



September 27, 2023

City of Camas  
 Planning Division  
 616 NE 4<sup>th</sup> Avenue  
 Camas, WA 98607

**Re: AT&T Wireless Communications Facility / PS25 Camas School Relo / CUP23-03  
 Completeness Material**

To Whom It May Concern:

Smartlink is submitting the requested materials below on behalf of the applicant, New Cingular Wireless PCS, LLC (“AT&T”) and the underlying property owner for a new wireless communications facility in the City of Camas in response to a request on August 7, 2023. Enclosed please find the requested completeness material:

1. The SEPA signature page shall be resigned to include the ‘under penalty of perjury’ language. The current SEPA checklist that includes this language is found on the city website.
  - Attachment 1b—SEPA Checklist; inclusive of ‘under penalty of perjury’ language.
2. The overall site plan shall also show the location of the geologically hazardous area per CMC 16.59.060.C.1.b.vi. This is also not shown on Figure 2 of the Geologic Hazard Evaluation.
  - Attachment 11—Geological Hazard Report; revised.
  - Attachment 19—Revised Zoning Drawings; changes bubbled.
3. Demonstrate the equipment is 2-feet above the highest adjacent grade per CMC 16.57.060.B.3. This should be shown on the site plan and elevations.
  - Attachment 19—Revised Zoning Drawings; changes bubbled.
4. Per CMC 18.35.060.J, the Noise Study shall be prepared, signed and sealed by a Washington licensed engineer. Please submit qualifications to confirm this requirement.
  - N/A. Washington State does not have a PE in acoustics. The report from SSA Acoustics was approved via email. See, Attachment 20\_RE\_CUP2303 AT&T wireless facility\_Noise.
5. Per CMC 18.55.110.H, provide example of sign content for City review and approval prior to making the sign. An example was previously provided.
  - Sign example reviewed and approved on 9/27/22 via email. See, Attachment 21\_PS25 Camas sign mockup; Attachment 22\_Email RE\_CUP2303 AT&T wireless facility sign.

**Other items to be addressed per Engineering but are not items for application completeness:**

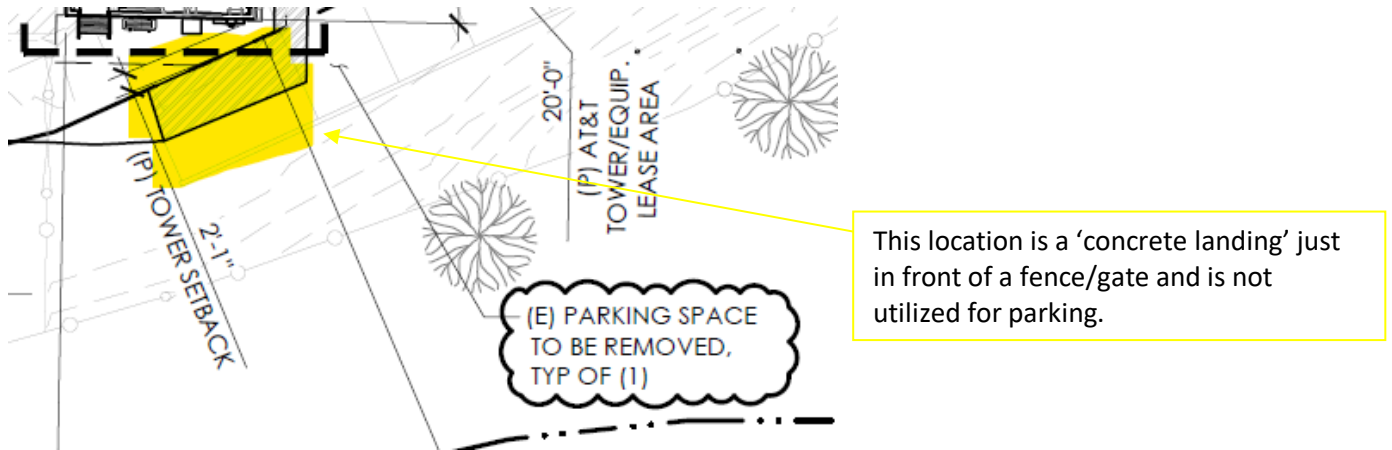
Site Plans:

1. Sheet A1.0 Overall Site Plan
  - o Not a TC item, but signage for ‘Entrance’ and ‘Exit’ may be required.
    - Understood.



o It appears 2 parking spaces will be removed due to the tower, not the 1 parking space that is referenced.

- Only 1 space will be removed. See, Fig. 1, below.



**Figure 1**

Stormwater Plans:

2. Sheet A2.0 Enlarged Site Plan

o Not a TC item, but it's unclear as to whether there is a 'roof' on the tower or if it's open to the elements.

- The tower roof is not open to the elements.

o If there's a 'roof' then there should be downspouts, which are not to direct stormwater runoff such that it impacts the rear access to the building. The rear access is a daylight basement, which is at a lower level than the parking lot.

- Downspouts will be added to the building to appropriately account for stormwater runoff.

I look forward to working with you on this project. Let me know if you need anything further.

Sincerely,

*Sharon Gretch*

Sharon Gretch

Real Estate Project Manager

Smartlink, an authorized representative of AT&T

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