



# City of Camas & City of Washougal Fire Impact Fee Study



**Presentations to cities of Camas and Washougal  
October 25, 2022 (Washougal Planning Commission)**

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# Agenda

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WHAT IS AN IMPACT  
FEE?



CURRENT FEE  
STRUCTURE



RESULTS



# What is a Fire Impact Fee?

## An Impact Fee:

- **Imposed upon development** as a condition of development approval
- Pays for fire facilities needed to serve new growth and development, and that are **reasonably related to the new development** that creates additional demand and need for public facilities
- Represents a **proportionate share** of the cost of the public facilities



## Statutory Basis

### RCW 82.02.050(3)

- System improvements must be **reasonably related** to the new development
- Impact fees cannot exceed a **proportionate share** of system improvement costs
- System improvements must **reasonably benefit** the new development



# Calculation Framework

$$\text{Fire Impact Fee} = \frac{\text{allocable capital cost}}{\text{applicable customer base}}$$

Numerator represents total fire capital costs of serving the customer growth.

Denominator represents total customer base growth that will be served by the capital projects in the numerator.



# Current Fee Structure

	Land Use	Camas	Washougal
Adopted	Single-Family Residential	\$0.20 per sqft	\$502.00 per DU
	Non-SFR	\$0.40 per sqft	\$0.31 per sqft
Indexed to 2022	Single-Family Residential	\$0.32 per sqft	\$760.57 per DU
	Non-SFR	\$0.65 per sqft	\$0.50 per sqft

Fee not standardized between cities of Camas and Washougal

Mostly per square feet of development

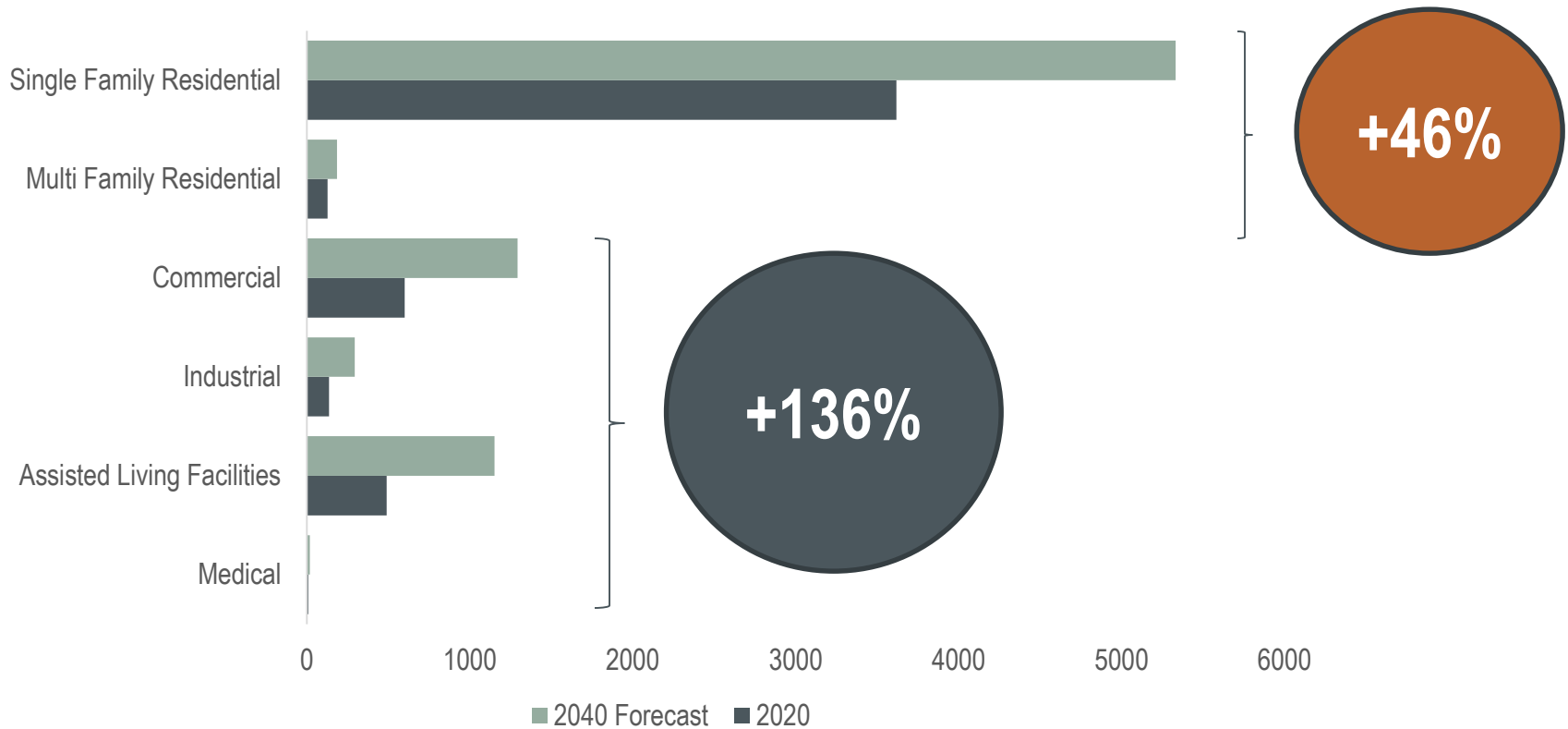
Doesn't differentiate between non-SFR land use types

Multifamily classified as non-SFR



# Incident Growth Next 20 Years

Forecasted Incident Growth  
2020 vs 2040



Source: Regional Transportation Commission.



# Allocable Capital Cost

Total Capital Needs  
\$35.1M



Gross Capital Needs  
Allocable to Service  
Future Growth  
\$22.7M

**What is included:**

Repl Washougal Satellite Station #43 (2023): \$8.2M  
Camas HQ/Fire Station #41 (2025): \$12.9M  
New NW Camas Satellite Station: (2029) \$9.2M  
New Engines (4): \$3.1M  
Ladder Truck (1): \$1.1M  
Rescue Tools (4): \$168,000  
Brush Rigs (2): \$315,000  
Total: \$35.1M

**What is included:**

Repl Washougal Satellite Station #43 (2023): \$3.5M\*  
HQ/Fire Station #41 (2025): \$5.5M\* } \$18.2M  
New Camas Satellite Station: (2029) \$9.2M  
New Engines (4): \$3.1M  
Ladder Truck (1): \$1.1M  
Rescue Tools (4): \$72,000\* } \$4.4M  
Brush Rigs (2): \$134,000\*  
Total: \$22.7M

SFR share: \$11.8M\*\*

Non-SFR share: \$10.9M\*\*

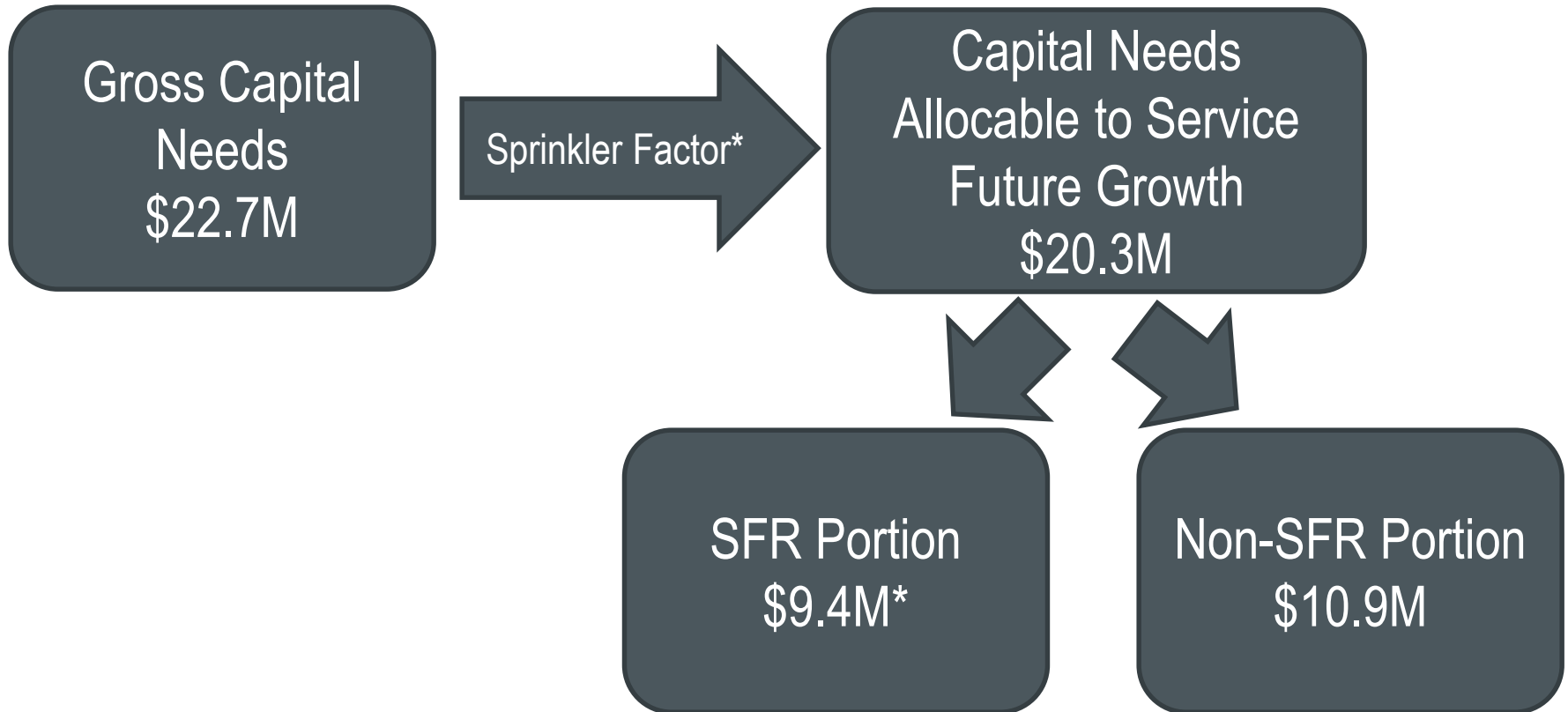
\*adjusted for increase in incidents attributable to future growth

\*\*based on number of incidents





# Allocable Capital Cost



**Adjusted Capital Needs  
allocable to growth: \$20.3M**

\*Original allocation of \$11.8M to SFR based on # of incidents; Adjusted by 20% for indoor fire sprinklers



# Costs by Customer Type

SFR Portion  
\$9.4M

Non-SFR Portion  
\$10.9M

**Adjusted Capital Needs  
allocable to growth: \$20.3M**

**Costs are  
proportionately  
allocated based on  
forecasted number of  
incidents and facility  
growth (sq.ft.)**

**SFR: \$9.4M**

**MFR: \$0.4M**

**Comm: \$4.8M**

**Indust: \$1.1M**

**Asst.Living: \$4.6M**

**Medical: \$0.1M**



# Impact Fee Scenarios

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- ◆ **1. Baseline. Assumes impact fee funding for stations and apparatus**
  - A. Unified fee approach
  - B. Separate City fee approach
  
- ◆ **2. Apparatus only. Assumes new fire stations funded with municipal bonds; Impact fee funding for apparatus only**
  - A. Unified fee approach
  - B. Separate City fee approach

**Staff Recommendation = 1A: Unified Fee Approach**



# Impact Fee Design

Customer Type	Grouping 1	Grouping 2	Grouping 3	Grouping 4
SFR	SFR	SFR	SFR	SFR
MFR	MFR	MFR	MFR	MFR
Comm				
Indust	Indust			Indust
Asst Living			Asst Living	Asst Living
Medical				
	All Other	All Other	All Other	All Other

**Fee Design Options: 1 to 4 non-residential customer type alternatives**

**Grouping #2 is closest to current practice**



# Fee Scenarios 1A and 2A (Unified Fee)

Class	Baseline		Grouping 1		Grouping 2		Grouping 3		Grouping 4	
SFR	\$0.68	\$0.13	\$0.68	\$0.13	\$0.68	\$0.13	\$0.68	\$0.13	\$0.68	\$0.13
MFR	\$0.37	\$0.07	\$0.37	\$0.07	\$0.37	\$0.07	\$0.37	\$0.07	\$0.37	\$0.07
Comm	\$2.19	\$0.43	Incl in all other		Incl in all other		Incl in all other		Incl in all other	
Indust	\$0.15	\$0.03	\$0.15	\$0.03	Incl in all other		Incl in all other		\$0.15	\$0.03
Asst Living	\$41.74	\$8.10	Incl in all other		Incl in all other		\$41.74	\$8.10	\$41.74	\$8.10
Medical	\$0.81	\$0.16	Incl in all other		Incl in all other		Incl in all other		Incl in all other	
All Other	n/a	n/a	\$2.00	\$0.39	\$0.88	\$0.17	\$0.50	\$0.10	\$1.05	\$0.20
Overall Average	\$0.76	\$0.15	\$0.76	\$0.15	\$0.76	\$0.15	\$0.76	\$0.15	\$0.76	\$0.15

Rates in blue indicate Apparatus only  
 – new stations funded with bonds

Rates presented are charges per square foot  
 MFR – 2+ units per structure

Fee Design Options

**Grouping #2 is closest to current practice**  
**Staff recommendation**



# Staff Recommendation

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- ◆ **Scenario 1A: Unified Fee Approach**
  - ◆ **Grouping 2**
    - SFR = \$0.68
    - MFR = \$0.37
    - All Other = \$0.88
  - ◆ **Phase-in Options to Consider**
    - Indexed rates immediately
    - 50% toward Grouping 2 rates 2024
    - 100% Grouping 2 rates 2025
    - Inflationary index automatic 2026+
- OR
- Indexed rates immediately
  - 100% Grouping 2 rates 2024
  - Inflationary index automatic 2025+



# Effect of Proposed Increases

Use	Current Camas	Current Washougal	Indexed (ave of Camas +Washougal)	50% toward Grouping 2	100% Grouping 2
SFR	\$0.20	\$0.20 (2,530 sqft)	\$0.31	\$0.50	\$0.68
MFR	\$0.40	\$0.31	NA	NA	\$0.37
COM	\$0.40	\$0.31	\$0.58	\$0.73	\$0.88
IND	\$0.40	\$0.31	\$0.58	\$0.73	\$0.88
Asst Liv	\$0.40	\$0.31	\$0.58	\$0.73	\$0.88
Med	\$0.40	\$0.31	\$0.58	\$0.73	\$0.88
All Other	\$0.40	\$0.31	\$0.58	\$0.73	\$0.88



# Fee Examples – Staff Recommendation

Sample Building Use	Existing Camas	Existing Washougal	Proposed
2,530 sqft home	\$506	\$502	\$1,720
20,000 sqft office	\$8,000	\$6,200	\$17,600
50,000 sqft industrial	\$20,000	\$15,500	\$44,000
3-story mixed-use 20,000 sqft multi-family 10,000 sqft retail	\$12,000	\$9,300	\$16,200

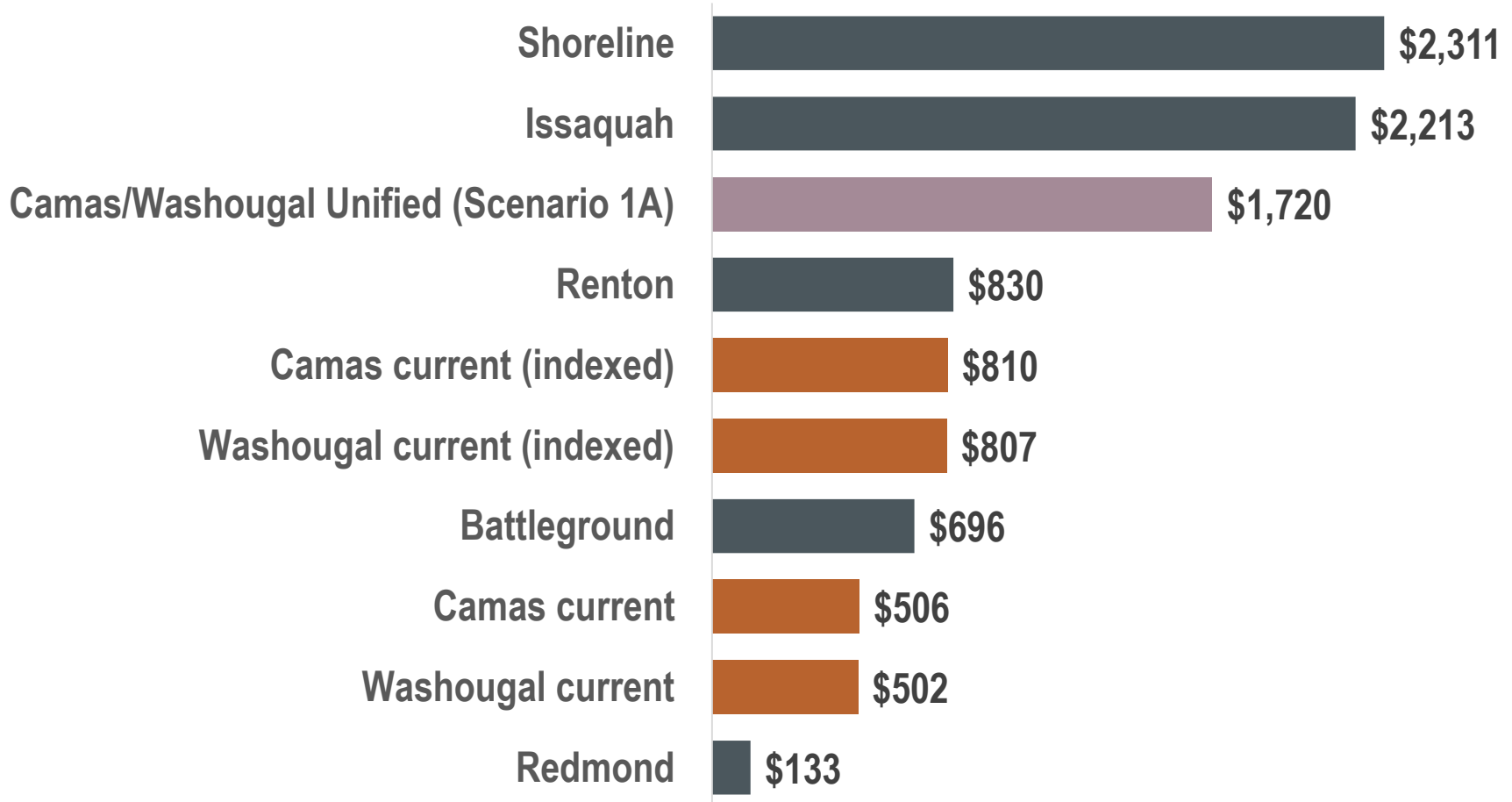




# Interjurisdictional Comparison



# Interjurisdictional Comparison SFR



Calculated fee based on ~2,530sft



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# Next Steps



## **Next Steps**

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- ◆ **Questions?**
- ◆ **Steps to implement (each City) - After Planning Commission worksessions and public hearings, resulting in formal Planning Commission recommendations to City Council:**
  - Step 1: City Council adopt updated Fire CIP
  - Step 2: City Council adopt supporting impact fee

Should be done in the above sequence

# Thank you!

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