

**Equipment Purchase Summary**

**S. LACAMAS CREEK TRAILHEAD**

<b>EQUIPMENT</b>	<b>COST</b>
<b>SOURCEWELL TOTAL DISCOUNT:</b>	<b>\$ 17,230</b>

<b>Public Restroom Company</b>	Bathroom
<i>Sourcewell Contract Discount</i>	<b>\$ 17,230</b>
<b>TOTAL</b>	<b>\$ 356,738</b>

<b>S. LACAMAS CREEK TRAILHEAD</b>	<b>\$ 356,738</b>
<b>TOTAL</b>	

**Price Proposal:** Lacamas Creek Trailhead, Camas, WA  
**Date:** November 27, 2023  
**Reference:** 11196-2/4/2022-1  
**Sourcwell:** Contract # 081721-PRM

**Our Offer to Sell:**

**Restroom Building and Shipping Cost @ \$ 327,370**

**Washington State & Local Taxes @ \$ 27,826**

**B&O Tax \$ 1,542**

**Total Cost of Building, Shipping, Taxes & Sourcwell 5% Discount @ \$ 356,738**

Public Restroom Company (PRC) herein bids to *furnish (building only per plans and specifications, delivered to site with all costs except installation including applicable taxes excluding retention.* (Retention is not allowed as this is materials or a product fully assembled before shipment to the site and therefore not subject to retention.) Proposal updated to allow for 2- time crane pick and placement.

**Owner/General Contractor verification of site access to allow Building Delivery:**

1. You certify to PRC that suitable delivery access to the proposed building site is available. Suitable access is defined as 14' minimum width, 16' minimum height, and sufficient turning radius for a crane and 70' tractor-trailer.
2. Our cost is based upon the crane we provide being able to get within 35' from the building center and for the delivery truck to be no more than 35' from the crane center picking point.
3. If the path to the building site traverses curbs, underground utilities, landscaping, sidewalks, or other obstacles that could be damaged, it is the Owner/General Contractor 's responsibility for repair and all costs, if damage occurs.
4. If trench plating is required, it shall be the cost responsibility of the Owner/General Contractor.
5. If unseen obstacles are present when site installation begins, it is the Owner/General Contractor responsibility to properly mark them and verbally notify PRC before installation.
6. If weather becomes an issue for safety or site installation delays due to weather, Owner/General Contractor or PRC with General Contractor's confirmation may call-off set. If building set is stopped, relocation of the building modules to an onsite or offsite location may incur additional costs to Owner/General Contractor.

**Installation Notice and Site Availability:**

PRC will provide sufficient notice of delivery of the prefabricated building. The Owner/General Contractor shall make the site available during the delivery period. During the delivery period, on an improved site, Owner should stop site watering several days before delivery to minimize the impact on the soils for the heavy equipment needed for installation.

**Caution: *If site is not ready for our field crew to perform their installation and if no notice of delay in readiness from Owner/General Contractor is received, PRC will provide a change order for re-mobilization on a daily basis until the site is ready for us. Ready means that the site pad is completed,***

Lacamas Creek Trailhead, Camas, WA | 11/27/2023 | Reference # 11196-2/4/2022-1  
2587 Business Parkway | Minden, NV 89423 | [www.PublicRestroomCompany.com](http://www.PublicRestroomCompany.com) | p: 888-888-2060 | f: 888-888-1448

***the corner required survey stakes are in place, the slab elevation stakes are in place, the location of the front of the building is confirmed on site, and access to the site is available from an improved roadway. Owner/General Contractor shall sign the change order before we will continue delivery.***

**Special Conditions, Permits, and Inspection Fees:**

Follow any published specifications governing local building procedures for applicable building permit fees, health department fees, all inspection fees, site concrete testing fees, and compaction tests, if required by Owner. PRC is responsible for all required State inspections and final State insignia certification of the building, if applicable.

**Jurisdiction for Off-site Work:**

Jurisdiction, for permitting and inspection of this building shall be either the State agency who manages prefabricated building compliance in the state or the local CBO (when the State does not provide certification.) If the responsibility for building inspection is the local CBO, we will provide a certified plan set, calculations, and a third-party engineer inspection report for any and all closed work the local official cannot see.

**PUBLIC RESTROOM COMPANY SCOPE OF WORK:**

**Our In Plant/Off-Site Construction Scheduling System:**

PRC has several off-site manufacturing centers in the United States, strategically located, with the proper equipment and trained staff to fabricate our custom buildings to our high-quality fit and finish standards. PRC manages quality control in our off-site production facility to comply with the approved drawings and provides an inspection certification and photos as required. When proprietary materials, which we have designed and fabricated, are part of the project, PRC supplies the manufacturing centers with these proprietary PRC components. We then schedule the in-plant construction process to coordinate with your delivery date through our Operations Division field staff. We guaranty on time at cost delivery weather permitting.

**Special Payment and Progress Billing Terms:**

Invoicing begins on the 30<sup>th</sup> of the month following an order and/or the acceptance of the proposal/contract. The first progress billing invoice will be issued for the commencement of design and engineering of architectural plans. This will be 10% of the contracted amount. Once construction begins invoicing will commence monthly based on plant percentage of completion, supported by photographs.

In the event of project stoppage, additional fees may be assessed for re-mobilization, storage, crane costs, etc. ***Our discounted project costs are based upon timely payments. Delays in payment could change delivery schedules and project costs.***

**Time of Completion:**

PRC estimates a 240 calendar day schedule to complete our scope of work from receipt of written notice to proceed together with signed approved architectural submittals; including final construction documents and structural calculations from all authorities required to approve them.

**Exclusions/Exceptions:**

1. Access issues for delivery of the building by a clear unobstructed path of travel from an improved roadway to the final installation pad or foundation may cause site delays and extra cost at each site. This exclusion covers sites whose access is limited by trees, inaccessible roadways, overhead power lines at location where crane will lift building, grade changes disallowing our delivery trailers with only 4" of clearance to grade, berms, or uneven site grades, or when the path of travel is over improvements such as sidewalks, all of which are not within the scope of work by PRC. On some sites without on-site storage availability for buildings that cannot be set, relocation to a proximal crane yard and later relocated to the site for installation, will incur additional fees at rates that vary depending on local rates. PRC will provide written costs for this additional work by change order.
2. If weather on site causes site delivery issues, the delivery may have to be diverted to an off-site location and the additional costs will be a change order to the bid. Our staff works with the Owner/General Contractor in advance to make sure sound decisions for delivery are made to avoid this issue. But sometimes Owner/General Contractor take risks for weather, but this risk is clearly at the Owner/General Contractor risk, not PRC.
3. Sidewalks outside the building footprint.
4. Trench plates or matting needed for protection of site soils, sidewalks, hardscaping, or site utilities shall be the responsibility of the Owner/General Contractor. Any site soils damage or other site improvements if damaged during installation shall be the responsibility of the Owner/General Contractor.
5. Not responsible for removing any soil, sand, or other debris as a result of trenching or installation.
6. Survey, location of building corners, finish floor elevation, excavation, and construction of subgrade building pad and footings (if required) per PRC plans.
7. Soil conditions not suitable for bearing a minimum of 1500 PSF with compaction to 90% maximum dry density shall require Owner/General Contractor correction before building placement. If no soils testing report is available before bid, Owner/General Contractor must verify site supporting soils at a minimum of 1500 PSF because that is the least we can place our structures on or Owner/General Contractor or engineer of record must design a foundation system to meet the imposed loads of site placement.
8. Improper water pressure, an undersized meter, or improper water volume flow to the building may necessitate a change order for installation of a building internal diaphragm tank to provide the minimum flow rate and static pressure of up to 60 PSI and a minimum of 40 PSI to properly flush the fixtures. Building water service chlorination, post installation, shall be by Owner/General Contractor.
9. Our bid included crane costs are based on a maximum 35' radius from the center pin of the crane (10' back from the rear of the crane) to the building center point of the furthest building module roof. If additional distance requires a larger crane, additional costs will be assessed by change order to the Owner/General Contractor.

10. **Bonds, building permits, a site survey, special inspection fees, minor trash removal (nominally one pickup truck of shipping materials), final utility connections to the on-site water, sewer and electrical are by the Owner/General Contractor. Since the building is fully inspected and tested in plant, minor plumbing leaks (if water is not available when building site work installation is completed) is by the Owner/ General Contractor.**
11. **Site Traffic Control, if applicable, shall be by Owner/ General Contractor, not PRC.**
12. **Any equipment installation, site work or special inspections other than described within this proposal, shall be by Owner/General Contractor.**
13. **Backflow certification if applicable by Owner/ General Contractor.**
14. **Any Fire Suppression Systems by others, not by PRC.**
15. **Any future transformers, related shut offs, and disconnects for electrical is by others, not by PRC.**

**Insurance and Prevailing Wage Certification:**

PRC shall comply with the required insurance requirements, wage reports, and safety requirements for the project, including OSHA regulations.

**Special Insurance to protect the Building before acceptance:**

As PRC requires payment for each month of off-site construction, and since the building is not on owner property where their insurance will cover the building, we maintain a special policy that insures the property even when paid for off-site until the building is finally accepted by the owner. This special policy protects the Owner's custom ordered materials to be used in the fabrication of the building during this period. PRC provides this Stock Throughput Policy to cover the building materials from supplier to manufacturer, while it is being built off-site, while in transit to the job site, during and after it is installed on-site until final acceptance. This special policy has a \$1,000,000 coverage limit. This exceeds the cost of any single building we have offered for sale herein.

**Errors and Omissions Insurance:**

Our firm employs licensed architects, engineers, and drafting staff to provide design of our buildings. Since these buildings are required to meet accessibility standards and building codes on site, and since we are the designer, we carry Errors and Omissions Insurance (E & O) to protect our clients from any errors. The policy covers a limit of up to \$2,000,000 per occurrence and is more clearly explained in the insurance certificates we provide after receipt of a purchase order.

**WARRANTY:**

All work performed by PUBLIC RESTROOM COMPANY (called "Company") shall be warranted to the Owner to be of good quality, free of faults and defects in material, workmanship, and title for 5 years from last date of installation if building is installed by Company or 1 year if building is installed by Owner or Owner's agent without on-site supervision by Company. Company warranty on building shell including exterior walls, concrete 8" slab/foundation, and roof system is warranted for 20 years structurally. The Company will repair or replace at their sole option any defects in work upon proper notice to the below stated address below.

Owner/General Contractor selected parts and materials that are not PRC approved will not be covered under PRC's 5 year component warranty. These selections will be covered only by any available manufacturer warranty.

Our Company extended warranties shall be Company only and shall have no effect on any required Performance, Payment, or Warranty Bonds where Surety shall assume no liability to the Company, the Owner, or any third parties should the Company fail for any reason to deliver acceptable maintenance warranties beyond the one year period. The warranty extension is solely between the owner and PRC and not the general contractor, bonding company, or architect/engineer of record.

This warranty applies only if all work performed by Company has been fully paid for, including change orders if applicable. Company has no responsibility for any neglect, abuse, or improper handling of building product.

The warranties expressed herein are exclusive, and are in lieu of all other warranties expressed or implied, including those of merchantability and fitness.

There are no warranties which extend beyond those described on the face of this Warranty. The foregoing shall constitute the full liability of the Company and be the sole remedy to the Owner.

**Term of Offer to Sell and Owner/General Contractor Acceptance:**

This offer is valid for acceptance within 30 days, or when a part of a public bid for the applicable duration imposed within the Owner's bid documents. Acceptance is by approving our post bid preliminary notice to begin drawings subject to final Owner/General Contractor approval of our submittals and receipt of a contract or a purchase order/contract.

**Special Notice of Possible Project Cost Increases as a Result of Late Payments:**

In the event of delayed or late payment, PRC shall have the right to remedies including late charges, overall project total cost increases, and other damages as allowed by applicable law. The contract price quoted herein is a discounted price based upon our receipt of progress payments as invoiced on the agreed billing schedule of PRC. In the event of non-payment, PRC will provide a 5 day written notice to cure and if payment is still not received, the discounted price for the payment due may increase, to an undetermined amount, to cover work stoppage, remobilization, cancellation of materials and subsequent restocking charges, resale of the contracted building to another party, storage fees, additional crane fees, travel and per diem costs for field crews, and any other cost applicable to the project, as allowed by law. Interest if applicable to non-payment will be assessed at the maximum amount allowed by law or 18% whichever is greater.

**Termination**

Upon Termination for any reason, Owner/General Contractor shall be liable for the cost of all work performed up to the date of termination. Additionally, Owner/General Contractor shall pay for off-site demolition and disposal of the partially or fully fabricated building as well as any non-returnable

materials which were custom-ordered to complete fabrication in PRC's factory location. Any returned materials are subject to return and restocking fees at the Owner/General Contractor expense.

**Venue for Contract Jurisdiction:**

Public Restroom Company requires all contracts accepted by our firm to hold that the venue for legal jurisdiction for this contract offer and acceptance shall be Douglas County, Nevada. In the event of your default, PRC shall be entitled to the full amount due including reasonable attorney fees, costs, storage, expenses of physical recovery, and statutory interest, as allowed by law.

**No modifications to this offer shall be authorized unless confirmed in writing by the President of Public Restroom Company.**

Offered by: Public Restroom Company by \_\_\_\_\_

  
Charles E. Kaufman IV, President

**This provides conditional acceptance of this preliminary purchase order for this building subject to acceptance of the submittals, furnished by Public Restroom Company. Once you accept the preliminary submittals, this shall become a final purchase agreement or at your discretion the final purchase order or a contract may be substituted with this attached.**

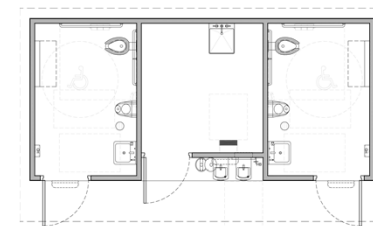
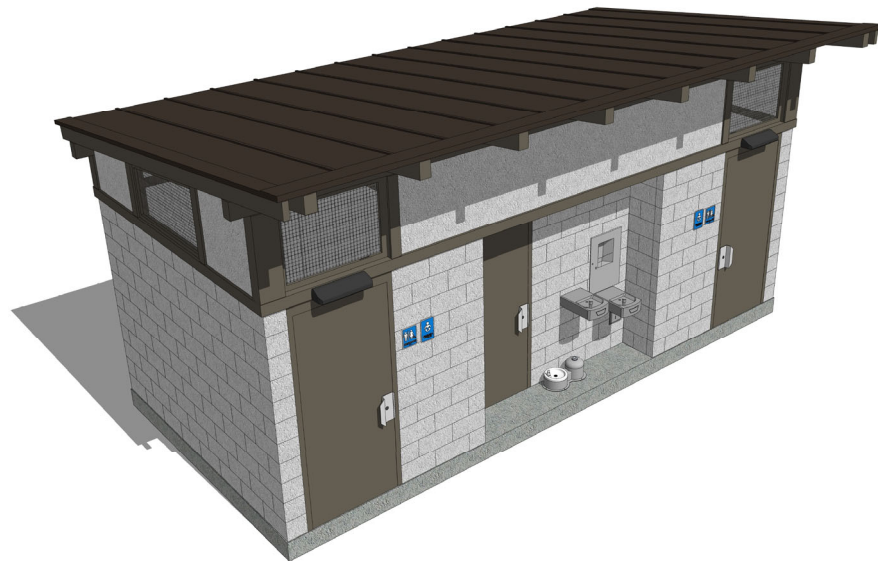
**Accepted by:**

\_\_\_\_\_  
**Authorized Signature**

\_\_\_\_\_  
**Date Signed**

\_\_\_\_\_  
**Printed Name**

\_\_\_\_\_  
**Legal Entity Name and Address**



### FLOOR PLAN

SCALE: NOT TO SCALE

## RESTROOM BUILDING CAMAS, WASHINGTON LACAMAS CREEK TRAILHEAD

ARTIST IMPRESSION: 3D RENDERING ONLY FOR REPRESENTATION. COLORS AND MATERIALS ARE SUBJECT TO CHANGE

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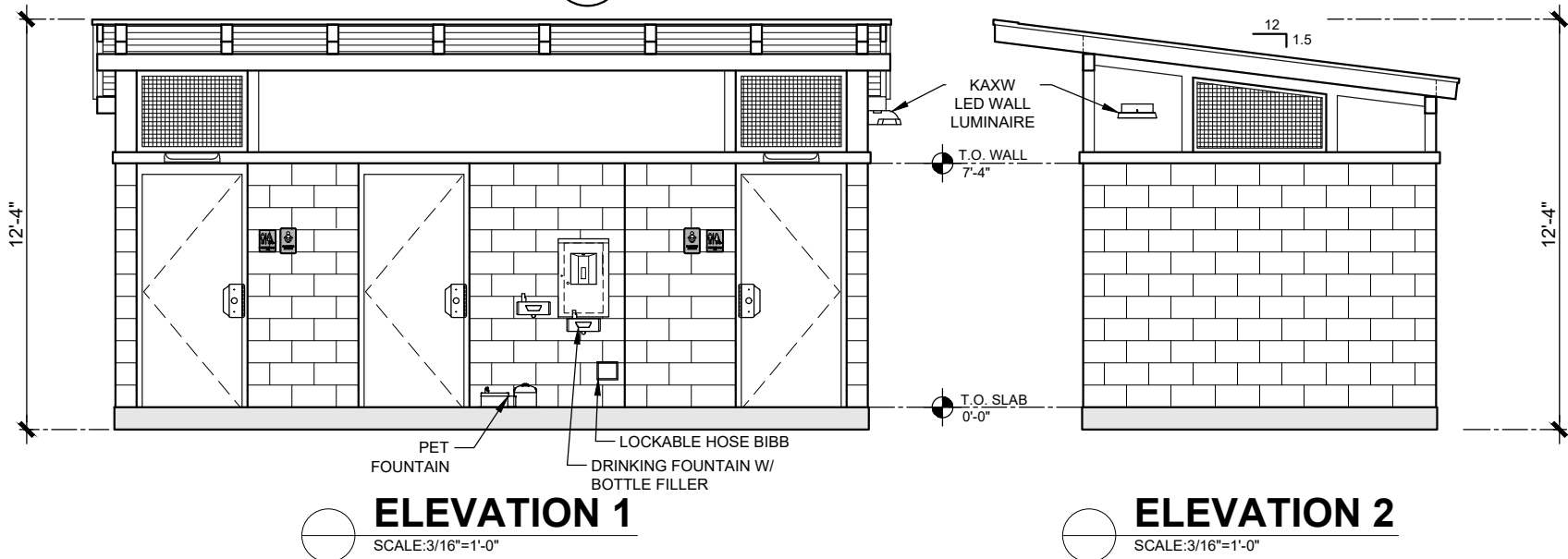
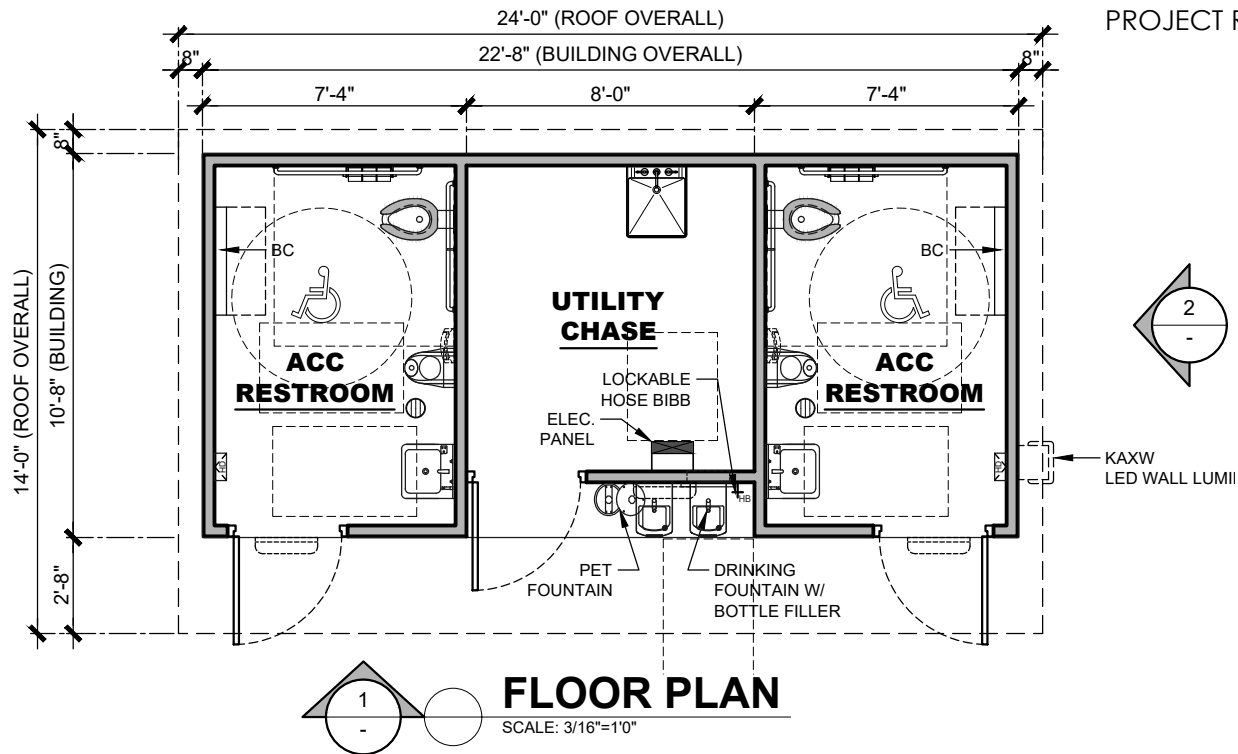
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[www.PublicRestroomCompany.com](http://www.PublicRestroomCompany.com)

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**LVR**



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BUILDING TYPE:	<b>RESTROOM BUILDING</b>	REVISION #	REVISION DATE:	SHEET#
PROJECT:	<b>LACAMAS CREEK TRAILHEAD CAMAS, WA</b>	<b>1</b>	<b>3/4/2022</b>	
		PROJECT #:	START DATE:	MAX. PERSON / HOUR:
		<b>11196</b>	<b>1/17/2022</b>	<b>90 S</b>
			DRAWN BY: EOR	



Location: Camas, WA

Project: Lacamas Creek Trailhead

Size: 22'8" x 10'8"

Description: Restroom building

State Seal: Washington

DESIGN LOADS

Floor: Mat Slab

Wind: 90 C

Roof: 20

**TYPE OF BUILDING**

Walls to 7'4"	Masonry
LVR	Wood framed walls above cap beam, plank & beam roof structure, 1" x 1" x 3/16" S.S. vent

**FLOOR SYSTEM**

<b>Type</b>	Light weight concrete in 6x6 steel angle frame
<b>Floor finish</b>	NOTE: Slab to have smooth finish under epoxy coatings
Chase, Alcove	Exposed concrete with light broom finish with water resistant coating
Restrooms	Laticrete Spartacote Flex XPL "Medium Gray" epoxy with skid resistant additive
	NOTE: <u>DO NOT</u> use integral water resistant additive in floors that get tile or epoxy coatings
Fiberglass grates	Yes Provide grates for slab openings Qty (2)
Blockouts w/o grates	Qty (1)
Foundation Tie-Downs See note	Yes Provide steel angle tie down plates

Note: (Required for buildings that will be placed on concrete footings)

**WALL SYSTEM (structural)**

**Framing**

Exterior	4" CMU	Split face, all rows, gray
Alcove	4" CMU	Precision, all rows, gray
Interior	4" CMU	Precision, gray
Cap beam (all walls)		Steel tube, painted
Above cap beam (all walls)		2x3 wood framing with PT bottom plate
(eave/knee walls)		2x3 wood framing with PT bottom plate
Vents (exterior RR walls)		Above cap beam: 1" x 1" x 3/16" S.S. Wire mesh (4)
Vents (Mech)		Above cap beam: 1" x 1" x 3/16" S.S. Wire mesh (1)
Sheathing (framed walls above cap beams)		7/16" OSB both sides - Note: paint one side of the OSB

**WALL FINISHES - Exterior**

NOTE: all paint to be Pitt-tech DTM EP

CMU	Paint over block filler full height
Moisture protection	Wrap building with Tyvek building wrap, under FRC siding only
Flashing	Custom S.S. Z flashing, above cap beam
Siding	Cement Board (sheet), painted - stucco pattern, above cap beam
Vent frame trim	1x6 FRC
Vent screen trim	1/8" Mild steel angle - painted
Other	Install removable lexan covers for vents

**WALL FINISHES - Interior**

Restrooms	to cap beam	Block filler & paint
	Base	None
	Above cap beam	Painted Cement Board - stucco pattern
Mechanical	to cap beam	Block filler & paint
	Above cap beam	Painted OSB

**ROOF SYSTEM**

Style:	Shed with 2/12 pitch, 8" overhang (Nom) on 3 sides, 2'8" in front
Roofing:	24 ga (12" with striations) "Metal Sales Vertical Seam" (prefinished)
Underlayment:	High temp self adhering
Framing:	Plank & beam
Rafters	3-1/2 x 6 painted Glulam
Beams	3-1/2 painted Glulam tapered one side
Ceiling: All but chase	2x6 KD T&G Select Deck - stained
Chase	5/16" Cement Board Stucco Pattern, below rafters
Insulation:	Fill rafter bays with rigid in chase only (2 layers of 3")
Sheathing: (top)	7/16" OSB
Sheathing: (bottom)	3/4" OSB, in chase only
Soffit:	2x6 KD T&G Select Deck - stained
Fascia	Face of glulam rafters at rakes, none at eaves
Drainage	None

**DOORS & HARDWARE**

	Qty	Size	1 & 2 Type	3 Hinge	4 Lock	5 a Closer	5 b Pull plate	5 c Thresh	5 d Sweep	6 Notes
Restroom	2	3'x7'	HM	Cont	B660J	yes	both sides	270A	321 SSN	6a
Mechanical	1	3'x7'	HM	Cont	B660J	no	both sides	270A	321 SSN	6b,c

1. DOOR TYPES:
  - a) HM: GALVANIZED HOLLOW METAL, 14 GA DOOR w/ 14 GA FRAME.
2. ALL H.M. DOOR FRAMES:
  - WELDED
  - 4-3/4" WIDE, TYPICAL
  - 4" MASONRY HEADERS
3. HINGE SPECS
  - a) CONT = PEMKO KCFM-83" HD CONTINUOUS GEAR HINGE
4. LOCKS
  - a) DEADBOLT: SCHLAGE B SERIES 626 WITH TEMPORARY CONSTRUCTION FULL SIZE INTERCHANGABLE CORE (FSIC)
    - 1) B660J - KEY ONE SIDE, ADA TURN LEVER LOCKS AND UNLOCKS
5. HARDWARE SPECS:
  - a) CLOSER: LCN 4211 (add CUSH ARM for out swing doors)
  - b) PULL PLATES:
    - 1) PULL PLATE: ROCKWOOD VRT24C US32D x 91 CFC US32DMS (WITH BLACK COOL COATING HANDLE AND LATCH GUARD) THRESH:
  - c) PEMKO
    - 1) #270A FOR NON TILED FLOORS
  - d) SWEEP: PEMKO 321 SSN
6. OTHER:
  - a) MAGNETIC LOCKS - SUPPLY & INSTALL **SAM** SECURITRON SYSTEM
  - b) WEATHER STRIP - PEMKO 303-S
  - c) PROVIDE DOOR STOP (Ives WS449B26D)

**RESTROOM ACCESSORIES**

ITEM	QTY	SIZE	MANUFACTURER / MODEL #	FINISH	NOTES
Grab Bars	2	18"	Bobrick 6806	S.S.	
Grab Bars	2	42"	Bobrick 6806	S.S.	
Grab Bars	2	48"	Bobrick 6806	S.S.	
Signs - rectangular room ID ADA - "Restroom"	2	6"x9"	(H1223)		Aluminum Blue
Signs - rectangular room ID - "Baby changing"	2	6"x9"	(H1320)		Aluminum Blue
Toilet Paper Holders	2	3-roll	Royce Rolls TP-3	S.S.	
Baby Changing Station	2		Foundations #5410339	S.S./Poly	
Hand Dryer	2		Dyson Airblade V HU02	Nickel	Surface mount
Soap Dispenser (behind the wall tank)	2		Ninth Inning	S.S.	
w/thru wall valve	2		ASI #353		
Utility Hook	2		Bobrick B-670	S.S.	

**OTHER SPECIALTY ITEMS**

WH Platform	1			white	
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**PLUMBING****Restrooms**

Fixture type	Stainless Steel		
Toilets	Qty: 2	Acorn #1675-W-1-HET-1.28-FVBO-ADA-PFS-316SS	
Seats	standard	Bemis 1955SSCT 047 (Black)	
Flush valves	standard	Zurn Z6143AV-HET-BG-7L	
Urinals	Qty: 2	Acorn #1709 HEU-W-1-0.125-FVBO-316SS	
Flush valves	standard	Zurn Z6195AV-ULF-BG-7L	
Lavs (wall hung)	Qty: 2	Acorn #1652-FALRB-1-DMS-03-M-316SS	
Faucets	Chicago 333-E2805-665PSHAB		
Mixing valve	Qty: 2	Acorn ST70-12	
Floor drains:	Qty: 2	Zurn ZN460-2NH-5B	
Primer:	Qty: 2	Proflo PFTP-2500	

**Other**

Service sink	Qty: 1	Mustee 17F laundry tub w/legs	
Faucet	Chicago 891 CP		

**General**

Water heater	Qty: 1	6 gallon residential (AO Smith EJC-6)			
Expansion tank	Qty: 1	Proflo PFXT5 (at water heater)			
Water heater	Qty: 2	Stiebel DHC-3-2			
Drinking fountain	Qty: 2	Murdock GSE64-FG-316SS			
Pet fountain	Qty: 1	Murdock GUT 19-PF			
Bottle filler	Qty: 1	Murdock A0000000-BF3-316SS			
Water filter	Qty: 1	Keystone CG10			
Pressure Gauge	Qty: 1	Proflo PFXPG100K (for downstream)			
Pressure Gauge	Qty: 1	FNW XLFG 0200L (for upstream)			
Check valve	Qty: 1	1-1/2" Nibco S-480-Y-LF			
Pressure reducing valve	Qty: 1	1-1/2" Watts LF25 AUB (lead free)			
Ball Valve	Qty: 1	2" Nibco NSFP600ALFK			
Ball Valve	Qty: 1	1" Nibco NSFP600ALFG			
Expansion tank	Qty: 1	Prep for 26 gallon, install Proflo PFXT5			
Hose bib (interior)	Qty: 2	Acorn 8121 LF in mechanical room			
Hammer Arestor	Qty: 2	Sioux Chief 654-CS			
Hose bib (exterior)	Qty: 1	Woodford B67 3/4"			
Hose reel with hose	Qty: 1	Strongway #46434 reel with 100' hose			
Water	Copper	Insulated	Hot	Cold	Tempered
Waste	PVC				
Vent cap	Qty: 1	Smith 1748			
Corp stop	By GC				

SPECIFICATION SHEET

<b>ELECTRICAL</b>		
Service	200 amp	120/240 volt single phase
Meter base	Provided and installed on site by others if required	
Panel	200 amp - main breaker	Square D 30 circuit
	(1) Cover	Square D QO
Breakers	Plug on	Square D QO
	( ) Single pole 20 amp	QO120
<b>NOTE: All wiring must be stranded</b>		
<b>NOTE: Run equipment ground wire in all conduits</b>		
Raceway	Metallic (EMT in exposed areas & MC Cable where concealed)	
Receptacles	(1) Dedicated GFCI	Leviton GFNT2-W
Switches	(1) Single pole	Leviton 1221-W
	(1) Exterior bypass	Leviton 1221-2R
	(1) Double pole (Restroom BYPASS)	Leviton 1222-2W
	(1) Photocell - Wall Mount	Intermatic EK4336S
	(1) 7 day programmable timer (exterior lights)	Intermatic EI600WH
Lights - Exterior	(1) 29 watt LED	Lithonia KAXW LED P1 40K R3 MVOLT DDBXD
Lights - Exterior	(3) 10 watt LED	Luminaire AEL12-10W-120-4000K-DP-BZH
	Controlled by photo cell	
	Controlled by time clock	
	Controlled by BYPASS SWITCH	
Lights - RR	(2) 15 watt LED	Luminaire SWP1212-15W-4000K-OP-BRZ-OCC
	Controlled by integral motion sensor	
	Controlled by BYPASS SWITCH	
Lights - Mechanical	(1) 4 ft.-2 lamp- LED	Greenlighting AL-42L
	Controlled by single pole switch	
Emergency light - Mechanical	(1) 2.4 watt LED	Lithonia ELM2L
Wire for	(2) Hand dryer	Dyson Airblade V (1000 W)
Wire for	Securitron system (2 doors)	
	(1) Power Supply	BPS-24-1
	(1) Battery	B-24-5
	(1) Digital Timer	DT7
	(1) Bypass switch	SS2309PO-EN
	(2) Magnalock	<b>SAM</b>
	(2) Exit Button	SDC-463U
Wire for	(2) Water heater	Stiebel DHC-3-2
Wire for	(1) Water heater	6 gal. - 1650 watt
J-box and empty conduit for:	(2) future use in chase	