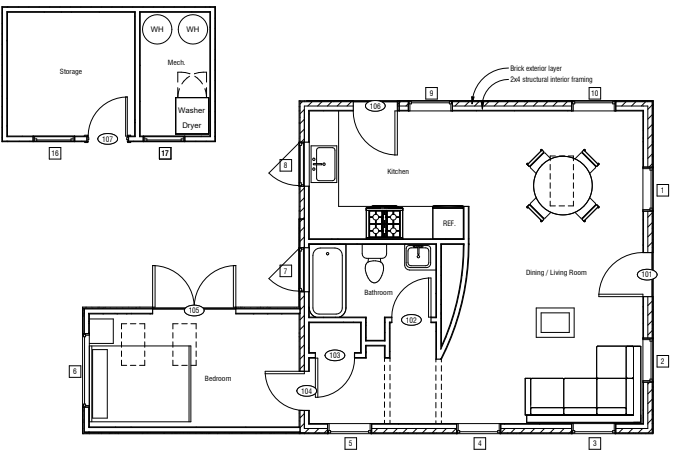
2 EAST ELEVATION EXISTING  
1/4" = 1'-0"



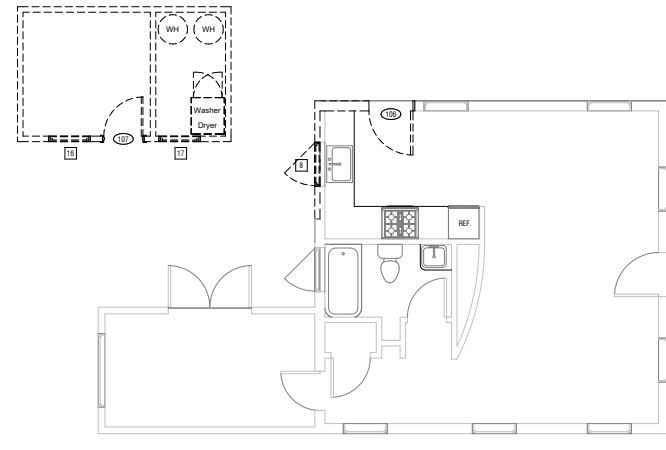
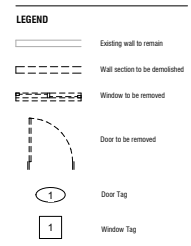
3 SOUTH ELEVATION EXISTING  
1/4" = 1'-0"



4 WEST ELEVATION EXISTING  
1/4" = 1'-0"



5 EXISTING FLOOR PLAN  
1/4" = 1'-0"



6 DEMOLITION PLAN  
1/4" = 1'-0"

Prepared by JWJ

Signed

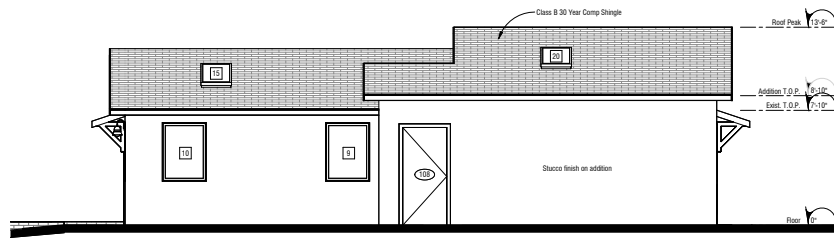
Date 08/11/2022

Rev. No.	Date
0	08/11/2022

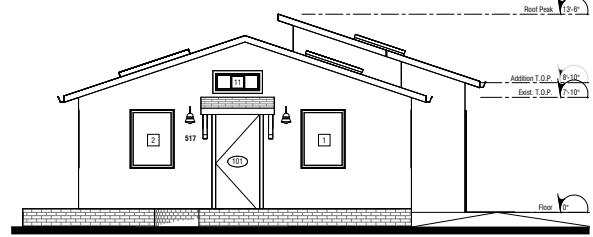
**Moore Residence Extension**  
517 Oak Drive  
Michael and Sara Moore

APN 035-08-206

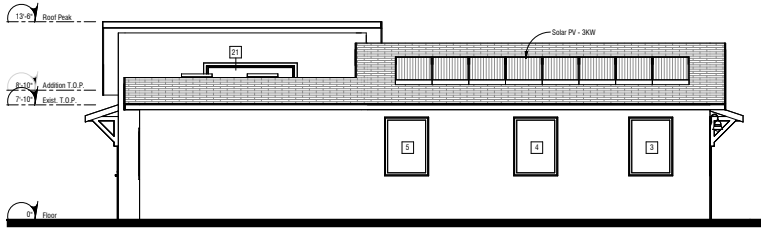
**EXISTING PLAN & ELEVATIONS**



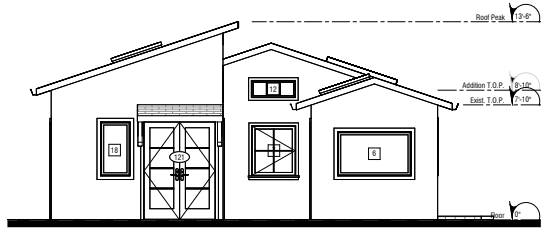
1 NORTH ELEVATION PROPOSED  
1/4" = 1'-0"



2 EAST ELEVATION PROPOSED  
1/4" = 1'-0"



3 SOUTH ELEVATION PROPOSED  
1/4" = 1'-0"



4 WEST ELEVATION PROPOSED  
1/4" = 1'-0"

DOOR SCHEDULE						
NO.	WIDTH	HEIGHT	MATERIAL	FINISHING	COMMENTS	NEW/EXISTING
101	3'-0"	8'-0"				Existing
102	2'-0"	8'-0"				Existing
103	2'-0"	8'-0"				Existing
104	2'-0"	8'-0"				Existing
105	3'-0"	8'-0"				Existing
106	3'-0"	8'-0"				Existing
107	2'-0"	8'-0"			Demolished	Existing
108	2'-0"	8'-0"			Demolished	Existing
109	2'-0"	8'-0"				New
110	2'-0"	8'-0"				New
120	6'-0"	8'-0"				New
121	4'-10"	8'-0"				New

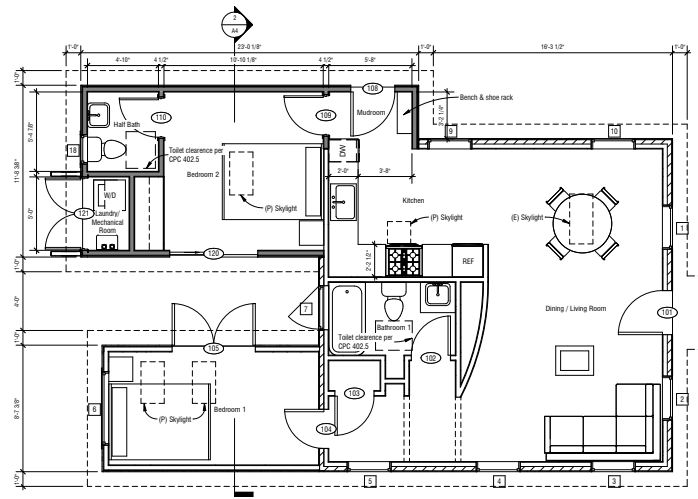
WINDOW SCHEDULE						
NO.	WIDTH	HEIGHT	GLASS TYPE	COMMENTS	NEW/EXISTING	TEMPERED GLAZING
1	3'-0"	4'-0"	2'-0"		Existing	
2	2'-0"	4'-0"	2'-0"		Existing	
3	3'-0"	4'-0"	2'-0"		Existing	
4	3'-0"	4'-0"	2'-0"		Existing	
5	3'-0"	4'-0"	2'-0"		Existing	
6	3'-0"	3'-0"	2'-0"		Existing	
7	3'-0"	3'-0"	2'-0"		Existing	
8	3'-0"	3'-0"	2'-0"	Demolished	Existing	
9	3'-0"	4'-0"	2'-0"		Existing	
10	3'-0"	4'-0"	2'-0"		Existing	
11	3'-0"	1'-2"	5'-10"		Existing	
12	3'-0"	1'-2"	6"		Existing	
13	2'-0"	3'-0"			Existing	
14	2'-0"	3'-0"			Existing	
15	2'-0"	4'-0"			Existing	
16	2'-10"	3'-10"	2'-0"	Demolished	Existing	
17	2'-10"	3'-10"	2'-0"	Demolished	Existing	
18	2'-0"	3'-0"	3'-0"	Manual operable	New	
19	2'-0"	3'-0"	3'-0"		New	
20	2'-0"	3'-0"	3'-0"		New	
21	8'-0"	2'-0"	8'-0"		New	

**GENERAL NOTES**

- All building materials with visible signs of moisture damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Any insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Moisture content shall be verified in compliance with CalGreen 4.505.3.
- Windows and glazed doors must have labels for the "U" and "SHGC" factors that are required by the Title 24 energy documentation.
- DO NOT REMOVE NFRC labels from windows until field verification is complete.
- A minimum of 65% of the construction and demolition waste will be recycled, reused on the project, or salvaged for later use or sale per CGBC 4.408.1.
- Annular spaces around pipes, electrical cables, conduits, etc. will need to be filled to prevent rodent intrusion CGBC 4.406.1.
- Per CEC 110.7 All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather stripped, or otherwise sealed to limit infiltration and exfiltration.
- New appliances shall be Energy Star appliances per Santa Cruz County Code 4.201.1.2.
- The operable skylight opening shall be minimum 10" away and 3' below any plumbing vent roof terminations at new ADU per CPC 908.2.
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. CRC 337.5.4.
- ADU efficiency kitchen to include an apartment sized refrigerator (13-15 cu ft) and an apartment sized range (minimum 2-burner with oven) to meet independent living facilities of CRC Chapter 2.
- Handicapped areas to slope away from structures at a minimum of 2%.
- Foundation to incorporate approx. 35% recycled flyash in concrete.
- Insulate foundation/slab before backfill.
- Install recycled-content/formaldehyde free insulation.

**NOTES**

- DO NOT REMOVE NFRC labels from windows until field verification is complete.
- All exterior landings max 7.75 in. below door threshold per CRC 311.3.1.2.
- Bedroom emergency escape and rescue opening per CRC 310.3 shall have a net clear opening of not less than 5.7 sq.ft. (CRC 310.2.1).
- Address numbers shall be a minimum of 4" in height, 1/2" in width, and be color contrasting to their background. Numbers shall be posted and maintained.
- Windows and glazed doors must have labels for the "U" and "SHGC" factors that are required by the Title 24 energy documentation. All new doors and glazing in new doors shall have a maximum U-value of 0.32.



5 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

- All dimensions are drawn from face of framing.
- Contractor shall verify all interior dimensions prior to start of work and prior to any cabinet construction.

Prepared by: **JWW**  
 Signed: *[Signature]*  
 Date: **08/11/2022**  
 Rev. No. **0** Date **08/11/2022**

**Moore Residence Extension**  
 517 Oak Drive  
 Michael and Sara Moore

APN **035-08-206**

**PROPOSED PLAN & ELEVATIONS**

Prepared by JWJ

Signed *[Signature]*

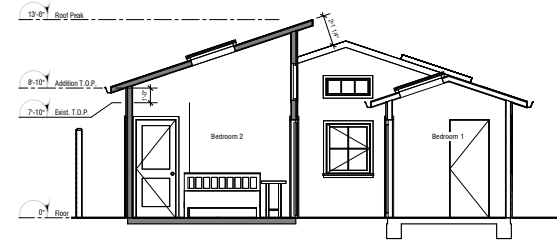
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Rev. No. 0 Date 08/11/2022

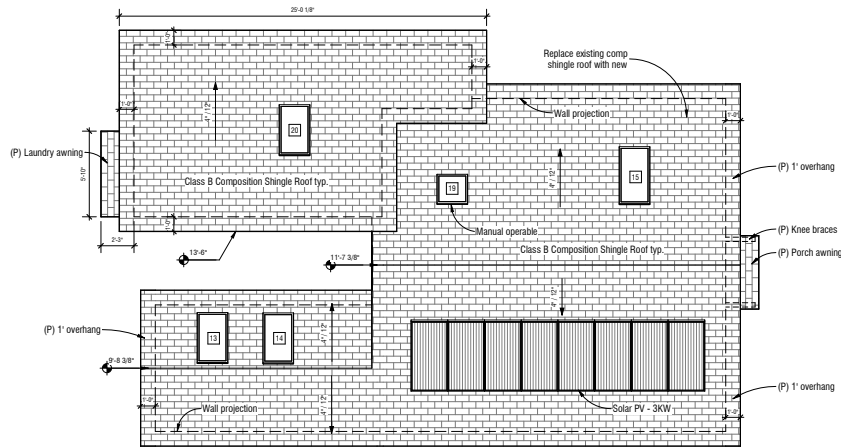
APN 035-08-206

**ROOF PLAN  
AND SECTION**

**A4**



2 SECTION  
1/4" = 1'-0"



1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

**COLOR AND MATERIALS**



- Stucco finish on addition - Olive green
- Roof fascia and window casing - Yellow
- Burgundy accents
- Window frames - White
- Existing wood siding - Olive green



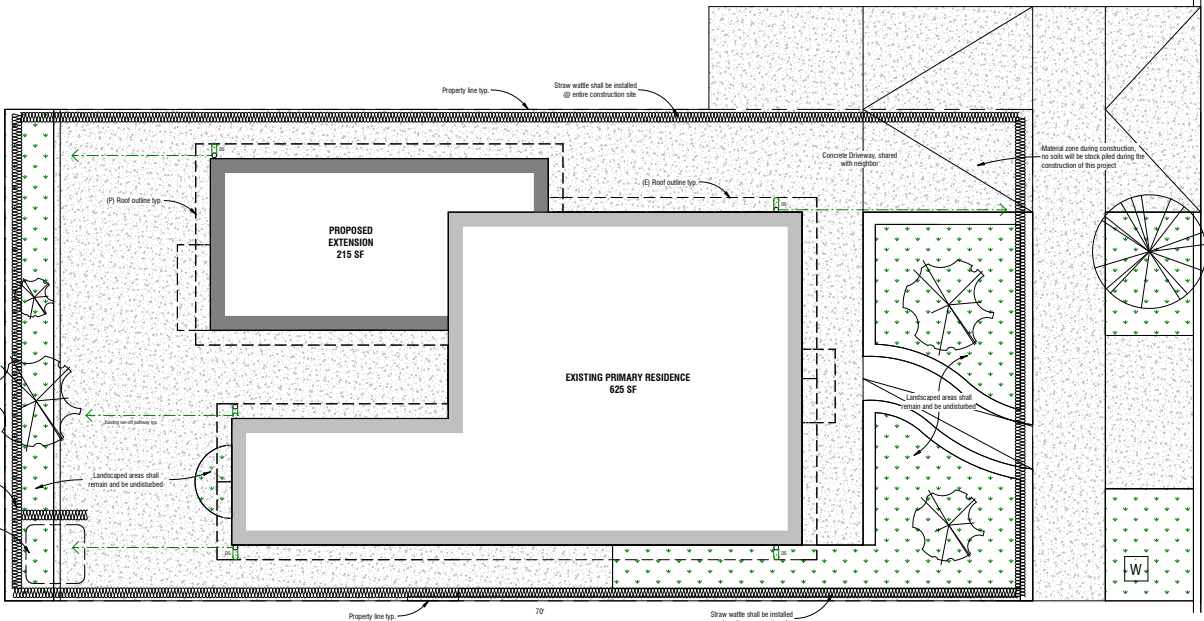
Prepared by: **JW**

Signed: *[Signature]*

Date: **08/11/2022**

Rev. No.	Date
0	08/11/2022

**Moore Residence Extension**  
**517 Oak Drive**  
Michael and Sara Moore



**EROSION CONTROL PLAN NOTES:**

- All BMPs, sediment and erosion control measures shall be installed prior to the start of construction, and shall be maintained throughout project duration.
- Keep work site clear of debris & be aware of tracking mud, dirt, gravel into the street, cover all stockpiles. Practice good housekeeping and implement stormwater BMPs.

**1 EROSION CONTROL AND SITE DRAINAGE PLAN**  
1/4" = 1'-0"

**Stormwater Prevention and Protection for Construction Projects**

In the City of Cupertino, water is treated, pumped, and treated again before being distributed to local residents and businesses. Without any treatment, when debris, paint, concrete and other harmful pollutants from construction sites and home construction projects get applied, spilled or washed into the street or storm drain they can damage sensitive creek habitats and end up polluting our bay and ocean.

To help to reduce the amount of pollutants reaching local storm drains and waterways, the City has developed "Best Management Practices" (BMPs) for construction work. All types of construction projects are required to abide by the following mandatory BMPs. These BMPs apply to both new and remodelled residential, commercial, retail, and residential projects.

In addition to the following mandatory BMPs, the Central Coast Regional Water Quality Control Board (Regional Water Board) under the State Water Resources Control Board (State Water Board) requires coverage under and adherence to the Construction Activities Storm Water General Permit, or CAGP, to regulate storm water runoff from construction sites. In general, any construction or demolition project, including but not limited to, clearing, grading, or excavation, or any other activity that results in a total disturbance of ground of greater than one acre, requires coverage under the CAGP. Construction activities associated with Linear Underground Projects (LUPs) also require coverage under the CAGP. It should be noted that SWPPP development and implementation is required for all projects that require coverage under the CAGP (including water lines) that are done by a qualified SWPPP developer (SQSD), respectively. More information on the CAGP and SQSDs may be found at <http://www.csrwaterboards.com/underground-projects>.

**General Construction & Site Supervision**

All construction BMPs, sediment and erosion control shall be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CAGP and below BMPs is required year round.

**Notice of Intent**

Obtain a Notice of Intent (NOI) and ensure good housekeeping practices are used.

**Notice of Intent**

Obtain a Notice of Intent (NOI) and ensure good housekeeping practices are used.

**Best Management Practices**

Comply with the CAGP and below BMPs is required year round.

**General Construction & Site Supervision**

All construction BMPs, sediment and erosion control shall be installed prior to beginning construction and maintained throughout the project duration. Compliance with the CAGP and below BMPs is required year round.

**Notice of Intent**

Obtain a Notice of Intent (NOI) and ensure good housekeeping practices are used.

**Notice of Intent**

Obtain a Notice of Intent (NOI) and ensure good housekeeping practices are used.

**Best Management Practices**

Comply with the CAGP and below BMPs is required year round.

**1. Clean up trucks, tires and other debris immediately as they arrive. Do not construct the lot or curbside lot have material on surface surfaces. Use dry cleanup methods whenever possible. Water may only be used to remove quantities to prevent dust.**

**2. Portable toilets are used, ensure that the housing company properly maintains the toilets and promptly makes repairs.**

**3. Conduct visual inspections for leaks.**

**4. Protect vegetation and trees from accidental damage from construction activities by surrounding them with fencing or tree wrapping.**

**5. Site Development**

**5.1** Site Development shall be limited to the topography and soils in order to minimize the potential for erosion.

**5.2** Soil grading/grading, fills, excavations, wetlands, wetlands, or other areas, trees, drainage courses, and buffer areas must be maintained or able to prevent excessive or unnecessary disturbance and exposure prior to construction.

**5.3** Slope stabilization or grading activities, or any similar projects, to reduce soil erosion, shall temporarily vegetation or place other erosion controls before rain begins.

**5.4** Conduct grading operations in phases in order to reduce the amount of disturbed areas and exposed soil at any one time. Unless specifically approved on the project's drainage plan, grading, settlement and erosion control plan, clearing, excavation and other activities shall not be completed during rain weather. All bare erosion grading shall be in accordance with California Manual Code Chapter 13B.

**5.5** Conduct an erosion control assessment prior to the start of the project. Reduce sediment runoff velocities by controlling temporary check dams or berms where appropriate.

**6. EROSION CONTROL ("Sediment Reducer") by estimating carefully and minimizing water when ordering materials.**

**6.1** Recycle excess materials such as concrete, rebar, scrap metal, asbestos, equipment, paper, and other non-hazardous materials whenever possible.

**6.2** Dispose of all waste properly by ensuring that materials that cannot be recycled are taken to an appropriate land fill or disposed of as hazardous waste. Never bury waste materials or have them in the street or near a creek or drainage channel.

**7. Landscaping, Gardening & Ponds/Fountains/Pool Spa Maintenance**

Many landscaping activities and practices expose soils and increase the likelihood of water runoff that will transport soil, nutrients and pesticides to the storm drain during irrigation or rain events. Other exterior amenities such as ponds, pools and spas require regular maintenance using chlorine and/or copper based algaecides. When treated with these chemicals it is to be avoided to be discharged to the storm drain.

**7.1** Landscaping & Garden Maintenance

**7.1.1** Protect seedlings and landscaping materials from wind and rain by storing them under tarps or secured plastic sheathing.

**7.1.2** Schedule planting and installation during dry weather.

**7.1.3** Use temporary check dams to divert runoff around steep from storm drains or drainage channels.

**7.1.4** Protect storm drain exits with sandbags, gravel filled bags, straw wattles, fiber fabric or other sediment controls.

**7.1.5** Never dump or leave soil, mulch, or other landscape products in the street, gutter, or storm drain.

**8. Sedimentation Control**

When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Cupertino Public Works Department. The City will provide guidance on handling surface seeping water, flow restrictions and best practices.

**9. Preventing Water & Sediment Runoff**

When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Cupertino Public Works Department. The City will provide guidance on handling surface seeping water, flow restrictions and best practices.

**10. Erosion Control Devices, Systems, and Settings devices that be selected, installed and maintained properly.**

**10.1** Silt fences must be installed so that the drainage around each fence does not create additional erosion and fills down slope of the fence.

**10.2** If silt fences are used to filter sediment runoff, the silt fences are actually filtering the water (and not just causing the water to travel around the hole) and that the silt fences are not clogged into the storm drain system.

**10.3** Whenever possible, use temporary silt fences (e.g. with a burlap) and energy dissipators (such as rebar, sand bags and rocks) on slopes to reduce runoff velocity and sediment. Do not use asphalt curbs or other transition devices for silt fences.

**10.4** All silt erosion control measures and structural devices, both temporary and permanent, shall be properly maintained so that they do not become nuisances with illegal water, clogs, weed blocking, heavy algae growth, and/or safety hazards.

**10.5** A qualified person should conduct inspections of all silt BMPs during each inspection and after a storm to ensure that the BMPs are functioning properly. For sites greater than one acre, onsite inspections are required in accordance with the CAGP.

**11. Earth Moving Activities & Heavy Equipment**

Excavation and grading activities should be avoided or that can be interrupted for storm drain when handled properly. Effective erosion control practices reduce the amount of runoff causing a site and after the site with check dams or reinforced gravel surfaces. Each earth moving activity requires use and storage of heavy equipment. Fleet maintenance vehicles and heavy equipment that fuel oil, antifreeze or other fluids into the construction site are common sources of storm drain pollution.

**12. Site Inspections**

Monitor all heavy equipment, inspect frequently for leaks, and repair leaks immediately upon discovery. Perform major and/or heavy equipment maintenance, repair jobs and vehicle or equipment washing up site. If you have leaks and/or equipment leaks, oil, coolant or other fluids on site, use drip pans, absorbent spill mats, and/or spill kits. Collect all spill kits, both in quantity containers and properly dispose of hazardous waste. Recycle whenever possible. Cover exposed 1/2" when filling and other site or grassy equipment during rain events. Do not use diesel or kerosene fuel tanks or other equipment during rain events.

**13. Painting, Varnish, and Application of Solvents & Adhesives**

Paints, varnishes, sealers, and other construction materials are not allowed to be applied to the ground. These materials may contain hazardous substances and are not allowed to be applied to the ground. These materials may contain hazardous substances and are not allowed to be applied to the ground. These materials may contain hazardous substances and are not allowed to be applied to the ground.

**14. Concrete, Cement, & Masonry Products**

Concrete, cement, masonry products, sealers or pollutant laden water shall never be discharged into or allowed to reach the storm drain system.

**14.1** Avoid mixing wastes amount of fresh concrete or cement mortar on-site.

**14.2** During the setting process that the slurry water does not run off the head of the storm drain system. The discharge of slurry to the storm drain system is prohibited. Once slurry must be cleaned up and disposal of slurry must be maintained throughout project duration.

**14.3** Keep work site clear of debris & be aware of tracking mud, dirt, gravel into the street, cover all stockpiles. Practice good housekeeping and implement stormwater BMPs.

**15. Remedial Action**

Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or areas eroded or soil immediately removed.

**16. Protect Down Slope Drainage Courses, Curb and Storm Drains with Walls or Temporary Drainage Weeds.**

Use check dams or ditches to direct runoff around construction. Refer to the State & Federal Construction Fund Manual, California Regional Water Quality Control Board (RWQCB) Region 9, South Eastern August 2002, and the most recent version of the Manual of Standards for Erosion and Sediment Control Manual, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CSQA).

**17. Roadwork & Paving**

Prevent road work or paving activities and adjacent water bodies prior to breaking up asphalt or concrete. Use check dams or ditches to direct runoff around construction. Refer to the State & Federal Construction Fund Manual, California Regional Water Quality Control Board (RWQCB) Region 9, South Eastern August 2002, and the most recent version of the Manual of Standards for Erosion and Sediment Control Manual, Association of Bay Area Governments (ABAG), and Construction Best Management Practices (BMPs) Handbook, California Stormwater Quality Association (CSQA).

**18. Stormwater Pollution Prevention and Protection**

When draining a pond, fountain, pool or spa, any volumes in excess of 500 gallons must be reported in advance to the City of Cupertino Public Works Department. The City will provide guidance on handling surface seeping water, flow restrictions and best practices.

Signed and Agreed to by:  
Project Owner or Agent  
Date: 11/3/2022  
Print Name: Sara Moore

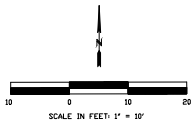
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NOT TO SCALE	PROJECT NUMBER: STWMP-100-2022-001	DRAWN BY: J.W.	DATE: 8/11/2022
CHECKED BY: S.E.J.	PROJECT TITLE: STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWING NO.: STWMP-100-2022-001	DATE: 8/11/2022

NOT TO SCALE	PROJECT NUMBER: STWMP-100-2022-001	DRAWN BY: J.W.	DATE: 8/11/2022
CHECKED BY: S.E.J.	PROJECT TITLE: STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWING NO.: STWMP-100-2022-001	DATE: 8/11/2022

NOT TO SCALE	PROJECT NUMBER: STWMP-100-2022-001	DRAWN BY: J.W.	DATE: 8/11/2022
CHECKED BY: S.E.J.	PROJECT TITLE: STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWING NO.: STWMP-100-2022-001	DATE: 8/11/2022

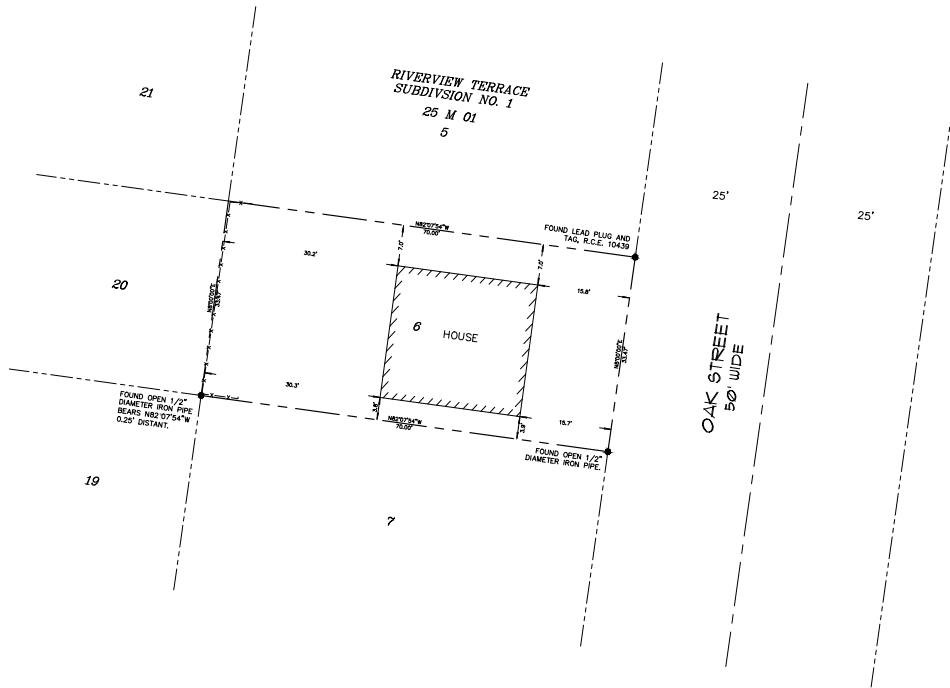
NOT TO SCALE	PROJECT NUMBER: STWMP-100-2022-001	DRAWN BY: J.W.	DATE: 8/11/2022
CHECKED BY: S.E.J.	PROJECT TITLE: STORMWATER POLLUTION PREVENTION AND PROTECTION	DRAWING NO.: STWMP-100-2022-001	DATE: 8/11/2022



**BASIS OF BEARINGS**  
 FOR THIS SURVEY IS BETWEEN FOUND MONUMENTS ALONG THE EASTERN BOUNDARY OF LOT 6 AS SHOWN ON 25 M 01 NB 00E

- LEGEND**
- SET 1/2" IRON PIPE WITH PLASTIC CAP, STAMPED LS 6832
  - FOUND MONUMENT AS SHOWN
  - SUBJECT BOUNDARY
  - ADJOINER BOUNDARY
  - x-x-x- FENCE
- DISTANCES ARE IN FEET AND DECIMALS THEREOF.

SURVEYED ON DECEMBER 20, 2021 AT THE REQUEST OF SANTA CRUZ GREEN BUILDERS.



**MID COAST ENGINEERS**  
**CIVIL ENGINEERS AND LAND SURVEYORS**  
 70 PENNY LANE, SUITE A WATSONVILLE, CA 95076 - (831) 724-2580



**PLOT PLAN**  
 LOT 6, RIVERVIEW TERRACE SUBDIVISION NO. 1, AS SHOWN ON THAT MAP FILED IN VOLUME 25 OF MAPS, PAGE 1, SANTA CRUZ COUNTY RECORDS.  
 517 OAK STREET  
 SANTA CRUZ COUNTY  
 CAPITOLA  
 CALIFORNIA

SCALE: 1" = 10'  
 DATE: JAN 19 2022  
 DRAWN BY: AB  
 JOB NO: 212066D1  
 SHEET:

1

OF 1 SHEETS