

P A S T
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March 28, 2022

Sean Sesanto, Assistant Planner
City of Capitola Planning Department
420 Capitola Ave.
Capitola, CA 95010

Re: 1555 Lincoln Ave., Capitola, CA – Preliminary Design Review Letter
APN. 034-041-13

Dear Mr. Sesanto:

This letter summarizes the findings of our site visit and provides preliminary recommendations to the subject project's design drawings for conformance with the Secretary of the Interior's Standards for Rehabilitation. The subject property is listed on the 1986 Capitola Architectural Survey.

Existing Site Conditions

On March 22, 2022 PAST Consultants, LLC (PAST) visited the subject property, located at 1555 Lincoln Avenue in Capitola, California, to view the existing conditions of the buildings. The site contains a modified one- and one-half story, wood-framed house (circa-1890) constructed in the Greek Revival style and a 1984 shed (**Figures 1 – 5**).



Figures 1 and 2. Left image shows the front (east) elevation, as viewed from the street. Right image details the front porch, which was replaced in the 1970s and the porch roof converted to a deck.

The one-and one-half story house has steeply-pitched gable roofs, with cornice returns and wide fascia boards; replaced windows in original wood surrounds, an original entrance with sidelights, and clapboard wall cladding. Modifications include a poorly constructed circa-1920s shed roofed rear addition with board-and-batten wood siding, replacement of all original wood sash windows, removal of the original front porch and the conversion of the porch roof to a deck in the 1970s.



Figures 3 and 4. Left image shows the rear (west) elevation, with shed roofed rear addition. Windows in the rear addition have been replaced in original and new openings. Right image details the south elevation. Original wood sash windows have been replaced.



Figure 5. View of 1984 shed outbuilding located in the rear yard.

Sanborn Map Analysis

The 1933 Sanborn map shows the subject property with the rear addition in place and a wood-framed wraparound porch (Figure 6).

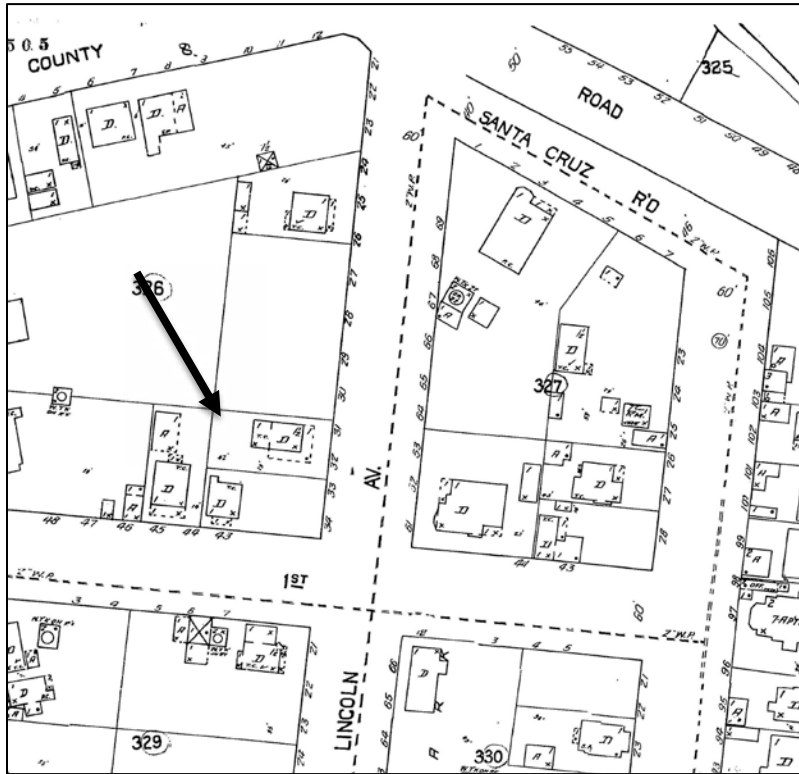


Figure 6. Image of the 1933 Sanborn map, showing the subject property with an arrow.



Figure 7. 1975 Assessor's photograph showing the second-story, gable-end window and the replaced front porch.

Construction Chronology

Based on the Sanborn maps, Assessor records and permits obtained from the City of Capitola Planning Department, the following is the estimated building chronology:

- Circa-1890. Construct original house with wraparound porch.
- Circa-1920s. Construct shed-roofed, board-and-batten rear addition.
- Permit No. 7136, 1975. Install new foundation.
- No Date, before 1975. Remove original wraparound front porch and install new front porch with chamfered columns and new wood deck (**Figure 7**).
- Circa-1970s, after 1975. Convert front porch roof to a deck. Add picket fence “railing.” Convert gable-end window to a door (**Figure 7**).
- Permit No. 11496, 1984. Construct shed outbuilding.
- Permit No. 14251, 1992. Reduce size of shed outbuilding.
- Permit No. BP1998-581, 1998. Repair front, second-story deck.
- Permit No. BP2008-257, 2008. Repair shed outbuilding.
- Permit No. BP2015-0411, 1998. Repair front porch.

Remaining Character Defining Features

The remaining character-defining features are:

- Steeply pitched gable roof.
- Roof wood details including wide cornice boards, wide fascia boards and cornice returns.
- Wood details including wall corner boards, wood window surrounds and wood details on first floor of front and primary (east) elevation.
- Brick chimney.
- Original entrance with toplights, sidelights and wood door surrounds.
- Clapboard wall cladding.

The Secretary of the Interior’s Standards

Two publications provide both the standards and guidelines for analyzing new additions to historic buildings for conformance with the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*:

- *The Secretary of the Interior’s Standards for the Treatment of Historic Properties*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, 1995, 1998; and
- *Preservation Brief 14, New Exterior Additions to Historic Buildings: Preservation Concerns*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, Technical Preservation Services, August 2010.

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties*: Kay D. Weeks and Anne E. Grimmer, U.S. Department of the Interior, National Park Service, 1995, 62.

be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Preliminary Design Review

Preservation Brief 14, New Exterior Additions to Historic Buildings: Preservation Concerns summarizes the goals of designing additions to buildings that would conform to the *Secretary of the Interior's Standards for Rehabilitation*:

A new addition to a historic building should preserve the building's historic character. To accomplish this and meet the *Secretary of the Interior's Standards for Rehabilitation*, a new addition should:

- Preserve significant historic materials, features and form;
- Be compatible; and
- Be differentiated from the historic building.²

The subject house's remaining character defining features listed above should be highlighted in the proposed rehabilitation design. To maintain these features, the following recommendations to the submitted conceptual alteration drawings by Peter Spellman Design, Inc., dated 10/18/2021. The primary *Standards* that apply to this project are *Standards 2, 5 and 9*.

Standards 2 and 5 seek to maintain the historic building's character defining features, which include the "distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property." For the subject Greek Revival-style house, this includes all of the wood details, particularly on the primary (east) elevation, which contains the character-defining entrance with toplights, sidelights and a wide wood door surround in the Greek Revival style; the roof cornice boards, fasciae and cornice returns; the wood window surrounds; and the clapboard siding.

Since the porch replacement is a recent addition and is not character defining, removing the picket fence-style porch railing is allowable.

Standard 9 states: "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment." While the proposed two-story addition is large, the addition is set back from the street and is differentiated adequately from the original house.

² Kay D. Weeks and Anne E. Grimmer, *Preservation Brief 14, New Exterior Additions to Historic Buildings: Preservation Concerns*, 2.


Removal of the 1984 shed outbuilding is permitted, as it is a recent addition to the site and is not character defining.

The following general recommendations refer to the proposed design:

1. Reduce the impact of the two-story rear addition by clipping the upper corners of the ridgeline.
2. While a side dormer is required to achieve upper-floor plate heights, reduce the size of the dormer as much as possible by removing access to the proposed roof deck at this location.
3. The proposed deck is large and obstructs views of the historic house. Suggest removing the upper-floor deck and installing a thinly supported carport to achieve the parking requirement.
4. Given the historic house's original style, it is recommended that wood-sash windows be installed on the historic portions of the building. Multi-pane sash would be appropriate for the Greek Revival style, which typically used 6/6 or 8/8 wood-sash windows.

Please contact me with any questions regarding this preliminary review letter.

Sincerely,



Seth A. Bergstein
Principal