

*our*  
**Camas**

Hometown.  
Our Town. 2045

*our*  
**Downtown  
Camas**

Hometown.  
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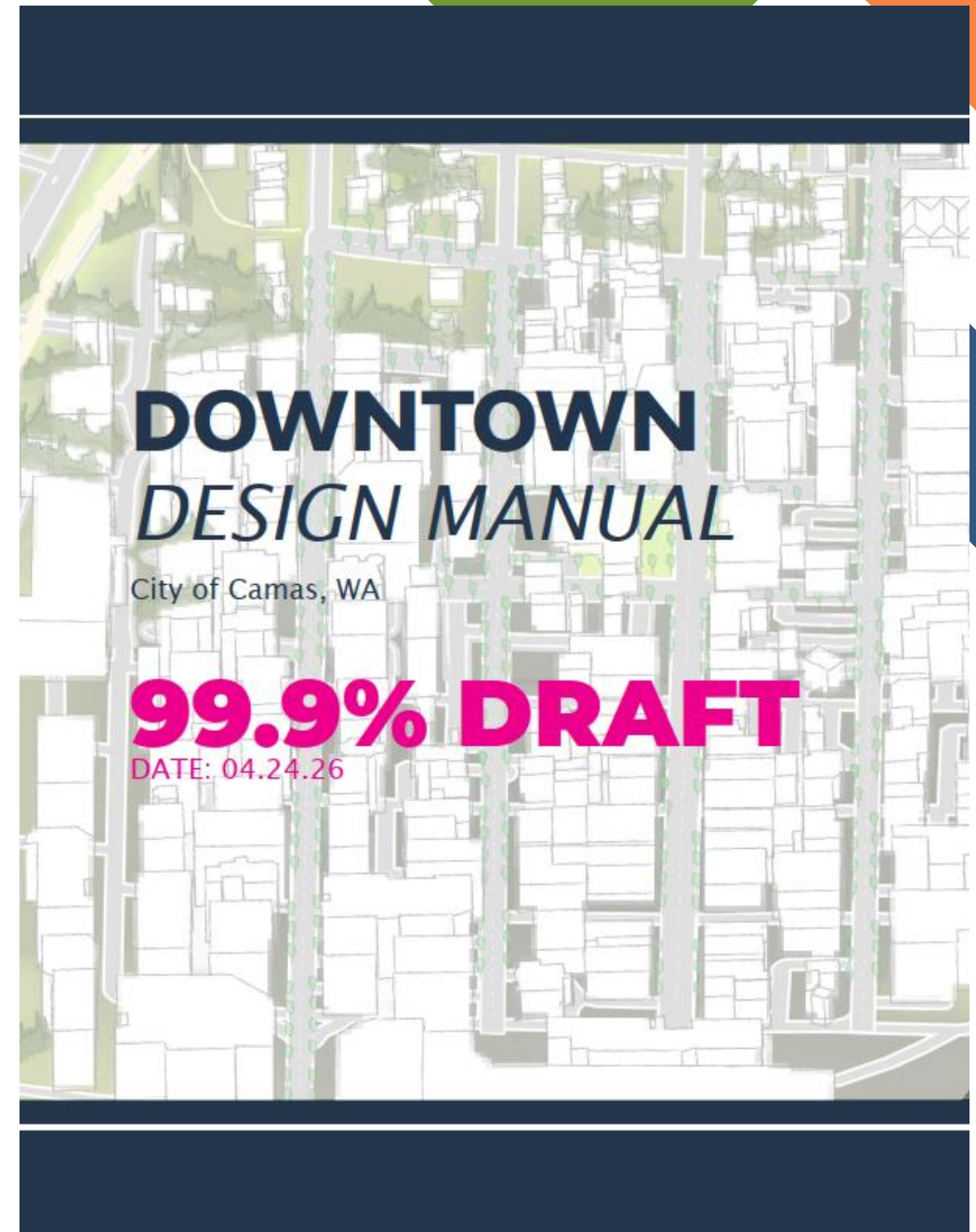
# Our Camas 2045 Code Amendments

May 19, 2026

Planning Commission Workshop

# Agenda

- **Background**
- **Design Manual**
  - **Overview and Applicability**
  - **How to Use this Manual**
  - **Regulating Plan**
  - **Base Zoning Districts**
  - **Use and Parking**
  - **Street Types**
  - **Design Standards**
  - **Definitions and Measures**
- **Design Manual Discussion**
- **CMC Chapter 18.19 – Design Review**
- **New CMC Chapter – Design Overlays**



# Background

- The City is currently updating its Comprehensive Plan, as well as completing a Downtown Subarea Plan, with anticipated adoption in the fall.
- As part of this effort, the City is also reviewing and updating portions of the zoning code to ensure that development regulations are aligned with each plan's goals, policies, and growth objectives.
- Today's discussion of updates will focus on the Downtown Subarea and include proposed amendments to CMC Chapter 18.19 Design Review as well as a review of the Downtown Design Manual and a new CMC Chapter for Design Overlays.



# Downtown Design Manual

- > Overview of the Manual
- > Applicability of Sections
- > How to Use this Manual
  - > The Regulating Plan
  - > Base Zoning Districts
    - > Use and Parking
    - > Street Types
    - > Design Standards
- > Definitions and Measures

# Overview & Applicability, How to Use this Manual

- The Design Manual will serve as a practical tool for implementing updated zoning regulations and design standards
- Applicability table provides which sections of the design manual are appropriate to each type of permit activity
  - Occupancy only
  - Minor alteration
  - Minor alteration (with use/occupancy change)
  - Addition or major exterior change
  - New construction
- Step-by-step (6 steps) process with basics of “how to use the manual” and order to review regulations

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DESIGN MANUAL SECTION	1.0 Precorfile	2.0 The Regulating Plan	3.0 Base Zoning Districts	4.0 Use and Parking	5.0 The Street Network	6.0 Frontage Standards	7.0 Public Realm Standards	8.0 General Standards	0.0 Definitions & Measures
<b>OCCUPANCY</b> A change of occupancy to an existing building or structure.	✓	✓	✗	✓	✗	✗	✗	✗	✓
<b>MINOR ALTERATION</b> Little or no exterior changes to buildings or structures, and no structural work.	✓	✓	✗	✗	✓	✗	✓	✓	✓
<b>MINOR ALTERATION WITH USE / OCCUPANCY CHANGE</b> Minor alteration (per this table) with change in use or occupancy.	✓	✓	✗	✓	✓	✗	✓	✓	✓
<b>ADDITION OR MAJOR EXTERIOR CHANGE</b> Changes to exterior or square footage addition of less than fifty (50%) percent with or without a change in use or occupancy.	✓	✓	✓	✓	✓	✓	✓	✓	✓
<b>NEW CONSTRUCTION</b> All new buildings and changes to exterior or square footage addition of 50% or more.	✓	✓	✓	✓	✓	✓	✓	✓	✓
<b>OTHER</b>	See Chapter 18.55 Administration and Procedures								

*Figure 2. Applicability of Project Type by Manual Section*

**1.2 Applicability of Sections.**

✓ SECTION IS APPLICABLE  
✗ SECTION IS NOT APPLICABLE

Because this document combines zoning regulations with a range of design standards for future development, it is important to clearly identify which sections apply to each type of project within Downtown Camas. Distinguishing levels of project impact ensures that each development or modification is reviewed by the appropriate portion of the design manual proportional to its scale and potential influence on the area. Minor alterations with little or no exterior change, or a simple change in

use, generally pose minimal impacts on urban design, public space, and community character, and therefore do not require the same level of review as larger projects. In contrast, substantial exterior modifications, additions, and new construction can significantly shape the public realm and architectural identity. The table on this page identifies which sections apply. In the event of a conflict between this manual and other regulations, the more stringent shall be applicable.



# How to Use this Manual

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Figure 5. Typical Lot and Street Type Diagram

**STEP 1: IDENTIFY PROJECT LOT OR LOTS ON THE REGULATING PLAN.**

Begin by referencing the regulating plan (Section 2.0) and documenting the lot to determine:

- Which of the four (4) base zoning districts (Section 3.0) or existing zoning districts the lot or lots are located in; and
- Which of the five (5) street types (Section 5.0) are applicable to the lot or lots for all frontages onto public rights-of-way.

*NOTE: Projects may contain lots with more than one (1) base zoning district or street type. Projects that fall within the Heavy Industrial district, open space district, or districts not listed in this manual must refer to the zoning code.*

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Figure 6. Typical General Standards: Height and Use

**STEP 2: REVIEW STANDARDS IN THE BASE ZONING DISTRICTS.**

Each base zoning district defines unique goals, building form parameters, height limits, and other requirements suited to its intended form and function (e.g., Historic Main Street, Downtown Mixed-Use, etc.). Refer to the specific base zoning district (Section 3.0) identified in Step 1 for specific requirements and review each for adherence to the purpose and intent, applicability, and standards. The general standards for each district include:

- [A] Building height: Measurement in feet (FT) and above-grade number (#) of stories.
- [B] Building uses: Primary use types (See Section 4.0) for allowable ground and upper floor uses.

Figure 8. Typical Lot and Street Type Diagram

**STEP 3: VERIFY ADHERENCE TO USES AND PARKING STANDARDS.**

Based on the intended uses (Section 4.0), consult the applicable use tables to determine which uses are permitted, conditionally permitted, or prohibited on the ground floor and upper floors. After confirmation, review the corresponding parking requirements to ensure compliance with parking ratios. Primary use categories include the following:

- [1] Active retail uses.
- [2] Communication, utilities, and facilities uses.
- [3] Educational uses.
- [4] Industrial uses.
- [5] Manufacturing and/or processing uses.
- [6] Passive retail uses.
- [7] Recreational, religious, and cultural uses.
- [8] Temporary uses.

**Active Retail Uses VS Passive Retail Uses**

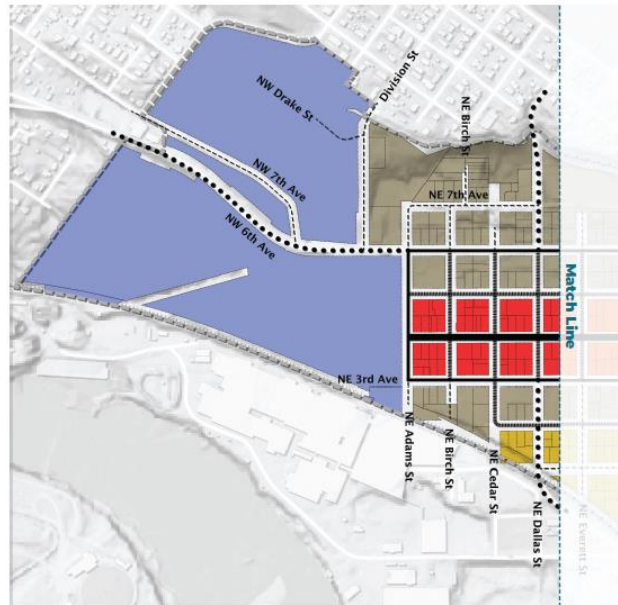
Commercial uses are organized into two (2) categories per Section 4.2: Active and Passive Retail Uses. This distinction differentiates uses that generate high levels of foot traffic and pedestrian activity from those that contribute at a more limited scale. The purpose of this classification is to ensure that ground-floor spaces in designated downtown areas support vibrant, active streetscapes. Active Retail is intended to be concentrated along primary streets where pedestrian activity is most critical, while Passive Retail is better suited to side streets. Verify active retail uses and passive retail uses are appropriate per the table.

Figure 9. Overview of Active and Passive Retail

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# The Regulating Plan

- The regulating plan provides applicants with a parcel map of which base zoning districts and street types apply to each property in the Downtown Subarea. This includes:
  - Four (4) downtown zoning districts – these are the Base Zoning Districts
  - Two (2) existing zoning districts (Heavy Industrial and Neighborhood Park)
  - Five (5) street types



## 2.0 The Regulating Plan.

The purpose of the regulating plan is to provide applicants with a clear, parcel-specific map of which base zoning districts and street types apply to each property within Downtown Camas. The base zoning districts guide applicants to the applicable general and development standards, while the street

types direct them to the corresponding frontage and public realm requirements. Although the regulating plan functions as a visual navigation tool, each parcel is also formally codified with its assigned districts and street types to ensure clarity and regulatory certainty throughout the development process.

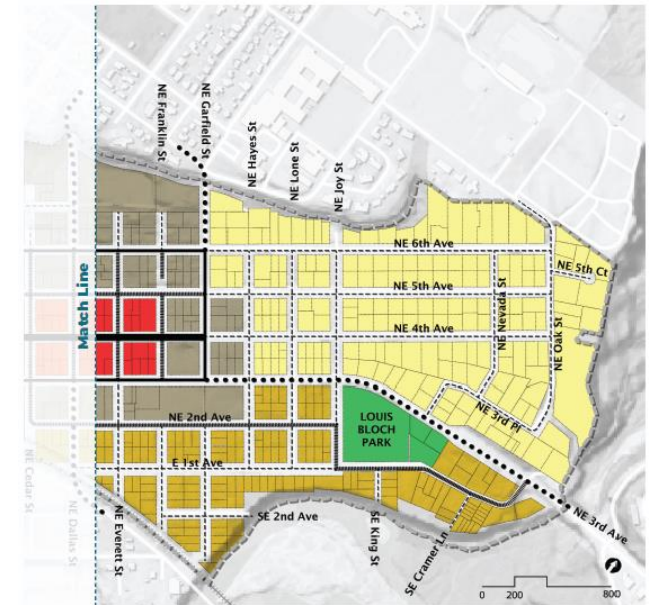


Figure 13. Map of the Regulating Plan

## BASE ZONING DISTRICTS.

See Section 3.0 for further details.

- 3.1 Historic Main Street Core
- 3.2 Downtown Mixed-Use: Mid Rise
- 3.3 Downtown Mixed-Use: Low Rise
- 3.4 Downtown Residential
- 3.5 Heavy Industrial (HI)
- 3.5 Neighborhood Park (NP)

## STREET TYPES.

See Section 5.0 for further details.

- 5.1 Main Streets (MNS)
- 5.2 Connector Streets (CNS)
- 5.3 Mobility Streets (MBS)
- 5.4 Gateway Streets (GWS)
- 5.5 Neighborhood Streets (NHS)

# Base Zoning Districts

- Four Base Zoning Districts
- Purpose and intent
- Applicability
- General Standards
  - Building Height
  - Building Uses
- Development Standards
  - Lot sizes
  - Lot widths
  - Lot depths
  - Lot coverage
  - Open or Common Spaces
  - Primary street setback
  - Primary street (upper level)
  - Side street setback
  - Side yard setback
  - Rear yard/alley setback
  - Parking setback

**DOWNTOWN DESIGN MANUAL**
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Figure 15. Sample Historic Main Street Character

Figure 16. Height and Use Diagram (A-B)

### 3.1 Historic Main Street Core.

**PURPOSE AND INTENT.**

- To continue the historic pedestrian-oriented characteristic along NE 4th Avenue, between NE Adams and NE Garfield Streets, and enhance that same character throughout the district;
- To recognize and accommodate primary retailers along 3rd, 4th, and 5th Avenue between Adams Street and Garfield Street within the Downtown Camas boundary;
- To preserve the existing historic architectural character with design standards;
- To preserve the historic character of primary uses, include a limited mix of small and local retail shops, restaurants, bars, and cafes;
- To encourage and accommodate the adaptive reuse of existing development and emphasize multimodal accessibility and connectivity; and
- Mixed use within this district refers to vertical mixed use where active primary uses are on the ground floor and secondary uses are above.

**APPLICABILITY.**

See Chapter 18.05: Zoning Map and Districts for further details.

**GENERAL STANDARDS.**

**[A] Building Height.**

- Maximum Fifty (50) feet and four (4) stories.
- An upper-level setback (See [I]) of twenty (20) feet along Main Streets would ensure that new development along 4th Avenue is setback for the fourth level as part of a development.

**[B] Building Uses.**  
See Section 4.0 Use and Parking for further details.

- [B1] Ground Floor Uses: Main Streets must have at least seventy (70%) percent floor area and frontages committed to active retail uses. All other streets must have at least seventy (70%) percent committed to active retail uses, passive retail uses, office uses, or civic uses.
- [B2] Upper Floor Uses: All other uses allowable within this zone pursuant to this document.

**DEVELOPMENT STANDARDS.**

**LOT REQUIREMENTS**

**[C] Lot Size.**

- Maximum five thousand (5,000 SF) square feet or one-eighth (1/8) of a typical city block west of NE Dallas St.
- Maximum ten thousand (10,000 SF) square feet or one-quarter (1/4) of a typical city block east of NE Dallas St.
- Lot sizes are not applicable to any Municipal Uses.

**[D] Lot Width.**

- Minimum twenty (20) feet.

**[E] Lot Depth.**

- [E1] Minimum one hundred (100) feet.
- [E2] Minimum eighty (80) feet with provision of alley.

**[F] Lot Coverage.**

- Minimum ninety (90%) percent.

**[G] Open or Common Spaces.**

- Minimum square feet of usable, shared open or common space per dwelling unit: Ten (10 SF) square feet per dwelling unit.

**SETBACK REQUIREMENTS**

**[H] Primary Street Setback**

- Maximum distance of Ground Floor Facade from public ROW on Primary Street: Zero (0) lot line.

**[I] Primary Street Upper-Level Setback**

- Minimum distance from Ground Floor Facade for upper-levels in building: Minimum twenty (20) feet for stories three (3) or more. Upper-Level Setback area must be used for common spaces or private outdoor spaces.

**[J] Side Street Setback**

- Zero (0) feet maximum (Zero Lot Line).

**[K] Side Yard Setback**

- Zero (0) feet maximum (Zero Lot Line).

**[L] Rear Yard / Alley Setback**

- Not applicable.

**[M] Parking Setback**

- Minimum five (5) feet from primary street lot line; and never in front of the primary street or side street facade line.
- See Section 4.0 Use and Parking for parking ratios.

[ 20 ] The City of Camas, Washington
**DOWNTOWN CAMAS [ 21 ]**

# Use & Parking

- Use tables for permitting
  - Permitted
  - Conditional
  - Prohibited
  - Temporary
- Upper floor vs ground floor (focus on 4<sup>th</sup> Street and some of the entry corridors)
- Primary retail (active commercial) vs secondary retail (passive commercial)

## DOWNTOWN DESIGN MANUAL

PRIMARY USE TYPES	UF / GF	Historic Main Street	Downtown Mixed-Use (Mid Rise)	Downtown Mixed-Use (Low Rise)	Downtown Residential	PARKING REQUIREMENTS
1. Active Retail Uses	UF		(X)	(X)	(X)	- Less than five thousand (5,000 SF) square feet: One (1) space per three hundred (300 SF) square feet. - Five thousand (5,000 SF) square feet or greater: Fifteen (15) spaces plus one (1) space per each fifteen hundred (1,500 SF) square feet over.
	GF	(P) <sub>1</sub>	(P)	(P)	(P) <sub>2</sub>	
2. Communication, Utilities, and Facilities Uses	UF	(X)	(X)	(X)	(X)	Not Applicable.
	GF	(X)	(X)	(X)	(X)	
3. Educational Uses	UF	(P)	(P)	(P)	(X)	One (1) space per employee, teacher, staff, and one (1) space per fifteen (15) students.
	GF	(X)	(P)	(P)	(X)	
4. Industrial Uses	UF	(X)	(X)	(X)	(X)	Not Applicable.
5. Manufacturing and/or Processing Uses	GF	(X)	(X)	(X)	(X)	
6. Passive Retail Uses	UF	(P)	(P)	(P)	(X)	- Less than five thousand (5,000 SF) square feet: One (1) space per three hundred (300 SF) square feet. - Five thousand (5,000 SF) square feet or greater: Fifteen (15) spaces plus one (1) space per each fifteen hundred (1,500 SF) square feet over.
	GF	(X)	(P)	(P)	(P) <sub>2</sub>	
7. Recreational, Religious, and Cultural Uses	UF	(P)	(P)	(P)	(P)	One (1) space per seventy-five (75 SF) square feet of gross floor area. One (1) space per three (3) seats or six (6) feet of pews.
	GF	(X)	(P)	(P)	(P)	
8. Temporary Uses	UF	(T)	(T)	(T)	(T) <sub>2</sub>	One (1) space per five hundred (500 SF) square feet of gross floor area.
	GF	(T)	(T)	(T)	(T) <sub>2</sub>	





Figure 31. Allowable Use by Floor and Parking Requirements for Base Zoning District

1-Required on Ground Floor (GF) of Main Streets.  
2-Only permitted on Ground Floor (GF) of Gateway Streets.

### 4.0 Use and Parking.

#### 4.1 Use and Parking Table.

The following use and parking tables provide guidance on allowable uses for the ground floor (GF) and upper floors (UF), as well as parking requirements. Primary use types are associated with the main building on a lot or lots. See Chapter 18.07 Use Authorization for further details on use requirements. See Chapter 18.11 Parking for all other details on specific parking requirements.

-  PERMITTED
-  CONDITIONAL
-  PROHIBITED
-  TEMPORARY

### 4.2 Active and Passive Retail Uses.

To support enforcement of the zoning code provisions in this design manual, commercial uses are classified as either active retail uses or passive retail uses. These uses are defined as the following:

#### [A] Active Retail Uses.

Active retail refers to street-facing, ground-floor uses that encourage walkability and activate sidewalks, such as shops, cafés, restaurants, and other active, customer-oriented businesses. Active retail uses include:

- Antique shop
- Appliance sales and service
- Bakery (retail)
- Barber and beauty shops
- Book store
- Bowling alley/billiards
- Building, hardware and garden supply store
- Bus station
- Candy, confectionery store
- Clothing store
- Coffee shop, cafe or kiosk
- Day care, mini-center
- Delicatessen (deli)
- Department store
- Electric vehicle battery charging station and rapid charging stations
- Event center
- Feed store
- Fitness center/sports club
- Florist shop
- Food cart/food truck/food delivery business
- Furniture repair; upholstery
- Furniture store
- Grocery, large scale
- Grocery, neighborhood scale
- Grocery, small scale
- Hotel, motel
- Laundry/dry cleaning (retail)
- Liquor store
- Medical or dental clinics (outpatient)
- Nursery, plant
- Office supply store
- Pawnshop
- Pet shops
- Pharmacy
- Photographic/electronics store
- Public agency
- Restaurant
- Restaurant, fast food
- Second-hand/consignment store (e.g. brew pub)
- Taverns
- Theater, except drive-in

#### [B] Passive Retail Uses.

Passive retail refers to commercial activities that primarily serve building occupants or a smaller customer base—such as boutique offices, lobby kiosks, or specialty shops—which typically generate less foot traffic and require less window visibility. Passive retail uses include:

- Animal kennel, commercial boarding
- Animal shelter
- Automobile repair (garage), new or used
- Automobile service station
- Automobile wrecking
- Bakery (wholesale)
- Banks, savings and loan
- Boat building
- Boat repair and sales
- Cabinet and carpentry shop
- Convention center
- Day care center
- Day care, adult
- Day care, family home
- Equipment rental
- Funeral home
- Gas/fuel station
- Gas/fuel station with mini market
- Hospital, emergency care
- Household appliance repair
- Industrial supplies store
- Laundry (self-serve)
- Laundry/dry cleaning (industrial)
- Machine shop
- Mini-storage/vehicular storage
- Manufactured home sales lot
- Newspaper printing plant
- Nursing, rest, convalescent, retirement home
- Parcel freight depots
- Permanent supportive housing
- Plumbing or mechanical service
- Printing, binding, blue printing
- Professional office(s)
- Real estate office
- Recycling center
- Recycling collection point
- Recycling plant
- Research facility
- Roadside produce stand
- Sand, soil, gravel sales and storage
- Sexually oriented business
- Shoe repair and sales
- Smoke shop
- Stock broker, brokerage firm
- Truck terminals
- Veterinary clinic
- Warehousing, wholesale and trade
- Warehousing, bulk retail

# The Street Network

- Assigns the street types to all streets within downtown
  - Main Streets
  - Connector Streets
  - Mobility Streets
  - Gateway Streets
  - Neighborhood Streets

## DOWNTOWN DESIGN MANUAL



Figure 32. Map of the Street Network in the Downtown Core

### 5.0 The Street Network.

The street network weaves together and unifies the base zoning districts throughout downtown. The street network plan illustrated above identifies the five (5) street types assigned to all streets within the Downtown area, as also shown in the regulating plan in Section 2.0: The Regulating Plan.

For the purposes of this design manual, these street types assign standards for frontage types, general improvements, and specific street-type standards. They also define activities and standards for the façade zone, encroachment zone, sidewalk zone, and amenities zone, with variations that help shape the distinct character of each street.

#### STREET TYPES.

- 5.1 Main Streets (MNS)
- 5.2 Connector Streets (CNS)
- 5.3 Mobility Streets (MBS)
- 5.4 Gateway Streets (GWS)
- 5.5 Neighborhood Streets (NHS)

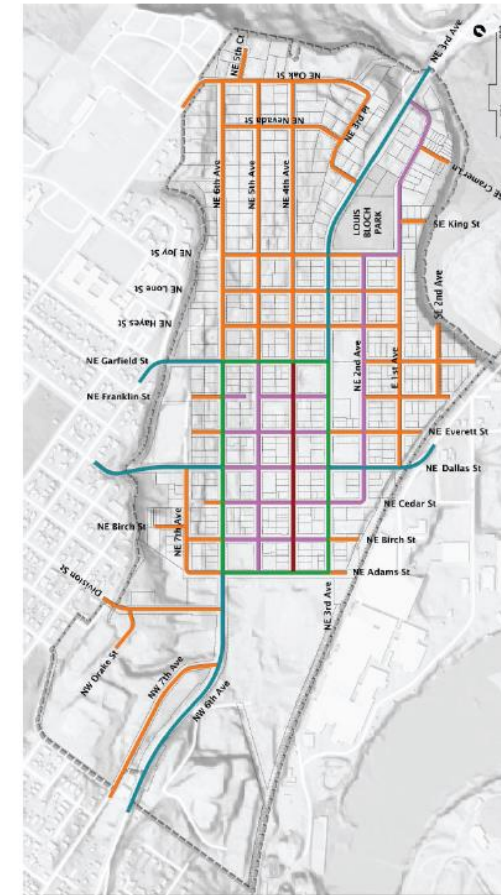


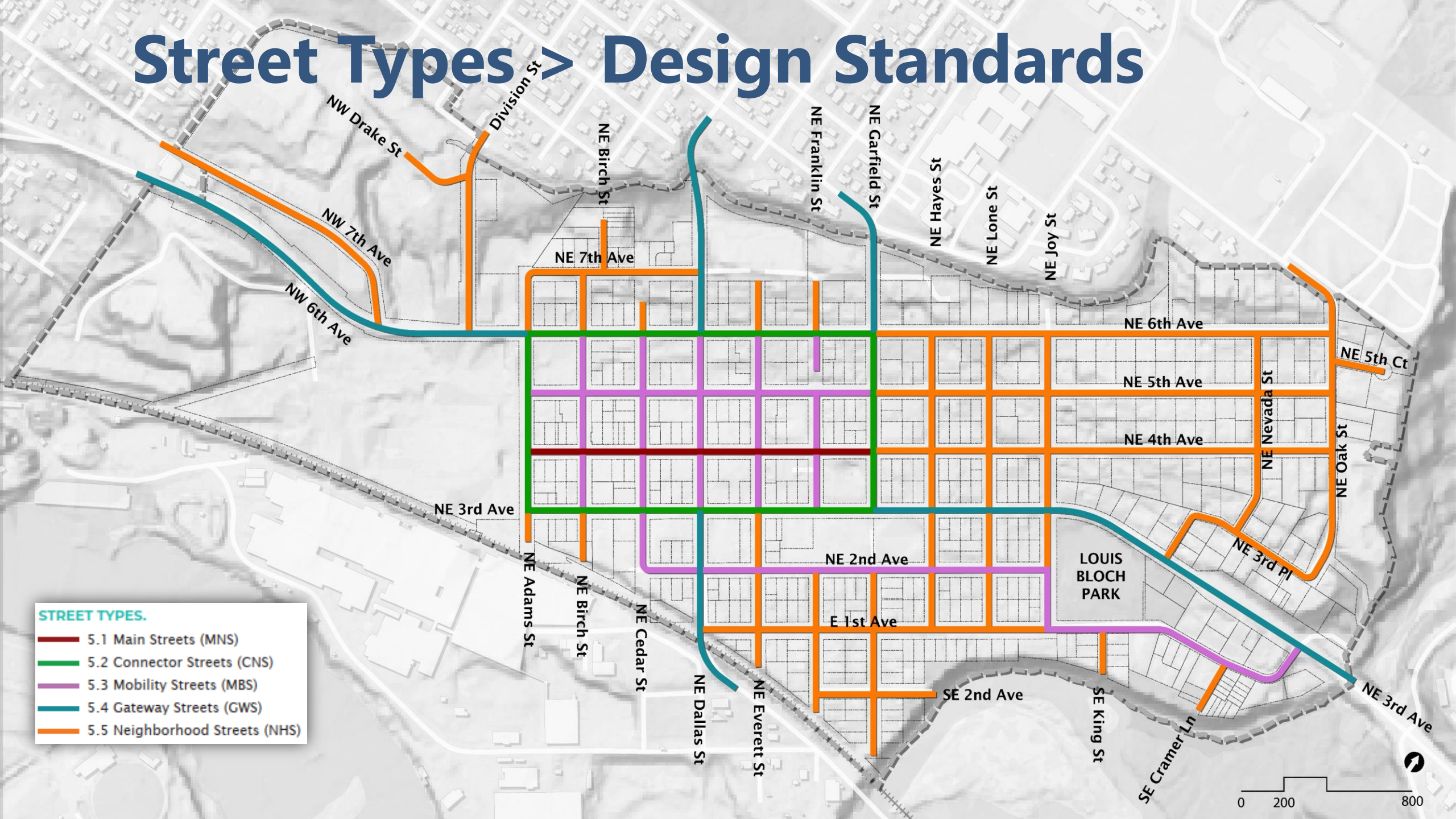
Figure 33. Map of the Street Network

- #### STREET TYPES.
- 5.1 Main Streets (MNS)
  - 5.2 Connector Streets (CNS)
  - 5.3 Mobility Streets (MBS)
  - 5.4 Gateway Streets (GWS)
  - 5.5 Neighborhood Streets (NHS)

# Street Types > Design Standards

**STREET TYPES.**

- 5.1 Main Streets (MNS)
- 5.2 Connector Streets (CNS)
- 5.3 Mobility Streets (MBS)
- 5.4 Gateway Streets (GWS)
- 5.5 Neighborhood Streets (NHS)





# Design Standards

- > Frontage Standards
- > Public Realm Standards
  - > General Standards

# Frontage Standards

- General Overview
- Allowable frontage type by street type
- Nine (9) frontage types
  - Alcove
  - Café
  - Civic
  - Forecourt
  - Porch
  - Shop
  - Stoop
  - Walkup
  - Yard
- Typical cross section and plan diagram

## DOWNTOWN DESIGN MANUAL



Figure 34. A Range of Frontage Types along Historic 4th Avenue

### 6.0 Frontage Standards.

Frontage is defined as the area between a building and its lot line (or setback area), including façades, porches, stoops, shopfronts, and yards. In some cases, frontage may extend into the public right-of-way through elements such as awnings, seating, or landscaping. Frontage defines how buildings engage the street, supports walkability, and enhances the public realm.

Frontage standards are allowed based on the street type or types adjacent to a lot, and a single building may incorporate more than one applicable frontage type. See general standards (Section 8.0) for other improvements related to frontage.

- ✓ ALLOWED ON THE STREET TYPE.
- ✗ NOT ALLOWED ON THE STREET TYPE.

FRONTAGE TYPE	Main Street	Connector Street	Mobility Street	Gateway Street	Neighborhood Street
6.1 Alcove Frontage	✗	✓	✓	✓	✗
6.2 Café Frontage	✓	✓	✓	✓	✗
6.3 Civic Frontage	✓	✓	✓	✗	✗
6.4 Forecourt Frontage	✗	✗	✓	✓	✓
6.5 Porch Frontage	✗	✗	✗	✓	✓
6.6 Shop Frontage	✓	✓	✓	✓	✗
6.7 Stoop Frontage	✗	✓	✓	✓	✓
6.8 Walkup Frontage	✗	✓	✓	✓	✓
6.9 Yard Frontage	✗	✗	✗	✗	✓

Figure 35. Allowable Frontage Type by Street Type



Figure 36. Example of Alcove Frontage

### 6.1 Alcove Frontage.

Alcove frontage can be described as typical passive retail frontage with awnings or recessed spaces and doors with limited glass and less outdoor-focused spaces; often used for passive retail (such as personal services, medical offices, or other less-active uses). Must meet the following standards:

- Maximum coverage of fifty (50%) percent of primary building façade.
- Minimum width of eight (8') feet and maximum depth of six (6') feet.
- Entry point must be located within the covered alcove area.
- Columns supporting the alcove and other elements such as awnings must not be located within the public right-of-way.

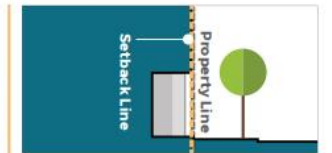


Figure 37. Typical Cross Section

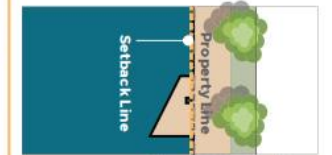


Figure 38. Typical Plan Diagram

STREET TYPE	ALLOWANCE
Main Street	✗
Connector Street	✓
Mobility Street	✓
Gateway Street	✓
Neighborhood Street	✗

Figure 39. Street Type Allowance

# Public Realm Standards

- Map of street type location within downtown
- Purpose statement
- Typical characteristics
  - Typical public realm space dimension (feet)
  - Sidewalk width (feet)
- Example street cross section
- Three (3) public realm zones
- Sidewalks (clear zone)
- Diagram with public realm zone by street type
- Public realm element standards by public realm zone
  - Ground Floor Transparency
  - Pedestrian Entrances
  - Materiality and Colors
  - Setback Buffering
  - Weather Protection
  - Urban Tree Canopy
  - Lighting
  - Etc.

## DOWNTOWN DESIGN MANUAL



Figure 72. Example of a Blank Wall in Downtown Camas

### 7.0 Public Realm Standards.

To support implementation of the street network (Section 5.0) throughout Downtown Camas, each street type includes a set of standards for the zones of the public realm. These public realm standards establish expectations for the design, function, and character of spaces between the building façade and the curb lines, including sidewalks, planting areas, amenity zones, lighting, and furnishings. They provide the essential regulations for how these elements must enhance walkability, safety, comfort, and visual quality while supporting adjacent land uses.

PUBLIC REALM	SECTION
Main Street Public Realm Standards	7.1
Connector Street Public Realm Standards	7.2
Mobility Street Public Realm Standards	7.3
Gateway Street Public Realm Standards	7.4
Neighborhood Street Public Realm Standards	7.5

Figure 73. Chapter Index for Public Realm Standards

### 7.1 Main Streets (MNS) Public Realm



Figure 74. Map of Main Streets in Downtown Camas

The purpose of the public realm standards for the main street public realm is to reinforce 4th Avenue as the community's central activity area by establishing a cohesive, walkable streetscape. The standards regulate elements within the facade zone, encroachment zone, and amenities zone, while maintaining a clear sidewalk zone.

NAME	TYPICAL CHARACTERISTICS
Public Realm Space	Ten (10') feet minimum (both sides), eighteen (18') feet maximum (one side) > Includes larger extended curb areas due to "chicane" street and parking configuration.
Sidewalk Width	Unobstructed clear width of six (6') feet is preferred, may be reduced to four (4') feet at "pinch points" for no more than ten (10') feet in distance.

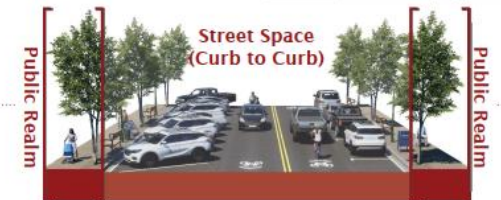


Figure 75. Public Realm Areas on Main Streets

# Public Realm Standards

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Figure 11. The Zones of Public Realm

**The Zones of the Public Realm**

For this design manual, the public realm is described through three (3) zones that extend from the curb edge to the building façade. These zones provide a framework for organizing streetscape elements and building frontage.

[1] **Facade Zone:** This zone is the vertical plane of the building face adjoining the sidewalk or setback, regulated to maintain cohesive street character through controls on blank walls, horizontal articulation, entrances, and other facade elements.

[2] **Encroachment Zone:** A flexible area between the building façade (including any setback) and the sidewalk circulation zone, accommodating elements such as signage, awnings, displays, seating, and weather protection that activate and support building uses.

[3] **Amenity Zone:** A flexible area between the sidewalk and curb, with a wide range of dimensions, accommodating trees, landscaping, lighting, furnishings, transit stops, bicycle parking, and related amenities enhancing safety, comfort, and character.

*Note on the Sidewalk Zone: The primary clear path for pedestrian circulation, free of any obstructions, ensuring accessibility, safety, and comfort while connecting building entrances, transit stops, and public spaces along a streetscape.*

Figure 12. Overview of the Zones of the Public Realm

DOWNTOWN CAMAS [ 13 ]

DOWNTOWN DESIGN MANUAL

**7.1 Main Streets (MNS) Public Realm**

Figure 76. Typical Main Street Segment Diagram

**7.1.1 Facade Zone.**

**[A] Retailing Depth**

- Minimum thirty (30) feet depth for ground-floor retail to support viable commercial activity.

**[B] Ground Floor Transparency**

- Minimum sixty (60%) percent transparency between two (2) feet and ten (10) feet above sidewalk grade using clear, non-reflective glass.

**[C] Blank Wall Limitations**

- No length of wall greater than ten (10) feet without architectural articulation including transparency, plane breaks, or entrances.

**[D] Horizontal Banding**

- The ground floor shall be emphasized through banding with material or color differentiation or projection of two (2) inches to six (6) inches at a height between twelve (12) feet and fourteen (14) feet above the sidewalk.

**[E] Pedestrian Entrances**

- Entrances must be clearly visible from the street and directly accessible from the sidewalk.
- Minimum fifty (50%) transparent for visual connection.
- Multi-tenant buildings must have entrances for each tenant.

**[F] Materiality and Colors**

- Materials and finishes shall be durable, low-maintenance, weather-resistant, and drawn from a muted, coordinated palette consistent with the established downtown character; highly reflective, unfinished, or overly bright colors are prohibited.

**[G] Setback Buffering**

- Not applicable and not identified on diagram.

**7.1.2 Encroachment Zone.**

**[H] Weather Protection**

- Ninety (90%) percent of front facades must have rain protection with minimum five (5) feet overhang and must include all entrances and exits to the building.

**[I] Vertical Barriers**

- Use transparent or semi-transparent materials for outdoor dining enclosures.
- Ensure dining walls do not obstruct pedestrian flow.
- Dining enclosure must not exceed forty-two (42) inches in height.
- Barriers shall be constructed of durable, weather-resistant materials, securely anchored or weighted for stability, capable of withstanding wind and pedestrian contact, and shall not include temporary, flimsy, or unfinished materials.

[ 46 ] The City of Camas, Washington

# General Standards

- Applies to each public realm zone and street element
- Standards for any street or frontage in the downtown area including:
  - Landscaping areas
  - Hardscaping
  - Lighting
  - Screening
  - Public Art
  - Parklets
- Standards are intended to aspire to the following principles:
  - Implement Adopted Plans
  - Strengthen Downtown Vitality
  - Use Public Resources Efficiently
  - Create a Complete and Safe Downtown Environment
  - Support Economic Development
  - Attract and Retain Businesses
  - Promote Sustainable Development
- Public Realm standards supersede General Standards in the event of a conflict



Figure 89. Image of Downtown Camas Streetscape

## 8.0 General Standards.

Unless otherwise noted in this section, the general standards provide a range of standards for any street or frontage within the downtown area, including landscaping, hardscaping, lighting, screening, and public art. In the event of a conflict between the Public Realm Standards (Section 7.0) and these General Standards, the Public Realm Standards for the specified Street Type or Street Types shall supersede.

## 8.1 General Principles.

The general standards are intended to aspire to the following principles for elements within the public realm in Downtown Camas:

- **Implement Adopted Plans.** Advance the goals and policies of the City of Camas Comprehensive Plan and Capital Facilities Plan.
- **Strengthen Downtown Vitality.** Enhance livability, environmental quality, and economic vitality through a diverse and complementary mix of downtown uses.
- **Use Public Resources Efficiently.** Promote the efficient and coordinated use of public facilities, infrastructure, and services.
- **Create a Complete and Safe Downtown Environment.** Foster a safe, attractive, and convenient setting that supports living, working, shopping, and recreation, with active ground-floor uses and residential or office uses above.
- **Support Economic Development.** Encourage economic growth by creating an inviting downtown environment that attracts a broad and diverse consumer base.
- **Attract and Retain Businesses.** Establish a stable and economically viable downtown that supports existing businesses and attracts new investment.
- **Promote Sustainable Development.** Encourage development practices that support long-term environmental, social, and economic sustainability.



Figure 90. Character Image of Landscaping

## 8.2 Landscaping.

Vegetation and green infrastructure are essential components of a healthy, attractive urban environment. They manage stormwater, reduce urban heat island effect, and improve air quality while enhancing the pedestrian experience. Thoughtfully integrated, they soften the built form, support biodiversity, and create a more comfortable, visually engaging streetscape. The following applies to all street types:



Figure 91. Landscape Located within Curb Extension Area

## 8.2.1 LANDSCAPING STANDARDS

1. **Location:** Landscaping and trees shall be selected and located to dampen sound, filter air contaminants, curtail erosion, minimize stormwater runoff, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.
2. **Variety:** Must include a combination and multiple layers of canopy trees, under-story trees, shrubs, and ground cover to achieve the goal of this section.
3. **Parking Areas:** Must be landscaped in accordance with this section.



# Other

> Definitions & Measures

# Definitions and Measures

- General definitions for new terms and terminology
- Guidance for measurements for specified standards such as:
  - Building Height
  - Lot Coverage
  - Lot Size
- Includes references to other sections of the Design Manual. Points to Chapter 18.03 of the Camas Municipal Code for all other definitions or measurements

## DOWNTOWN DESIGN MANUAL

### 9.0 Definitions & Measures.

The following section provides general definitions for all new terms and terminology included in this design manual, as well as guidance on measuring for specified terms.

**Alcove Frontage:** A frontage type characterized by recessed building entries or display areas partially sheltered by the building mass, intended to provide transition space between the public sidewalk and interior uses.

**Alley Setback:** Minimum distance in linear feet (LF) of any building facades from property lines onto an existing or proposed alley.

**Amenity Zone:** The portion of the public realm located between the sidewalk zone and curb, intended to accommodate trees, lighting, furnishings, transit amenities, and other streetscape elements.

**Active Retail Use:** Active retail refers to street-facing, ground-floor uses that encourage walkability and activate sidewalks, such as shops, cafés, restaurants, and other active, customer-oriented businesses. See **Section 4.0 Use and Parking** for further detail.

**Base Zoning District:** The mapped zoning classification that establishes permitted uses, building form, height, and development standards applicable to lots within Downtown Camas. See **Section 3.0 Base Zoning Districts** for further details.

**Blank Wall:** A building façade segment lacking transparency, articulation, or pedestrian-oriented features for a continuous length exceeding the maximum permitted by this manual.

**Building Footprint:** For the purposes of this manual, the building footprint is the total square footage (SF) of any habitable structures or accessory buildings on a lot or lots as determined by the perimeter of those buildings on a site plan.

**Building Frontage:** The portion of a building façade that directly abuts or faces a public right-of-way, setback area, or frontage zone and is subject to frontage standards.

**Building Height:** A general standard for each base zoning district, building height measures the vertical dimension of a building in feet and stories.

*HOW TO MEASURE: Building height is measured in linear feet and stories (#) by measuring the distance from the adjacent grade of the sidewalk on the primary street to the bottom of the eaves or parapet. Building height does not include any levels below-grade.*

**Building Uses:** A general standard for each base zoning district, building uses are the primary uses of the main building on a site, not including any accessory or temporary uses. See **Section 4.0 Use and Parking** for further details.

**Encroachment Zone:** The area between the building façade or setback line and the sidewalk zone where limited projections, seating, signage, or weather protection elements may be permitted.

**Facade Zone:** The vertical plane of the building face adjoining the public realm, regulated to ensure transparency, entrances, articulation, and compatibility with street character.

**Frontage Type (or Standards):** A classified method as part of this manual by which a building interfaces with the public realm, including but not limited to shop, café, porch, stoop, forecourt, civic, or yard frontage. See **Section 6.0 Frontage Standards** for further details.

**General Standards (for Public Realm):** A set of standards as part of this manual which regulates common elements of the public realm on all street types within the street network. See **Section 8.0 General** for further details.

**Ground Floor (Uses):** The lowest occupied story of a building above finished grade, intended to accommodate uses and design features that directly engage the public realm. See **Section 4.0 Use and Parking** for further details.

**Lot Coverage:** The percentage (%) of a lot area occupied by the building footprint, calculated in accordance with the measurement standards of this manual.

*HOW TO MEASURE: Lot coverage is calculated by dividing the footprint (in square feet) of the building or buildings on the lot or lots by the total lot size (in square feet) to derive a percentage.*

**Lot Depth:** Lot depth is the dimension in feet of a lot or lots perpendicular to the primary street frontage along the public right-of-way.

**Lot Size:** Lot depth is the dimension in feet of a lot is the area, typically a maximum area, in square feet (FT) and determined by its length and width.

*HOW TO MEASURE: Lot size can be measured easily by multiplying the lots width (in feet) by depth (in feet) for standard lots, and calculating the area based on GIS or other public sources for irregular shaped lots such as flag lots or triangular lots.*

**Lot Width:** Lot width is the dimension of a lot or lots along the primary street frontage parallel with the public right-of-way.

**Mixed Use:** A development pattern in which multiple primary uses, such as residential and commercial, are integrated within a single building or site, typically in a vertical configuration.

**Open or Common Spaces:** For the purposes of this manual, open or common spaces are considered usable outdoor spaces or exterior spaces in square feet (SF) on a building that are accessible by all inhabitants of a building or open to the public.

**Parking Setback:** Minimum distance in linear feet (LF) of the placement of any structured or surface parking facilities or storage of vehicles on the site from the primary street or side street.

**Passive Retail:** Passive retail refers to commercial activities that primarily serve building occupants or a smaller customer base—such as boutique offices, lobby kiosks, or specialty shops—which typically generate less foot traffic and require less window visibility. See **Section 4.0 Use and Parking** for further detail.



# Design Manual Discussion



# CMC Chapter 18.19 Design Review

# Current Requirements

- Implements design principles and a design review process for the “**Design Review Manual (DRM)**”, “the **Downtown design manual (DDM)**”, and the “**North Shore design manual.**”
- Design review is required for all new developments within commercial, mixed-use, mixed employment, or multifamily zones, redevelopment (including change in use, e.g., residential to commercial), or major rehabilitation (exterior changes requiring a building permit or other development permit).
- Commercial uses include both traditional uses listed as commercial under the zoning code, including active or passive retail uses in the DDM as well as recreational, religious, cultural, educational, and governmental buildings and associated properties.
- Design review also applies to all new developments and redevelopments within a Design Overlay and all development within the North Shore subarea. Development of public and private parcels located within the downtown subarea are subject to standards in the DDM, which supersedes the DRM in that area.

# Current Requirements

- 18.19.050 – Design Principles

- Standard principles address landscaping, significant natural features, building appearance, and historic/heritage elements and apply to all commercial, mixed use, or multifamily uses.
- Specific principles apply to gateways and corridors (will be referred to as “Design Overlay” in revisions), commercial and mixed uses, and multifamily uses (stacked housing, townhomes and rowhouses, and duplexes, triplexes, and four-plexes).
- Minimum requirements apply to all development within the North Shore subarea.
- All development within the Downtown Subarea shall meet the minimum requirements in the Downtown Design Manual.

- 18.19.060 – Guidelines

- Includes five major categories:
  1. Landscaping and screening;
  2. Architecture;
  3. Massing and setbacks;
  4. Historic and heritage preservation; and
  5. Circulation and connections.

# CMC Chapter 18.19 – Design Review

- **Proposed changes include:**

- Ensure consistency with the new Downtown Design Manual, including references to active and passive retail uses and the Downtown subarea, and middle housing requirements.
- Establish clear and objective standards for design principles and guidelines (RCW 36.70A.630).
- Incorporate exceptions related to façade modulation and upper-level setback limitation (RCW 36.70A.815).

## 18.19.020 Scope.

Design review is required for all new developments within commercial, mixed-use, mixed employment/business park, or multifamily zones, redevelopment (including change in use, e.g., residential to commercial), or major rehabilitation (exterior changes requiring a building permit or other development permit). Commercial uses in the context of design review include both traditional uses listed as commercial under the zoning code, including those listed as active or passive retail uses in the Downtown design manual, as well as recreational, religious, cultural, educational, and governmental buildings and associated properties. Additionally, design review is applicable to all new developments or redevelopments within a design overlay gateway area as defined in Chapter 18.xx Design Overlay ~~the design review manual~~. Design review is also required for all development within the North Shore subarea, consistent with the North Shore design manual.

Consistency with this chapter shall be reviewed by the approval authority during the development review process.

(Ord. 2518 § 1 (Exh. A (part)), 2008)

(Ord. No. 2691, § I(Exh. A), 1-21-2014; Ord. No. 23-010, Exh. A, 8-7-2023)

## 18.19.025 Applicability and scope of the downtown design manual (DDM).

The provisions of this manual shall be applied to public and private parcels located within the downtown subarea commercial zone. Development of parcels within the downtown subarea shall comply with the standards found in the DDM. The standards within the DDM supersede the general requirements of the DRM for parcels located within the downtown commercial zone.

(Ord. 2518 § 1 (Exh. A (part)), 2008)

# CMC Chapter 18.19 – Design Review

- **Process changes include:**

- Remove the design review committee as the review authority and clarifies that the approval authority will review the chapter during the development review process.
- Provide design review flexibility regarding alternative design solutions.

## **~~18.19.040 Design review committee.~~**

- ~~A. The city council shall establish a seven-person design review committee (DRC) for the purposes of reviewing specific proposals, and recommending conditions and/or other actions necessary for consistency with the principles of the DRM. The DRC members serve at the pleasure of the city council. The DRC shall consist of six members appointed by the city council, including two from the development community, one council member, one planning commissioner, and two citizens at large. A seventh member shall be a neighborhood representative of the surrounding neighborhood to a specific proposal, or a United Camas Association of Neighborhoods member.~~
- ~~B. The DRC will hold a public meeting to consider a design review application when:
  - 1- The city planner determines that the issues related to a specific proposal are complex enough to warrant a review by the DRC;
  - 2- The proposal varies from the guidelines of the DRM; or
  - 3- When an administrative decision on a design review application is appealed with no prior review by the DRC.~~
- ~~C. The DRC shall not issue a decision, but shall prepare a written recommendation, together with findings to support the recommendation, to the approval authority within ten days of a public meeting held for that purpose (RCW 36.70.020(5)).~~

(Ord. 2518 § 1 (Exh. A (part)), 2008)



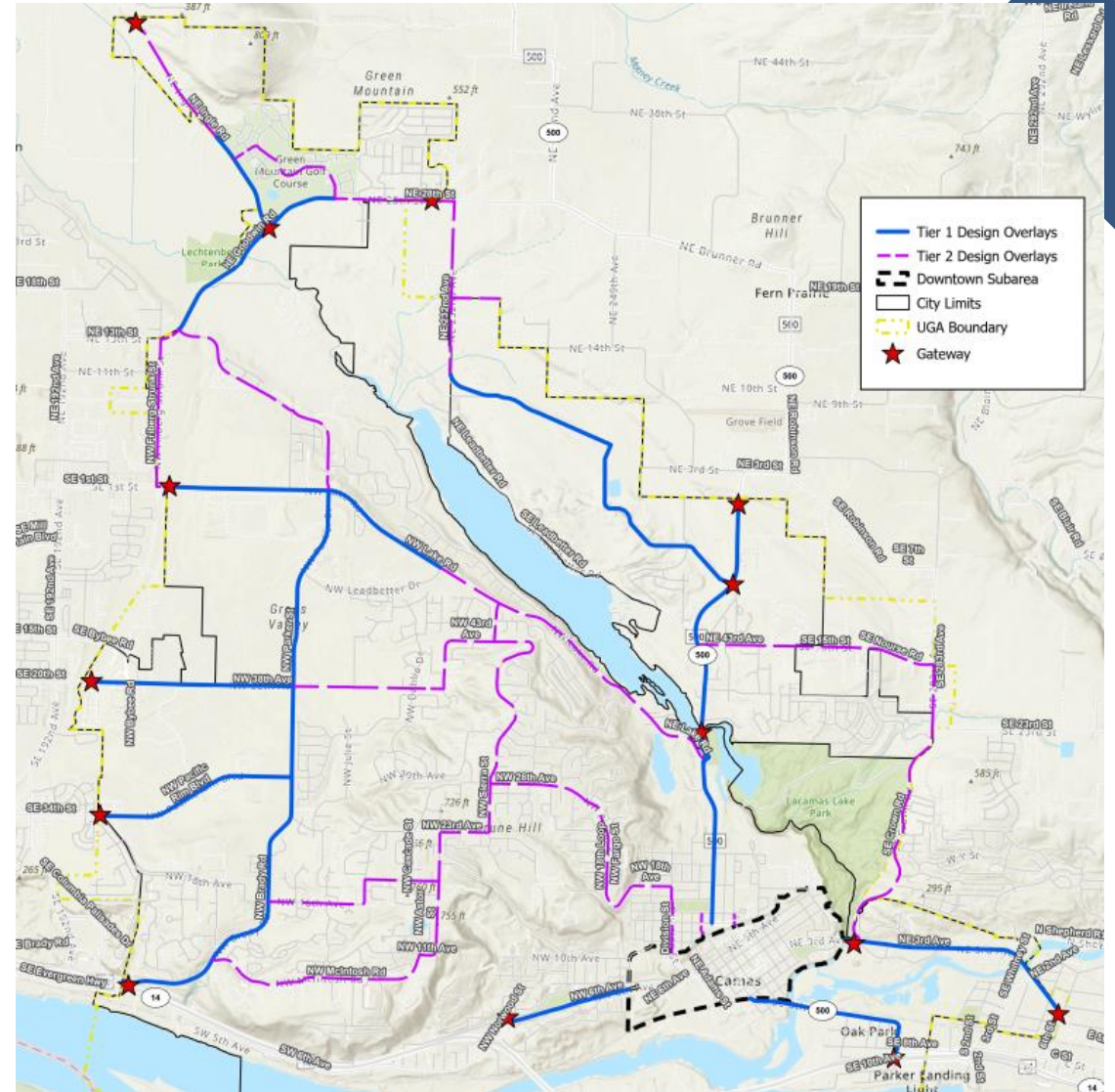
# Design Review Discussion



# Design Overlays

# 18.XX Design Overlays

- New chapter applying the gateways and corridors design concept (now referred to as “Design Overlays”) to properties fronting Tier 1 and Tier 2 corridors.
- Gateways are still identified at primary entrances to the city within Design Overlay areas.
- Limited neighborhood commercial uses are allowed within residential zones within Design Overlay areas, subject to maximum size standards.
- *All development and redevelopment within the Downtown Subarea shall meet the minimum design standards for each street type in the Downtown Design Manual.*



# 18.xx.040 & 18.xx.050 – Overlay Design Standards

- New chapter will replace the Gateways and Corridors section of the Design Review Manual.
- Gateways and Corridors design principles will be implemented as General Overlay Design Standards (18.xx.040). Design guidelines will be implemented as Specific Overlay Design Standards (18.xx.050). Specific standards are included in a table indicating which standards apply, apply with conditions, or do not apply for Tier 1 and Tier 2 design overlays. These standards include:
  - Landscaping and Screening
  - Use
  - Architecture
  - Massing and Setback
  - Historic and Heritage Preservation
  - Circulation and Connections
  - Public Realm

Table 18.XX-1. Design Overlay Specific Standards¶

Design Standards¶	Tier 1 Design Overlay¶	Tier 2 Design Overlay¶
<b>Landscaping and Screening Standards¶</b>		
Landscaping adjacent to the public right-of-way shall provide multiple layers of plantings, including canopy trees, understory trees, shrubs and groundcover.¶	§¶	§¶
Hanging baskets should be used along building frontages to add visual interest, and must be installed so that the bottom of the basket is a minimum of 80 inches above the finished grade of the sidewalk.¶	§¶	N/A¶
Median planting design/plant selection shall create a unique and cohesive streetscape design.¶	§¶	§¶
<b>Use Standards¶</b>		
If allowed in the underlying zone, drive-throughs are allowed in a Tier 1 Design Overlay and shall be screened with landscaping or architectural features that integrate them into the building. Freestanding drive-throughs are not allowed.¶	S/C (if allowed in underlying zone, see Chapter 18.07 Use Authorization)¶	N/A¶
Limited Neighborhood Commercial uses are allowed within residential zones with a maximum building footprint of 2,500 sf. The neighborhood commercial use must be pedestrian-oriented and require no additional off-street.¶	§¶	§¶

# 18.xx.050 - Design Overlay Features

- In addition to the specific design standards for design overlays, gateways shall include additional unique design features along Tier 1 and Tier 2 corridors. This is formatted as a “pick list” inviting applicants to select additional design features to supplement the base requirements.
  - a. Gateways along Tier 1 corridors shall include two additional design features from Table 2.
  - b. Gateways along Tier 2 corridors shall include one additional design feature from Table 2.

Table XX-2. List of unique gateway features.

<u>Sidewalks</u>	<ul style="list-style-type: none"><li>• <u>Wide sidewalk (minimum of 8 feet)</u></li><li>• <u>Bus stop improvements (shelter, lighting, bench) – develop consistent bus stop standards to be implemented throughout the city</u></li></ul>
<u>Roadway Right-of-way</u>	<ul style="list-style-type: none"><li>• <u>Roundabouts at gateway intersections</u></li><li>• <u>Public art in center of roundabout</u></li><li>• <u>Protected or buffered bike lanes to provide a horizontal separation of 1 to 3 feet between the bike lane and motor vehicle lane</u></li></ul>
<u>Other Public Realm amenities and features</u>	<ul style="list-style-type: none"><li>• <u>Install posts/poles for community pride banners (less than 4 square feet) such as school pendants</u></li><li>• <u>Identify locations for public green spaces and pedestrian access through campus style development</u></li><li>• <u>Iconic guardrails (e.g., Columbia River Highway)</u></li><li>• <u>Limit lighting to allow for views of the night sky (motion sensors, or other technology to limit excessive light)</u></li><li>• <u>Deep/wide frontage landscaping areas should match the natural areas along the DNR property that is west of Ingle Road.</u></li></ul>



# Design Overlay Discussion