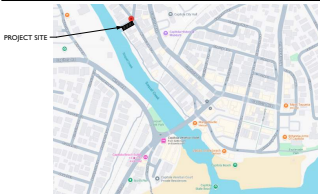
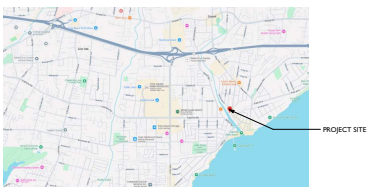


LOCATION MAP



FROM HIGHWAY 1, TAKE EXIT #437, TURN RIGHT ONTO BAY AVENUE, TURN RIGHT ON CAPITOLA AVENUE, TURN RIGHT ON RIVERVIEW DR. THEN TURN LEFT ON BLUE GUM AVE. MAKE A SLIGHT RIGHT ONTO RIVERVIEW AVE. ARRIVE AT 427 RIVERVIEW AVE.

VICINITY MAP



TITLE 24 & GREEN BUILDING

SEE SHEETS A10.3 & A10.4 FOR TITLE 24 COMPLIANCE & MANDATORY MEASURES
SEE SHEETS A10.5 & A10.6 FOR CAL. GREEN

APPLICABLE CODES & REGULATIONS

BUILDING CODE	2022 CBC (2022 CALIFORNIA BUILDING CODE, TITLE 24, PT 3)
ELECTRICAL CODE	2022 CEC (2022 CALIFORNIA ELECTRICAL CODE, TITLE 24, PT 3)
MECHANICAL CODE	2022 CMC (2022 CALIFORNIA MECHANICAL CODE, TITLE 24, PT 4)
PLUMBING CODE	2022 CPC (2022 CALIFORNIA PLUMBING CODE, TITLE 24, PT 5)
ENERGY CODE	2022 CEC (2022 CALIFORNIA ENERGY CODE, TITLE 24, PT 6)
FIRE CODE	2022 CFC (2022 CALIFORNIA FIRE CODE, TITLE 24, PT 7, APPENDIX B & C)
GREEN BUILDING	2022 CALGREEN (2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, PT 11)
RESIDENTIAL CODE	2022 CBC (2022 CALIFORNIA RESIDENTIAL CODE)
COUNTY CODE	SANTA CRUZ COUNTY CODE AMENDMENTS

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN & SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.

ITEMS TO HAVE DEFERRED SUBMITTAL INCLUDE:

- FIRE SPRINKLER DESIGN AND LAYOUT
- PLUMBING - ISOMETRIC DRAWING

JOB COPIES OF THE BUILDING & FIRE SYSTEMS PLANS & PERMITS MUST BE ON-SITE DURING INSPECTIONS.

FIRE NOTES

1. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019 EDITION) AND THE LOCAL FIRE DISTRICT AMENDMENTS.
2. SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - ONE ALARM ADJACENT TO EACH SLEEPING AREA
 - ONE ALARM IN EACH SLEEPING ROOM
 - ONE AT THE TOP OF EACH STAIRWAY OF 24" RISE OR GREATER AND IN AN ACCESSIBLE LOCATION BY LADDERS
 - THERE SHALL BE ONE SMOKE ALARM ON EACH FLOOR LEVEL
 - THERE SHALL BE A MINIMUM OF ONE SMOKE ALARM IN EVERY BASEMENT AREA
3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING MINIMUM REQUIREMENTS:
 - ONE ALARM ADJACENT TO EACH SLEEPING AREA
 - THERE SHALL BE AT LEAST ONE CARBON MONOXIDE ALARM ON EACH FLOOR LEVEL
4. BUILDING NUMBERS SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.

ABBREVIATIONS

A	M
AFR ABOVE FINISHED FLOOR	MAX MANHOLE
AL ALTERNATE	MF MANUFACTURED
ALT ALTERNATE	MFR MANUFACTURER
APPL APPLIANCE	MCH MECHANICAL
ARCH ARCHITECT(URAL)	MEN MANHOLE
AUTO AUTOMATIC	MISC MISCELLANEOUS
AVG AVERAGE	MLWK MLLWORK
& AND	MTD MOUNTED
B	N
BTWN BETWEEN	NIC NOT IN CONTRACT
BLOG BUILDING	NO NUMBER
BO BOARD	NTS NOT TO SCALE
BR BRAM	(N) NEW
BLKG BLOCKING	O
C	OVL OVERFLOW
CPT CARPET	OVD OVERHEAD
CEM CEMENT(TIOUS)	OPNG OPENING(S)
CLS CEILING	P
CONC CONCRETE	PB PARTICLE BOARD
CONST CONSTRUCTION	PCL PANEL
CONT CONTINUOUS(ATION)	PED POINT OF BEGINNING
CRU CONCRETE READY UNIT	PRFIN PREFINISHED
D	PRFAB PREFABRICATED
DBL DOUBLE	PLM PLASTIC LAMINATE
DPT DEPARTMENT	PLTWD PLYWOOD
DET DETAIL	R
DF DENKING FOUNTAIN	REGES ACCESSED
DIA DIAMETER	REF REFERENCE
DIF DIFFUSER	REFL REFLECTED
DIM DIMENSION	REGS REGULATIONS
DSP DISPENSER	RK ROOM
DIV DIVISION	REQD REQUIRED
DN DOWN	RI REQUIRED
S DOLLAR (CURRENCY)	(R) REDUCED
DR DOOR	S
DWR DRAWER	SEC SECURITY
E	SF SQUARE FEET
ELEC ELECTRICAL	SIN SINK
ENGR ENGINEER(S)	SST STAINLESS STEEL
ENTR ENTRANCE	STD STANDARD
EQ EQUAL	STL STEEL
EQUIP EQUIPMENT	STRT STRUCTURAL
EXIST EXISTING	SUP SUSPENDED
EXT EXTENSION	T
(EX) EXISTING	TST TREATED
F	TAG TONGUE AND GROOVE
FAB FABRICATION	TYP TYPICAL
FD FLOOR DRAIN	VF VERT IN FIELD
FE FIRE EXTINGUISHER	U
FEC FIRE EXTINGUISHER AND CABINET	UTL UTILITY
FHC FIRE HOSE CABINET	UN UNLESS OTHERWISE NOTED
FIN FINISH	V
FE FIRE EXTINGUISHER(S)	VERT VERTICAL
FRM FRAMING	VF VERT IN FIELD
FR FRAMING	W
FLR FLOOR(ING)	WI WITH
FURN FURNITURE	WC WALK CLOSET
FWC FABRIC WALL COVERING	WO WOOD
	WID WITHOUT
	WT WEIGHT
G	
GA GAUGE	
GC GENERAL CONTRACTOR	
GRFC GLASS FIBER REINFORCED CONCRETE	
GRFG GLASS FIBER REINFORCED GYPSUM	
GRFP GLASS FIBER REINFORCED PLASTER	
GL GLASS	
GYP GYPSUM	
H	
HD HEAD	
HDWE HARDWARE	
HGT HEIGHT	
HR HOLLOW METAL	
HORZ HORIZONTAL	
HVAC HEATING, VENTILATING, AND AIR CONDITIONING	
I	
INFO INFORMATION	
INSUL INSULATION	
INT INTERIOR	
J	
JAN JANITOR	
L	
LAV LAVATORY	
LD FOUND	
LG LIGHT	
LEV LEVELING	

PROJECT DESCRIPTION

RENOVATION OF EXISTING LEGAL, NON-CONFORMING RESIDENCE WHICH INCLUDES 3-BED RMS., 3-BATHS, LIVING AREA, KITCHEN & (2) ONE CAR GARAGES.

THE PROPOSED RENOVATION WILL HAVE 3-BED RMS., 2.5 BATHS, LIVING AREA, KITCHEN, (1) ONE CAR GARAGE, (1) CARPORT, AND AN CONNECTING BRIDGE/HALLWAY TO CONNECT THE FRONT RESIDENCE TO THE BACK RESIDENCE. THE PROPOSED RENOVATION WILL BE AN REDUCTION OF 18 SF. OF FLOOR AREA.

THE RENOVATION WILL INCLUDE NEW EXTERIOR SIDING, METAL SEAM ROOF, DOORS(S), WINDOWS(S), INTERIOR LAYOUT, ELEVATOR, EXTERIOR ACCESS STAIRS (TO SECOND FLOOR), & CONNECTING BRIDGE/HALLWAY. SEE PLANS FOR FURTHER SPECIFICS OF THIS PROJECT.

PROJECT INFORMATION

APN: 035-132-01
ZONING: R-1 (SINGLE-FAMILY RESIDENTIAL)
CONSTRUCTION TYPE: 1B
OCCUPANCY CLASSIFICATION: R-3
STORIES: (2) STORIES

MAX HEIGHT ALLOWED: 35'-0"
MAX HEIGHT EXISTING: 34'-6"
MAX HEIGHT PROPOSED: 34'-6" (NO ADJUSTMENTS TO ROOF HEIGHT FROM EXISTING)

LOT COVERAGE:

LOT AREA: 3,018 SF (0.69 ACRES)
ALLOWED: 1.04 PER 17.16 ACRES

FLOOR AREA RATIO:

ALLOWED (37%): 3,018 X .57 = 1,720 SF

EXISTING FIRST FLOOR: 1,244 SF
EXISTING SECOND FLOOR: 1,480.75 SF
EXISTING TOTAL: 2,725 SF
REDUCTION: - 30 SF (PER 17.48.04(B)(F)) 1,720 - 1,750 = 30 SF
TOTAL EXISTING: 2,695 SF

PROPOSED FIRST FLOOR: 1,119.5 SF
PROPOSED SECOND FLOOR: 1,464.25 SF
PROPOSED TOTAL: 2,583.75 SF
REDUCTION: - 30 SF (PER 17.48.04(B)(F)) 1,720 - 1,750 = 30 SF

TOTAL PROPOSED: 2,553.75 SF

*REDUCTION OF 141.25 SF FROM EXISTING TO PROPOSED

PARKING REQUIREMENTS:

REQUIRED: 3 (Per Table 17.76-2)
PROVIDED: 2, (1) ONE CAR GARAGE & (1) CARPORT

CALCULATION OF REQ'D SPACES (PER 17.76.030):

PROPOSED FAR TOTAL: 2,553.75
CARPORT REDUCTION: -239.25
GARAGE REDUCTION: -240
= 2,306.5

CONTACT INFORMATION

CLIENT:
TERRI ROBBINS & JOE MCLEAN
427 RIVERVIEW
CAPITOLA, CA 95010

ARCHITECT:
FUSE ARCHITECTS, INC.
DAN GOMEZ
512 CAPITOLA AVENUE
CAPITOLA, CA 95010
831-479-9295
WWW.FUSEARCHITECTURE.COM

CIVIL ENGINEER:
BOWMAN & WILLIAMS
JOEL RICCA
1949 RESEARCH PARK CT, SUITE 100
SOQUEL, CA 95073
831-426-5560

STRUCTURAL ENGINEER:
REDWOOD ENGINEERING
LEONARD WILLIS
1535 SEABRIGHT AVE., SUITE 200
SANTA CRUZ, CA 95062
831-426-8444

GEOTECHNICAL ENGINEER:
ROCK SOLID ENGINEERING, INC.
YVETTE M. WILSON, P.E.
1100 MAIN ST., SUITE 1A
WATSONVILLE, CA 95079
831-724-5868

SURVEYOR:
ROPER ENGINEERING
JEFF ROOPER
48 MAIN AVE
CORRALITOS, CA 95076
831-724-5300

MIP, TITLE-24, & SOLAR ENGINEER
MONTBRY BRECK GROUP, INC.
26465 CARMEL RANCHO BLVD. SUITE B
CARMEL, CA 93921
831-372-8238

DRAWING INDEX

ARCHITECTURAL & LANDSCAPE		04/20/23	04/20/23	04/20/23	04/20/23
SHEET NUMBER	SHEET NAME	ISSUED FOR REVIEW #1	ISSUED FOR PLAN CHECK RESPONSE #1	ISSUED FOR PLAN CHECK RESPONSE #2	ISSUED FOR PLAN CHECK RESPONSE #3
A1	PROJECT INFO	X	X	X	X
A2	SURVEY	X	X	X	X
A3	EXISTING SITE PLAN	X	X	X	X
A4	PROPOSED SITE PLAN	X	X	X	X
A5	FIRST FLOOR EXISTING/PROPOSED AREA CALCULATIONS	X	X	X	X
A6	SECOND FLOOR EXISTING/PROPOSED AREA CALCULATIONS	X	X	X	X
A7	FIRST FLOOR DEMOLITION PLAN	X	X	X	X
A8	SECOND FLOOR DEMOLITION PLAN	X	X	X	X
A9	ROOF DEMOLITION PLAN	X	X	X	X
A10	PROPOSED FIRST FLOOR PLAN	X	X	X	X
A11	PROPOSED SECOND FLOOR PLAN	X	X	X	X
A12	PROPOSED ROOF PLAN	X	X	X	X
A13	EXISTING/PROPOSED FRONT AND REAR ELEVATIONS	X	X	X	X
A14	EXISTING/PROPOSED COURTYARD ELEVATIONS	X	X	X	X
A15	EXISTING/PROPOSED NORTH ELEVATIONS	X	X	X	X
A16	EXISTING/PROPOSED SOUTH ELEVATIONS	X	X	X	X
A17	PROPOSED BUILDING SECTIONS	X	X	X	X
A22	PERSPECTIVE #1	X	X	X	X
A24	PERSPECTIVE #3	X	X	X	X
A25	PROPOSED MATERIALS	X	X	X	X
A26	PERSPECTIVE COMPARISON #1	X	X	X	X
A27	PERSPECTIVE COMPARISON #2	X	X	X	X
A28	PERSPECTIVE COMPARISON #3	X	X	X	X
L1	LANDSCAPE LIGHTING SPEC. SHEETS	X	X	X	X
L3	LANDSCAPE LIGHTING SPEC. SHEETS	X	X	X	X

CIVIL

SHEET NUMBER	SHEET NAME	
C1.0	GRADING PLAN	X
C2.0	DRAINAGE PLAN	X
C2.1	STORMWATER CONTROL PLAN	X
C3.0	EROSION CONTROL PLAN	X
T1	TOPOGRAPHY SURVEY	X
T2	UTILITY PLAN	X

FEMA NOTES

1. THIS PROJECT WILL COMPLY (ONLY AS IT APPLIES TO THE SCOPE WITHIN THIS PROJECT) WITH THE LOCAL FLOODPLAIN MANAGEMENT REGULATIONS OF CHAPTER 15.30 AND FEDERAL (FEMA) GUIDELINES OF THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR FLOODPLAIN DEVELOPMENT.
2. THIS PROJECT WILL PREVENT OR REGULATE THE CONSTRUCTION OF FLOOD BARRIERS WHICH WILL UNNATURALLY DIVERT FLOODWATERS OR WHICH MAY INCREASE FLOOD HAZARDS IN OTHER AREAS.
3. AS REQUIRED THIS PROJECT WILL PROVIDE BREAKAWAY WALL(S) OR BREAKAWAY PORTION OF PROPOSED WALL(S) THAT ARE DESIGNED TO BREAK AWAY UNDER ABNORMALLY HIGH TIDES OR WAVE ACTIONS WITHOUT CAUSING ANY DAMAGE TO THE STRUCTURAL INTEGRITY OF THE BUILDING ON WHICH THEY ARE BEING USED OR ANY BUILDINGS TO WHICH THEY MIGHT BE CARRIED BY FLOODWATERS.

THESE BREAKAWAY WALLS OR BREAKAWAY PORTIONS OF PROPOSED WALL(S) SHALL HAVE A SAFE DESIGN LOADING RESISTANCE OF NOT LESS THAN TEN AND NOT MORE THAN TWENTY POUNDS PER SQUARE FOOT. THESE BREAKAWAY WALLS WILL BE CERTIFIED BY A REGISTERED ENGINEER OR ARCHITECT AND WILL MEET THE FOLLOWING CONDITIONS:

1. BREAKAWAY WALL COLLAPSE SHALL RESULT FROM A WATER LOAD LESS THAN THAT WHICH WOULD OCCUR DURING THE BASE FLOOD;
2. THE ELEVATED PORTION OF THE BUILDING SHALL NOT INCUR ANY STRUCTURAL DAMAGE DUE TO THE EFFECTS OF WIND AND WATER LOADS ACTING SIMULTANEOUSLY IN THE EVENT OF THE BASE FLOOD.

4.THE GARAGE WILL BE DESIGNED TO ALLOW FOR AUTOMATIC ENTRY OF FLOODWATERS

5. ALL NEW AND REPLACEMENT WATER SUPPLY AND SANITARY SEWAGE SYSTEMS SHALL BE DESIGNED TO MINIMIZE OR ELIMINATE

1. INFILTRATION OF FLOODWATERS INTO THE SYSTEMS; AND
2. DISCHARGE FROM THE SYSTEMS INTO FLOODWATERS

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fusearchitecture.com 831.479.9295

Revision	Date	Issue Description
0	06/20/2023	ISSUED PLANNING REVIEW #1
1	08/18/2023	ISSUED PLAN CHECK RESPONSE #1
2	9/4/2023	ISSUED PLAN CHECK RESPONSE #2
3	9/25/2023	ISSUED PLANNING ADDENDUM #1

Seal/ Signature



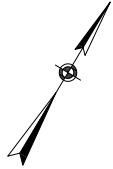
Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PROJECT INFO

Scale
As Indicated

A1



SOQUEL CREEK
BASE FLOOD ELEVATION = 20 FEET

LEGEND

- EXISTING CONTOUR
- +14.79 EXISTING GRADE
- FLOWLINE
- X- FENCE
- - - PROPERTY LINE

10' ALLEY

BLUE GUM AVENUE

RIVERVIEW AVENUE

BENCHMARK
P.C. NAIL IN PAVEMENT
ELEVATION = 14.34
NAVD 1988 DATUM

TOPOGRAPHIC SURVEY

SCALE: 1"=40'
0 2.5 5 10
FEET



NOTED: SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SHEET PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
48 MAIN AVENUE CORRALITOS, CA 95076
(831) 724-5300 info@roperengineering.com

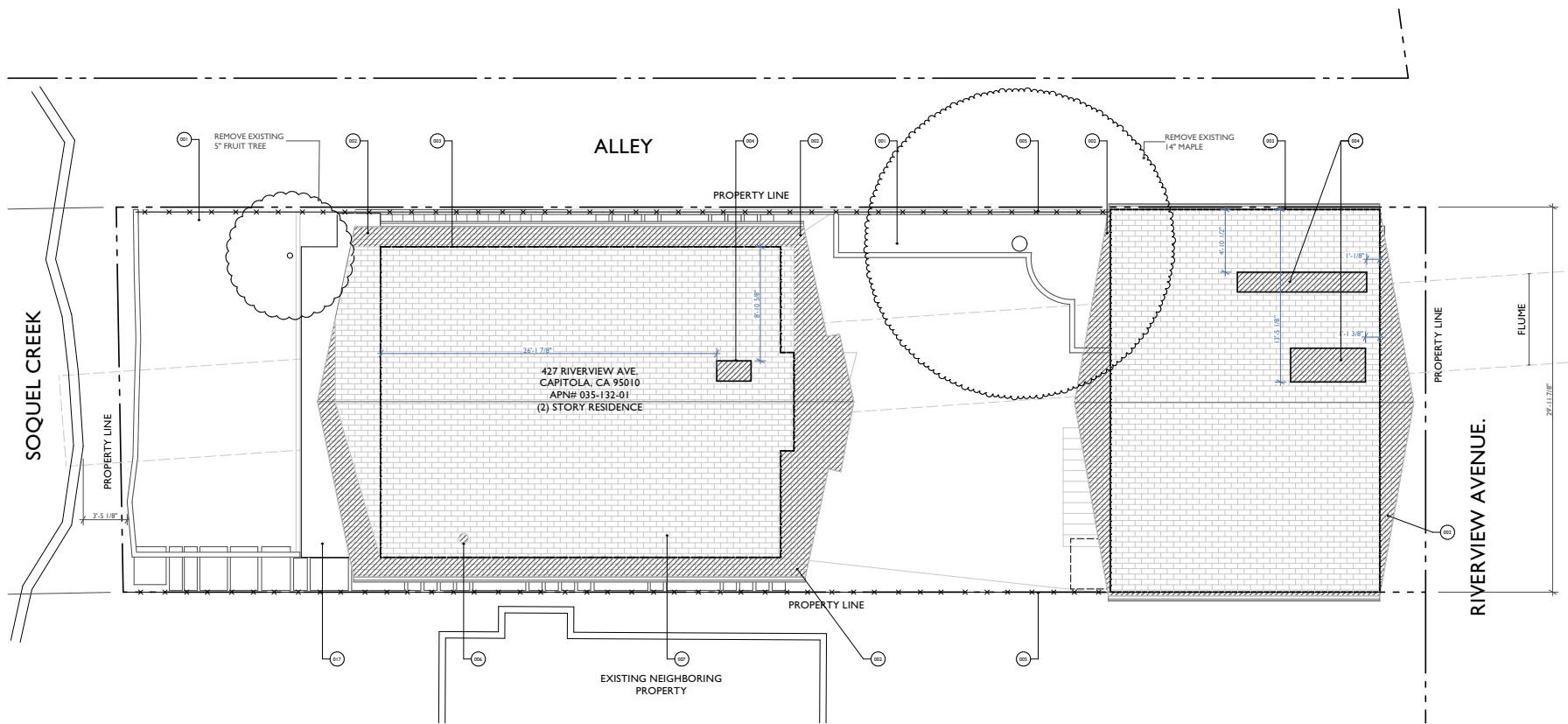


RESIDENTIAL REMODEL FOR
JOSEPH McLEAN
427 RIVERVIEW AVENUE CAPITOLA APN 035-132-01
TOPOGRAPHIC SURVEY

SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: FEB. 15, 2023
REVISED:
JOB NO.: 23005
SHEET

T1

OF 2 SHEETS



1 EXISTING SITE PLAN SCALE: 1/4" = 1'-0"

LEGEND

	(B) WALL		BUILDING ELEVATION KEY: ELEVATION # / SHEET #
	(B) WALL TO BE REMOVED		BUILDING SECTION KEY: SECTION # / SHEET #
	(B) ROOF EAVE TO BE REMOVED		
	WALL BELOW		
	DETAIL/SECTION/ELEVATION NUMBER		
	SHEET NUMBER		
	KEYNOTE TAG		
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET A5.0		
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A5.1		
	WALL TAG, SEE PARTITION SCHEDULE ON SHEET A5.2		

KEY NOTES

001	EXISTING HARDSCAPE, PLANTERS, SITE WALLS TO BE DEMOLISHED & REMOVED
002	PORTION OF EXISTING ROOF EAVE TO BE REMOVED. SEE DEMO ROOF PLAN FOR MORE INFORMATION
003	DASHED LINE INDICATES EXTERIOR WALLS BELOW
004	INDICATES PROPOSED SKYLIGHT, G.C. TO COORD. CUTOUT WIN FOR SKYLIGHT BASED ON REVIEWED/APPROVED WINDOW PACKAGE
005	EXISTING FENCE TO BE REMOVED
006	INDICATES LOCATION OF PROPOSED CHIMNEY G.C. TO COORD. CUTOUT FOR FLUE
007	EXISTING ASPHALT SHINGLED ROOF TO BE REMOVED DOWN TO SUBLAYER
017	INDICATES UPPER DECK TO BE REMOVED

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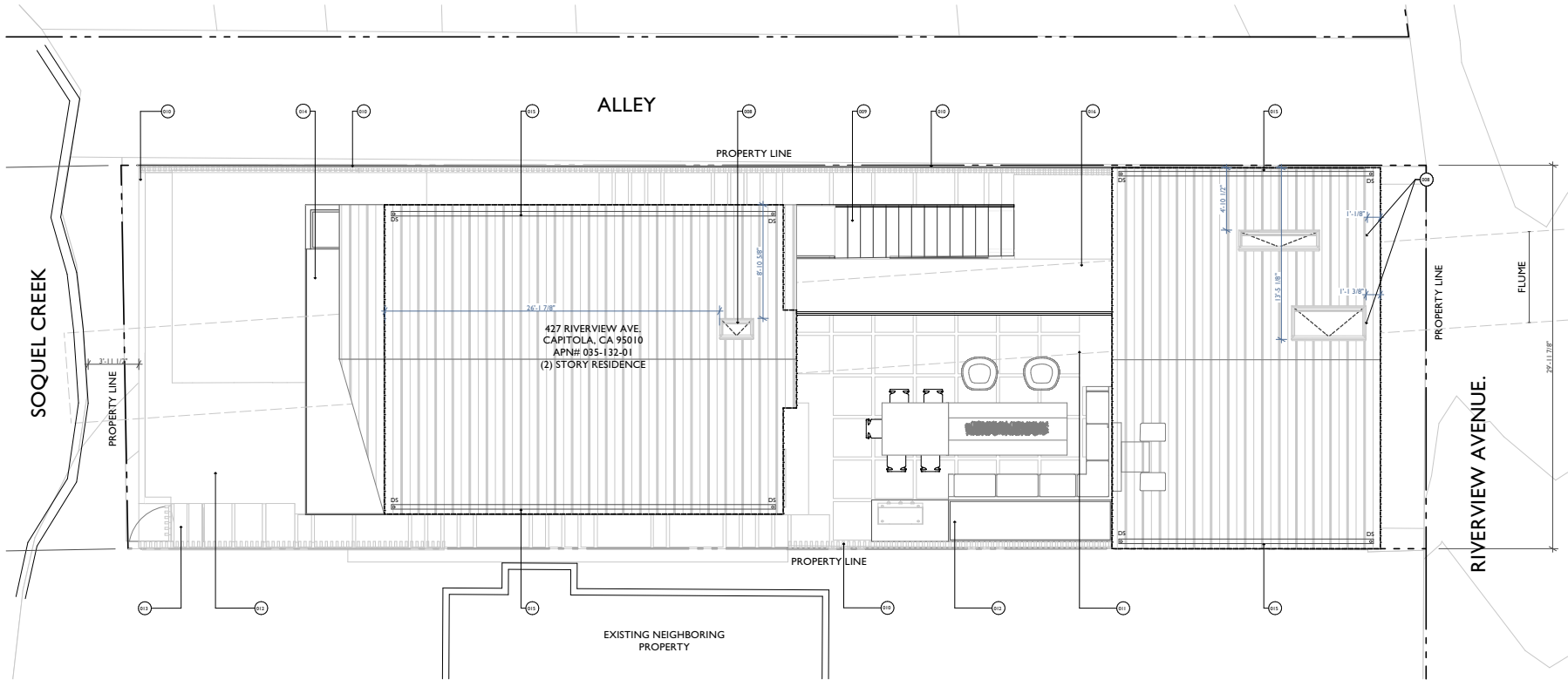
Project Name
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Sheet Title
EXISTING SITE PLAN

Scale
As Indicated

A3



1 PROPOSED SITE PLAN SCALE: 1/4" = 1'-0"

LEGEND

- WALL BELOW
- DETAIL/ SECTION ELEVATION NUMBER
SHEET NUMBER
- KEYNOTE TAG
- DOOR TAG, SEE DOOR SCHEDULE ON SHEET A5.0
- WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A5.1
- WALL TAG, SEE PARTITION SCHEDULE ON SHEET A5.2
- BUILDING ELEVATION KEY:
ELEVATION # / SHEET #
- BUILDING SECTION KEY:
SECTION # / SHEET #

KEY NOTES

- 008 INDICATES NEW SKYLIGHT
- 009 INDICATES NEW ACCESS STAIR
- 010 INDICATES NEW FENCE
- 011 INDICATES NEW CONC. PAVERS
- 012 INDICATES NEW PLANTER
- 013 INDICATES NEW ACCESS GATE
- 014 INDICATES NEW CANTILEVERED DECK
- 015 INDICATES INTEGRATED GUTTER
- 016 INDICATES NEW ENCLOSED BRIDGE

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Sheet Title
PROPOSED SITE PLAN

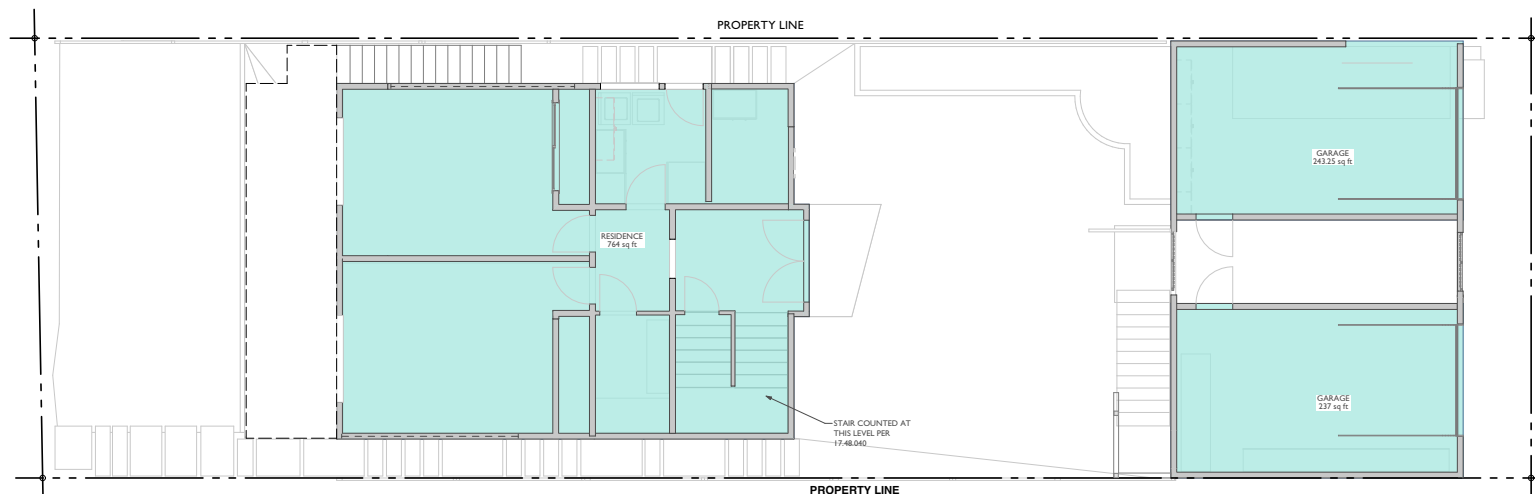
Scale
As Indicated

A4

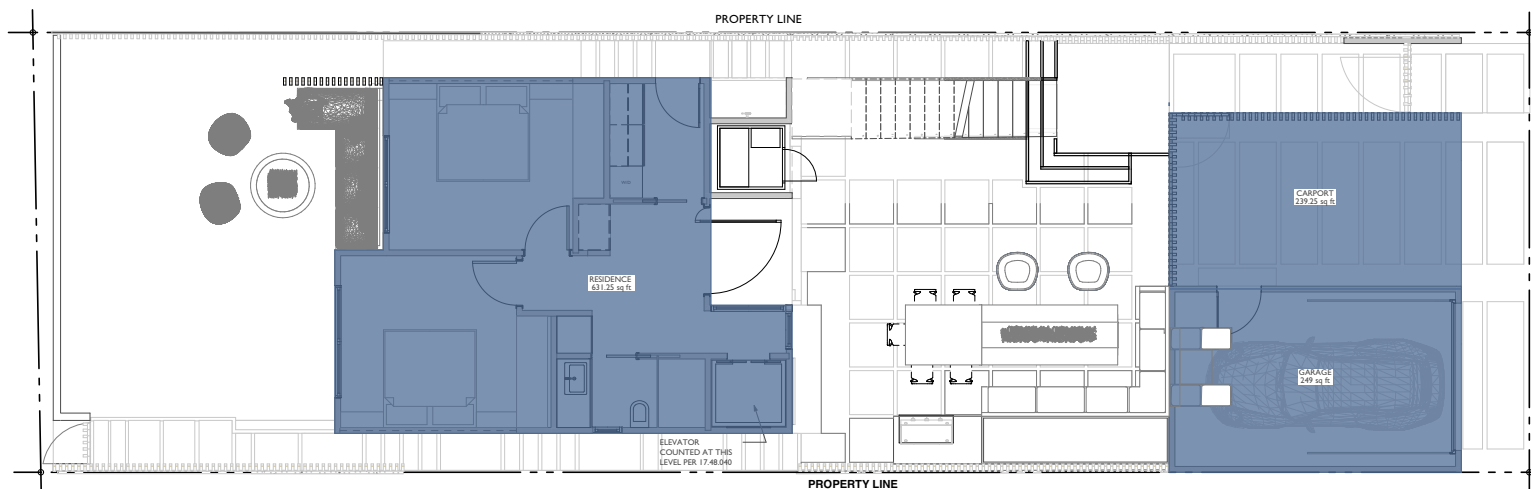
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1 EXISTING FIRST FLOOR PLAN_FLOOR AREA
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN_FLOOR AREA
SCALE: 1/4" = 1'-0"

EXISTING FLOOR AREA

1ST FLR. -FLOOR AREA: 1,244 SF
2ND FLR. - FLOOR AREA: 1,480.75 SF
TOTAL FLOOR AREA= 2,725 SF

PROPOSED FLOOR AREA

1ST FLR. -FLOOR AREA: 1,119.5 SF
2ND FLR. - FLOOR AREA: 1,464.25 SF
TOTAL FLOOR AREA= 2,583.75 SF

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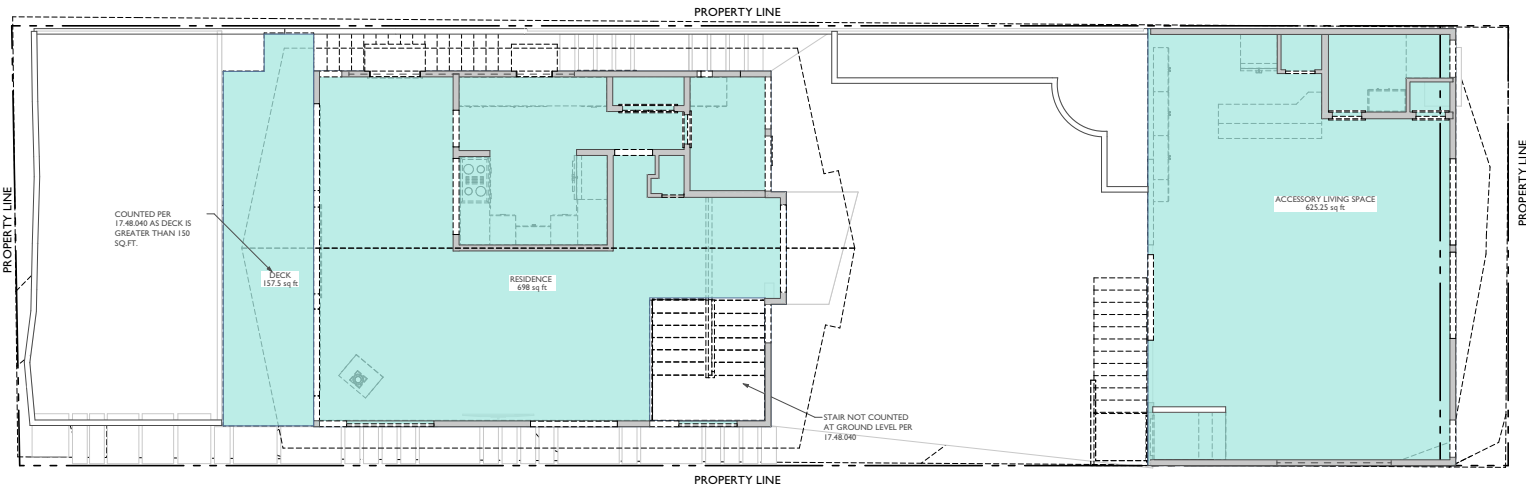


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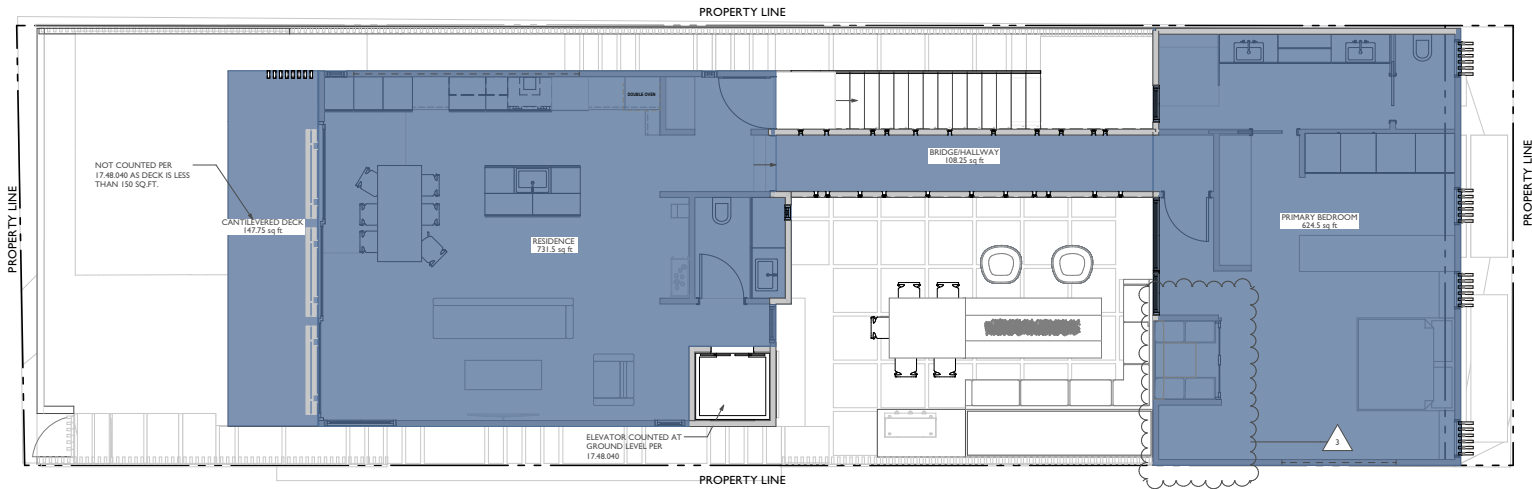
Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
FIRST FLOOR EXISTING/
PROPOSED AREA
CALCULATIONS
Scale
As Indicated

A5



1 EXISTING SECOND FLOOR PLAN FLOOR AREA
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN FLOOR AREA
SCALE: 1/4" = 1'-0"

EXISTING FLOOR AREA

1ST FLR. - FLOOR AREA: 1,244 SF
2ND FLR. - FLOOR AREA: 1,480.75 SF
TOTAL FLOOR AREA= 2,725 SF

PROPOSED FLOOR AREA

1ST FLR. - FLOOR AREA: 1,119.5 SF
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Project Name
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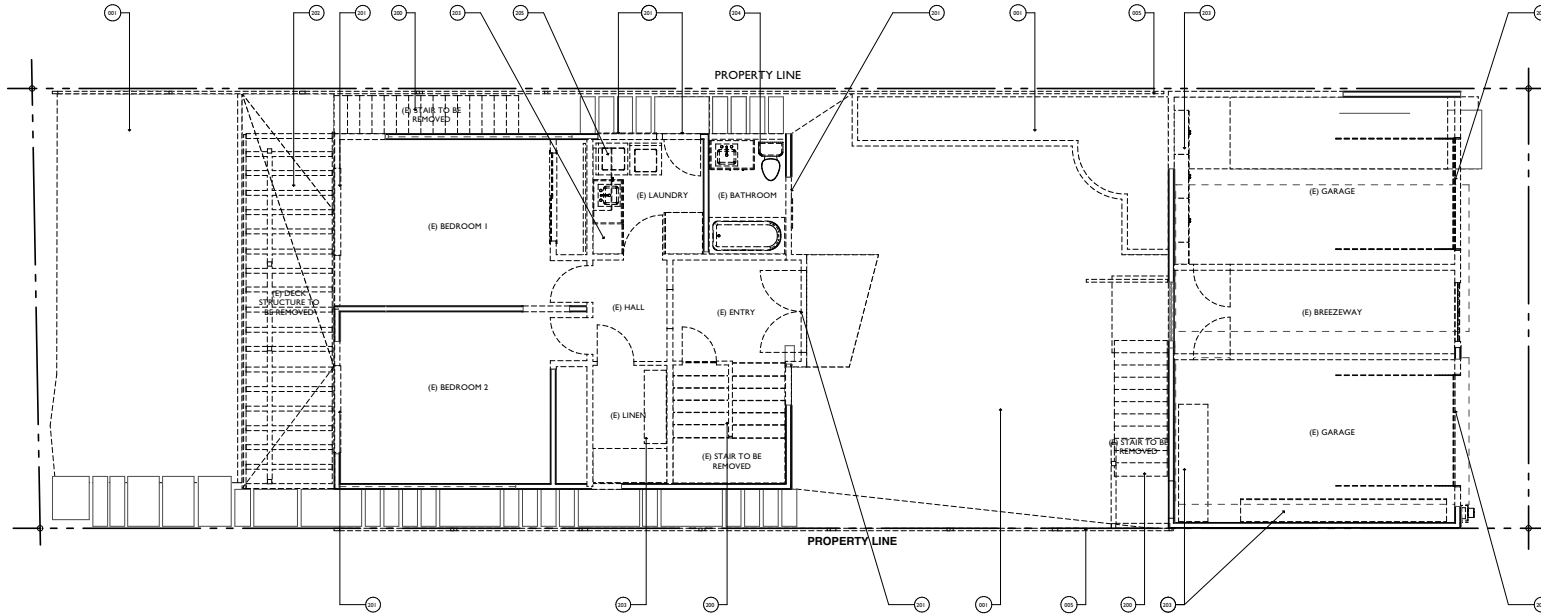
Sheet Title
SECOND FLOOR EXISTING/
PROPOSED AREA
CALCULATIONS
Scale
As Indicated

A6

RIVERVIEW

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1 EXISTING/DEMOLITION FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

LEGEND

	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	BUILDING ELEVATION KEY: ELEVATION # / SHEET #
	BUILDING SECTION KEY: SECTION # / SHEET #
	DETAIL/SECTION/ ELEVATION NUMBER SHEET NUMBER
	KEYNOTE TAG
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET AS.0
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET AS.1
	WALL TAG, SEE PARTITION SCHEDULE ON SHEET AS.2

KEY NOTES

001	EXISTING HARDSCAPE, PLANTERS, SITE WALLS TO BE DEMOLISHED & REMOVED
005	EXISTING FENCE TO BE REMOVED
200	EXISTING STAIR TO BE DEMOLISHED & REMOVED
201	EXISTING OPENING TO BE DEMOLISHED, & REMOVED, INFILLED OR REPLACED, G.C TO COORD.
202	EXISTING DECK TO BE DEMOLISHED & REMOVED
203	EXISTING MILLWORK TO BE DEMOLISHED & REMOVED
204	EXISTING PLUMBING FIXTURES TO BE DEMOLISHED & REMOVED, SEE PROPOSED PLANS FOR LOCATION OF NEW PLUMBING
205	EXISTING APPLIANCES TO BE DEMOLISHED & REMOVED



Revision	Date	Issue Description
0	06/20/2025	ISSUED PLANNING REVIEW #1
1	08/18/2025	ISSUED PLANNING CHECK RESPONSE #1
2	9/4/2025	ISSUED PLANNING CHECK RESPONSE #2
3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
FIRST FLOOR DEMOLITION PLAN

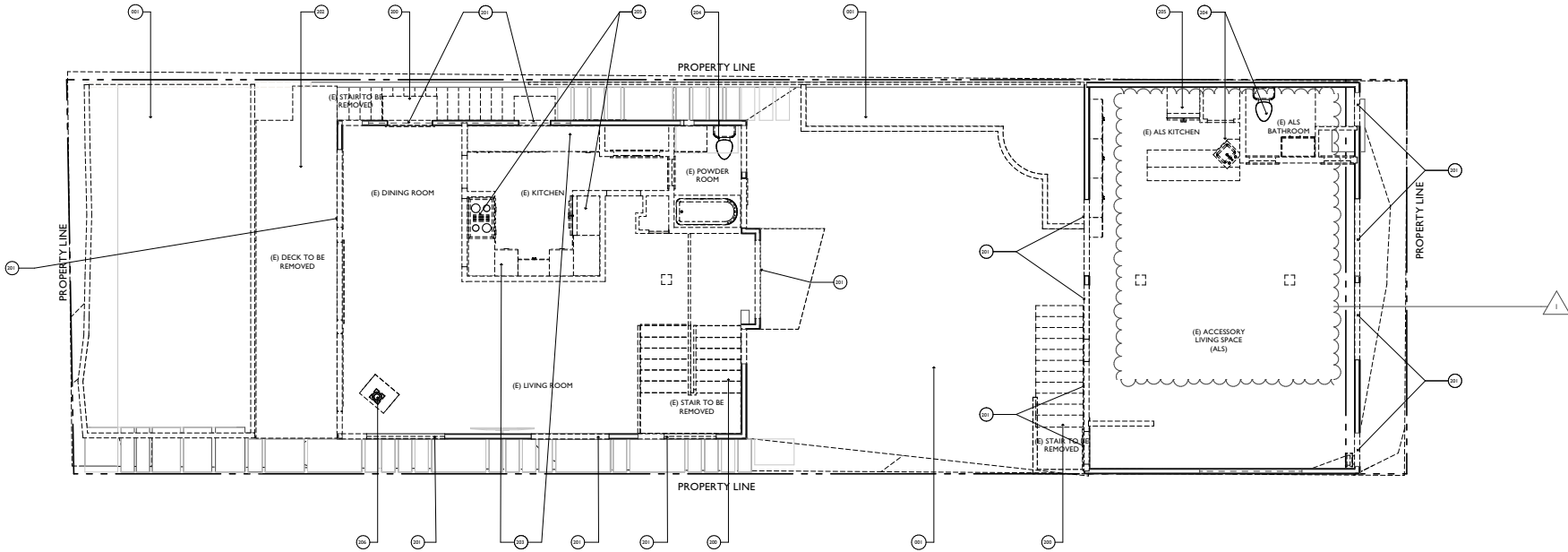
Scale
As Indicated

A7

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1 EXISTING/DEMOLITION SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

LEGEND

	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	BUILDING ELEVATION KEY: ELEVATION # / SHEET #
	BUILDING SECTION KEY: SECTION # / SHEET #
	DETAIL/SECTION/ELEVATION NUMBER SHEET NUMBER
	KEYNOTE TAG
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET AS.0
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET AS.1
	WALL TAG, SEE PARTITION SCHEDULE ON SHEET AS.2

KEY NOTES

001	EXISTING HANDSCAPE, PLANTERS, SITE WALLS TO BE DEMOLISHED & REMOVED
005	EXISTING FENCE TO BE REMOVED
200	EXISTING STAIR TO BE DEMOLISHED & REMOVED
201	EXISTING OPENING TO BE DEMOLISHED, & REMOVED, INFILLED OR REPLACED, G.C. TO COORD.
202	EXISTING DECK TO BE DEMOLISHED & REMOVED
203	EXISTING MILLWORK TO BE DEMOLISHED & REMOVED
204	EXISTING PLUMBING FIXTURES TO BE DEMOLISHED & REMOVED, SEE PROPOSED PLANS FOR LOCATION OF NEW PLUMBING
205	EXISTING APPLIANCES TO BE DEMOLISHED & REMOVED
206	EXISTING FIREPLACE TO BE DEMOLISHED & REMOVED, SEE PROPOSED PLANS FOR LOCATION OF NEW FIREPLACE

Revision	Date	Issue Description
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1	08/18/2025	ISSUED PLANNING CHECK RESPONSE #1
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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
SECOND FLOOR DEMOLITION PLAN

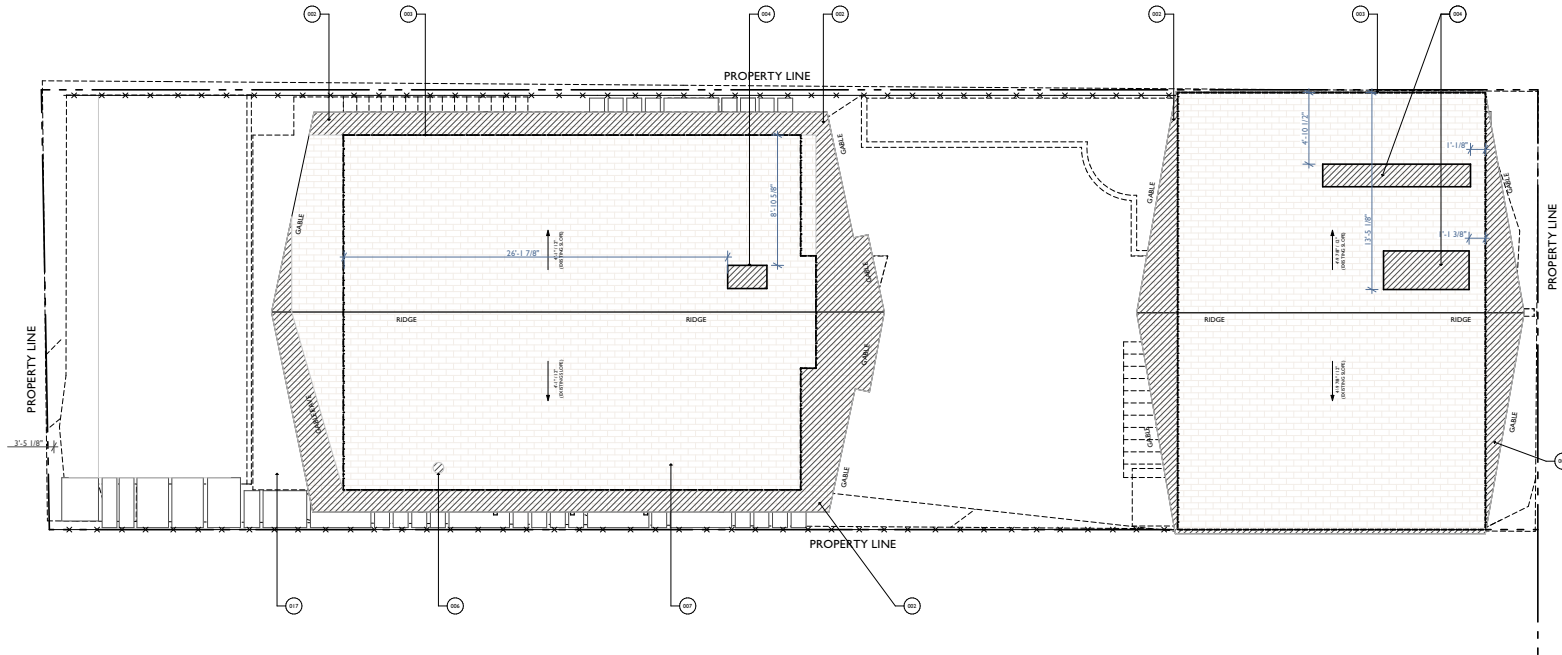
Scale
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1 EXISTING/DEMOLITION ROOF PLAN SCALE: 1/4" = 1'-0"

LEGEND

	(E) WALL		BUILDING ELEVATION KEY: ELEVATION # / SHEET #
	(E) WALL TO BE REMOVED		BUILDING SECTION KEY: SECTION # / SHEET #
	(E) ROOF EAVE TO BE REMOVED		
	WALL BELOW		
	DETAIL/ SECTION/ ELEVATION NUMBER SHEET NUMBER		
	KEYNOTE TAG		
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET AS.0		
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET AS.1		
	WALL TAG, SEE PARTITION SCHEDULE ON SHEET AS.2		

KEY NOTES

002	PORTION OF EXISTING ROOF EAVE TO BE REMOVED. SEE DEMO ROOF PLAN FOR MORE INFORMATION
003	DASHED LINE INDICATES EXTERIOR WALLS BELOW
004	INDICATES PROPOSED SKYLIGHT, G.C. TO COORD. CUTOUT WITH ROOF FOR SKYLIGHT BASED ON REVIEWED/APPROVED WINDOW PACKAGE
006	INDICATES LOCATION OF PROPOSED CHIMNEY G.C. TO COORD. CUTOUT FOR FLUE
007	EXISTING ASPHALT SHINGLED ROOF TO BE REMOVED DOWN TO SUBLAYER



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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Sheet Title
ROOF DEMOLITION PLAN

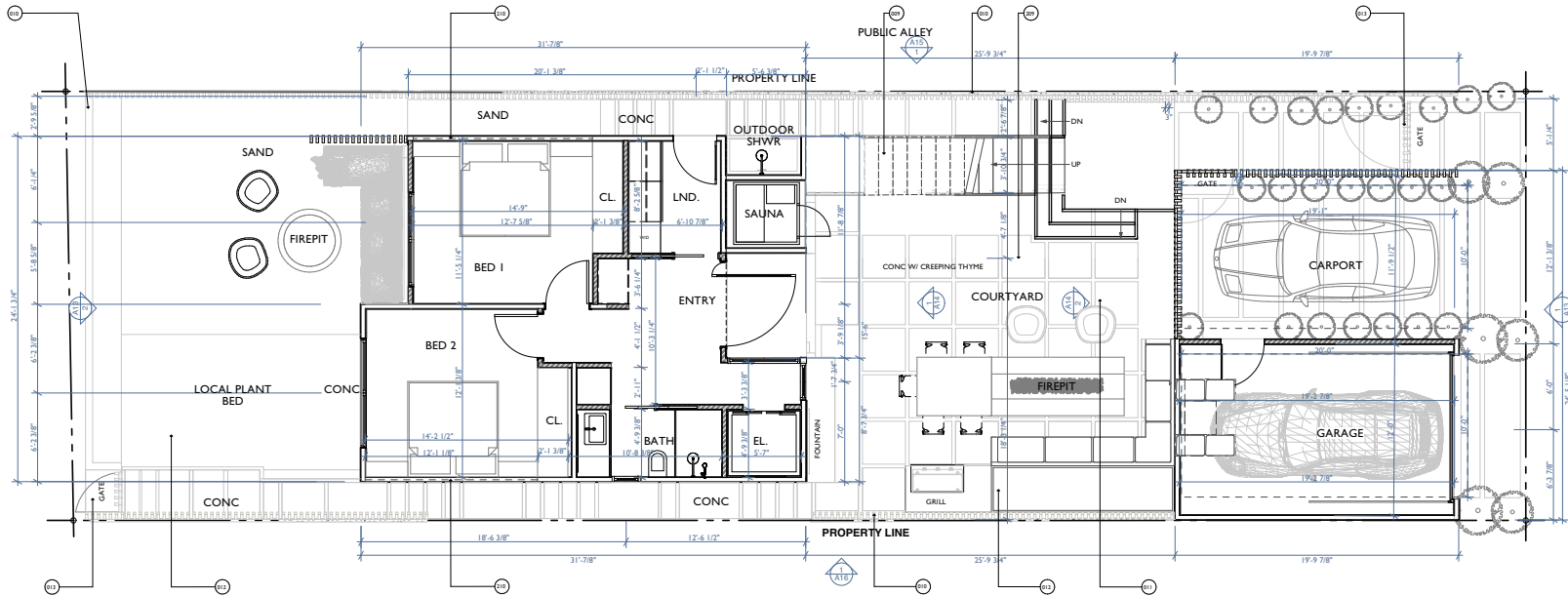
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A9

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1 PROPOSED FIRST FLOOR SCALE: 1/4" = 1'-0"

LEGEND

- (b) WALL
- (n) 2x4 WALL
- DETAIL/SECTION/ELEVATION NUMBER
SHEET NUMBER
- KEYNOTE TAG
- DOOR TAG, SEE DOOR SCHEDULE ON SHEET A5.0
- WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A5.1
- WALL TAG, SEE PARTITION SCHEDULE ON SHEET A5.2

BUILDING ELEVATION KEY:
ELEVATION # / SHEET #

BUILDING SECTION KEY:
SECTION # / SHEET #

KEY NOTES

- 009 INDICATES NEW ACCESS STAIR
- 010 INDICATES NEW FENCE
- 011 INDICATES NEW CONC. PAVERS
- 012 INDICATES NEW PLANTER
- 013 INDICATES NEW ACCESS GATE
- 209 DASHED LINES INDICATE NEW BRIDGE ABOVE
- 210 DASHED LINES INDICATE CLERESTORY ABOVE



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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Sheet Title
PROPOSED FIRST FLOOR PLAN

Scale
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A10

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Project Name
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Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PROPOSED SECOND FLOOR PLAN

Scale
As Indicated

ALL

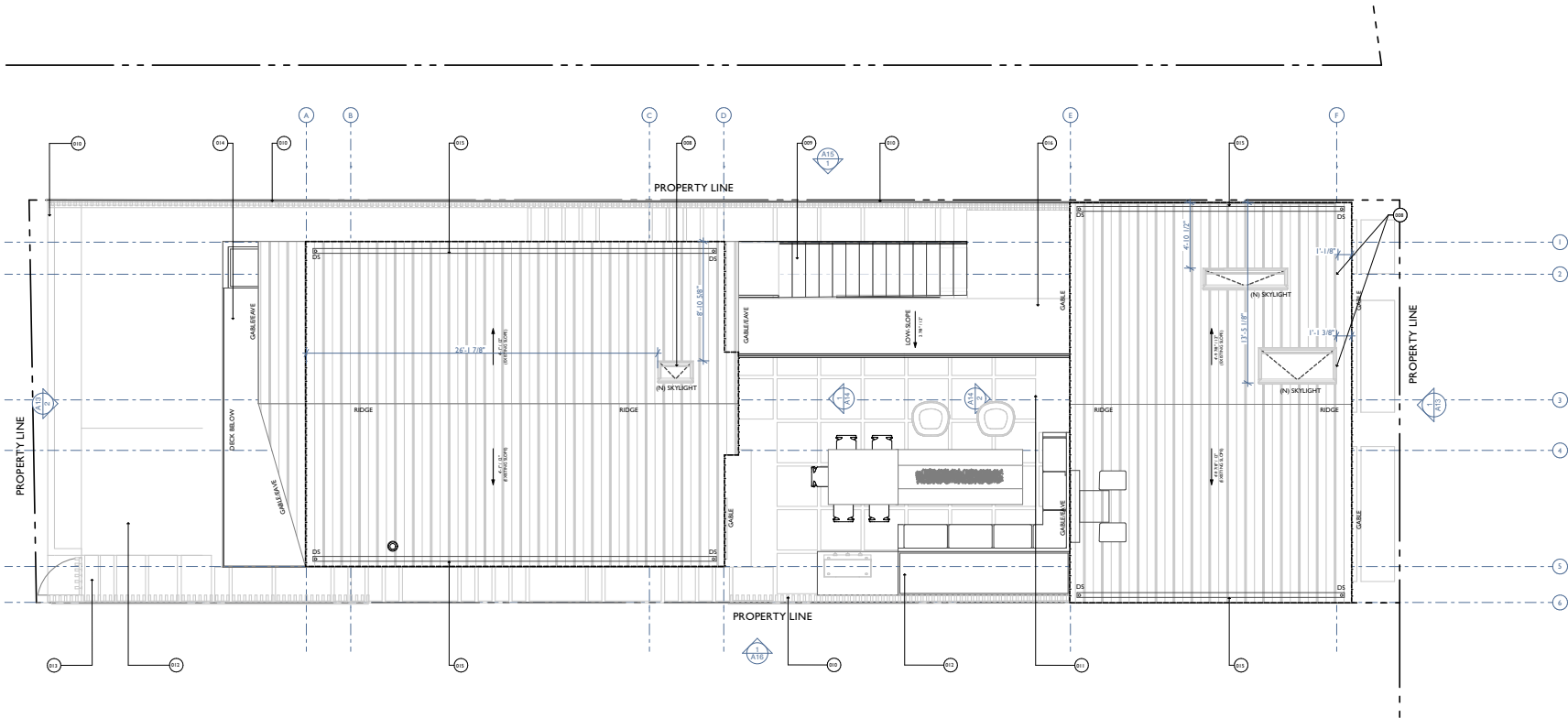
1 PROPOSED SECOND FLOOR SCALE: 1/4" = 1'-0"

LEGEND

- (E) WALL
- (H) 2x4 WALL
- DETAIL/ SECTION/ ELEVATION NUMBER
SHEET NUMBER
- KEYNOTE TAG
- DOOR TAG, SEE DOOR SCHEDULE ON SHEET AS.0
- WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET AS.1
- WALL TAG, SEE PARTITION SCHEDULE ON SHEET AS.2
- BUILDING ELEVATION KEY:
ELEVATION # / SHEET #
- BUILDING SECTION KEY:
SECTION # / SHEET #

KEY NOTES

- 009 INDICATES NEW ACCESS STAIR
- 010 INDICATES NEW FENCE
- 011 INDICATES NEW CONC. PAVERS
- 012 INDICATES NEW PLANTER
- 013 INDICATES NEW ACCESS GATE
- 014 INDICATES NEW CANTILEVERED DECK
- 016 INDICATES NEW ENCLOSED BRIDGE
- 207 INDICATES OVERHEAD HEATERS
- 208 INDICATES AWNING WINDOW SCREEN IN THE OPEN POSITION
- 210 DASHED LINES INDICATE CLERESTORY ABOVE



1 PROPOSED ROOF PLAN SCALE: 1/4" = 1'-0"

LEGEND

- WALL BELOW
- DETAIL/SECTION ELEVATION NUMBER
- SHEET NUMBER
- KEYNOTE TAG
- DOOR TAG, SEE DOOR SCHEDULE ON SHEET A5.0
- WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A5.1
- WALL TAG, SEE PARTITION SCHEDULE ON SHEET A5.2
- BUILDING ELEVATION KEY:
ELEVATION # / SHEET #
- BUILDING SECTION KEY:
SECTION # / SHEET #

KEY NOTES

- 008 INDICATES NEW SKYLIGHT
- 009 INDICATES NEW ACCESS STAIR
- 010 INDICATES NEW FENCE
- 011 INDICATES NEW CONC. PAVERS
- 012 INDICATES NEW PLANTER
- 013 INDICATES NEW ACCESS GATE
- 014 INDICATES NEW CANTILEVERED DECK
- 015 INDICATES INTEGRATED GUTTER
- 016 INDICATES NEW ENCLOSED BRIDGE



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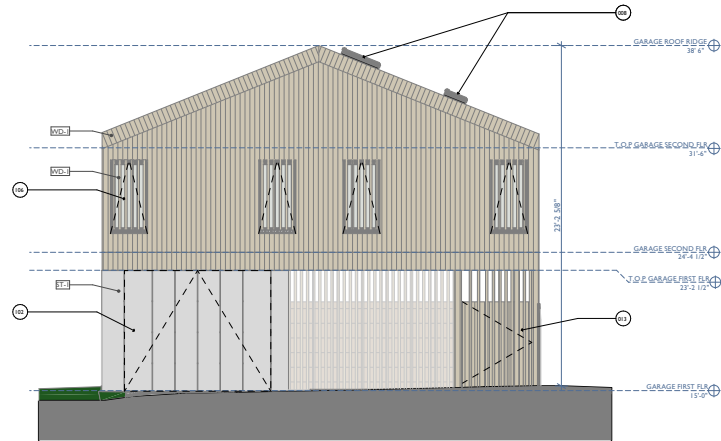
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Accessor's Parcel Number
APN #: 035-132-01

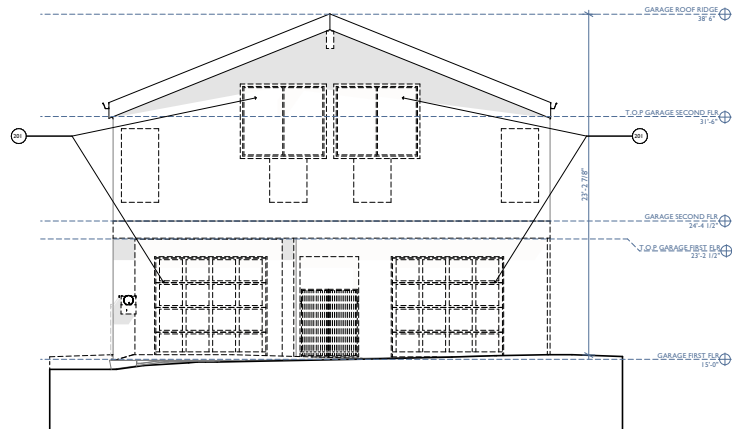
Sheet Title
PROPOSED ROOF PLAN

Scale
As Indicated

A12



1 PROPOSED GARAGE /PRIMARY BEDROOM EAST ELEVATION
SCALE: 1/4" = 1'-0"

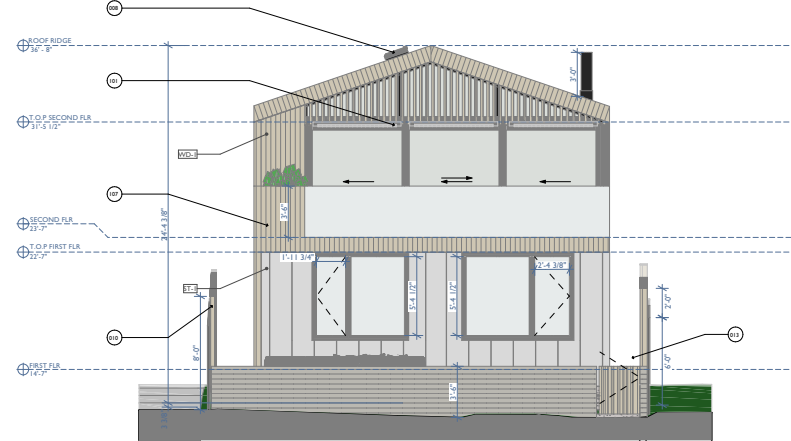


3 EXISTING/DEMOLITION GARAGE /ALS EAST ELEVATION
SCALE: 1/4" = 1'-0"

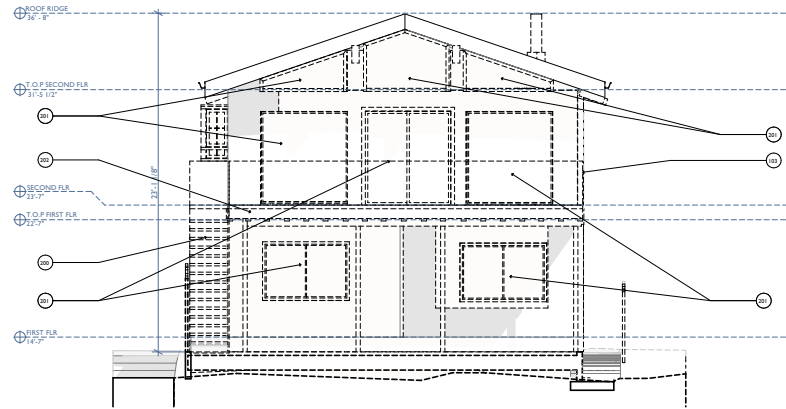
LEGEND	
	(E) CONSTRUCTION
	(E) CONSTRUCTION TO BE REMOVED
	DETAIL/ SECTION/ ELEVATION NUMBER
	SHEET NUMBER
	KEYNOTE TAG
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET A5.9
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A5.1
	WALL TAG, SEE PARTITION SCHEDULE ON SHEET A5.2

DEMO KEY NOTES	
103	RAILING TO BE REMOVED
200	EXISTING STAIR TO BE DEMOLISHED & REMOVED
201	EXISTING OPENING TO BE DEMOLISHED, & REMOVED, INFILLED OR REPLACED, G.C TO COORD.
202	EXISTING DECK TO BE DEMOLISHED & REMOVED

CONSTRUCTION KEY NOTES	
008	INDICATES NEW SKYLIGHT
009	INDICATES NEW ACCESS STAIR
010	INDICATES NEW FENCE
013	INDICATES NEW ACCESS GATE
101	INDICATES RADIANT HEATERS
102	INDICATES LINE OF FLUSH GARAGE DOOR OPENING
106	INDICATES OPERABLE WINDOW SCREEN IN OPEN POSITION
107	INDICATES NEW GLASS RAILING



2 PROPOSED RESIDENCE WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING/DEMOLITION WEST ELEVATION
SCALE: 1/4" = 1'-0"

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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Riverview Residence

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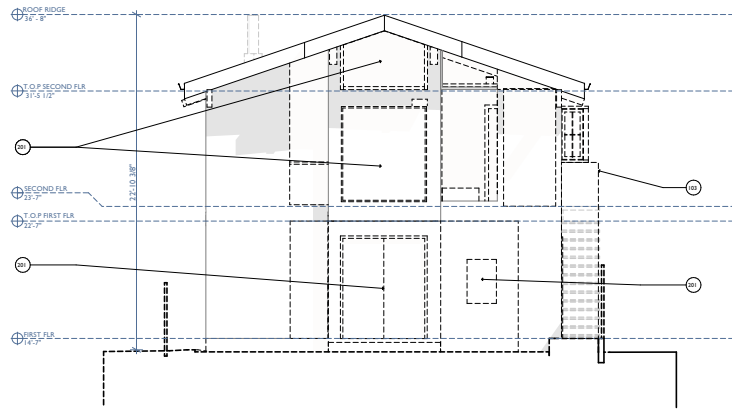
Sheet Title
EXISTING/PROPOSED FRONT AND REAR ELEVATIONS

Scale
As Indicated

A13



1 PROPOSED RESIDENCE EAST COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

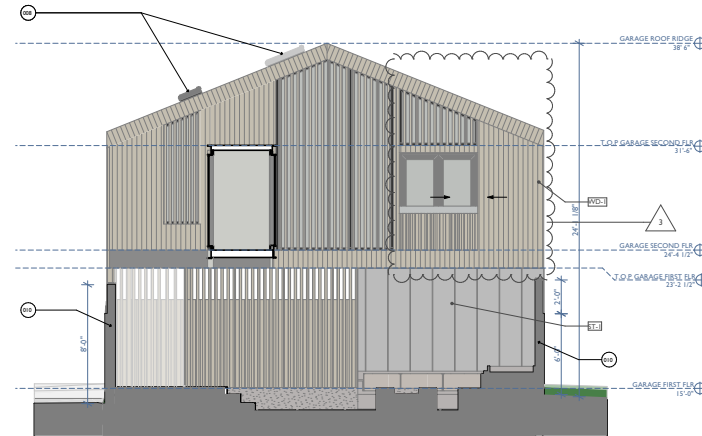


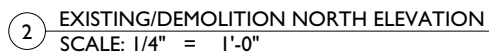
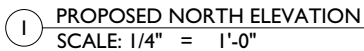
3 EXISTING/DEMOLITION RESIDENCE EAST COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND	
—	(B) CONSTRUCTION
- - -	(E) CONSTRUCTION TO BE REMOVED
○	DETAIL/ SECTION/ ELEVATION NUMBER
○	SHEET NUMBER
○	KEYNOTE TAG
○	DOOR TAG, SEE DOOR SCHEDULE ON SHEET A5.0
○	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET A5.1
○	WALL TAG, SEE PARTITION SCHEDULE ON SHEET A5.2

DEMO KEY NOTES	
103	RAILING TO BE REMOVED
200	EXISTING STAIR TO BE DEMOLISHED & REMOVED
201	EXISTING OPENING TO BE DEMOLISHED, & REMOVED, INFILLED OR REPLACED, G.C TO COORD.

CONSTRUCTION KEY NOTES	
008	INDICATES NEW SKYLIGHT
009	INDICATES NEW ACCESS STAIR
010	INDICATES NEW FENCE
104	INDICATES NEW WATERFALL/FOUNTAIN
105	INDICATES TENANT PROVIDED HOT SAUNA
106	INDICATES OPERABLE WINDOW SCREEN IN OPEN POSITION





002 PORTION OF EXISTING ROOF EAVE TO BE REMOVED. SEE DEMO ROOF PLAN FOR MORE INFORMATION
005 EXISTING FENCE TO BE REMOVED
103 RAILING TO BE REMOVED
106 INDICATES OPERABLE WINDOW SCREEN IN OPEN POSITION
200 EXISTING STAIR TO BE DEMOLISHED & REMOVED
201 EXISTING OPENING TO BE DEMOLISHED, & REMOVED, INFILLED OR REPLACED. G.C TO COORD.
202 EXISTING DECK TO BE DEMOLISHED & REMOVED

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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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APN #: 035-132-01

Sheet Title
EXISTING/PROPOSED NORTH
ELEVATIONS

Scale
As Indicated

A15

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Revision	Date	Issue Description
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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
EXISTING/PROPOSED SOUTH ELEVATIONS

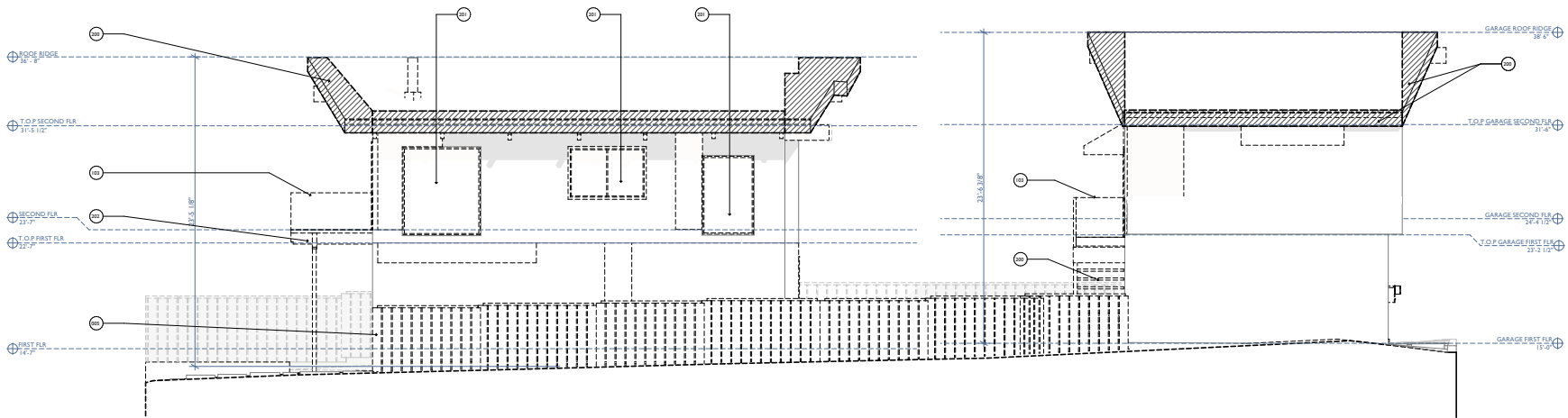
Scale
As Indicated

A16

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1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



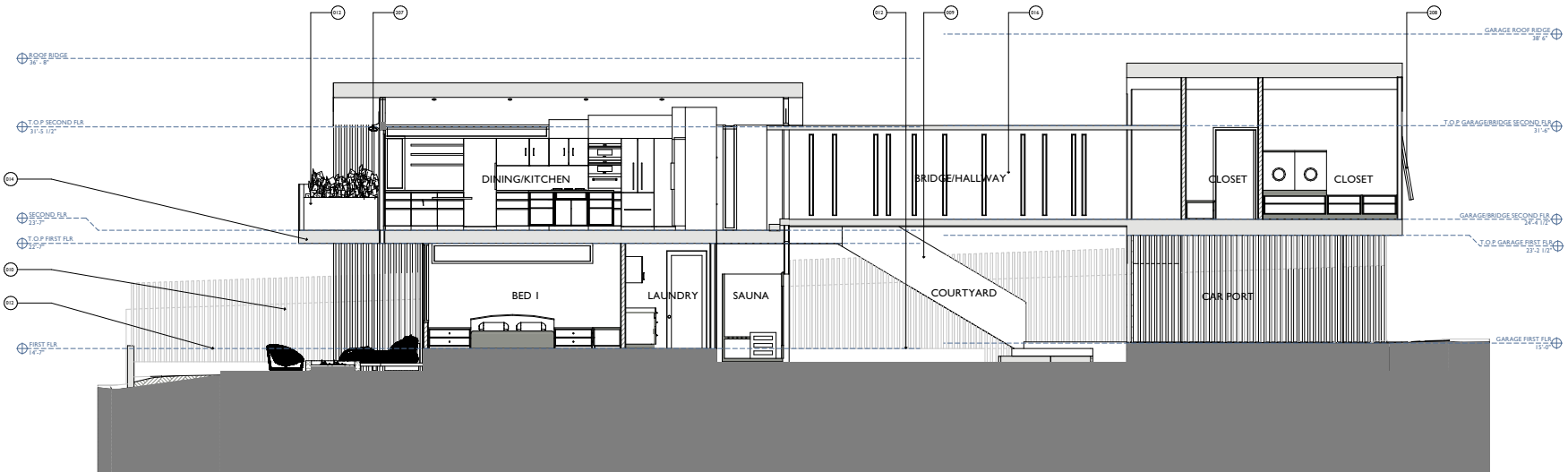
2 EXISTING/DEMOLITION SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND

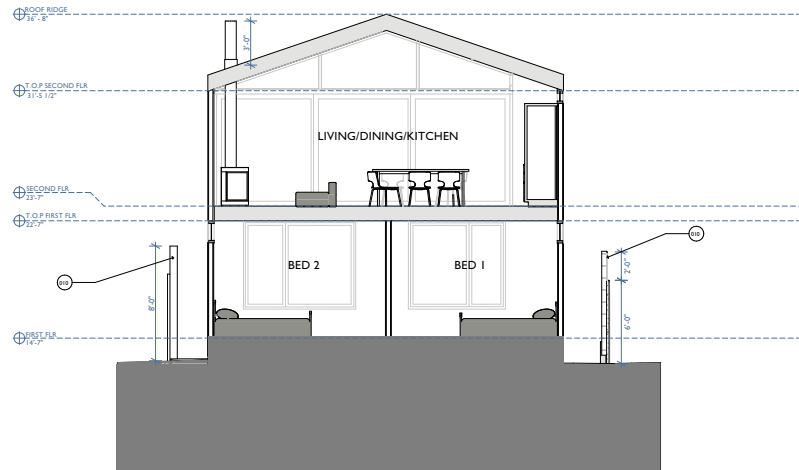
- (S) CONSTRUCTION
- (S) CONSTRUCTION TO BE REMOVED
- (S) ROOF EAVE TO BE REMOVED
- DETAIL/ SECTION/ ELEVATION NUMBER
- SHEET NUMBER
- KEYNOTE TAG
- DOOR TAG, SEE DOOR SCHEDULE ON SHEET AS.0
- WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET AS.1
- WALL TAG, SEE PARTITION SCHEDULE ON SHEET AS.2

KEY NOTES

- 002 PORTION OF EXISTING ROOF EAVE TO BE REMOVED. SEE DEMO ROOF PLAN FOR MORE INFORMATION
- 103 RAILING TO BE REMOVED
- 005 EXISTING FENCE TO BE REMOVED
- 106 INDICATES OPERABLE WINDOW SCREEN IN OPEN POSITION
- 200 EXISTING STAIR TO BE DEMOLISHED & REMOVED
- 201 EXISTING OPENING TO BE DEMOLISHED, & REMOVED, INFILLED OR REPLACED, G.C TO COORD.
- 202 EXISTING DECK TO BE DEMOLISHED & REMOVED



1 3 BUILDING SECTION - LONGITUDINAL
SCALE: 1/4" = 1'-0"



2 D-E17 BUILDING SECTION - LONGITUDINAL
SCALE: 1/4" = 1'-0"

LEGEND

(S) WALL	DETAIL/SECTION/ELEVATION NUMBER
(S) WALL TO BE REMOVED	SHEET NUMBER
(N) 2x4 WALL	KEYNOTE TAG
	DOOR TAG, SEE DOOR SCHEDULE ON SHEET AS.0
	WINDOW TAG, SEE WINDOW SCHEDULE ON SHEET AS.1
	WALL TAG, SEE PARTITION SCHEDULE ON SHEET AS.2

KEY NOTES

009	INDICATES NEW ACCESS STAIR
010	INDICATES NEW FENCE
012	INDICATES NEW PLANTER
014	INDICATES NEW CANTILEVERED DECK
016	INDICATES NEW ENCLOSED BRIDGE
207	INDICATES OVERHEAD HEATERS
208	INDICATES AWNING WINDOW SCREEN IN THE OPEN POSITION

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Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PROPOSED BUILDING SECTIONS

Scale
As Indicated

A17



WD-I

ST-I

FLUSH GARAGE DOOR
SEAMLESS FACADE

SEE LI LANDSCAPE PLAN
FOR HARDSCAPE

MTL-2

MTL-1

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Project Name
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Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PERSPECTIVE #1

Scale
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A22

WD-1

ST-1



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Project Name
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Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PERSPECTIVE #3

Scale
As Indicated

A24



FINISH: WD-1
 MFR: MOSO
 MATERIAL: COMPOSITE SIDING/DECKING
 COLOR: BAMBOO X-TREME DECKING
 LOCATION: VERTICAL SIDING
 NOTE: WUI COMPLIANT / CLASS 'A' MATERIAL.
 INSTALLED ON A RAINSCREEN



FINISH #: ST-1
 MFR: NEOLITH
 MATERIAL: CENTERED STONE
 COLOR: SHILIN
 LOCATION: LOWER LEVEL
 NOTE: PANELIZED SYSTEM ON RAINSCREEN, SIZE
 TBD. WUI COMPLIANT / FIRE RESISTANT



FINISH #: MTL-1
 MATERIAL: ALUMINUM WINDOW TRIM
 COLOR: DARK BRONZE / BLACK
 MFR: BY WINDOW MFR.
 LOCATION: WINDOWS + GL. DOOR FRAMES



FINISH #: MTL-2
 MATERIAL: METAL - STANDING SEAM ROOF + FENCE
 COLOR: CHARCOAL GRAY
 MFR: BY WESTERN STATES MTL. ROOFING
 LOCATION: ROOF + FENCE

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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

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Sheet Title
 PROPOSED MATERIALS

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1	08/18/2025	ISSUED PLAN CHECK RESPONSE #1
2	9/4/2025	ISSUED PLAN CHECK RESPONSE #2
3	9/25/2025	ISSUED PLANNING ADDENDUM #1

Seal/ Signature



Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PERSPECTIVE COMPARISON #1

Scale
As Indicated

A26

3



RIVERVIEW

427 RIVERVIEW
CAPITOLA, CA 95010

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Project Submittal Record		
Revision	Date	Issue Description
0	06/20/2025	ISSUED PLANNING REVIEW #1
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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

Seal/ Signature



Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
PERSPECTIVE COMPARISON #2

Scale
As Indicated

A27 3



RIVERVIEW

427 RIVERVIEW
CAPITOLA, CA 95010

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fusearchitecture.com 831.479.9295

Project Submittal Record		
Revision	Date	Issue Description
0	06/20/2025	PLANNING REVIEW #1 ISSUED
1	08/18/2025	ISSUED PLAN CHECK RESPONSE #1
2	9/4/2025	ISSUED PLAN CHECK RESPONSE #2
3	9/25/2025	ISSUED PLANNING ADDENDUM #1

Seal/ Signature



Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01



Sheet Title
PERSPECTIVE COMPARISON #3

Scale
As Indicated



A28

3



PROPOSED PLANTING SELECTIONS





Blue Glow Agave - (Agave attenuata) A single rosette can grow up to 3-6 feet tall and 3-5 feet wide, with the lower stalks reaching out to 10 feet tall. It makes a unique, dramatic focal point in garden beds, or used in decorative containers.
WUCOLS DATABASE RATING: REGION 01 / VERY LOW WATER USE / <10% ETo
NATIVE: NO / SUCCULENT





Basket Grass - (Lomandra confertifolia) It features a strong clumping form and its deep flowers make it a much harder than most of the confertifolia family. Growing to 30 cm high it will do well in pots or as a mass or border planting.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / ORNAMENTAL GRASS





Chondropetalum tectorum - (Chondropetalum tectorum 'El Campo') A compact South African marsh plant with upright, pointed, matte blue-green stems that grow as wide as the diameter of a pencil.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / PERENNIAL





Blue Fescue 'Elijah Blue' - (Festuca glauca) Forms small, dense mounds of tufted leaves with small seed heads held nicely above the foliage. Prefers cooler weather.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / ORNAMENTAL GRASS





Blue Chalksticks Plant - (Senecio serpens) small succulent that hugs the ground, branching from the base and rooting along the stems.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / GROUND COVER PERENNIAL SUCCULENT





Silver Carpet - (Dymondia Margaritae) small succulent that hugs the ground, branching from the base and rooting along the stems.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / GROUND COVER PERENNIAL





Flowering Dogwood Tree - Cornus Florida - is a species of flowering tree in the family Cornaceae native to eastern North America and northern Mexico. The tree is commonly planted as an ornamental in residential and public areas because of its showy bracts and interesting bark structure.





Sunburst - (Aeonium arborescens) tends to absorb heat more than typical succulents because the leaves themselves tend to turn black. It grows in the cool season and is dormant in summer but not for long.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / SUCCULENT





Eriose of Madonia - (Eritrum candicans) evergreen shrub, 5-6 feet tall and 6-10 feet wide, with lance-shaped, hairy, gray-green leaves and showy, upright spikes of purplish blue flowers. Tending to grow in clumps on the island of Madeira, it is prolific and can be weedy. Old leaves create a dense mat that suppresses growth of plants beneath. Sun, moist soils.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / PERENNIAL SHRUB





Red Yucca (Hesperaloe parviflora) succulent, 3-4 feet tall and 4-6 feet wide, with a rosette of stiff, narrow, grasslike leaves with no spines or teeth and with white, fraying fibers on leaf margins. Rose-pink, tubular flowers on 5- to 6-foot, arching stems in summer. Native to deserts of western Texas and northeastern Mexico. Sun to light shade, well-drained soils.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / SUCCULENT



New Zealand Flax (Phormium tenax) perennial, upright to 8-10 feet tall and 6-8 feet wide, with bristly green, strap-shaped leaves and red-orange, tubular flowers on tall stalks in late spring or early summer. Native to various habitats in New Zealand, from seasonally wet places in exposed coastal cliffs. Most plants available are cultivars. 'Tom Thumb' 2-3 feet tall and wide, has wavy-edged, olive green leaves with dark bronzy red margins. 'Dusky Chiff' 4-8 feet tall and 6 feet wide, has variegated leaves, pale to dark maroon when new, silvery gray beneath, and aging to purplish gray. Sun to part shade, good drainage. Good coastal plants.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: NO / PERENNIAL GRASS




Purple Three-awn (Aristida purpurea) warm-season bunchgrass, 1-2 feet tall and wide, with fine-textured, green to blue-green leaves and erect and arching, purple-tinted stems with nodding purple flowers in late summer or fall. Soil-saves. Native to dry, rocky or sandy soils in the western United States, southern Canada, and northern Mexico. Sun to part shade, good drainage.
WUCOLS DATABASE RATING: REGION 01 / LOW WATER USE / 10-30% ETo
NATIVE: YES / ORNAMENTAL GRASS




Creeping Fig (Ficus Pumila) Creeping fig is a broadleaf, evergreen, woody climber in the fig family (Moraceae). It is native to central and southern China and eastern Asia. It is a vigorous grower and, in favorable conditions, will climb 8 to 15 feet high and spread 3 to 6 feet wide. Creeping fig can cement itself to porous surfaces and will cover most surfaces quickly. It will climb a rock wall or another vertical surface in a butterfly garden or use it as a ground cover. Variegated forms are available.
WUCOLS DATABASE RATING: REGION 01 / MODERATE WATER USE / 40-60% ETo
NATIVE: NO / VINE


PROPOSED EXTERIOR LIGHTING



DIRECTIONAL LIGHTING
SEE SHEET L2 FOR SPECIFICATION SHEET
LOCATION SHOWN ON THIS PLAN SHEET WITH SYMBOL:



PATHWAY/STAKE LIGHTING
SEE SHEET L2 FOR SPECIFICATION SHEET
LOCATION SHOWN ON THIS PLAN SHEET WITH SYMBOL:



EXTERIOR WALL/SCONCE LIGHTING
SEE SHEET L2 FOR SPECIFICATION SHEET
LOCATION SHOWN ON THIS PLAN SHEET WITH SYMBOL:

- GENERAL NOTES - LANDSCAPE / WATER EFFICIENT LANDSCAPE ORDINANCE (WELCO)**
- Please note that there are two (2) separate areas to be installed for storm water treatment (as noted below on plan).
 - Plants:** All planting areas are divided into two (2) separate hydrozones as noted in this plan. 'Low' & 'Very Low' water use. (Please note that all specified plantings are per the Landscape Coefficient Method & WUCOLS III.)
 - Plants:** At least 75% of the Landscape area is low to very low water use (average plant factor of 0.3 or lower). Up to 25% Landscape area may be medium use (average plant factor 0.4) on separate valves / hydrozone.
 - Plants:** Landscape maintained free of invasive plantings / per WUCOLS or similar. Please note that no invasive plantings are proposed within planting schedule, located on this site.
 - Turf/Lime:** Combined area of turf and water features does not exceed 25% of Landscaped area. Average WUCOLS plant factor of this area does not exceed 0.6, as per above. Please note that there is no turf or water features specified in plan.
 - Turf/Lime:** No turf or high water use plants on any slope greater than 25% or any area less than 10' wide.

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- Irrigation:** Please note that the WELCO checklist states that a permanent irrigation system is not required; hand watering is acceptable unless project-specific circumstances require automatic irrigation.
 - Irrigation:** If an irrigation system is utilized, the following measures must be implemented:
 - Irrigation system and irrigation schedule do not exceed plant factors.
 - Irrigation schedule programmed into controller; written copy in possession of owner. Revised irrigation schedule provided to owner for long term use after plans are established.
 - Overhead spray irrigation events scheduled between 5pm and 10am unless contraindicated.
 - Sprinkler heads and emission devices have matched application rates, correct distribution.
 - Overhead sprinklers at least 24" from any hardscape (unless a microemitter). Irrigation system avoids overwatering will not allow water to flow onto hardscapes or adjacent property.
 - If water pressure at the meter is greater than 80psi, a pressure regulator is installed.
 - Check valves installed as necessary to prevent low-head drainage.
 - Compliant backflow prevention device and accessible manual shut-off installed at point of connection.
 - n/a
 - Water features and recirculating pools and spas are to be covered when not in use.
 - Soil Preparation:** Organic amendment incorporated at a rate of 6cy per 1000sf in top 6" of soil, except where:
 - Existing soil has greater than 6% organic matter in top 6"
 - amendment is contraindicated by specifications for summer-dry species.
 - Native plants adapted to site soils are used.
 - Soil Preparation:** Exposed soils mulched with minimum three inch layer of organic material - except in turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated.
- ***PLEASE NOTE: COMPLETE IRRIGATION PLAN TO BE DEFERRED TO BUILDING PERMIT / FINAL LANDSCAPE PLAN LAYOUT.

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3	9/25/2025	ISSUED PLANNING ADDENDUM #1

Seal/ Signature



Project Name
Riverview Residence

Accessor's Parcel Number
APN #: 035-132-01

Sheet Title
LANDSCAPE PLAN

Scale
As Indicated

LI

1 PROPOSED LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"



AURORALIGHT

MERIDIAN PTA008105

The Meridian is an ideal solution for uniform spacing and light levels in the absence of a structure. Its small aperture shields against glare while allowing for forward projection with even illumination side to side.

- Thermally Integrated® field serviceable LED module
- Cree LED™ XP-L® High Density
- Solid brass and copper construction
- Ideal for pathways, tall greenery and walkways

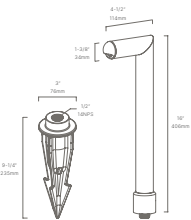
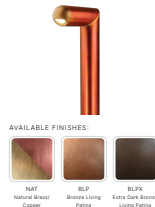
CONFIGURATION:	LED	FINISH
PTA008105	3000K 1.25W	NAT
(J) = Most common configuration	3000K 1.25W	NAT
		BLP
		BLPX

FIXTURE DIMENSIONS	L4-1/2" x H1" x W1-5/8"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	1.25W
CRI (RA)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	45lm (5000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	Yes, ACDC (Supplied by others)
MOUNT	Yes, Included 1/2" NPT Adapter
GROUND STAKE	Yes, Included MGS00100
OPTICS	Yes, Included 15°, 35°, 45° & 60°
FINISH	Included Natural
MATERIAL	Brass & Copper
WIRE LENGTH	14"
LOCATION	Exterior, Wet
CERTIFICATIONS	UL, PSE, PSEI, Dark Sky

*For complete warranty terms, please visit: www.aurorallight.com/warranty

P: 760.931.2910
O: 2762 Loker Ave. W Carlsbad CA 92010
W: www.aurorallight.com

PROJECT: _____
SKU #: _____ TYPE: _____



MADE IN USA
WITH DOMESTIC & IMPORTED MATERIALS



AURORALIGHT

ADD-ONS

MOUNTS	
MGS00100	Ground Stake w/ 2" Brass Cap
MGS00101	Ground Stake w/ 2" Brass Cap
MGS00102	Ground Stake w/ 2-1/2" Brass Cap
MGS00103	1" Tolerant Spike
MGS00104	1" Tolerant Spike
MJB00200	2" Junction Box w/ PVC Stake
MJB00201	Concrete Pedestal Mount
MJB00202	2" Surface Mount
MJB00203	2" Surface Mount

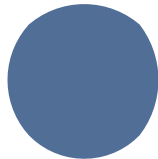
*For complete details, please visit aurorallight.com/construction

PROJECT: _____
SKU #: _____ TYPE: _____



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W: www.aurorallight.com

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AURORALIGHT

CABRILLO DIR080125

The Cabrillo is a stealth lighting tool that gives the designer new options when an inconspicuous light source is desired or required.

- Aurora Mount System (AMS™) compatible
- Field Serviceable light module featuring Cree LED™
- 3 interchangeable PUMA acrylic optics from 15° to 40°
- Ideal for small greenery, facade & architectural features

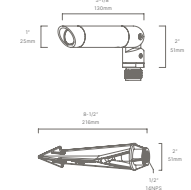
CONFIGURATION:	LED	FINISH
DIR080125	3000K 0.75W 2W	NAT
(J) = Most common configuration	3000K 0.75W 2W	NAT
		BLP
		BLPX

FIXTURE DIMENSIONS	L3-1/8" x H2" x D1"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	2W
CRI (RA)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	288lm (5000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V ACDC (Supplied by others)
MOUNT	Yes, Included 1/2" NPT Adapter
ACCESSORIES	No
OPTICS	Yes, Included 15°, 35° & 40°
FINISH	Included Natural Brass
MATERIAL	Brass
WIRE LENGTH	14"
LOCATION	Exterior, Wet
CERTIFICATIONS	UL, PSE, PSEI

*For complete warranty terms, please visit: www.aurorallight.com/warranty

P: 760.931.2910
O: 2762 Loker Ave. W Carlsbad CA 92010
W: www.aurorallight.com

PROJECT: _____
SKU #: _____ TYPE: _____



MADE IN USA
WITH DOMESTIC & IMPORTED MATERIALS



AURORALIGHT

ADD-ONS

MOUNTS	
MGS001006	Brass Micro Stake
MGS001010	Ground Stake w/ 2" Brass Cap
MGS001019	9" Deluxe Spike
MGS001025	12" Tolerant Spike
MJB002303	2" Junction Box w/ PVC Stake
MMJ002014	Concrete Pedestal Mount
MJB012103	Surface Mount - Box
MSM18902	2" Surface Mount
MSM189203	2" Surface Mount
MTJ42101	Trellis Mount w/ Stake
MS427103	Spike Roll w/ Stake
MCJ163103	3-1/2" Close Spike
MCJ163104	8" Close Spike w/ Stake
MCJ163104	8" Close Spike
MCJ163104	8" Close Spike
MCJ163104	8" Close Spike
MMC192105	4-1/2" Close Spike
MMC192105	4-1/2" Close Spike
MMC192105	4-1/2" Close Spike
MTJ421032	28" Light Duty Tree Stake
MTJ421032	Screen Tree Stake
MTJ421032	Black-on-Tree Stake



STW637104

- Dual listed for interior and exterior wet location use
- Thermally Integrated® w/ Copper Core Technology®
- Cree LED™ XP-L® High Density
- Ideal for stairs, pathways and architecture

CONFIGURATOR

PIXEL DIMENSIONS	0.4" x 0.4"
LIGHT SOURCE	Integrated LEDs
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	26, 48
CRI (RA)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	314lm (3500lm)
DIMMABLE	Yes, Dim to 10% via Transformer
DRIVER	Yes, 12V Integrated Constant Current
TRANSFORMER	12V AC/DC (Supplied by others)
MOUNT	Included Backplate
FINISH	Included Natural Brass
MATERIAL	Brass
WIRE LENGTH	24"
LOCATION	Interior & Exterior Wet
CERTIFICATIONS	UL, PSE, CE, RoHS, ENEC

*For complete warranty terms, please visit: www.aucoralight.com/warranty

PROJECT: _____

SKU #: _____ TYPE: _____



427 RIVERVIEW
CAPITOLA, CA 95010



Revision	Date	Issue Description
0	06/20/2025	ISSUED PLANNING REVIEW #
1	08/18/2025	ISSUED PLAN CHECK RESPONSE #
2	9/4/2025	ISSUED PLAN CHECK RESPONSE #
3	9/25/2025	ISSUED PLANNING APPENDIX #

Seal/ Signature



Project Name
Riverview Residence

APN #: 035-132-01

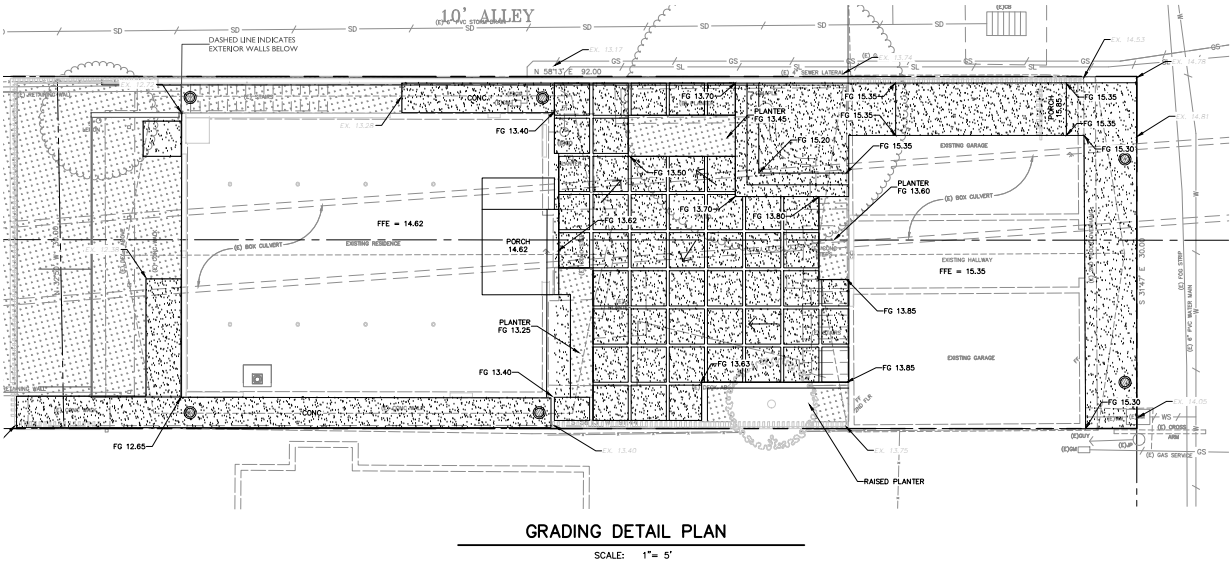
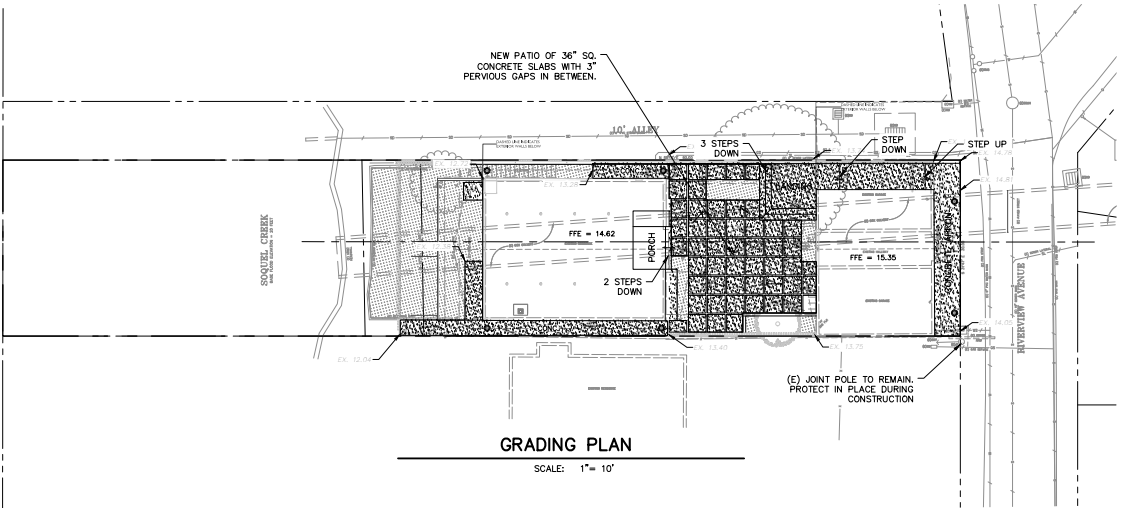
Sheet Title
LANDSCAPE LIGHTING SPEC.
SHEETS

Scale
As Indicated

L3

GENERAL NOTES

- 1) THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. HE/SHE IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. HE/SHE IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
- 2) THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING BETWEEN THE DRAWINGS AND THE ON-SITE CONSTRUCTION THAT DOES NOT HAVE PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 3) ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH. FOR REMOVAL ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
- 4) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA BUILDING CODE, LATEST APPLICABLE EDITION, THE LATEST EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA", CITY OF CAPITOLA STORM WATER AND GRADING ORDINANCES, THE UNIFORM BUILDING CODE, AND ALL OTHER FEDERAL AND STATE LAWS, WHICHEVER IS MOST STRINGENT.
- 5) NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE COUNTY OF SANTA CRUZ DEPARTMENT OF PUBLIC WORKS AND THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 6) ALL PERMITS, CITY, COUNTY AND STATE, SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 7) THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER AT (831) 454-2160 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 8) THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE START OF GRADING CONSTRUCTION. GRADING SHALL BE DONE UNDER THE OBSERVATION OF A LICENSED GEOTECHNICAL ENGINEER.
- 9) ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
- 10) THE DIRECTOR OF PUBLIC WORKS OR HIS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- 11) ALL FIELD ENGINEERING SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A LAND SURVEYOR OR CIVIL ENGINEER QUALIFIED TO PRACTICE CONSTRUCTION SURVEYING IN THE STATE OF CALIFORNIA.
- 12) CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
- 13) WORK SHALL BE LIMITED TO 8:00 AM TO 5:00 PM WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.



- 1) ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY AND HAVE COME FROM VARIOUS SOURCES OF RELIABILITY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR OBSTRUCTIONS TO THE PROPOSED WORK. ANY UTILITIES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. CONTRACTOR IS ADVISED TO CONTACT A UNDERGROUND SERVICE LOCATOR FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK (U.S.A. UNDERGROUND SERVICE ALERT) (800) 368-2674. THE CONTRACTOR AND ENGINEER SHALL BE RESPONSIBLE FOR THE CONFIRMATION OF THE PROJECT INSPECTOR SHALL BE PRESENT WHILE THE UNDERGROUND SERVICE LOCATOR IS ON SITE.
- 2) CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY AND STORM SEWERS, AND WATER LINES BEFORE CONSTRUCTING NEW FACILITIES.
- 3) MATERIALS FOR PIPE, STORM WATER INTAKES, AND CLEANOUTS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE UCC AND OCE SPECIFICATIONS, AND THESE PLANS AND DETAILS SHOWN HEREON. SANITARY SEWER PIPE DESIGNATED "SS" SHALL BE PVC OR SDR 26 BELL AND SPIGOT GAUGE, SMOOTH INTERIOR PIPE OR APPROVED EQUIV. STORM DRAIN PIPE DESIGNATED "SD" SHALL BE PVC OR SDR 26 BELL AND SPIGOT GAUGE, SMOOTH INTERIOR PIPE OR APPROVED EQUIV. R/W SHALL BE SH 40 AND SHALL BE CONNECTED TO SD WITH WE TIGHTS.
- 4) ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED AND INSTALLED PER THE PIPE MANUFACTURERS RECOMMENDATIONS.
- 5) ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE:
 - 1) CHRISTY BRAND PRECAST CONCRETE V12 OR THE EQUIVALENT, OR
 - 2) DURA DRAIN P-4 MANUFACTURED BY KRISTAR, OR
 - 3) ASSE NYPOLASTALL STRUCTURES SHALL BE STORED, HANDLED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATION.
- 6) STORM DRAIN TRENCH BACKFILL SHALL CONFORM TO COUNTY OF SANTA CRUZ STANDARD SPECIFICATIONS SECTION AND THE DETAILS SHOWN HEREON. JETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.

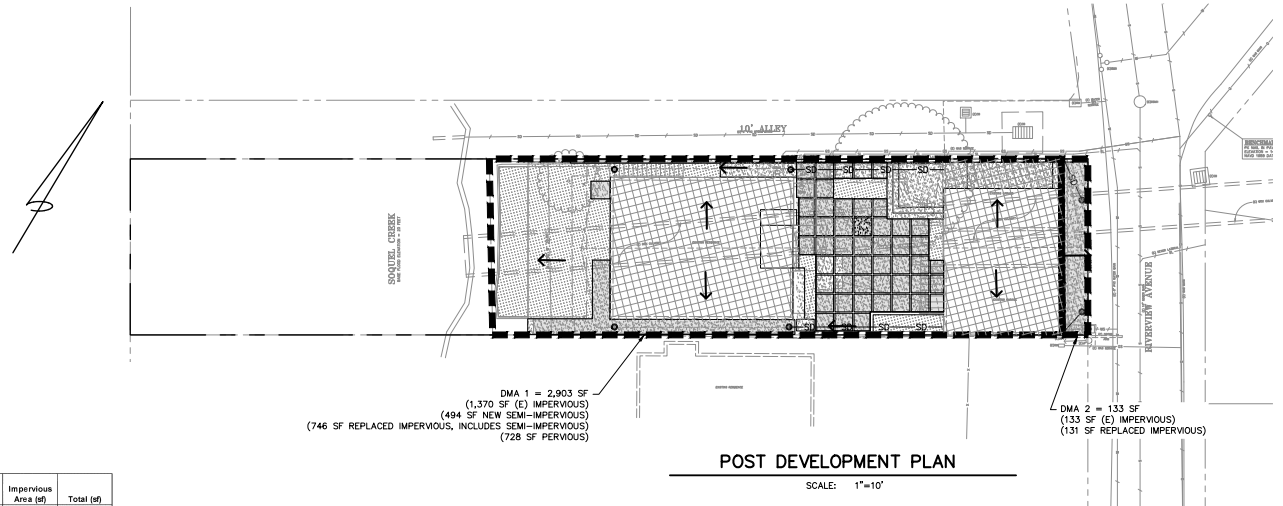
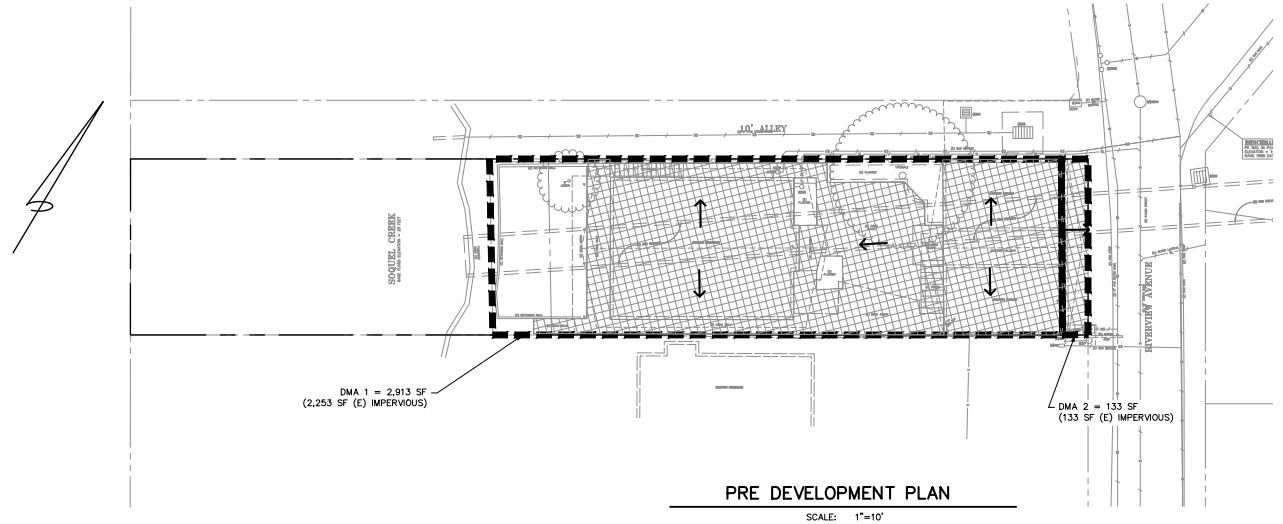


- GRAPHIC SCALE**
-
- (IN FEET)
1 inch = 10 ft.



APN 035-132-01

REVISIONS 		DRAINAGE PLAN 	
BOWMAN & WILLIAMS CIVIL ENGINEERS LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		WCLANE RESIDENCE 427 RIVERVIEW AVE CAPITOLA, CALIFORNIA	
SCALE 1" = 10' DATE 2025 06 20 DESIGN JFR	DRAWN CHECKED DWG NAME	JOB NO. 29200 INDEX SOQUEL 2 FILE NO. 29200	SHEET C2.0 OF 6



DRAINAGE CALCULATIONS FOR:
427 Riverview Ave
Capitola, CA
BOWMAN & WILLIAMS FILE: 29200
June 11, 2025

Area Summary

Predevelopment				
DMA Area	Pervious Area (sf)	Semi- Impervious Area (sf)	Impervious Area (sf)	Total (sf)
DMA 1	660	-	2,253	2,913
DMA 2	-	-	133	133
Total	660	-	2,386	3,046

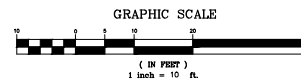
Post Development					
DMA Area	Pervious Area (sf)	Semi- Impervious Area (sf)	Replaced Impervious Area (sf)	Impervious Area (sf)	Total (sf)
DMA 1	728	494	121	1,691	2,913
DMA 2	-	-	131	133	133
Total	728	494	252	1,824	3,046
CHANGE					
Existing Impervious Area Retained		1,370			
New and Replaced Impervious Area		154			
50% Semi Impervious Area		247			
Total new and Replaced Impervious		154			

LEGEND

- NEW IMPERVIOUS
- REPLACED IMPERVIOUS
- EXISTING IMPERVIOUS
- PERVIOUS
- FLOW DIRECTION

STORM DRAINAGE NARRATIVE

THE EXISTING HOME IS PROPOSED TO REMAIN WITH A NEW ROOF. CURRENTLY THE STORM WATER SHEDS OF THE NORTH AND SOUTH SIDES OF THE EXISTING ROOF. THE NEW ROOF WILL HAVE GUTTERS AND DOWNSPOUTS DIRECTED TO NEW STORM DRAIN BUBBLERS. THE PROJECT PROPOSES TO ADD OR REPLACE 746 SF OF IMPERVIOUS AREA. THE CITY OF CAPITOLA STORMWATER TIER 1 REQUIREMENTS. 494 SF OF THE REPLACED IMPERVIOUS SURFACE IS SEMI-IMPERVIOUS PATIO.

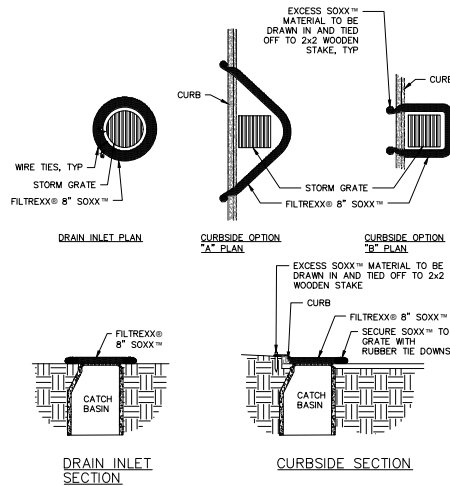


PLAN CHECK ONLY

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MPN: 035-132-01

BOWMAN & WILLIAMS CIVIL ENGINEERS LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SQUEL, CA 95073-2004 (831) 426-3560		STORMWATER CONTROL PLAN MCLEAN RESIDENCE 427 RIVERVIEW AVE CAPITOLA, CALIFORNIA	
SCALE: 1" = 10'	DATE: 2025 06 20	DRAWN: JFR	JOB NO.: 29200
CHECKED: JFR	DWG NAME:	CHECKED: JFR	INDEX: SQUEL 2
DESIGN: JFR	FILE NO.: 29200	SHEET: C2.1	OF: 6

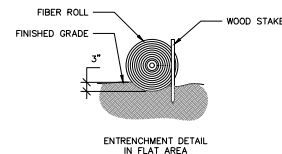
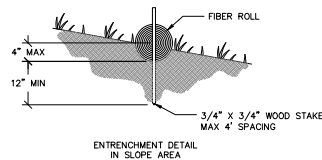
C:\S\0825 - M&W - 427 Review - Erosion Control Drawings.dwg, C:\DWG, 6/20/2025, 10:34:05 AM, TMO, No Print, 1:1



- NOTES:
1. ALL MATERIAL TO MEET FILTERREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

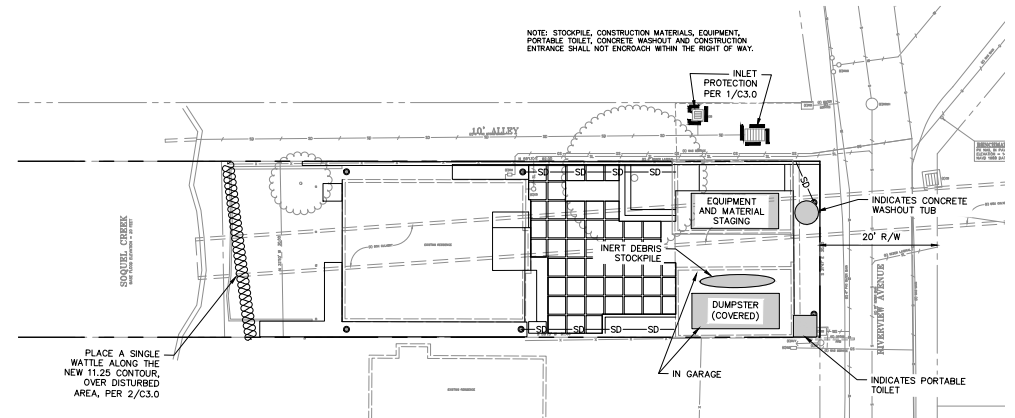
1 C3.0 FILTERREXX INLET PROTECTION

SCALE: N.T.S.



2 C3.0 STRAW WATTLE

SCALE: NTS



EROSION CONTROL PLAN

SCALE: 1"=10'

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

5. DISPOSAL OF ANY RISE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
6. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
7. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
8. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
9. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.

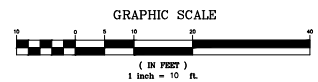
10. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
11. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
12. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.

VEHICLE STORAGE AND MAINTENANCE

13. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS OR SURFACE WATERS.
14. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
15. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

16. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
17. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
18. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
19. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.



INDICATES SEDIMENT CONTROL (STRAW WATTLE), REFER TO DETAIL 2/C3.0



INDICATES INLET PROTECTION, REFER TO DETAIL 1/C3.0



PLAN CHECK ONLY

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MPN: 035-132-01

REVISIONS		SHEET	
BOWMAN & WILLIAMS		EROSION CONTROL PLAN	
CIVIL ENGINEERS LAND SURVEYORS			
3949 RESEARCH PARK COURT, SUITE 100		MCLEAN RESIDENCE	
SPOKILL, CA 95073-2004		427 REVIEWER AVE	
(831) 426-3560		CAPITOLA, CALIFORNIA	
SCALE: AS NOTED	DRAWN: 29220	JOB NO. 29220	SHEET C3.0 OF 6
DATE: 2025 06 20	CHECKED: 2	INDEX: S00001 2	
DESIGN: JFR	DWG NAME:	FILE NO. 29220	



LEGEND

- EXISTING CONTOUR
- +14.79 EXISTING GRADE
- FLOWLINE
- X- FENCE
- PROPERTY LINE

TOPOGRAPHIC SURVEY



SOQUEL CREEK
DRAIN FLOOD ELEVATION = 20 FEET

10' ALLEY

BLUE GUM AVENUE

RIVERVIEW AVENUE

BENCHMARK
PE NAIL IN PAVEMENT
ELEVATION = 14.34
NAVD 1988 DATUM



NOTED: DESIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THIS PLAN FOR CONSTRUCTION.

ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
48 MAIN AVENUE CORRALITOS, CA 95076
(831) 724-5300 info@roperengineering.com



RESIDENTIAL REMODEL FOR
JOSEPH McLEAN
427 RIVERVIEW AVENUE CAPITOLA APN 035-132-01
TOPOGRAPHIC SURVEY

SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: FEB. 15, 2023
REVISED:
JOB NO.: 23005
SHEET

T1

OF 2 SHEETS



LEGEND

- G — EXISTING GAS MAIN
- GS — EXISTING GAS SERVICE
- S — EXISTING SEWER MAIN
- SL — EXISTING SEWER LATERAL
- SD — EXISTING STORM DRAIN
- W — EXISTING WATER MAIN
- WS — EXISTING WATER SERVICE

10' ALLEY

(12" IPS) STORM DRAIN

SOQUEL CREEK

EXISTING RESIDENCE

EXISTING GARAGE

EXISTING GARAGE

BLUE GUM AVENUE

RIVERVIEW AVENUE

UTILITY PLAN

SCALE: 1"=10'
0" 2.5' 5' 10' FEET



NOTED: DESIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

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(831) 724-5300 info@operengineering.com



RESIDENTIAL REMODEL FOR JOSEPH McLEAN
427 RIVERVIEW AVENUE CAPITOLA APN 035-132-01
UTILITY PLAN

SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: FEB. 15, 2023
REVISED:
JOB NO.: 23005
SHEET

T2

OF 2 SHEETS